

**GENERAL NOTES**

DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY.

THE OWNER/BUILDER SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA 2006, CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS, REPORT ANY DISCREPANCIES TO THIS OFFICE.

ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE BUILDING CODE OF AUSTRALIA AND THE AUSTRALIAN STANDARDS LISTED IN NOTE 4.

- AS1288-2006 GLASS IN BUILDINGS – SELECTION AND INSTALLATION
- AS1562-1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
- AS1684-2010 NATIONAL TIMBER FRAMING CODE
- AS2049-2002 ROOF TILES
- AS2050-2002 INSTALLATION OF ROOF TILES
- AS2870-1996 RESIDENTIAL SLAB AND FOOTINGS – CONSTRUCTION
- AS/NZ2904-1995 DAMP-PROOF COURSES AND FLASHINGS
- AS3600-2000 CONCRETE STRUCTURES
- AS3660 – 2000 BARRIERS FOR SUBTERRANEAN TERMITES
- AS3700-2001 MASONRY IN BUILDINGS
- AS3740-2004 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS3786-1993 SMOKE ALARMS
- AS4005-2006 WIND LOADING FOR HOUSING
- AS4100-1998 STEEL STRUCTURES

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL AND CIVIL ENGINEERING COMPACTIONS AND DRAWINGS.

ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS3660.1. AND A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS.

- SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES-
- ALL ROOMS-WITHIN 500MM VERTICAL OF THE FLOOR
  - BATHROOMS-WITHIN 1500mm VERTICAL OF THE BATH BASE
  - FULLY GLAZED DOORS
  - SHOWER SCREENS
  - WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL
  - WINDOW SIZES ARE NOMINAL ONLY ACTUAL SIZES WILL VARY

GUTTERS WILL BE AS PER SPECIFICATION WITH MIN. 100 X 75 RECTANGULAR OR 90mm DIA, DOWNPIPES, EACH DOWN PIPES SHALL SERVICE A MAXIMUM ROOF AREA OF 36 SQ.M. OR SHALL BE POSITIONED AS PER AS 3500.3, 2003, SECTION 3. STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DETERMINED BY THE RELEVANT AUTHORITY.

FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS, IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE PROXIMITY OF BOUNDARIES, A CHECK SURVEY BE CONDUCTED BY A LICENSED SURVEYOR. ALL WET AREAS TO COMPLY WITH BCA 3.8.1.2 AND AS 3740 . SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TROUGHS AND HAND BASINS WITHIN 75mm OF THE WALL.

THERMAL INSULATION AS PER ENERGY RATING REPORT.

STAIR REQUIREMENTS: MIN. TREAD 240mm. RISER 115mm. MAX. RISER 190mm, SPACE BETWEEN OPEN TREADS MAX. 125mm. TREADS TO BE NON SLIP SURFACE. BALUSTRADES: MIN. 1000mm ABOVE LANDINGS WITH MAX. OPENING OF 125mm. AND IN ACCORDANCE WITH BCA 3.9.2. FOR STAINLESS STEEL BALUSTRADES REFER TO TABLE 3.9.2.1. (WIRE BALUSTRADE CONSTRUCTION – REQUIRED WIRE TENSION AND MAXIMUM PERMISSIBLE DEFLECTION) OF THE BCA.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF EXISTING AND NEW STRUCTURES THROUGH-OUT CONSTRUCTION.



Layout	Name
01 TITLE PAGE	Locality Sketch
03 SITE PLAN	SITE PLAN
04 GROUND FLOOR PLAN	GROUND FLOOR PLAN
05 ELEVATIONS 1/2	1 Elevation 2 Elevation
06 ELEVATIONS 2/2	3 Elevation 4 Elevation DOOR LIST Window Schedule
07 3D VIEWS	Front Perspective Rear Perspective
08 ROOF PLAN	ROOF PLAN
09 CONCRETE SETOUT PLAN	CONCRETE SETOUT PLAN
10 BUILDING SECTIONS	DRIVEWAY PROFILE Section A-A Section BB
11 EROSION & SEDIMENT PLAN	Stormwater Drainage Concept /Erosi...
12 ELECTRICAL PLAN	ELECTRICAL PLAN
13 Landscape Concept Plan	Landscape Concept Plan
14 GAS, TAP & BATHROOM LAYOUT	GAS, TAP & BATHROOM LAYOUT
16 NOTIFICATION PLAN	1 Elevation 2 Elevation 3 Elevation 4 Elevation SITE PLAN
18 BASIX Certificates 1/2	220543_BASIX Certificate_v1.0 220543_BASIX Certificate_v1.0 220543_BASIX Certificate_v1.0 220543_BASIX Certificate_v1.0
19 BASIX Certificates 2/2	220543_BASIX Certificate_v1.0 220543_BASIX Certificate_v1.0 220543_BASIX Certificate_v1.0 220543_BASIX Certificate_v1.0 220543_BASIX Certificate_v1.0 220543_BASIX Certificate_v1.0

LOCATION OF SMOKE DETECTORS(REFER ELECTRICAL LAYOUT PLANS) TO BE HARD WIRED WITH EMERGENCY BACK-UP AND COMPLY WITH AS3786.

WIND SPEED AS NOMINATED ON BRACING PLAN.

PROVIDE LIFT OF HINGES TO W.C. OR OPEN OUT DOOR OR MIN. 1200MM CLEARANCE FROM DOOR TO PAN.

EXHAUST FANS FROM SANITARY COMPARTMENTS TO BE DUCTED TO THE OUTSIDE AREA AIR OR TO A VENTED ROOF SPACE AND AS PER AS 1668.2.

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS.

ALL CONSTRUCTION MATERIALS SUPPLIED MUST TAKE INTO ACCOUNT PROXIMITY TO COSTAL OR INDUSTRIAL ENVIRONMENTS, IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

**LEGEND**

- CJ CONSTRUCTION JOINT
- DP DOWNPIPE
- FP FIRE PLACE
- FW FLOOR WASTE
- HWS HOT WATER SYSTEM
- AC AIR CONDITIONING
- PS PLUMBING STACK/DUCT
- SP STEEL POST
- TBC TO BE CONFIRMED
- RL RELATIVE LEVEL
- AHD AUSTRALIAN HEIGHT DATUM
- CSD CAVITY SLIDING DOOR
- OHC OVER HEAD CUPBOARD
- FG FIXED GLASS
- FSR FLOOR SPACE RATIO
- LB LOAD BEARING
- NGL NATURAL GROUND LINE
- UBO UNDER BENCH OVEN
- WO WALL OVEN
- DW DISHWASHER
- MW MICROWAVE
- WM WASHING MACHINE
- WIR WALK-IN ROBE
- SD SLIDING GLASS DOOR
- AAW ALUMINIUM AWNING WINDOW
- ADH ALUMINIUM DOUBLE HUNG WINDOW
- AAW ALUMINIUM AWNING WINDOW
- ALW ALUMINIUM LOUVRE WINDOW
- BCA BUILDING CODE OF AUSTRALIA
- AS AUSTRALIAN STANDARDS

**SITE NOTES**

ALL STORMWATER AND DRAINAGE TO BE IN COMPLIANCE WITH BCA PARTS 3.1.2.&3.5.2 AS WELL AS/NZ8 3600

A MINIMUM HEIGHT OF 150mm SHALL BE MAINTAINED BETWEEN THE TOP OF THE OVERFLOW GULLY RISER & THE LOWEST FIXTURE CONNECTED TO THE DRAIN. THE OVERFLOW GULLY RISER SHALL BE LOCATED AT 75mm ABOVE SURROUNDING GROUND LEVEL OR SHALL BE FINISHED AT A HEIGHT TO PREVENT THE INGRESS OF WATER WHEN LOCATED IN A PATH OR PAVED AREA.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100, DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

ALL STORMWATER DRAINAGE BELOW GROUND SHALL BE SEWER GRADE WITH NO JOINTS UNDER SLAB INSTALLED TO AS3500:3,2003. MINIMUM PIPE SIZE 100mm MINIMUM GRADE 1:100.



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OWNER SIGNED:.....DATE:.....  
OWNER SIGNED:.....DATE:.....  
BUILDER SIGNED:.....DATE:.....

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<p><b>G.J. GARDNER SYDNEY WEST</b> A.B.N: 74 617 249 706 LICENCE: 309650C 8 / 37 York Road, Penrith NSW 2750 P: (02) 4732 4600 W: www.gjgardner.com.au</p>	<p><b>MANDALAY 300 MOD</b> CLASSIC STREETSCAPE</p> <p>© COPYRIGHT EXCLUSIVE TO G.J.GARDNER HOMES</p>	<p>DANIEL ATTARD DESIGNS A.B.N: 54 079 006 387</p> <p>M: 0400 375 014</p> <p>E: danielattarddesigns@gmail.com</p>	<p>CLIENT: <b>ZINNIA MARIA ORINGO</b></p>	<p>PROJECT: PROPOSED NEW RESIDENCE: <b>Lot 4501, DP 819170 4, STEIN PLACE GLENMORE PARK, 2745</b></p>	<p>PAGES: 1/19 SHEET SIZE: A3 JOB NO: 1504 DRAWN: DA DATE: 21/03/21</p>	<p>FLOOR AREAS: GROUND FLOOR: 246.99m2 DOUBLE GARAGE: 43.79m2 ALFRESCO: 29.35m2 PORCH: 16.55m2 TOTAL: 336.68m2</p>	<p>REV</p> <p>A B C D E</p>	<p>DETAILS:</p> <p>D.A ISSUE PLAN AMENDMENTS VARIATIONS PLAN AMENDMENTS BASIX</p>	<p>DATE</p> <p>21/02/21 26/03/21 08/04/21 12/04/21 22/04/21</p>
		<p>DRAWING TITLE: <b>TITLE PAGE</b></p>							

PROJECT INFORMATION		
DATE OF ISSUE	:	21/03/21
PROJECT NUMBER	:	1504
DESIGN NAME	:	MANDALAY 300 MOD
PROJECT NAME	:	ZINNIA MARIA ORINGO
INCLUSIONS	:	CLASSIC
LOCATION	:	GLENMORE PARK, 2745
STREET NUMBER	:	4, STEIN PLACE
ZONING RESIDENTIAL	:	R2 - LOW DENSITY
SITE AREA	:	864m2
LOT & DP NUMBER	:	Lot 4501, DP 819170
SURVEY BY	:	V.A.N CONSULTING SURVEYOR
BUILDING AREA	:	336.68m2
BUILDING SITE COVER	:	40%
REMAINING PREVIOUS AREA :		484m2
PROPOSED BAL RATING :		BAL 19
TOTAL ROOF AREA	:	383m2
ROOF AREA COLLECTED :		100%
RAINWATER TANK CAPACITY :		3000 LITRE
SLAB TYPE	:	H1
SITE CLASSIFICATION	:	H1
SOIL CLASSIFICATION	:	P
WIND CLASSIFICATION	:	N2
D.A. NUMBER	:	TBA

COLOUR SELECTIONS		
BRICKS	:	Austral wilderness - Blue gum
MORTAR	:	Natural
ROOFING	:	Metal - Shale Grey
CLADDING	:	Dulux Domino
RENDER	:	Dulux Domino
EAVES	:	Dulux Lexicon Quarter
TIMBER POSTS	:	Dulux Lexicon Quarter
WINDOWS	:	Pearl White
SLIDING DOORS	:	Pearl White
DOWNPIPES	:	Dulux Domino
GARAGE DOOR	:	Dover White
FRONT DOOR	:	American White Oak
LAUNDRY DOOR	:	Pearl White
GUTTERS	:	Shale Grey
FASCIAS	:	Thredbo White
METER BOX	:	Dulux Domino
WATER TANK	:	SHALE GREY
DRIVEWAY	:	BY CLIENT AFTER HANDOVER

