

Drawing Set

COVER SHEET / LOCATION PLAN	32_PL_A.01
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FLOOR PLANS - EXISTING	32_PL_A.04
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NOTES

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS. IF A MINIMUM TO A BOUNDARY IS CRITICAL AND THE BOUNDARY IS NOT CERTAIN A CHECK SURVEY IS DESIRABLE. LEVELS SHOWN ARE REASONABLY ACCURATE. THE BUILDER SHOULD VISIT THE SITE AND CHECK CONDITIONS. WHERE STORM WATER TRENCHES ARE REQUIRED, SIZE TO BE 600mm X 600mm X 1000mm LONG FOR EACH 15 SQUARE METRES OF ROOF AREA. POSITION FOR MAXIMUM SOAKAGE WHERE POSSIBLE. ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT.3.1.2 OF THE BCA AND AS3500.3.2. INSTALL AGRI PIPE DRAINS WHERE NECESSARY TO PREVENT SEEPAGE WATER INTRUSION.

EXCAVATIONS
EXCAVATIONS FOR ALL FOOTINGS SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2 UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2 OR PERFORMANCE REQUIREMENTS P2.1, P2.2.3 AND CLAUSE 1.0.10.

CONCRETE
REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE BCA 3.2.3 OR PERFORMANCE REQUIREMENTS P2.1 AND CLAUSE 1.0.10. SUPPORT TO ALL REINFORCEMENT SHALL BE USED TO CORRECTLY POSITION AND AVOID ANY UNDUE DISPLACEMENT OF REINFORCEMENT DURING THE CONCRETE POUR. FRE-MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379. CONCRETE SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH GOOD BUILDING PRACTICE. ALL CONCRETE SLABS SHALL BE CURED IN ACCORDANCE WITH AS3600

STORMWATER
STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA 3.1.2.

EXTERNAL CLADDING
SHEET MATERIALS OR OTHER EXTERNAL CLADDING SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND ANY APPLICABLE SPECIAL DETAILS.

TIMBER FRAMING
ALL TIMBER FRAMEWORK SIZES, SPANS, SPACING, NOTCHING, CHECKING AND FIXINGS SHALL COMPLY WITH BCA 3.4.3 OR AS 1684. ALTERNATIVE STRUCTURAL FRAMING SHALL BE TO STRUCTURAL ENGINEERS DETAILS AND CERTIFICATION. THE WORK SHALL BE CARRIED OUT IN A PROPER TRADESMAN LIKE MANNER AND SHALL BE IN ACCORDANCE WITH RECOGNISED AND ACCEPTED BUILDING PRACTICES.

MASONRY
ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS3700 AND THE BCA 3.3. CLAY BRICKS ARE A NATURAL KILN FIRED PRODUCT AND AS SUCH THEIR INDIVIDUAL SIZE MAY VARY. MORTAR SHALL COMPLY WITH BCA 3.3.1. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS3700. MASONRY ACCESSORIES SHALL COMPLY WITH THE BCA 3.3.3 AND ACCEPTED BUILDING PRACTICES. WALL TIES TO MEET CORROSION RESISTANT RATING APPROPRIATE FOR THE EXPOSURE CONDITIONS OF THE SITE. PROVIDE APPROPRIATE TIES TO ARTICULATED JOINTS IN MASONRY. MASONRY RETAINING WALLS TO COMPLY WITH AS 4678

BUILDER TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION

ALL TERMITE TREATMENT TO BE CARRIED OUT IN ACCORDANCE WITH AS 3660

SMOKE DETECTORS TO BE INSTALLED AND CONNECTED TO AS 3786

BUILDING DATA			
32 PAMELA PDE. LEONAY Lot 32 DP 226473			
ZONE - R2 RESIDENTIAL LOW DENSITY			
FSR - N/A			
HERITAGE - N/A			
BUSHFIRE PRONE LAND - NO			
FLOOD PLANNING AREA - NO			
CONTROL	EXISTING	PROPOSED	COMPLIANCE
LOT SIZE MIN 550m2	685 m2	SAME	YES
FLOOR AREA FSR - N/A	GND - 183 m2 FST - 126 m2 TOT - 309 m2	GND - 183 m2 FST - 157 m2 TOT - 340 m2	YES
BLDG HEIGHT MAX 8.5m	7.27m	7.66m	YES
FRONT SETBACK AVERAGE NEIGHBOURS	6.97m min	SAME	YES
SIDE SETBACK 900mm MIN	1.38m	SAME	YES
BUILDING ENVELOPE PDCP 2.1.2 Fig. D2-1	REFER EXISTING ELEVATIONS	REFER PROPOSED ELEVATIONS	COUNCIL TO ASSESS
REAR SETBACK (4m MIN)	9.6m	SAME	YES
LANDSCAPED AREA MIN 50% (343m2)	306m2	SAME	AS EXISTING
P.O.S	>24m2	>24m2	YES

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5
ALL ROOF GUTTERS AND DOWNPIPES TO COMPLY WITH BCA F1.5

NOTE :
ALL NEW WORK TO BE COMPLIANT WITH THE BCA AND ALL RELEVANT STANDARDS.
ALL BUILDING AND DEMOLITION WORK TO BE COMPLIANT WITH AS2436-1981 - GUIDE TO NOISE CONTROL ON CONSTRUCTION, MAINTENANCE AND DEMOLITION SITES.