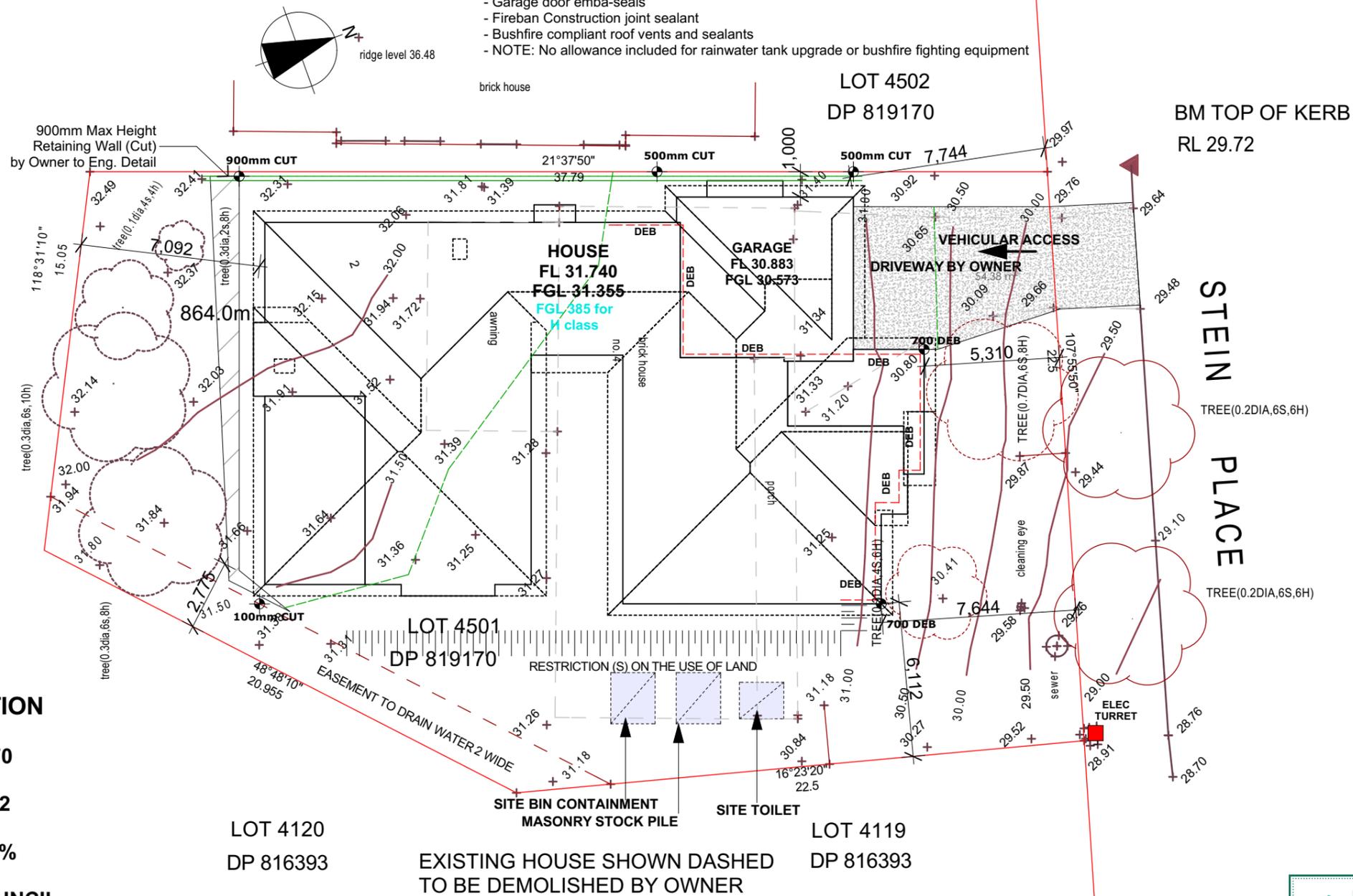


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<b>DRAWING TITLE:</b> PROJECT INFO & COLOURS																									

- BAL 19 - PROVISIONAL ALLOWANCE
- Provisional Allowance for BAL 19 bushfire requirements, including but not limited to:
    - Window and sliding door glazing upgrades
    - Fire resistant leaf guard to gutters & valleys
    - Spark arrestors to weep holes
    - Aluminium mesh flyscreens throughout
    - BAL 19 compliant Corinthian entry doors and Entry Jambs
    - Door seals and weather strips to external door/s
    - Garage door emba-seals
    - Fireban Construction joint sealant
    - Bushfire compliant roof vents and sealants
  - NOTE: No allowance included for rainwater tank upgrade or bushfire fighting equipment



**SITE INFORMATION**

Lot 4501, DP 819170

SITE AREA - 864m<sup>2</sup>

SITE COVER - 43.0%

PENRITH CITY COUNCIL

LOT 4120

DP 816393

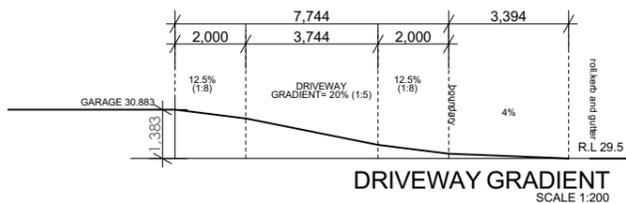
EXISTING HOUSE SHOWN DASHED  
TO BE DEMOLISHED BY OWNER

LOT 4119

DP 816393

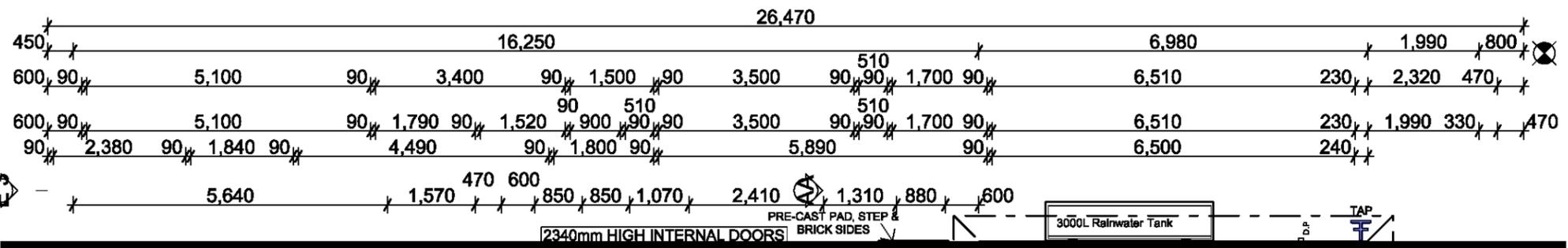
SITE PLAN  
1:200

1

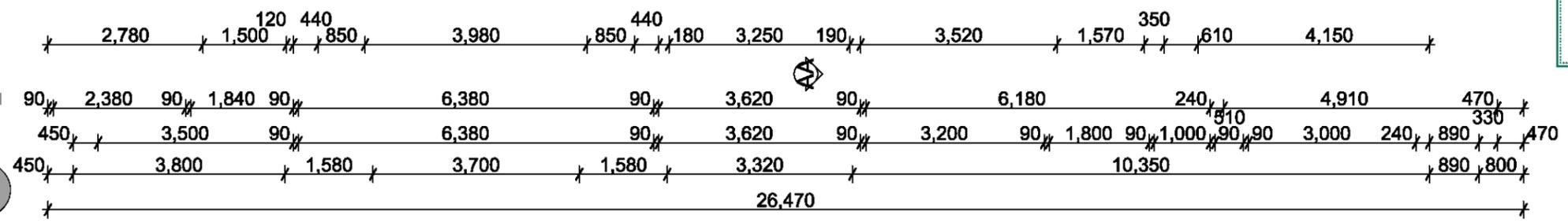
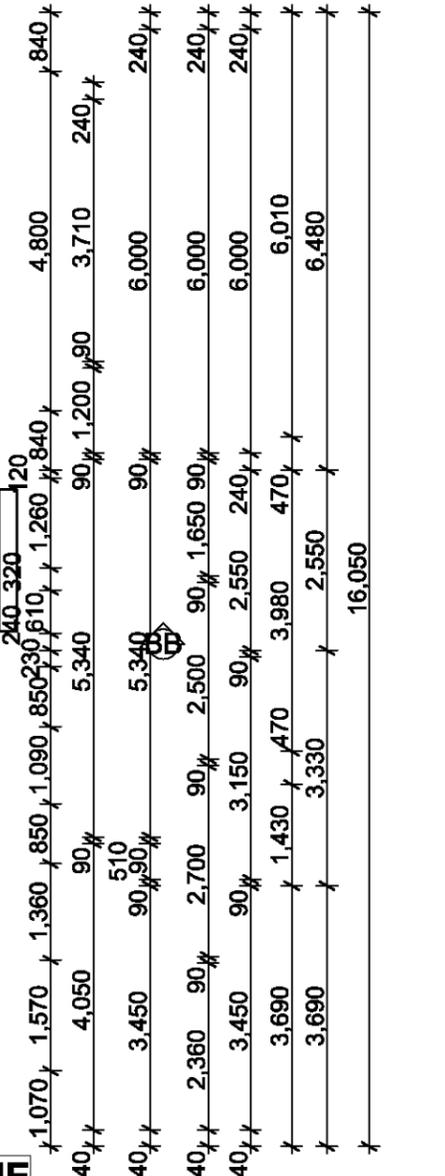
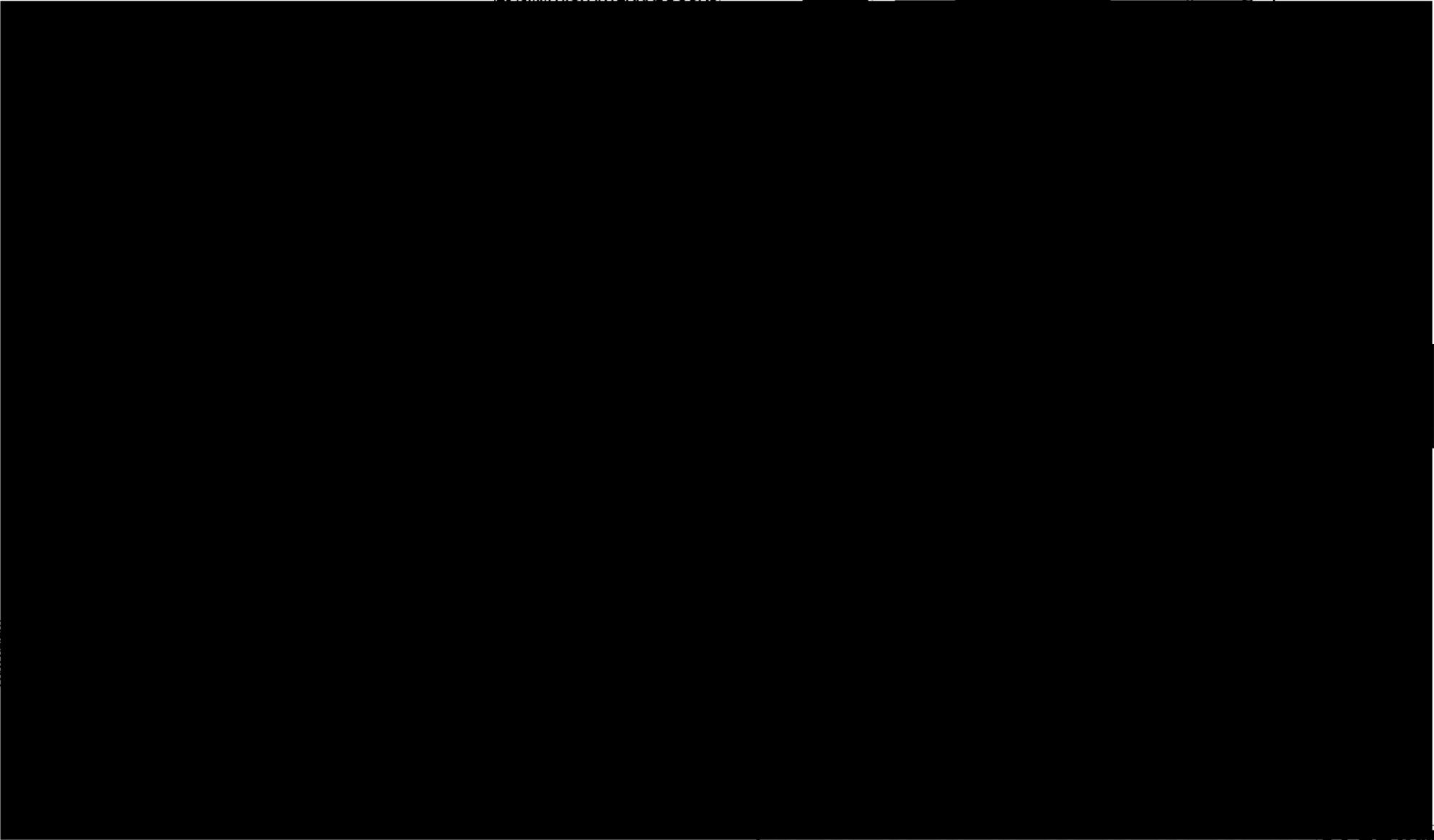
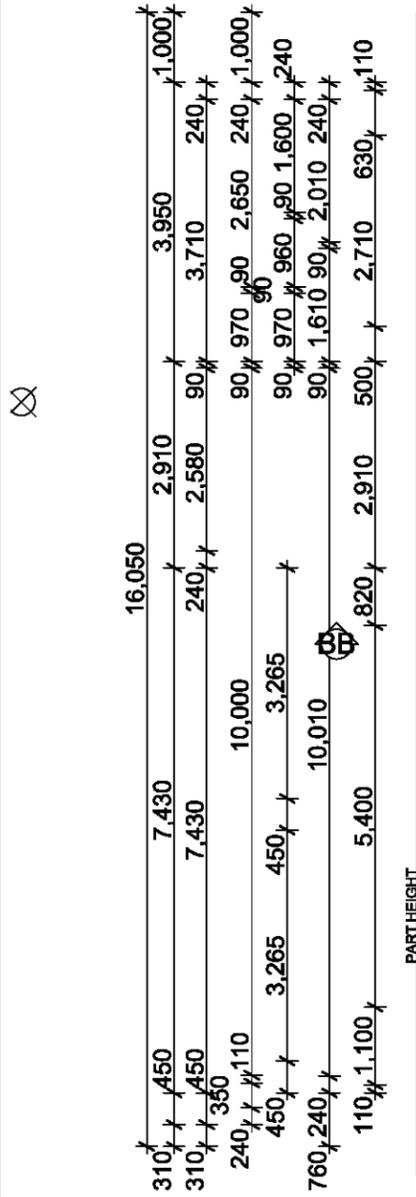


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LOCATION OF INTERCONNECTING SMOKE ALARMS  
 NOTE:  
 - R2 INSULATION TO EXTERNAL WALLS & INTERNAL GARAGE WALL  
 - OFF WHITE MORTAR  
 - ALL WINDOWS IN CLAD AREAS TO HAVE 70mm ARCHITRAVES  
 - 6mm EAVE SHEETS