SITWORKS LEGEND

	PROPOSED BUILDING WORKS
	SOFT SOIL AREA
	PAVING / CONCRETE - IMPERVIOUS AREA
	EXTENT OF PROPOSED P.O.S 24m2 MINIMUM

WALL LEGEND

	NEW MASONRY WALL
	NEW TIMBER STUD WALL - 90mm
	EXISTING WALLS
	DEMOLITION

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FSR - N/A			
HERITAGE - NA			
BUSHFIRE PRONE LAND - NO			
FLOOD PLANNING AREA - NO			
CONTROL	EXISTING	PROPOSED	COMPLIANCE
LOT SIZE	685 m2	SAME	YES
MIN 550m2			
FLOOR AREA	GND - 183 m2	GND - 183 m2	YES
FSR - N/A	FST - 126 m2	FST - 157 m2	
	TOT - 309 m2	TOT - 340 m2	
BLDG HEIGHT	7.27m	7.66m	YES
MAX 8.5m			
FRONT SETBACK	6.97m min	SAME	YES
AVERAGE NEIGHBOURS			
SIDE SETBACK	1.38m	SAME	YES
900mm MIN			
BUILDING ENVELOPE	REFER EXISTING ELEVATIONS	REFER PROPOSED ELEVATIONS	COUNCIL TO ASSESS
PDCP 2.1.2 Fig. D2.1			
REAR SETBACK (4m MIN)	9.6m	SAME	YES
LANDSCAPED AREA	306m2	SAME	AS EXISTING
MIN 50% (343m2)			
P.O.S	>24m2	>24m2	YES

SITWORKS LEGEND	
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	SOFT SOIL AREA
	PAVING / CONCRETE - IMPERVIOUS AREA
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STORMWATER
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MASONRY RETAINING WALLS TO COMPLY WITH AS 4678

BUILDER TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION

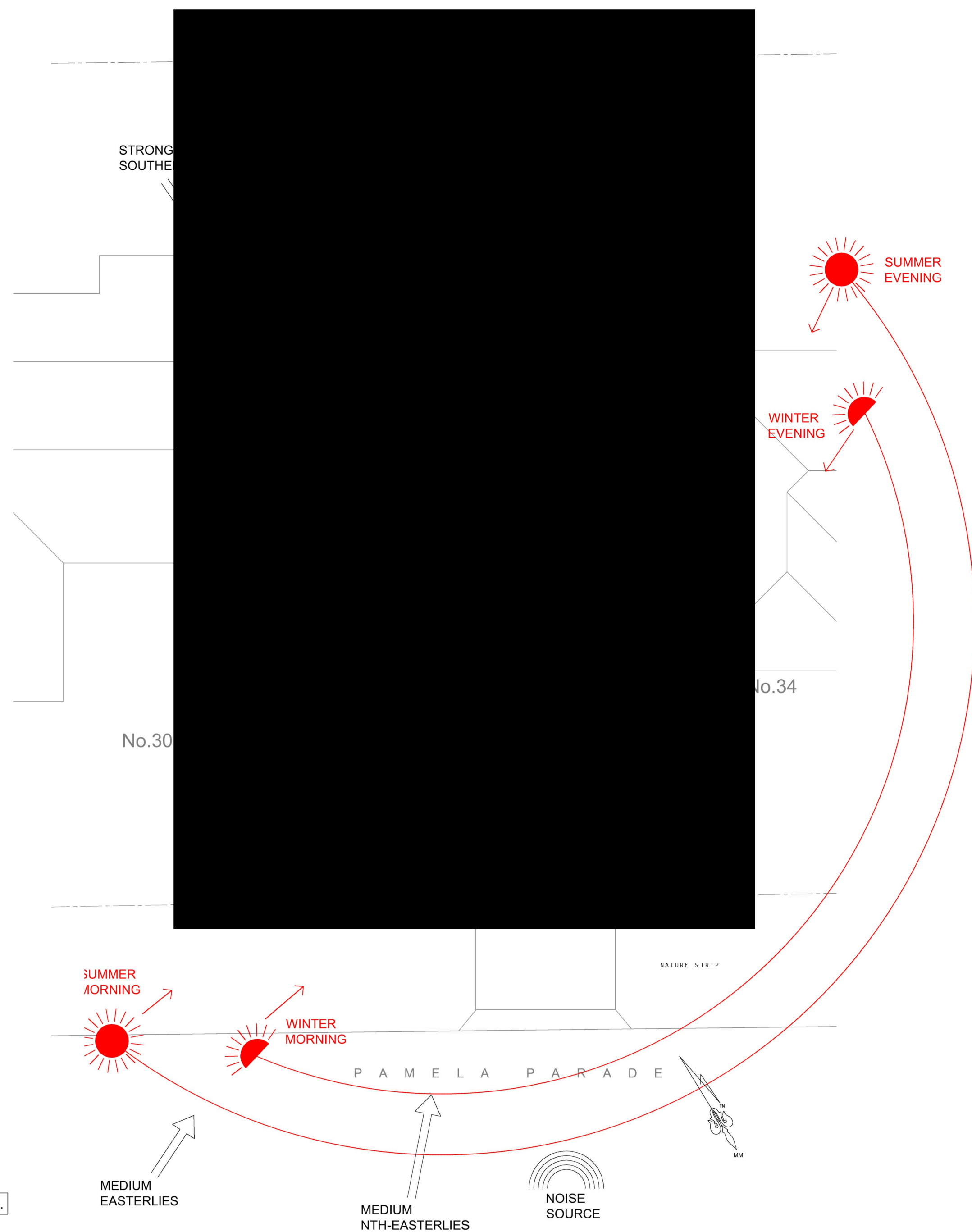
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SMOKE DETECTORS TO BE INSTALLED AND CONNECTED TO AS 3786

NOTE :
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GOLF COURSE



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CUSTOMER	Andrew Reece
PROJECT	Proposed Alterations and Additions at 32 Pamela Parade LEONAY NSW 2750 Lot 103 DP 226473
DWG TITLE	SITE PLAN

<input type="checkbox"/> Concept	<input type="checkbox"/> Quote	<input checked="" type="checkbox"/> Production
All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Written dimensions take precedence over scale. Do not scale from drawing		
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DATE	15.04.20
DRN BY	AOB
SIZE	A2
SCALE	1 : 150

AMENDMENT	DESCRIPTION	DATE
A	APPROVALS ISSUE	15.04.20
DRG NO	32_PL_A.02	ISSUE
		A

BUILDING DATA			
32 PAMELA PDE. LEONAY Lot 32 DP 226473			
ZONE - R2 RESIDENTIAL LOW DENSITY			
FSR - N/A			
HERITAGE - NA			
BUSHFIRE PRONE LAND - NO			
FLOOD PLANNING AREA - NO			
CONTROL	EXISTING	PROPOSED	COMPLIANCE
LOT SIZE MIN 550m2	685 m2	SAME	YES
FLOOR AREA FSR - N/A	GND - 183 m2 FST - 126 m2 TOT - 309 m2	GND - 183 m2 FST - 157 m2 TOT - 340 m2	YES
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SITWORKS LEGEND	
	PROPOSED BUILDING WORKS
	SOFT SOIL AREA
	PAVING / CONCRETE - IMPERVIOUS AREA
	EXTENT OF PROPOSED P.O.S 24m2 MINIMUM



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MASONRY RETAINING WALLS TO COMPLY WITH AS 4678

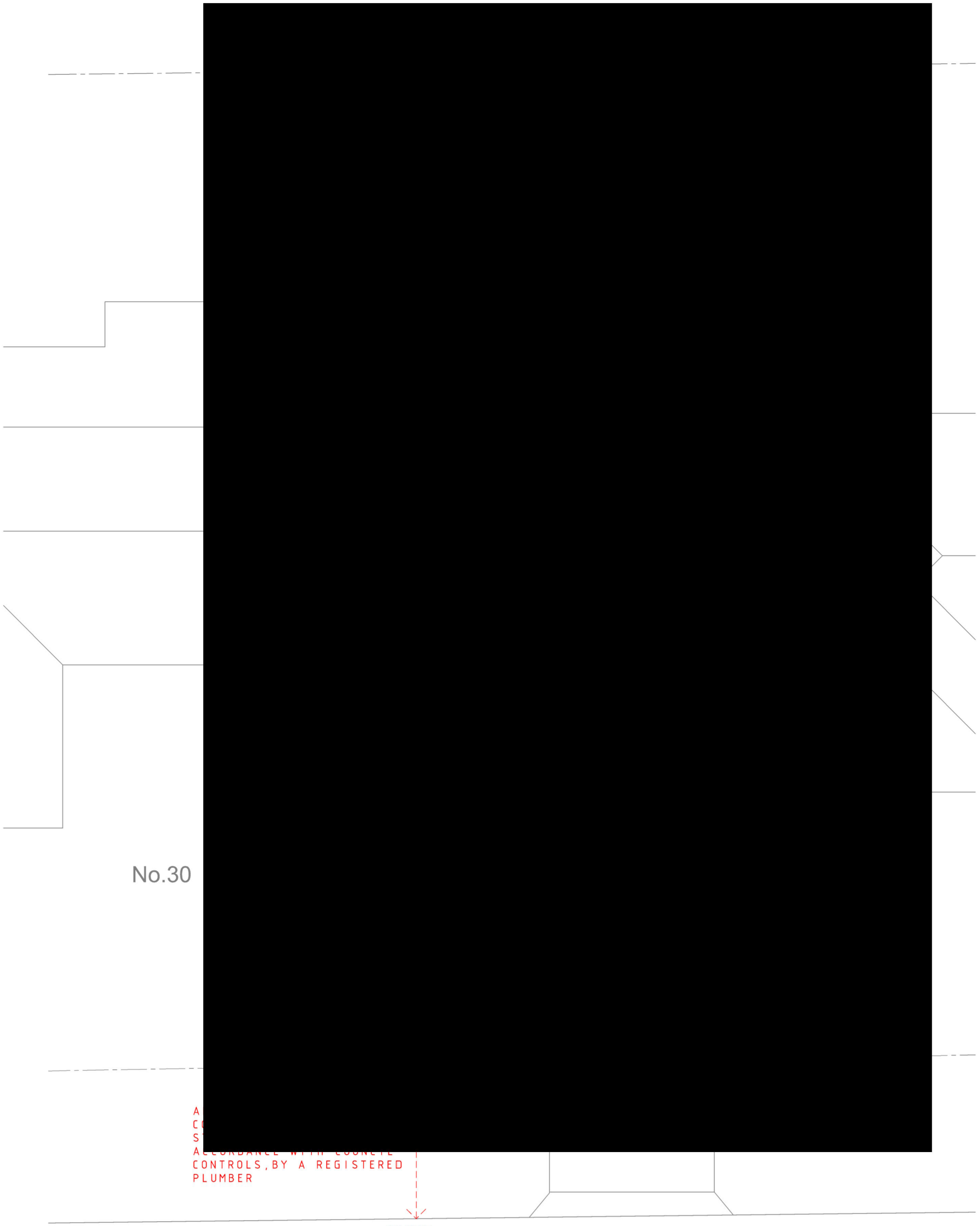
BUILDER TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION

ALL TERMITE TREATMENT TO BE CARRIED OUT IN ACCORDANCE WITH AS 3660

SMOKE DETECTORS TO BE INSTALLED AND CONNECTED TO AS 3786

NOTE :
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GOLF COURSE

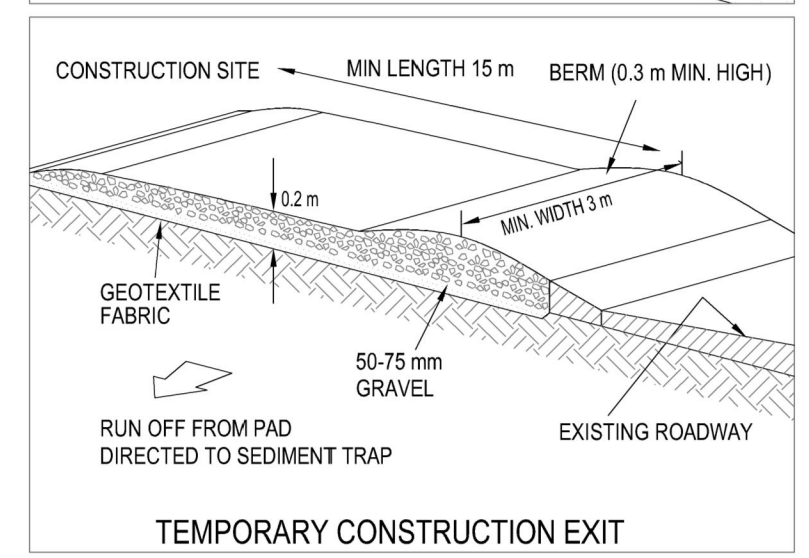
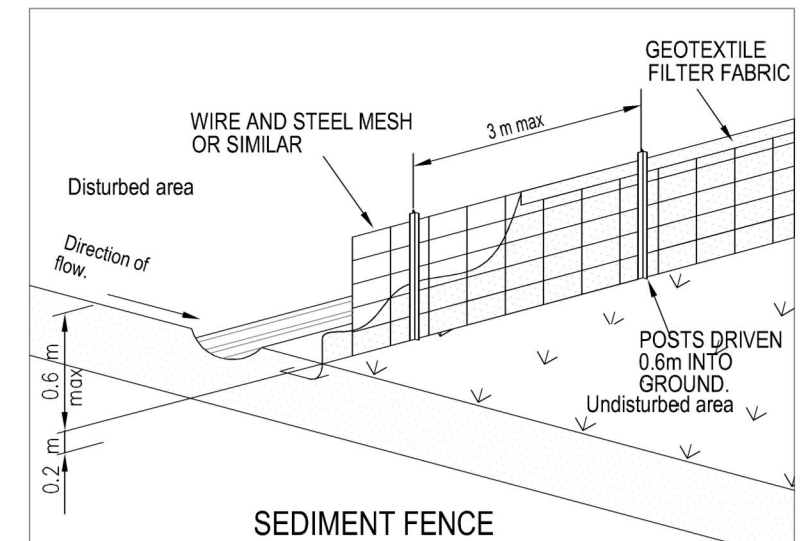
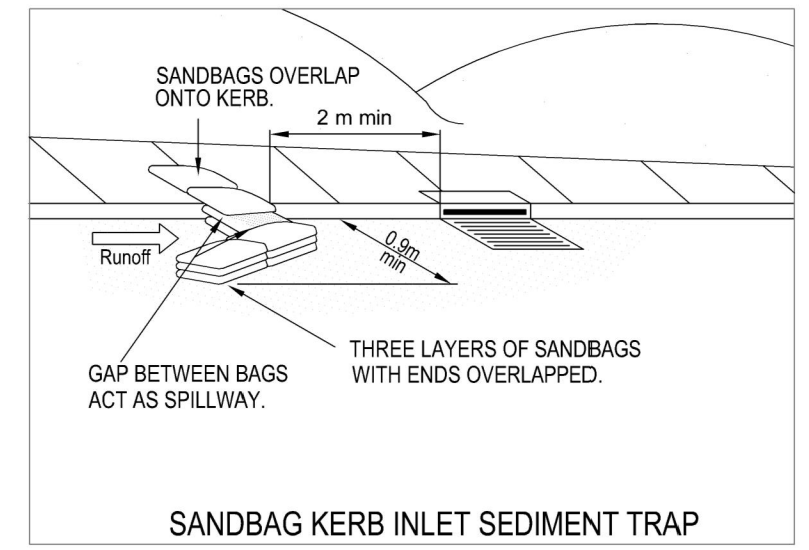