GROUND FLOOR PLAN  
 1:100

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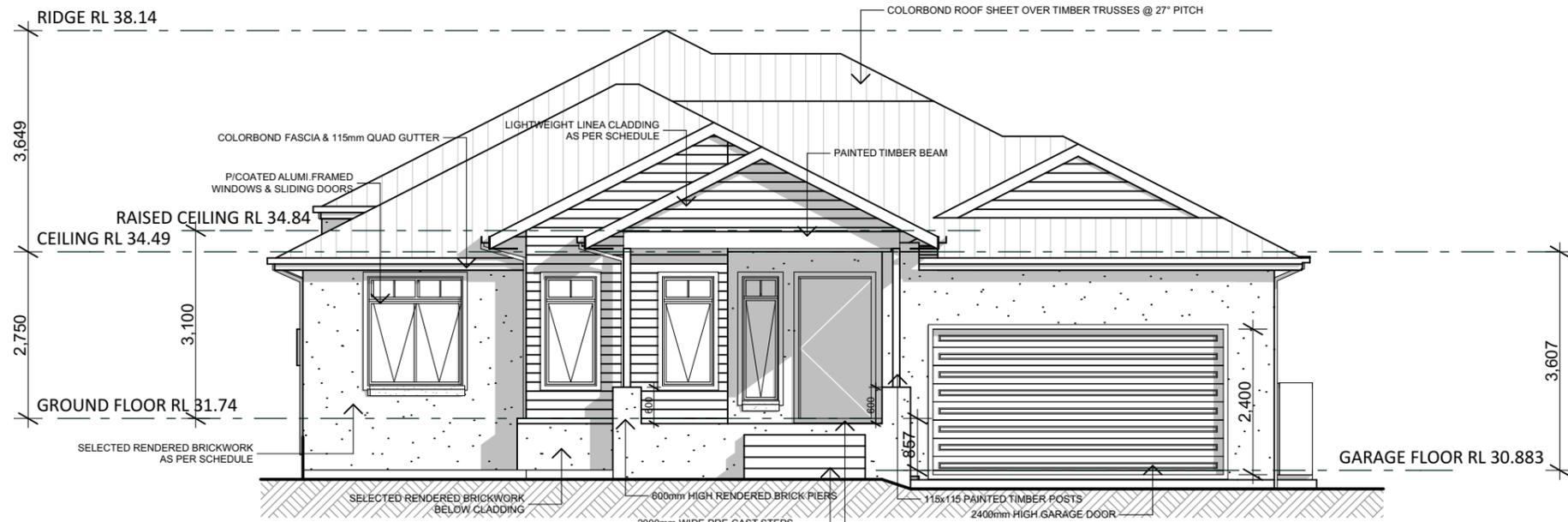
CLIENT:  
**ZINNIA MARIA ORINGO**  
 DRAWING TITLE:  
**GROUND FLOOR PLAN**

PROJECT: PROPOSED NEW RESIDENCE:  
**Lot 4501, DP 819170  
 4, STEIN PLACE  
 GLENMORE PARK, 2745**

PAGES: 4/19	SHEET SIZE: A3	FLOOR AREAS:
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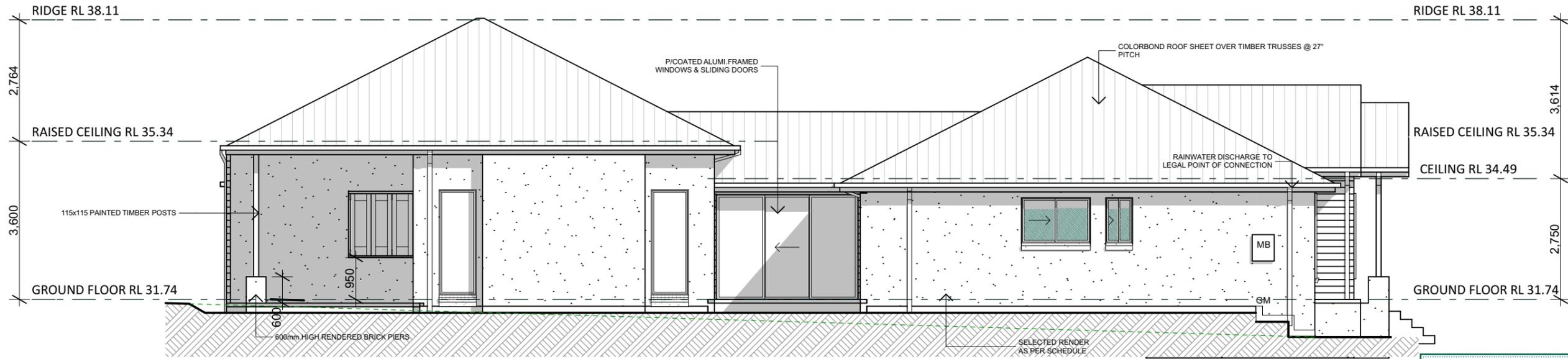
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1 Elevation  
1:100

2



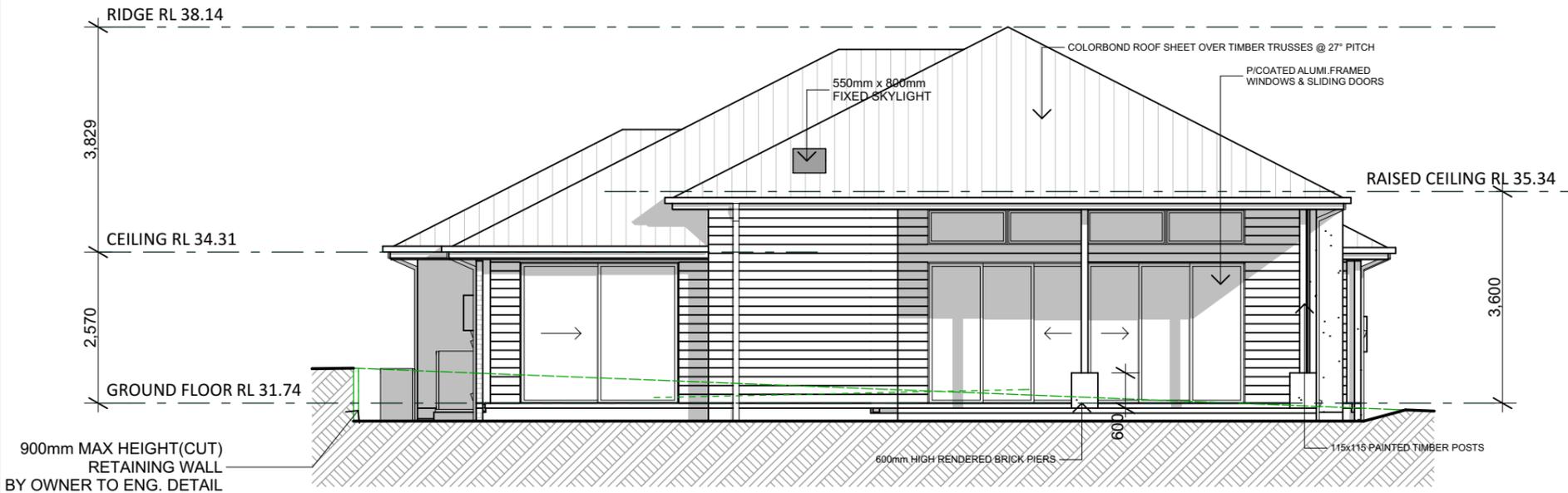
2 Elevation  
1:100

1

**COMPLIANCE ACHIEVED**  
 JOB 220543 ASSESSOR Claude-Francois Sookloll  
 SIGNED *Sookloll* DATE 22/04/2021

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<b>G.J. Gardner HOMES</b> G.J. GARDNER SYDNEY WEST A.B.N: 74 617 249 706 LICENCE: 309650C 8 / 37 York Road, Penrith NSW 2750 P: (02) 4732 4600 W: www.gjgardner.com.au		<b>MANDALAY 300 MOD</b> CLASSIC STREETSCAPE © COPYRIGHT EXCLUSIVE TO G.J.GARDNER HOMES		DANIEL ATTARD DESIGNS A.B.N: 54 079 006 387 M: 0400 375 014 E: danielattarddesigns@gmail.com		CLIENT: <b>ZINNIA MARIA ORINGO</b> DRAWING TITLE: <b>ELEVATIONS 1/2</b>		PROJECT: PROPOSED NEW RESIDENCE: <b>Lot 4501, DP 819170          4, STEIN PLACE          GLENMORE PARK, 2745</b>		PAGES: 5/19 SHEET SIZE: A3 JOB NO: 1504 DRAWN: DA DATE: 21/03/21		FLOOR AREAS: GROUND FLOOR: 246.99m <sup>2</sup> DOUBLE GARAGE: 43.79m <sup>2</sup> ALFRESCO: 29.35m <sup>2</sup> PORCH: 16.55m <sup>2</sup> TOTAL: 336.68m <sup>2</sup>		<table border="1"> <thead> <tr> <th>REV</th> <th>DETAILS:</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>D.A ISSUE</td> <td>21/02/21</td> </tr> <tr> <td>B</td> <td>PLAN AMENDMENTS</td> <td>26/03/21</td> </tr> <tr> <td>C</td> <td>VARIATIONS</td> <td>08/04/21</td> </tr> <tr> <td>D</td> <td>PLAN AMENDMENTS</td> <td>12/04/21</td> </tr> <tr> <td>E</td> <td>BASIX</td> <td>22/04/21</td> </tr> </tbody> </table>		REV	DETAILS:	DATE	A	D.A ISSUE	21/02/21	B	PLAN AMENDMENTS	26/03/21	C	VARIATIONS	08/04/21	D	PLAN AMENDMENTS	12/04/21	E	BASIX	22/04/21
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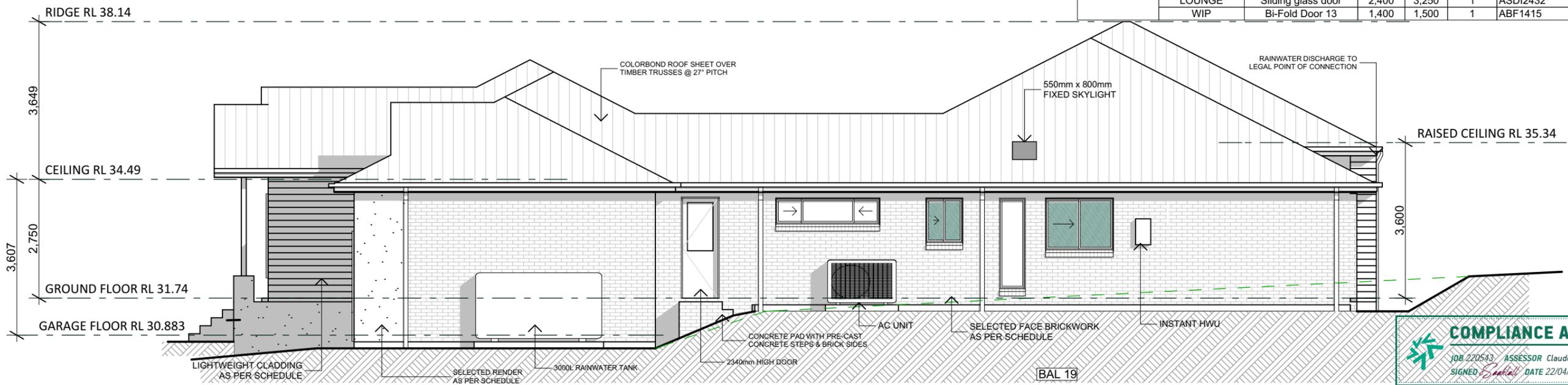
3 Elevation  
1:100

BAL 19

1

WINDOW SCHEDULE								
FLOOR	ROOM	WINDOW NAME	HEIGHT	WIDTH	QUANTITY	WINDOW CODE	NOTES	GLAZING
<b>Ground Floor</b>								
	ACTIVITY	Fixed glass panel	2,400	2,650	1	AST2027		Low-E glazing
	BATH	Sliding window	1,030	1,570	1	AS1016 (OBS)		
	BED 2	Awning window	1,800	850	2	AAT1809 (COL)		Low-E glazing
	BED 3	Awning window	1,800	1,570	1	AAT1816 (COL)		Low-E glazing
	ENS	Fixed glass panel	2,100	600	1	AF2106		Low-E glazing
	ENS	Sliding window	1,200	1,570	1	AS1216 (OBS)		
	FAMILY / DINING	Fixed glass panel	2,400	850	2	AF2409		Low-E glazing
	KITCHEN	Fixed glass panel	1,800	850	1	AF1809		Low-E glazing
	LOUNGE	Sliding window	600	2,410	1	AS0624		Low-E glazing
	PDR	Sliding window	1,030	850	1	AS1009 (OBS)		
	STUDY	Awning window	2,050	610	1	AAT2006		Low-E glazing
	WC	Sliding window	1,030	610	1	AS1006 (OBS)		
<b>Ceiling</b>								
		Fixed glass panel	600	1,350	8	AF0614		Low-E glazing

DOOR SCHEDULE								
FLOOR	Room	Door Type	Height	Width	Quantity	Door Code	NOTES	GLAZING
<b>Ground Floor</b>								
	ACTIVITY	Sliding glass door	2,400	2,170	1	ASDI2422		Low-E glazing
	BED 1	Sliding glass door	2,400	2,710	1	ASDI2427		Low-E glazing
	BED 4	Sliding glass door	2,400	2,170	1	ASDI2422		Low-E glazing
	FAMILY / DINING	Sliding Stacker Door 13	2,400	2,700	1	ASSD2454		Low-E glazing
	FAMILY / DINING	Sliding Stacker Door 13	2,400	2,700	1	ASSD2454		Low-E glazing
	FAMILY / DINING	Sliding Stacker Door 13	2,400	2,700	1	ASSD2454		Low-E glazing
	FAMILY / DINING	Sliding Stacker Door 13	2,400	2,700	1	ASSD2454		Low-E glazing
	LOUNGE	Sliding glass door	2,400	3,250	1	ASDI2432		Low-E glazing
	WIP	Bi-Fold Door 13	1,400	1,500	1	ABF1415		Low-E glazing