No.30

ALL WORK TO BE IN ACCORDANCE WITH CONCRETE CONTROLS, BY A REGISTERED PLUMBER

EXISTING KERB OUTLET

P A M E L A P A R A D E



- EROSION AND SEDIMENT CONTROL**
- BUILDER SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION TO THE LOW SIDE BOUNDARIES. THE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL STANDING 300mm MIN. ABOVE GROUND AND EXTENDING 200mm BELOW GROUND.
 - EXISTING DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.
- BUILDERS ACCESS**
- NO PARKING OR STOCKPILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.
 - ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICAL.
 - BUILDER SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING AND LEAVING THE SITE DO SO IN A FORWARD DIRECTION.

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

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CUSTOMER	Andrew Reece	Concept	Quote	Production	DATE	15.04.20
PROJECT	Proposed Alterations and Additions at 32 Pamela Parade LEONAY NSW 2750 Lot 103 DP 226473	All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Written dimensions take precedence over scale. Do not scale from drawing			DRN BY	AOB
DWG TITLE	STORMWATER CONCEPT PLAN	© All content remains the property of obrien design+drafting.			SCALE	1 : 150

AMENDMENT	DESCRIPTION	DATE
A	APPROVALS ISSUE	15.04.20
DRG NO	32_PL_A.03	ISSUE
		A

BUILDING DATA			
32 PAMELA PDE. LEONAY Lot 32 DP 226473			
ZONE - R2 RESIDENTIAL LOW DENSITY			
FSR - N/A			
HERITAGE - NA			
BUSHFIRE PRONE LAND - NO			
FLOOD PLANNING AREA - NO			
CONTROL	EXISTING	PROPOSED	COMPLIANCE
LOT SIZE MIN 550m2	685 m2	SAME	YES
FLOOR AREA FSR - N/A	GND - 183 m2 FST - 126 m2 TOT - 309 m2	GND - 183 m2 FST - 157 m2 TOT - 340 m2	YES
BLDG HEIGHT MAX 8.5m	7.27m	7.66m	YES
FRONT SETBACK AVERAGE NEIGHBOURS	6.97m min	SAME	YES
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P.O.S	>24m2	>24m2	YES

SITWORKS LEGEND	
	PROPOSED BUILDING WORKS
	SOFT SOIL AREA
	PAVING / CONCRETE - IMPERVIOUS AREA
	EXTENT OF PROPOSED P.O.S 24m2 MINIMUM

WALL LEGEND	
	NEW MASONRY WALL
	NEW TIMBER STUD WALL - 90mm
	EXISTING WALLS
	DEMOLITION



NOTES

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Ground Floor
EXISTING

First Floor
EXISTING

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

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DWG TITLE	FLOOR PLANS - EXISTING	© All content remains the property obrien design+drafting.			SCALE	1 : 100		
							A	APPROVALS ISSUE
								15.04.20
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FSR - N/A			
HERITAGE - NA			
BUSHFIRE PRONE LAND - NO			
FLOOD PLANNING AREA - NO			
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FRONT SETBACK AVERAGE NEIGHBOURS	6.97m min	SAME	YES
SIDE SETBACK 900mm MIN	1.38m	SAME	YES
BUILDING ENVELOPE PDCP 2.1.2 Fig. D2.1	REFER EXISTING ELEVATIONS	REFER PROPOSED ELEVATIONS	COUNCIL TO ASSESS
REAR SETBACK (4m MIN)	9.6m	SAME	YES
LANDSCAPED AREA MIN 50% (343m2)	306m2	SAME	AS EXISTING
P.O.S	>24m2	>24m2	YES

SITWORKS LEGEND	
	PROPOSED BUILDING WORKS
	SOFT SOIL AREA
	PAVING / CONCRETE - IMPERVIOUS AREA
	EXTENT OF PROPOSED P.O.S 24m2 MINIMUM

WALL LEGEND	
	NEW MASONRY WALL
	NEW TIMBER STUD WALL - 90mm
	EXISTING WALLS
	DEMOLITION



NOTES

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS. IF A MINIMUM TO A BOUNDARY IS CRITICAL AND THE BOUNDARY IS NOT CERTAIN A CHECK SURVEY IS DESIRABLE. LEVELS SHOWN ARE REASONABLY ACCURATE. THE BUILDER SHOULD VISIT THE SITE AND CHECK CONDITIONS.