4 Elevation  
1:100

BAL 19

2

**COMPLIANCE ACHIEVED**  
 JOB 220543 ASSESSOR Claude-Francois Sookloll  
 SIGNED [Signature] DATE 22/04/2021

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.  
 OWNER SIGNED:..... DATE:.....  
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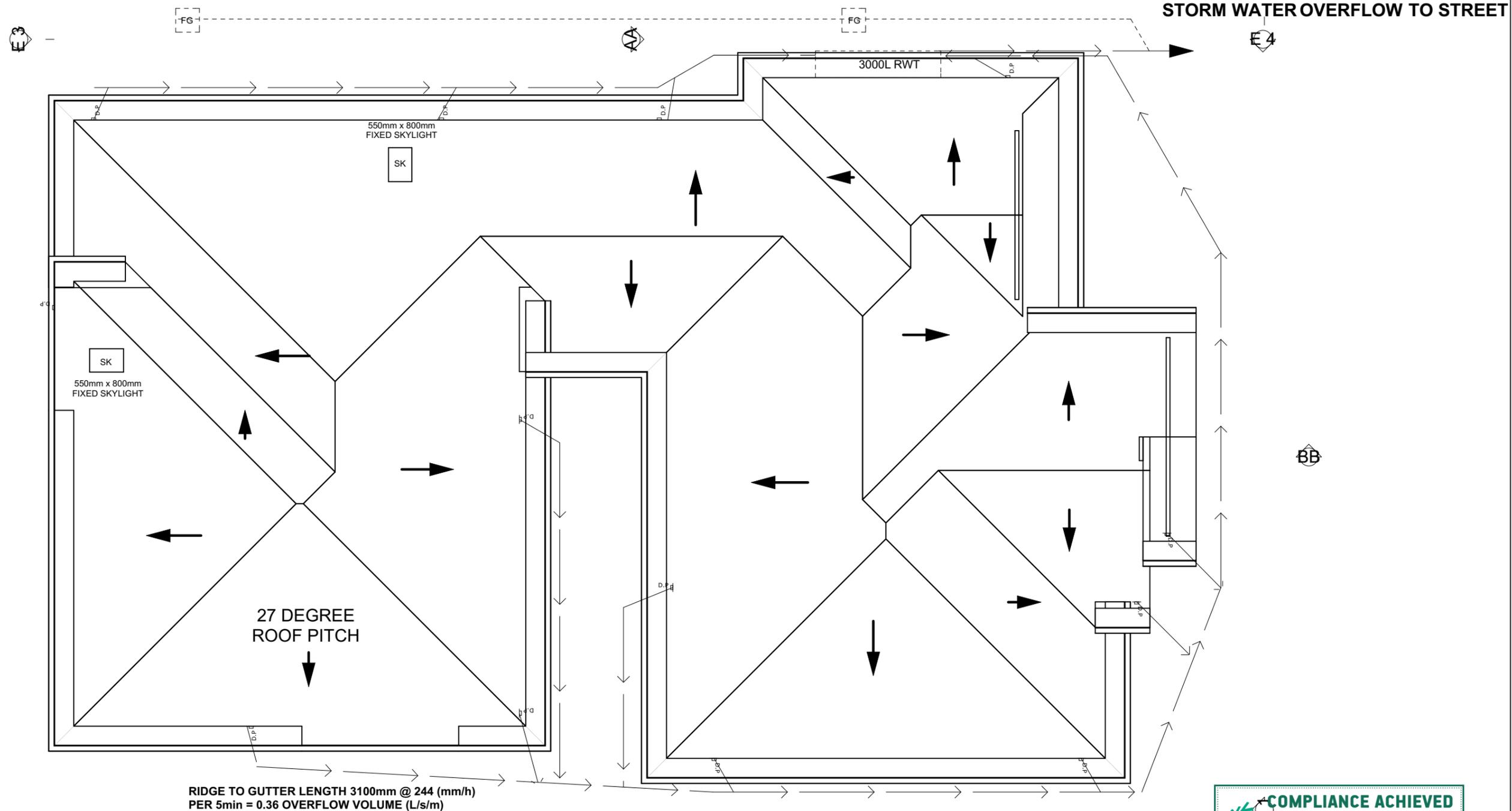
3D VIEWS - INDICATIVE ONLY. REFER TO COLOUR SELECTIONS SHEET FOR ACTUAL COLOURS & TEXTURES



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RIDGE TO GUTTER LENGTH 3100mm @ 244 (mm/h)  
PER 5min = 0.36 OVERFLOW VOLUME (L/s/m)

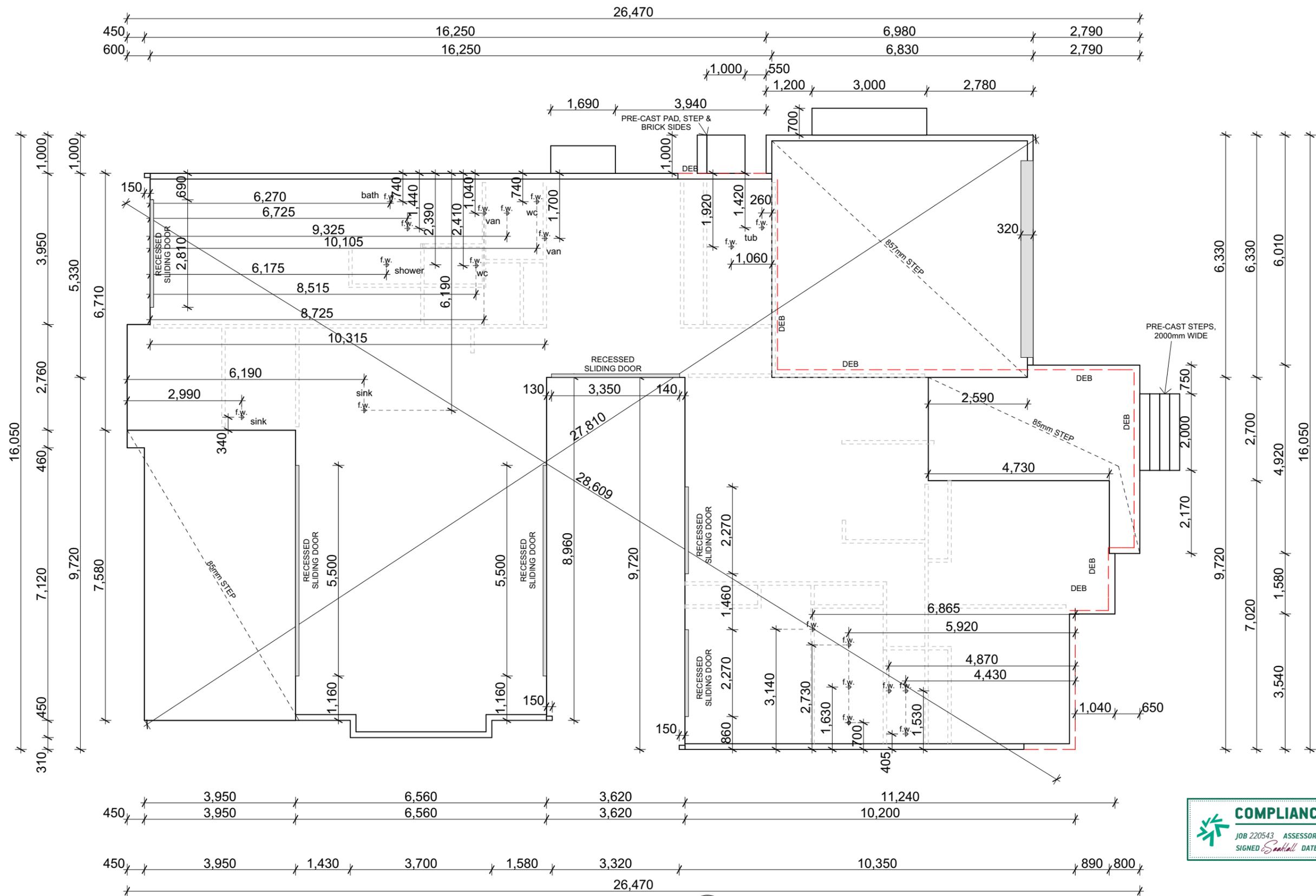
**ROOF SCHEDULE:**

- 224mm/hr (5min DURATION, 100 YEAR RECURRENCE INTERVAL)
- MAXIMUM OF 40m<sup>2</sup> OF ROOF COLLECTION PER DOWNPIPE
- 100mm DIA DOWNPIPE
- 150mm 'D' GUTTER
- GUTTER TO BE 'FRONT FACE WEIR' GUTTER AS PER NCC TABLE 3.5.2.4



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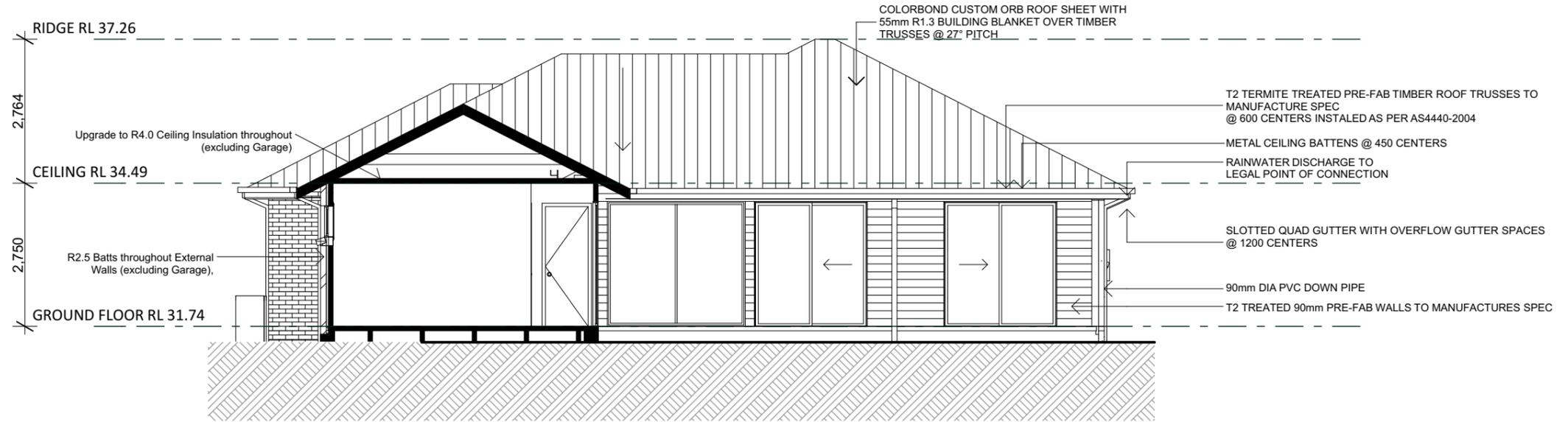
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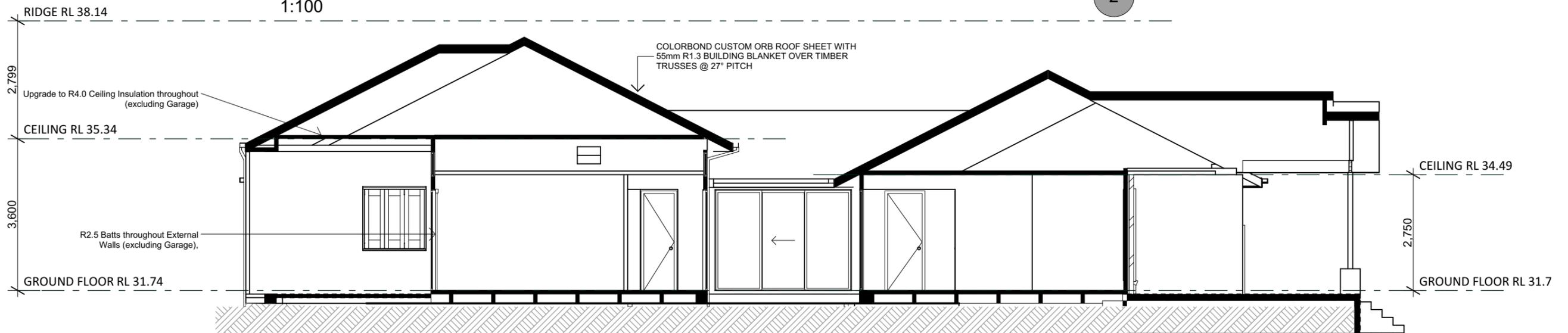
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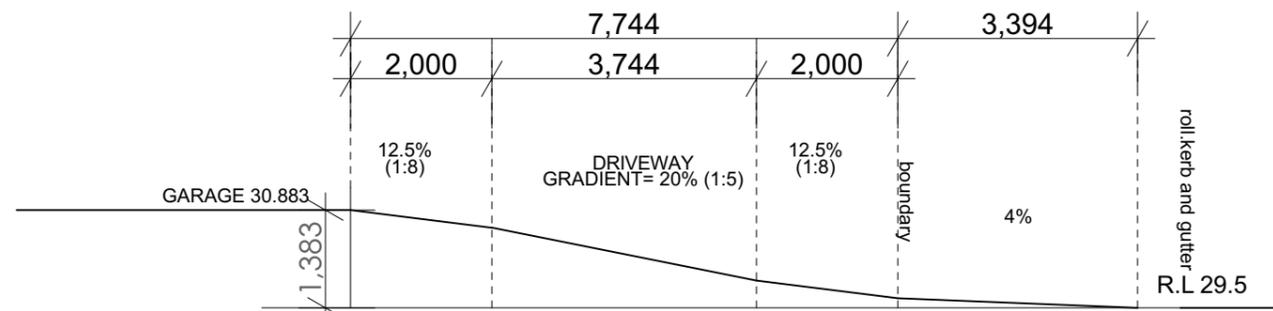
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Section A-A  
1:100



Section BB  
1:100



DRIVEWAY GRADIENT  
SCALE 1:200

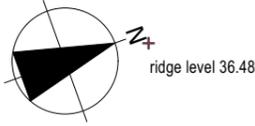


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- BAL 19 - PROVISIONAL ALLOWANCE**
- Provisional Allowance for BAL 19 bushfire requirements, including but not limited to:
    - Window and sliding door glazing upgrades
    - Fire resistant leaf guard to gutters & valleys
    - Spark arrestors to weep holes
    - Aluminium mesh flyscreens throughout
    - BAL 19 compliant Corinthian entry doors and Entry Jamb's
    - Door seals and weather strips to external door/s
    - Garage door emba-seals
    - Fireban Construction joint sealant
    - Bushfire compliant roof vents and sealants
  - NOTE: No allowance included for rainwater tank upgrade or bushfire fighting equipment



**SEDIMENT CONTROL NOTES:**

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL & TOP SOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL THE DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO STRIPPED AND STOCKPILED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AREA AREAS WHERE WATER MAY CONCENTRATE.
- STOCKPILE TOPSOIL SEPARATELY FROM SUBSOIL.
- STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

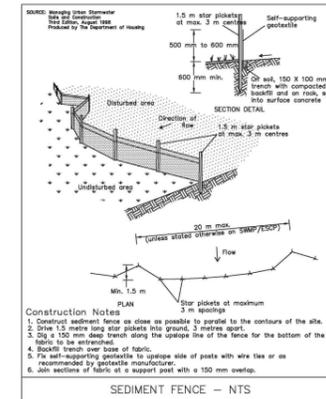
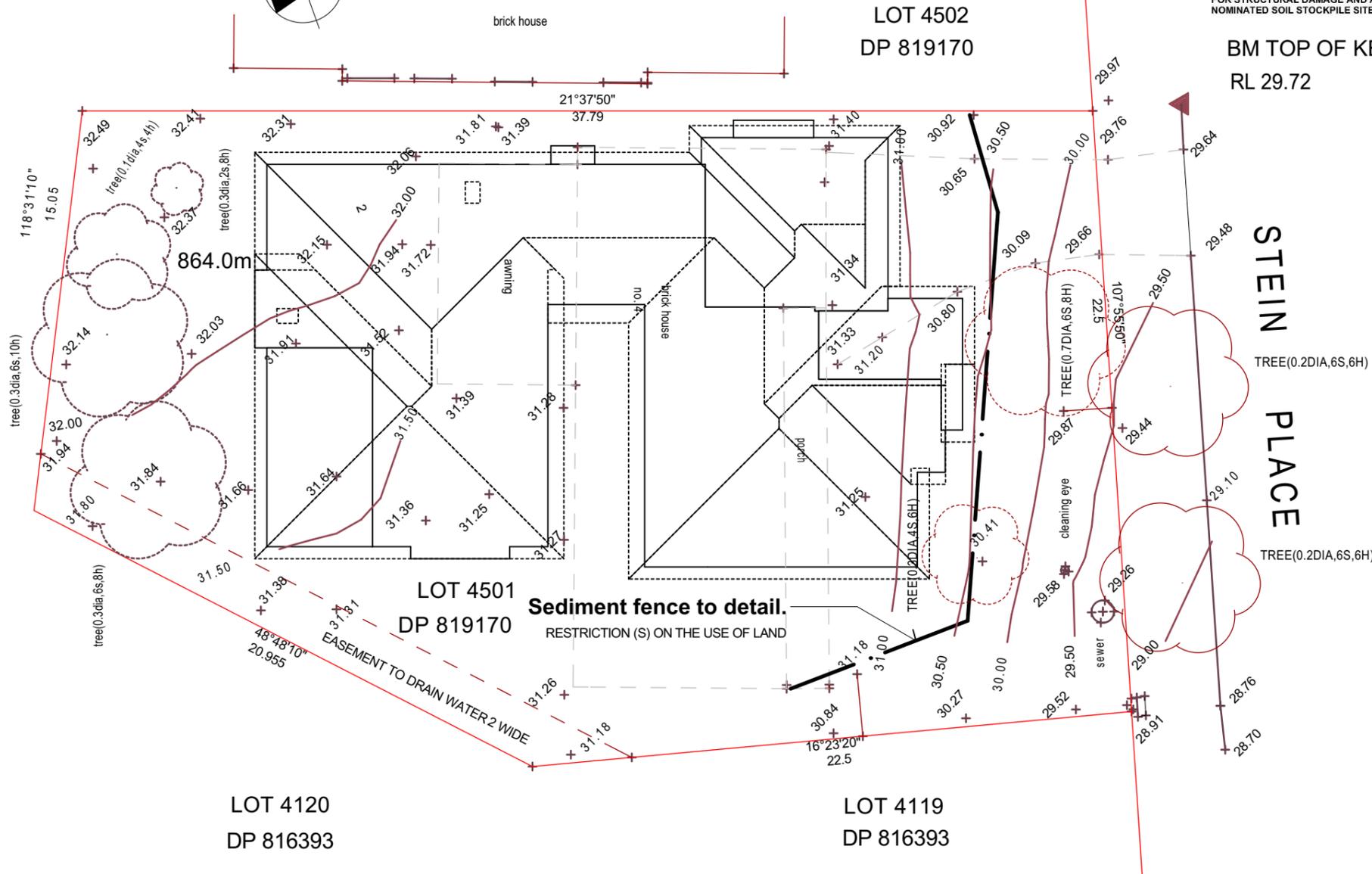
ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.

**BOUNDARY NOTES:**

- BOUNDARY INFORMATION SUPPLIED BY OWNER
- CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK.

**SETOUT NOTES:**

- BOUNDARY DIMENSIONS AND LOCATION OF DWELLING TO BE CONFIRMED AND SETOUT BY SURVEYOR PRIOR TO COMMENCEMENT OF WORK.
- BUILDER TO BE PRESENT TO CONFIRM PREFERENCE TO LOCATION.



- Construction Notes**
1. Construct sediment fence as close as possible to parallel to the contours of the site.
  2. Drive 1.5 metre long star pickets into ground, 3 metres apart.
  3. Dig a 150 mm deep trench along the upright line of the fence for the bottom of the fabric to be entrenched.
  4. Backfill trench over base of fabric.
  5. Fix self-supporting geotextile to upright side of pickets with wire ties or as recommended by geotextile manufacturer.
  6. Join sections of fabric at a support post with a 150 mm overlap.



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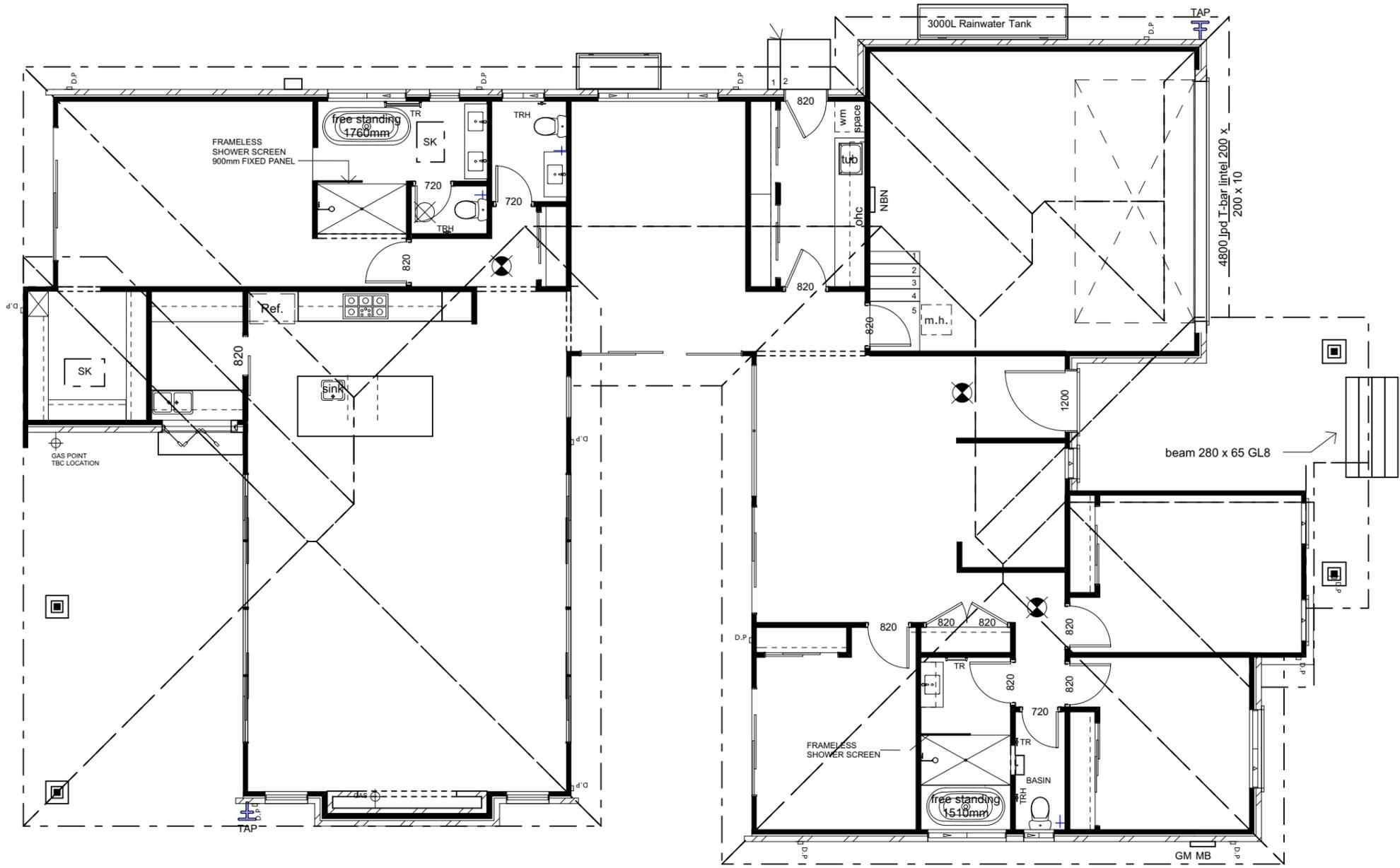
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 BUILDER SIGNED:.....DATE:.....

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<b>G.J. Gardner.</b> G.J. GARDNER SYDNEY WEST A.B.N: 74 617 249 706 LICENCE: 309650C 8 / 37 York Road, Penrith NSW 2750 P: (02) 4732 4600 W: www.gjgardner.com.au	<b>HOMES MANDALAY 300 MOD</b> CLASSIC STREETSCAPE © COPYRIGHT EXCLUSIVE TO G.J.GARDNER HOMES	DANIEL ATTARD DESIGNS A.B.N: 54 079 006 387 M: 0400 375 014 E: danielattarddesigns@gmail.com	CLIENT: <b>ZINNIA MARIA ORINGO</b>	PROJECT: PROPOSED NEW RESIDENCE: <b>Lot 4501, DP 819170          4, STEIN PLACE          GLENMORE PARK, 2745</b>	PAGES: 11/19 SHEET SIZE: A3 JOB NO: 1504 DRAWN: DA DATE: 21/03/21	FLOOR AREAS: GROUND FLOOR: 246.99m2 DOUBLE GARAGE: 43.79m2 ALFRESCO: 29.35m2 PORCH: 16.55m2 TOTAL: 336.68m2	REV A B C D E	DETAILS: D.A ISSUE PLAN AMENDMENTS VARIATIONS PLAN AMENDMENTS BASIX	DATE 21/02/21 26/03/21 08/04/21 12/04/21 22/04/21
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**ELECTRICAL LEGEND**

-  DOUBLE GPO -
-  WP WATER PROOF DOUBLE GPO -
-  (P) CEILING MOUNTED PENDANT LIGHT -
-  ○ CEILING MOUNTED BATTEN LIGHT -
-  ● SINGLE GPO -
-  ● CEILING POWER POINT -
-  WP ● WATER PROOF SINGLE GPO -
-  ● LED LIGHTS -
-  ● LIGHT IN ROOF -
-  ⊗ EXTRACTION FANS -
-  ≡ DOUBLE TUBE LED LIGHT -
-  ⊗ HARD WIRED SMOKE ALARM -
-  ⊕ TELEVISION POINT -
-  ▼ TELEPHONE POINT -
-  ▼ DATA -
-  ●● HEAT/LIGHT/FAN -
-  ○ EXTERNAL LIGHT PROVISION LED -
-  ⊕ SPOT LIGHT -
-  ⊗ CEILING FAN WITH LIGHT -
-  ⊗ CEILING FAN WITHOUT LIGHT



**GENERAL NOTES:**  
 METERBOX LOCATION TO BE CONFIRMED. THE POSITIONING OF ELECTRICAL OUTLETS & LIGHT SWITCHES, AS SHOWN, ARE INDICATIVE. LIMITATIONS IE. STUD POSITIONS.  
 ALL ELECTRICAL OUTLETS & LIGHT SWITCH POSITIONS SHOULD BE CONFIRMED BY CLIENT. ALL WIRING & ELECTRICAL WORK IS TO BE IN ACCORDANCE WITH AS 3000  
 AS3786-2014 SMOKE ALARMS TO BE HARWIRED & INTERLINKED PROVIDE A POWER POINT & LIGHT SWITCH FOR ROOF CAVITY LOCATED AT THE MANHOLE LOCATION.  
 THE RANGEHOOD HAS AN AIRFLOW OF 350M3/H TO COMPLY WITH THE BCA  
 THE EXTERNAL WALLS ARE TO HAVE VAPOUR PERMEABILITY ENVIROSEAL PROCTOR WRAP TO COMPLY WITH AS/NZS4200.1