WHERE STORM WATER TRENCHES ARE REQUIRED, SIZE TO BE 600mm X 600mm X 1000mm LONG FOR EACH 15 SQUARE METRES OF ROOF AREA. POSITION FOR MAXIMUM SCALPAGE WHERE POSSIBLE. ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT.3.1.2 OF THE BCA AND AS3500.3.2. INSTALL AGRI PIPE DRAINS WHERE NECESSARY TO PREVENT SEEPAGE WATER INTRUSION.

EXCAVATIONS
EXCAVATIONS FOR ALL FOOTINGS SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2
UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2 OR PERFORMANCE REQUIREMENTS P2.1, P2.2.3 AND CLAUSE 1.0.10.

CONCRETE
REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE BCA 3.2.3 OR PERFORMANCE REQUIREMENTS P2.1 AND CLAUSE 1.0.10. SUPPORT TO ALL REINFORCEMENT SHALL BE USED TO CORRECTLY POSITION AND AVOID ANY UNDUE DISPLACEMENT OF REINFORCEMENT DURING THE CONCRETE POUR.
PRE-MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379. CONCRETE SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
ALL CONCRETE SLABS SHALL BE CURED IN ACCORDANCE WITH AS3600

STORMWATER
STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA 3.1.2.

EXTERNAL CLADDING
SHEET MATERIALS OR OTHER EXTERNAL CLADDING SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND ANY APPLICABLE SPECIAL DETAILS.

TIMBER FRAMING
ALL TIMBER FRAMEWORK SIZES, SPANS, SPACING, NOTCHING, CHECKING AND FIXINGS SHALL COMPLY WITH BCA 3.4.3 OR AS 1684. ALTERNATIVE STRUCTURAL FRAMING SHALL BE TO STRUCTURAL ENGINEERS DETAILS AND CERTIFICATION. THE WORK SHALL BE CARRIED OUT IN A PROPER TRADESPERSON LIKE MANNER AND SHALL BE IN ACCORDANCE WITH RECOGNISED AND ACCEPTED BUILDING PRACTICES.

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MASONRY RETAINING WALLS TO COMPLY WITH AS 4678

BUILDER TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION

ALL TERMITE TREATMENT TO BE CARRIED OUT IN ACCORDANCE WITH AS 3660

SMOKE DETECTORS TO BE INSTALLED AND CONNECTED TO AS 3786

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5
ALL ROOF GUTTERS AND DOWNPIPES TO COMPLY WITH BCA F1.5

NOTE :
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ALL BUILDING AND DEMOLITION WORK TO BE COMPLIANT WITH AS2436-1981 - GUIDE TO NOISE CONTROL ON CONSTRUCTION, MAINTENANCE AND DEMOLITION SITES.



Ground Floor
PROPOSED

First Floor
PROPOSED

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

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CUSTOMER	Andrew Reece	<input type="checkbox"/> Concept	<input type="checkbox"/> Quote	<input checked="" type="checkbox"/> Production	DATE	15.04.20		
PROJECT	Proposed Alterations and Additions at 32 Pamela Parade LEONAY NSW 2750 Lot 103 DP 226473	All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Written dimensions take precedence over scale. Do not scale from drawing			DRN BY	AOB		
DWG TITLE	FLOOR PLANS - PROPOSED	© All content remains the property obrien design+drafting.			SCALE	A2 1 : 100		
							A	APPROVALS ISSUE
								15.04.20
								32_PL_A.05
								A

BUILDING DATA			
32 PAMELA PDE. LEONAY Lot 32 DP 226473			
ZONE - R2 RESIDENTIAL LOW DENSITY			
FSR - N/A			
HERITAGE - N/A			
BUSHFIRE PRONE LAND - NO			
FLOOD PLANNING AREA - NO			
CONTROL	EXISTING	PROPOSED	COMPLIANCE
LOT SIZE MIN 550m2	685 m2	SAME	YES
FLOOR AREA FSR - N/A	GND - 183 m2 FST - 126 m2 TOT - 309 m2	GND - 183 m2 FST - 157 m2 TOT - 340 m2	YES
BLDG HEIGHT MAX 8.5m	7.27m	7.66m	YES
FRONT SETBACK AVERAGE NEIGHBOURS	6.97m min	SAME	YES
SIDE SETBACK 900mm MIN	1.38m	SAME	YES
BUILDING ENVELOPE PDPC 2.1.2 Fig. D2.1	REFER EXISTING ELEVATIONS	REFER PROPOSED ELEVATIONS	COUNCIL TO ASSESS
REAR SETBACK (4m MIN)	9.6m	SAME	YES
LANDSCAPED AREA MIN 5% (343m2)	306m2	SAME	AS EXISTING
P.O.S	>24m2	>24m2	YES