**ELECTRICAL PLAN**  
 1:100



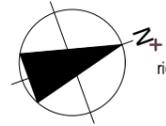
1

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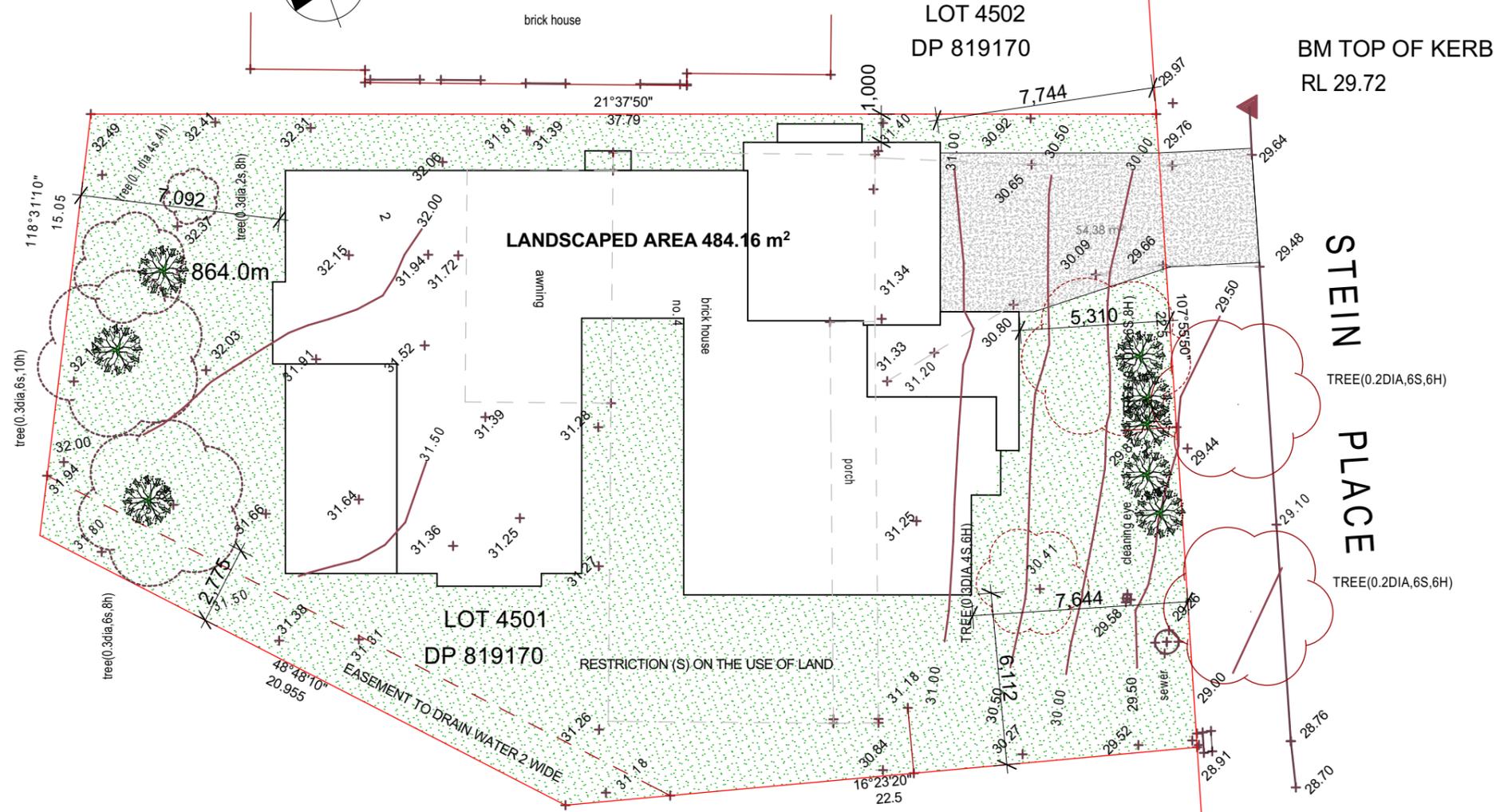
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		DRAWING TITLE: <b>ELECTRICAL PLAN</b>	DATE: 21/03/21	TOTAL: 336.68m2	DATE: 22/04/21		

- Spark arrestors to weep holes
- Aluminium mesh flyscreens throughout
- BAL 19 compliant Corinthian entry doors and Entry Jambes
- Door seals and weather strips to external door/s
- Garage door emba-seals
- Fireban Construction joint sealant
- Bushfire compliant roof vents and sealants
- NOTE: No allowance included for rainwater tank upgrade or bushfire fighting equipment

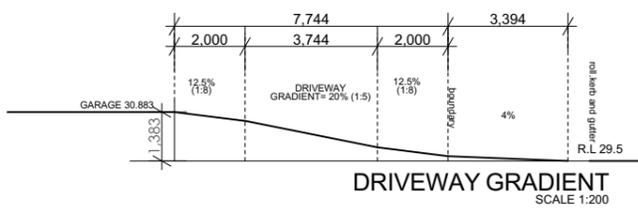


ridge level 36.48



LOT 4120  
DP 816393

LOT 4119  
DP 816393



Landscape Concept Plan  
1:200

1

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**STANDARD BATHROOM LAYOUT NOTES:**

1. THE BATH HOB LENGTH WILL BE 1900mm, MINIMUM 1850mm, OR TO SUIT OVERALL BATHROOM WIDTH.
2. THE BATH HOB WILL ALWAYS BE THE FULL LENGTH BETWEEN THE SIDE WALLS OF BATHROOM.
3. THE BATH HOB DEPTH WILL BE 920mm x 570mm HIGH FROM TOP OF SLAB/FLOOR.
4. WHEN THE BATH HOB IS OPEN ENDED, THE BATH HOB WILL BE 1900mm LONG, UNLESS OTHERWISE NOTED.
5. THE BATH SPOUT WILL BE CENTRED TO BATH ON LONG END
6. THE BATH MIXER WILL BE AT HEAD END ON WALL (NOT HOB MOUNTED).
7. THE BATH WASTE WILL BE AT VANITY END OF HOB.
8. FREE STANDING BATHS WILL HAVE A WALL MOUNTED SPOUT & MIXER ON THE LONG SIDE, CENTRED TO THE BATH, UNLESS OTHERWISE NOTED.
9. THERE WILL BE GAP BETWEEN THE SIDE WALL & THE VANITY OF 100mm, MINIMUM 50mm.
10. THE SHOWER ROSE WILL NOT FACE SHOWER SCREEN OPENING
11. THE SHOWER ROSE WILL BE CENTRED TO THE OVERALL SHOWER WIDTH ON THE WALL IT IS MOUNTED.
12. THE SHOWER MIXER WILL BE CENTRED BETWEEN THE SHOWER ROSE AND THE WALL/SCREEN.
13. WHEN THE SHOWER IS 1200 LONG OR MORE, AND WHERE PRACTICAL, THE SHOWER SCREEN DOOR WILL BE HINGED FURTHEST AWAY FROM THE SHOWER ROSE & MIXER.
14. FOR SHOWERS LESS THAN 1200 LONG, THE SHOWER SCREEN DOOR WILL BE HINGED NEAREST THE SHOWER ROSE & MIXER.
15. IN POWDER ROOMS, A TOWEL RING WILL BE SHOWN ADJACENT TO THE BASIN/VANITY WHERE A TOWEL RAIL IS NOT PROVIDED.
16. THE FRONT EXTERNAL TAP WILL BE 'MAINS' SUPPLIED.
17. THE REAR EXTERNAL TAP WILL BE 'TANK WATER' SUPPLIED.
18. WHEN INCLUDED, AN INTERNAL GAS BAYONET WILL BE SHOWN WHERE DEEMED TO BE MOST PRACTICAL FOR THE ROOM LAYOUT.
19. WHEN INCLUDED, AN EXTERNAL GAS BAYONET FOR THE BBQ WILL BE SHOWN IN THE ALFRESCO AREA.
20. WHEN INCLUDED, A FRIDGE COLD WATER POINT WILL BE NOTED AT THE REAR OF THE FRIDGE RECESS.
21. WHERE NOTED ON THE PLANS, HOT & COLD WATER POSITIONS WILL BE CAPPED OFF IN WALL BEHIND GYPROCK @ 300mm ABOVE FLOOR LEVEL.
22. MIN. 750mm SPACE/OPENING FOR WASHING MACHINE

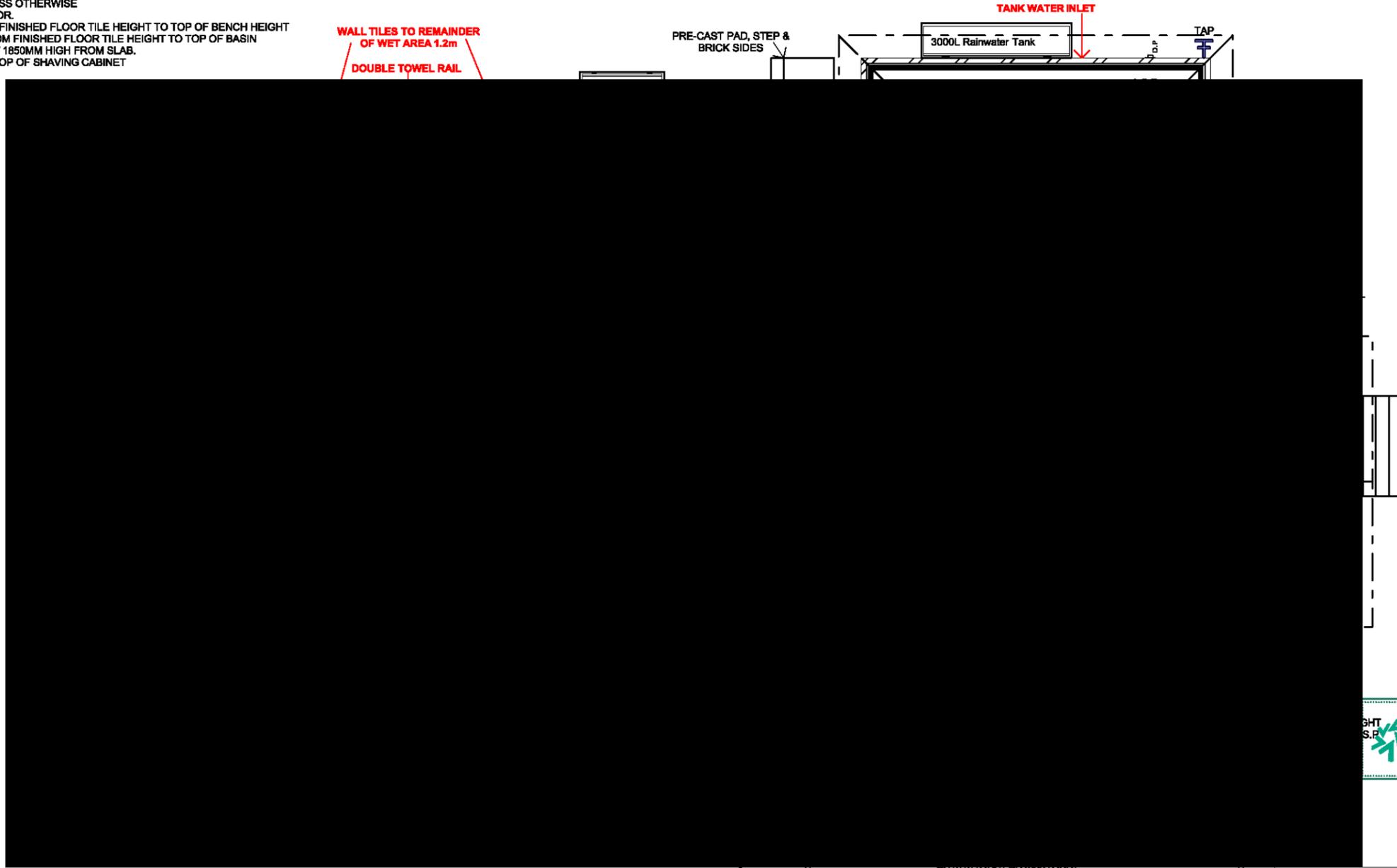
**STANDARD FIXING HEIGHTS**

- TOWEL RAILS & TOWEL RINGS WILL BE MOUNTED 1150mm OFF FLOOR.
- BATH SPOUT WILL BE MOUNTED 750mm OFF FLOOR, UNLESS OTHERWISE
- TOILET ROLL HOLDER WILL BE MOUNTED 700mm OFF FLOOR.
- ALL STANDARD VANITIES ARE TO BE SET TO 850MM FROM FINISHED FLOOR TILE HEIGHT TO TOP OF BENCH HEIGHT
- ALL ABOVE MOUNT VANITIES ARE TO BE SET AT 880MM FROM FINISHED FLOOR TILE HEIGHT TO TOP OF BASIN
- ALL TWIN SHOWER RAILS ARE TO HAVE WATER OUTLET AT 1850MM HIGH FROM SLAB.
- SHAVING CABINETS TO BE SET AT 200mm FROM FFL TO TOP OF SHAVING CABINET

**LOCATION OF INTERCONNECTING SMOKE ALARMS**  
 NOTE:  
 - R2 INSULATION TO EXTERNAL WALLS & INTERNAL GARAGE WALLS  
 - OFF WHITE MORTAR  
 - ALL WINDOWS IN CLAD AREAS TO HAVE 70mm ARCHITRAVES  
 - 6mm EAVE SHEETS

**LEGEND:**

- SHR - SHOWER ROSE
- MXR - MIXER TAP
- TR1 - TOWEL RAIL
- TR2 - TOWEL RING
- TRH - TOILET RING HOLDER
- WC - TOILET
- FW - FLOOR WASTE
- WM - WASHING MACHINE
- ⊗ - EXHAUST FAN



**GAS, TAP & BATHROOM LAYOUT**

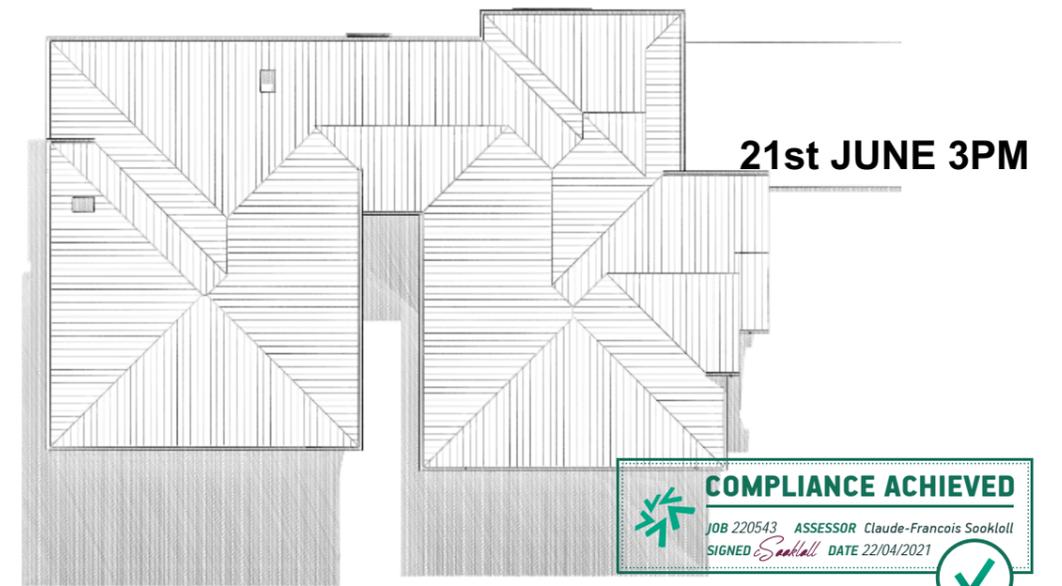
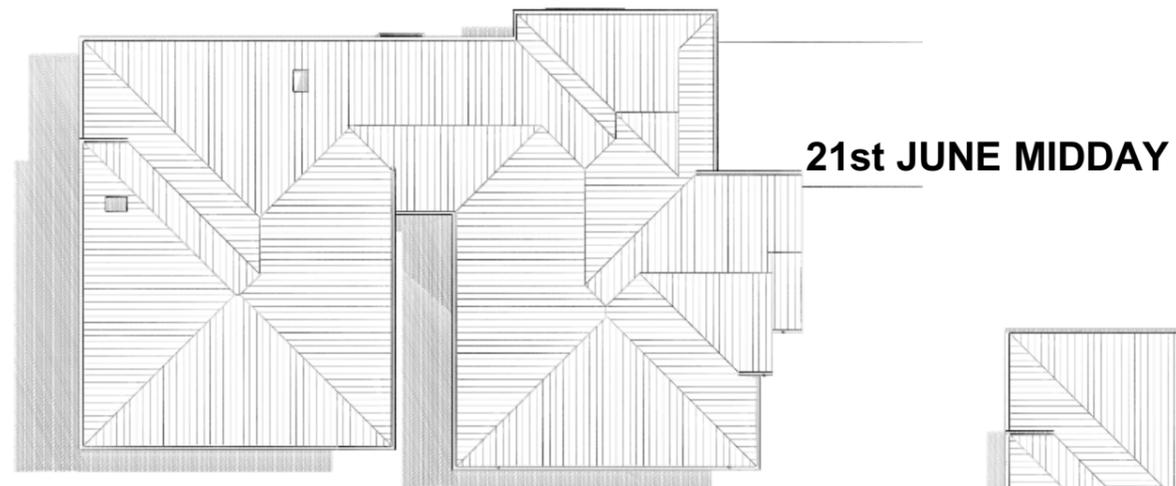
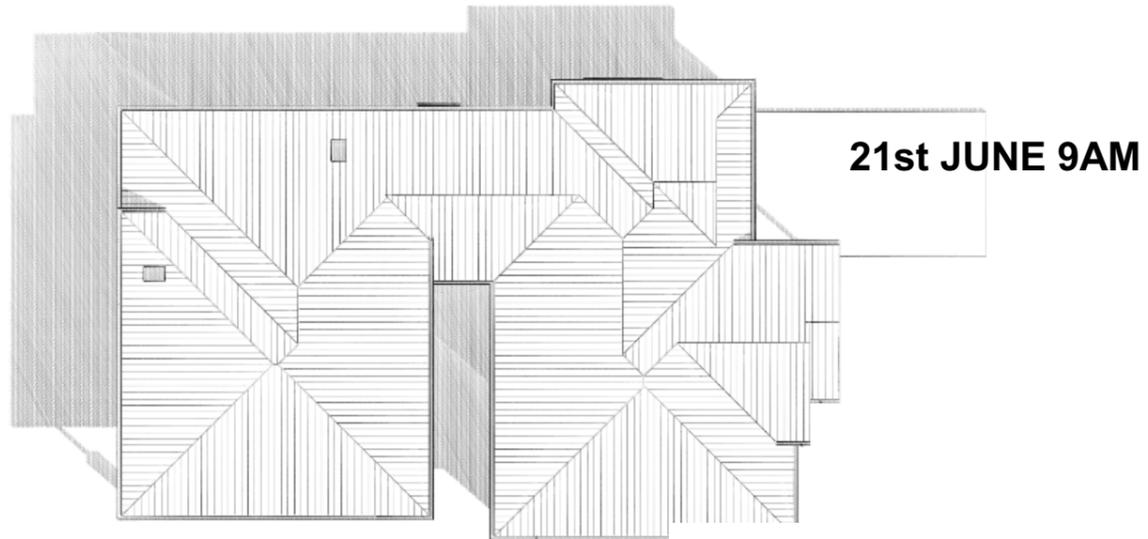
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**T2 FRAME**

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		DRAWING TITLE: <b>GAS, TAP &amp; BATHROOM LAYOUT</b>							



**COMPLIANCE ACHIEVED**  
 JOB 220543 ASSESSOR Claude-Francois Sookloll  
 SIGNED *Sookloll* DATE 22/04/2021



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 M: 0400 375 014  
 E: danielattarddesigns@gmail.com

CLIENT:  
**ZINNIA MARIA ORINGO**  
 DRAWING TITLE:  
**Sun Shading Diagram**

PROJECT: PROPOSED NEW RESIDENCE:  
**Lot 4501, DP 819170  
 4, STEIN PLACE  
 GLENMORE PARK, 2745**

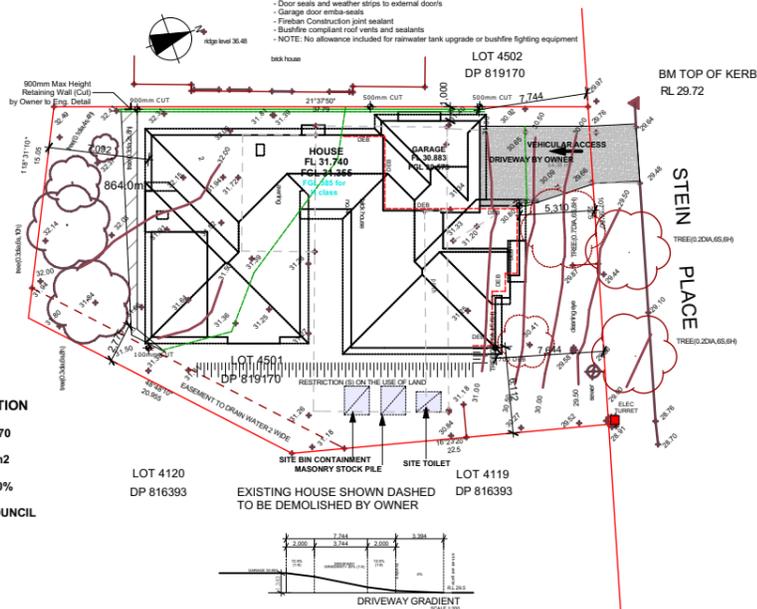
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- Window and sliding door glazing upgrades
- Fire resistant leaf guard to gutters & valleys
- Spark arrestors to sweep hoods
- Aluminium mesh flyscreens throughout
- BAL 19 compliant Corian entry doors and Entry Jambas
- Door seals and weather strips to external doors
- Garage door ember seals
- Fireflex Construction joint sealant
- Bushfire compliant roof vents and sealants
- NOTE: No allowance included for rainwater tank upgrade or bushfire fighting equipment

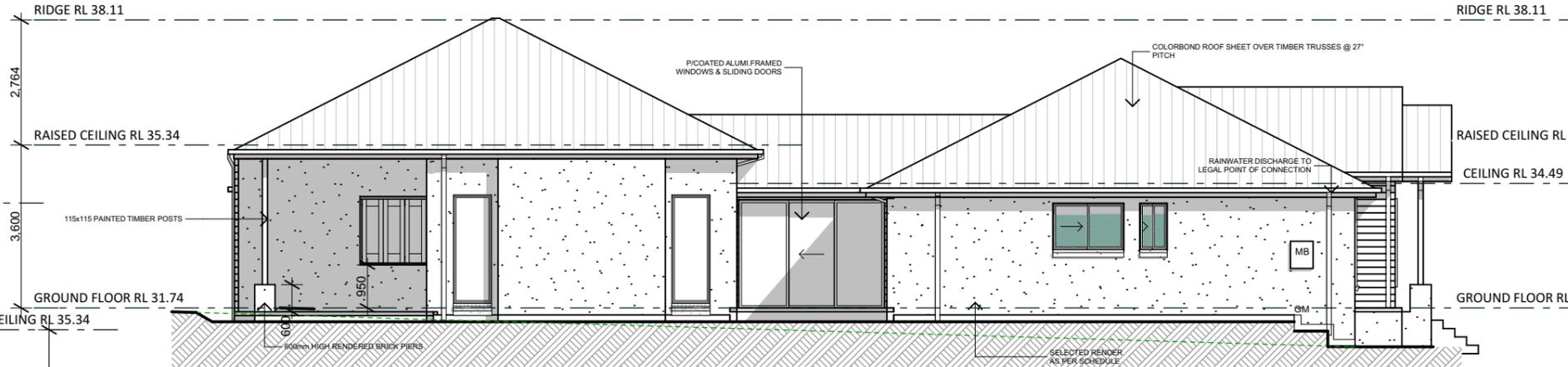
**TE INFORMATION**  
 t 4501, DP 819170  
 TE AREA - 864m<sup>2</sup>  
 TE COVER - 43.0%  
 :NRITH CITY COUNCIL



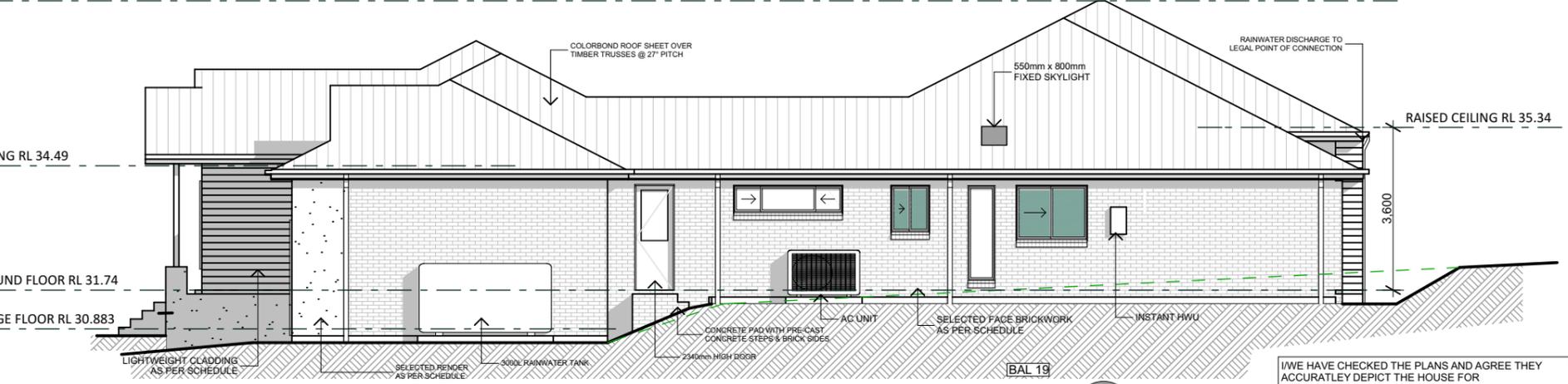
**SITE PLAN**  
1:500



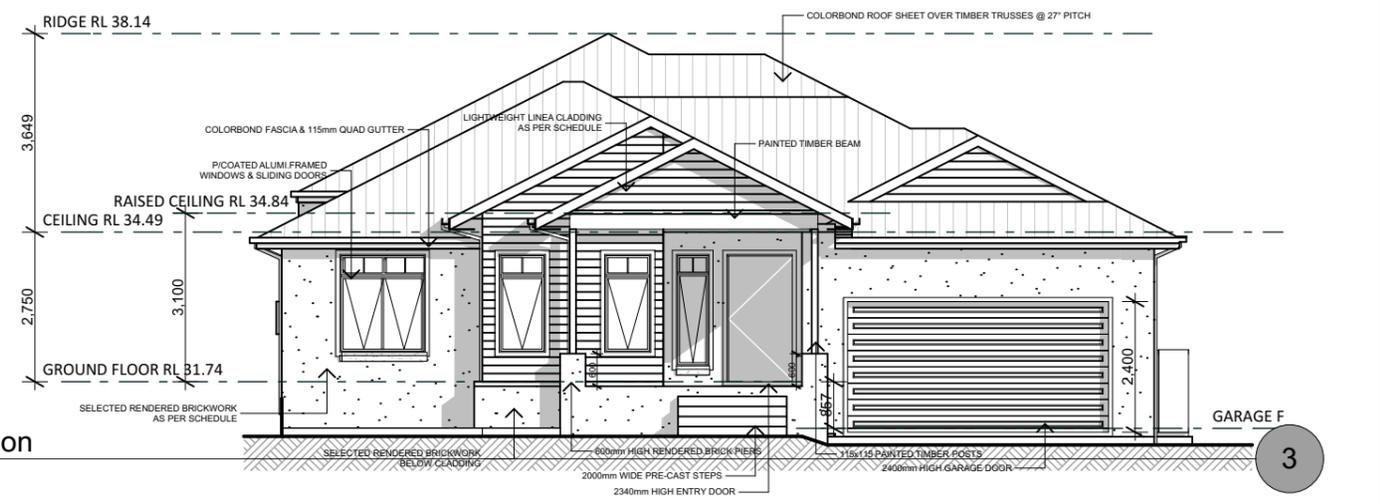
**3 Elevation**  
1:130



**2 Elevation**  
1:130



**4 Elevation**  
1:130



**1 Elevation**  
1:130



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DEMOLITION PHASE - IF APPLICABLE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Green waste	5	Chip and compost for landscaping and new gardens	-	Nil to landfill
Bricks	80	Clean good bricks and use for internal walls	Unbroken bricks cleaned and sold offsite; used other site; Waste Management centre for recycling	Nil to landfill
Concrete	20		Waste Management centre for recycling	Nil to landfill
Timber	10	Used for formwork and studwork, site shed or temporary fence	Long lengths of good quality timber to Timber Recycling Company. Lengths less than 1 meter to Waste Management centre for recycling	Nil to landfill
Plasterboard	10	Crush and combine with soil and fertilizer for landscaping and new gardens	Waste Management centre	Taken to landfill
Roof tiles	9		Good tiles to Waste Management centre for recycling; sell to second hand building supplies	Nil to landfill
Metals	2		Waste Management centre for recycling	Nil to landfill
Asbestos	5		Cart to licensed asbestos tip	Taken to landfill

CONSTRUCTION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Excavation Material	10	Re-use for backfill under slab. Remove top soil and stockpile for use in landscaping	-	
Green waste	NIL			
Bricks	1		Unbroken bricks cleaned returned to supplier. Broken bricks to Waste Management centre for recycling.	Nil to landfill
Concrete	2		Excess concrete returned to supplier	Nil to landfill
Timber	2		Excess timber returned to supplier	Nil to landfill
Plasterboard	0.5	Crush and combine with soil and fertilizer for landscaping and new gardens	Excess plasterboard returned to supplier	Nil to landfill
Roof tiles	0.2		Good tiles returned to supplier. Broken tiles to Waste Management centre for recycling	Nil to landfill
Metals	0.1		Waste Management centre for recycling	Nil to landfill

USE OF PREMISES			
Type of Waste to be Generated	Expected volume per week (m3)	On-Site Specify proposed reuse or on-site recycling method	Destination
Food, general domestic waste	0.4	Bins located on site	Disposal via council rubbish removal
Paper, Cardboard	0.1	Bins located on site	Disposal via council recycling collection
Glass, Bottles	0.1	Bins located on site	Disposal via council recycling collection

**WASTE MANAGEMENT**

1:1



I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED  
 OWNER SIGNED:.....DATE:.....  
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 BUILDER SIGNED:.....DATE:.....

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<b>G.J. Gardner.</b> HOMES G.J. GARDNER SYDNEY WEST A.B.N: 74 617 249 706 LICENCE: 309650C 8 / 37 York Road, Penrith NSW 2750 P: (02) 4732 4600 W: www.gjgardner.com.au	<b>MANDALAY 300 MOD</b> CLASSIC STREETScape © COPYRIGHT EXCLUSIVE TO G.J.GARDNER HOMES	DANIEL ATTARD DESIGNS A.B.N: 54 079 006 387 M: 0400 375 014 E: danielattarddesigns@gmail.com	CLIENT: <b>ZINNIA MARIA ORINGO</b>	PROJECT: PROPOSED NEW RESIDENCE: <b>Lot 4501, DP 819170          4, STEIN PLACE          GLENMORE PARK, 2745</b>	PAGES: 17/19 SHEET SIZE: A3 JOB NO: 1504 DRAWN: DA DATE: 21/03/21	FLOOR AREAS: GROUND FLOOR: 246.99m2 DOUBLE GARAGE: 43.79m2 ALFRESCO: 29.35m2 PORCH: 16.55m2 TOTAL: 336.68m2	REV   DETAILS:   DATE A   D.A ISSUE   21/02/21 B   PLAN AMENDMENTS   26/03/21 C   VARIATIONS   08/04/21 D   PLAN AMENDMENTS   12/04/21 E   BASIX   22/04/21
		DRAWING TITLE: <b>WASTE MANAGEMENT PLAN</b>					

# BASIX<sup>®</sup>Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Single Dwelling

Certificate number: 1194801S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Thursday, 22 April 2021  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	220543	
Street address	4 Stein Place GLENMORE PARK 2745	
Local Government Area	Penrith City Council	
Plan type and plan number	deposited 819170	
Lot no.	4501	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 50	Target 50

Certificate Prepared by	
Name / Company Name:	Energy Advance
ABN (if applicable):	17609332014

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 383 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

## Description of project

Project address		Assessor details and thermal loads	
Project name	220543	Assessor number	n/a
Street address	4 Stein Place GLENMORE PARK 2745	Certificate number	n/a
Local Government Area	Penrith City Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 819170	Area adjusted cooling load (MJ/m <sup>2</sup> .year)	n/a
Lot no.	4501	Area adjusted heating load (MJ/m <sup>2</sup> .year)	n/a
Section no.	-	Ceiling fan in at least one bedroom	n/a
<b>Project type</b>		Ceiling fan in at least one living room or other conditioned area	n/a
Project type	separate dwelling house	<b>Project score</b>	
No. of bedrooms	4	Water	✓ 40 Target 40
<b>Site details</b>		Thermal Comfort	✓ Pass Target Pass
Site area (m <sup>2</sup> )	864	Energy	✓ 50 Target 50
Roof area (m <sup>2</sup> )	383		
Conditioned floor area (m <sup>2</sup> )	227.19		
Unconditioned floor area (m <sup>2</sup> )	19.8		
Total area of garden and lawn (m <sup>2</sup> )	450		

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check																		
<b>General features</b>																					
The dwelling must not have more than 2 storeys.	✓	✓	✓																		
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓																		
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓																		
The dwelling must not contain third level habitable attic room.	✓	✓	✓																		
<b>Floor, walls and ceiling/roof</b>																					
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓																		
<table border="1"> <thead> <tr> <th>Construction</th> <th>Additional insulation required (R-Value)</th> <th>Other specifications</th> </tr> </thead> <tbody> <tr> <td>floor - concrete slab on ground</td> <td>nil</td> <td></td> </tr> <tr> <td>external wall - brick veneer</td> <td>2.06 (or 2.60 including construction)</td> <td></td> </tr> <tr> <td>external wall - framed (weatherboard, fibre cement, metal clad)</td> <td>2.20 (or 2.60 including construction)</td> <td></td> </tr> <tr> <td>internal wall shared with garage - plasterboard</td> <td>nil</td> <td></td> </tr> <tr> <td>ceiling and roof - flat ceiling / pitched roof</td> <td>ceiling: 3.95 (up), roof: foil backed blanket (55 mm)</td> <td>unventilated; medium (solar absorptance 0.475-0.70)</td> </tr> </tbody> </table>				Construction	Additional insulation required (R-Value)	Other specifications	floor - concrete slab on ground	nil		external wall - brick veneer	2.06 (or 2.60 including construction)		external wall - framed (weatherboard, fibre cement, metal clad)	2.20 (or 2.60 including construction)		internal wall shared with garage - plasterboard	nil		ceiling and roof - flat ceiling / pitched roof	ceiling: 3.95 (up), roof: foil backed blanket (55 mm)	unventilated; medium (solar absorptance 0.475-0.70)
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<p>Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.</p> <p>Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.</p>																					



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		<b>DRAWING TITLE:</b> <b>BASIX Certificates 1/2</b>							

Thermal Comfort Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Windows, glazed doors and skylights</b>						
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.						
The following requirements must also be satisfied in relation to each window and glazed door:						
<ul style="list-style-type: none"> <li>For the following glass and frame types, the certifier check can be performed by visual inspection. <ul style="list-style-type: none"> <li>Aluminium single clear</li> <li>Aluminium double (air) clear</li> <li>Timber/PVC/fibreglass double (air) clear</li> <li>Timber/PVC/fibreglass double (air) clear</li> </ul> </li> <li>For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.</li> <li>Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the overshadowing column.</li> </ul>						
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).						
The following requirements must also be satisfied in relation to each skylight:						
<ul style="list-style-type: none"> <li>External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed</li> </ul>						
Skylight no.	Maximum area (square metres)	Type	Shading device			
S01	0.43	aluminium, moulded plastic single clear	fixed awning or blind			
S02	0.43	aluminium, moulded plastic single clear	fixed awning or blind			

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Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
Activity 1	2400	2200	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 25 mm above head of window or glazed door	not overshadowed
Activity 2	2000	2700	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 25 mm above head of window or glazed door	not overshadowed
Family 4 Door	2400	5400	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 4470 mm, 0 mm above head of window or glazed door	not overshadowed
Family HL 2	600	5600	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 4470 mm, 0 mm above head of window or glazed door	not overshadowed
Bed 1	2400	2700	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 25 mm above head of window or glazed door	not overshadowed
<b>West facing</b>					
Ensuite	1200	1600	aluminium, single, clear	eave 600 mm, 25 mm above head of window or glazed door	1-2 m high, <1.5 m away
Ensuite 2	2100	800	aluminium, single, clear	eave 600 mm, 25 mm above head of window or glazed door	1-2 m high, <1.5 m away
Powder	1000	900	aluminium, single, clear	eave 600 mm, 25 mm above head of window or glazed door	1-2 m high, <1.5 m away
Lounge 2	600	2400	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 25 mm above head of window or glazed door	1-2 m high, <1.5 m away

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Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
<b>North facing</b>					
Study	2000	600	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 5809 mm, 25 mm above head of window or glazed door	not overshadowed
Bed 2 1	1800	900	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 1190 mm, 25 mm above head of window or glazed door	not overshadowed
Bed 2 2	1800	900	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 25 mm above head of window or glazed door	not overshadowed
Bed 3	1800	1800	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 25 mm above head of window or glazed door	not overshadowed
Family 1	2400	5400	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 25 mm above head of window or glazed door	not overshadowed
Kitchen 1	1800	900	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 25 mm above head of window or glazed door	not overshadowed
Family Highlight	600	5600	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 25 mm above head of window or glazed door	not overshadowed
<b>East facing</b>					
WC	1000	600	aluminium, single, clear	eave 600 mm, 25 mm above head of window or glazed door	not overshadowed
Bath	1000	1600	aluminium, single, clear	eave 600 mm, 25 mm above head of window or glazed door	not overshadowed
Lounge	2400	3200	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 25 mm above head of window or glazed door	not overshadowed
Family 2	2400	900	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 25 mm above head of window or glazed door	not overshadowed
Family 3	2400	900	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 25 mm above head of window or glazed door	not overshadowed
WIP	1100	1500	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 25 mm above head of window or glazed door	not overshadowed
<b>South facing</b>					
Bed 4	2400	2200	U-value: 5.4, SHGC: 0.522 - 0.638 (aluminium, single, Hi-Tsol Low-e)	eave 600 mm, 25 mm above head of window or glazed door	not overshadowed

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Energy Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>						
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.						
<b>Cooling system</b>						
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning; Energy rating: EER 3.0 - 3.5						
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning; Energy rating: EER 3.0 - 3.5						
The cooling system must provide for daylight zoning between living areas and bedrooms.						
<b>Heating system</b>						
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning; Energy rating: EER 3.5 - 4.0						
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning; Energy rating: EER 3.5 - 4.0						
The heating system must provide for daylight zoning between living areas and bedrooms.						
<b>Ventilation</b>						
The applicant must install the following exhaust systems in the development:						
At least 1 Bathroom: individual fan, ducted to facade or roof; Operation control: manual switch on/off						
Kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off						
Laundry: natural ventilation only, or no laundry; Operation control: n/a						
<b>Artificial lighting</b>						
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:						
<ul style="list-style-type: none"> <li>at least 4 of the bedrooms / study; dedicated</li> </ul>						

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Energy Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none"> <li>at least 3 of the living / dining rooms; dedicated</li> <li>the kitchen; dedicated</li> <li>all bathrooms/toilets; dedicated</li> <li>the laundry; dedicated</li> <li>all hallways; dedicated</li> </ul>						
<b>Natural lighting</b>						
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.						
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.						
<b>Other</b>						
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.						
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.						
The applicant must install a fixed outdoor clothes drying line as part of the development.						
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.						

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Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a  in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.	

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