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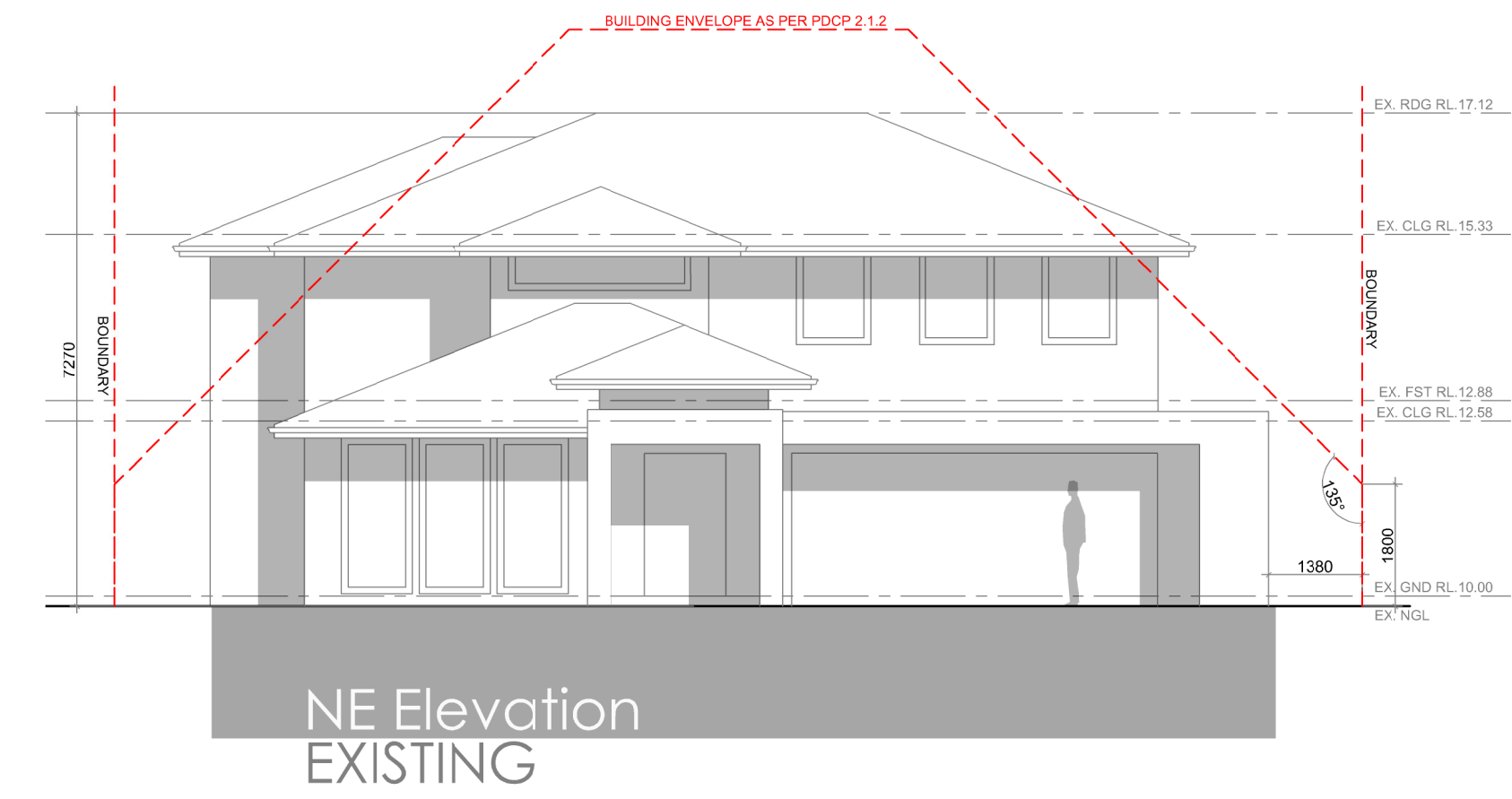
BUILDER TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION

ALL TERMITE TREATMENT TO BE CARRIED OUT IN ACCORDANCE WITH AS 3660

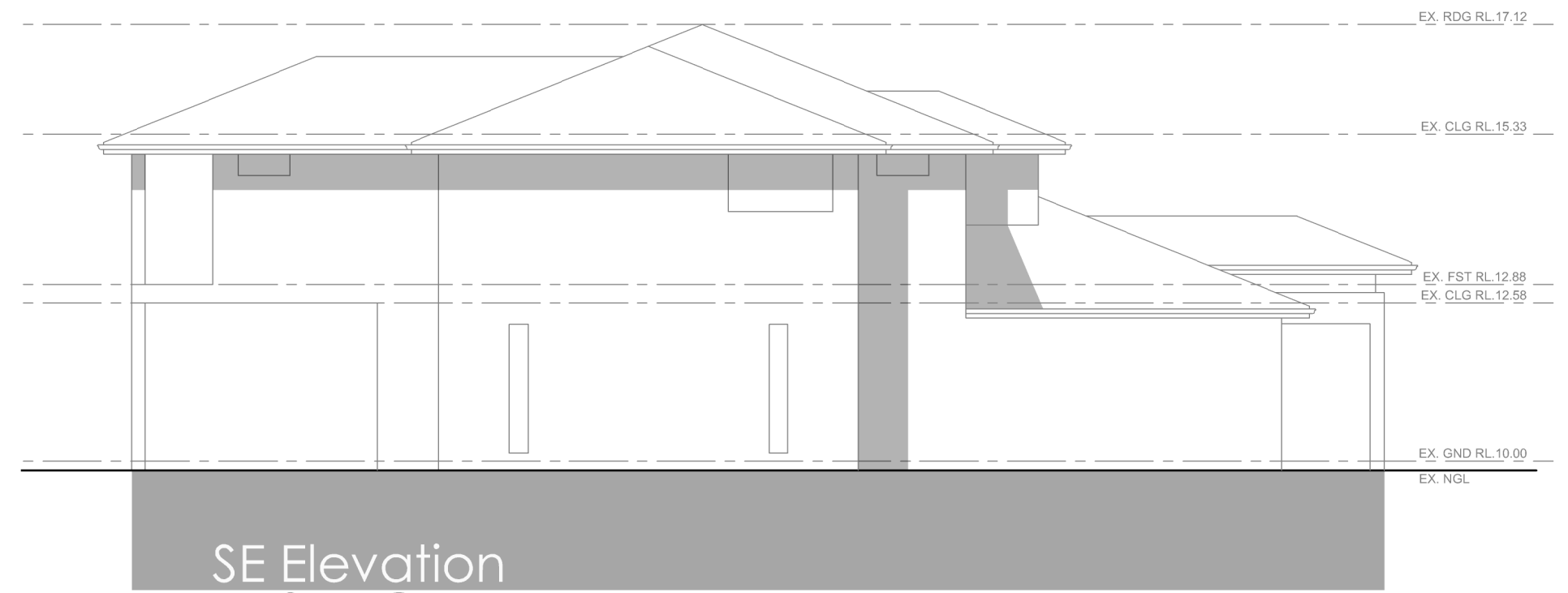
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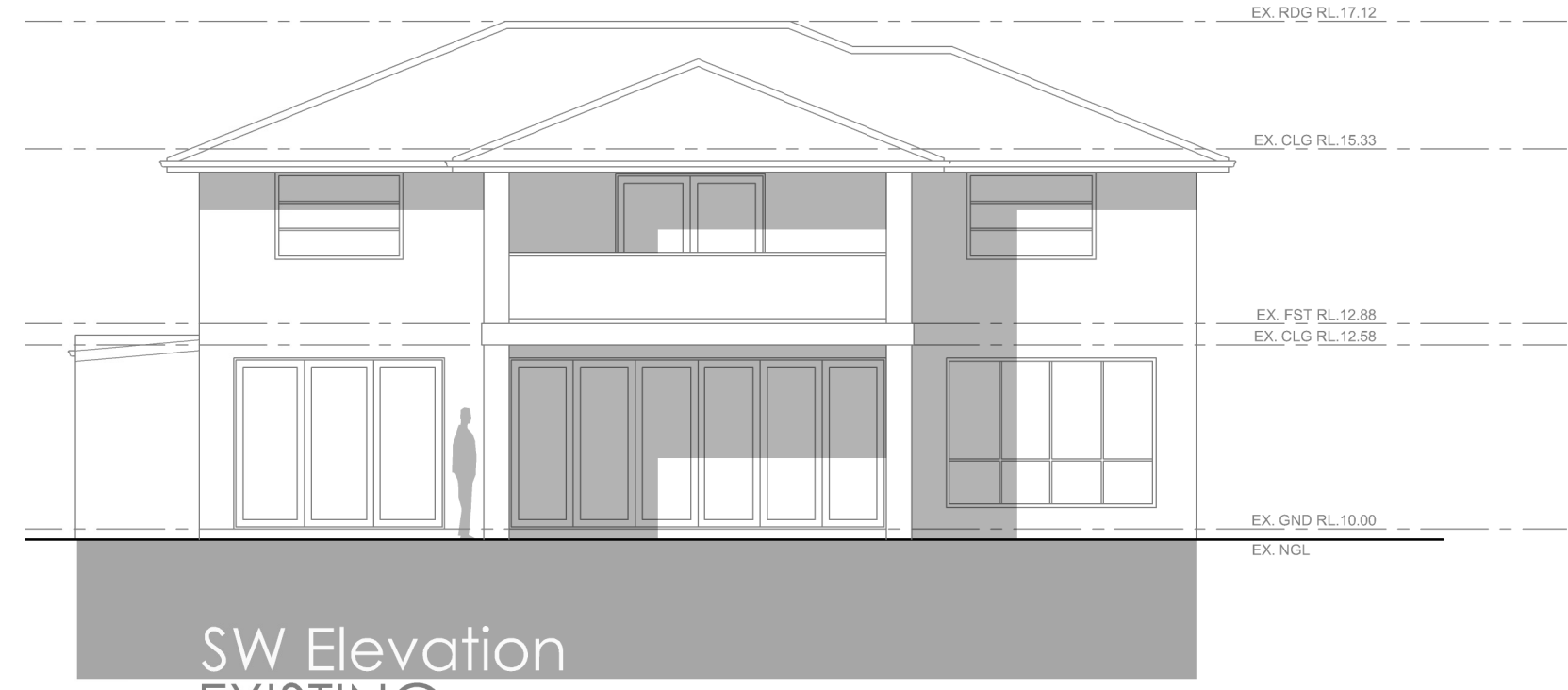
NOTE :
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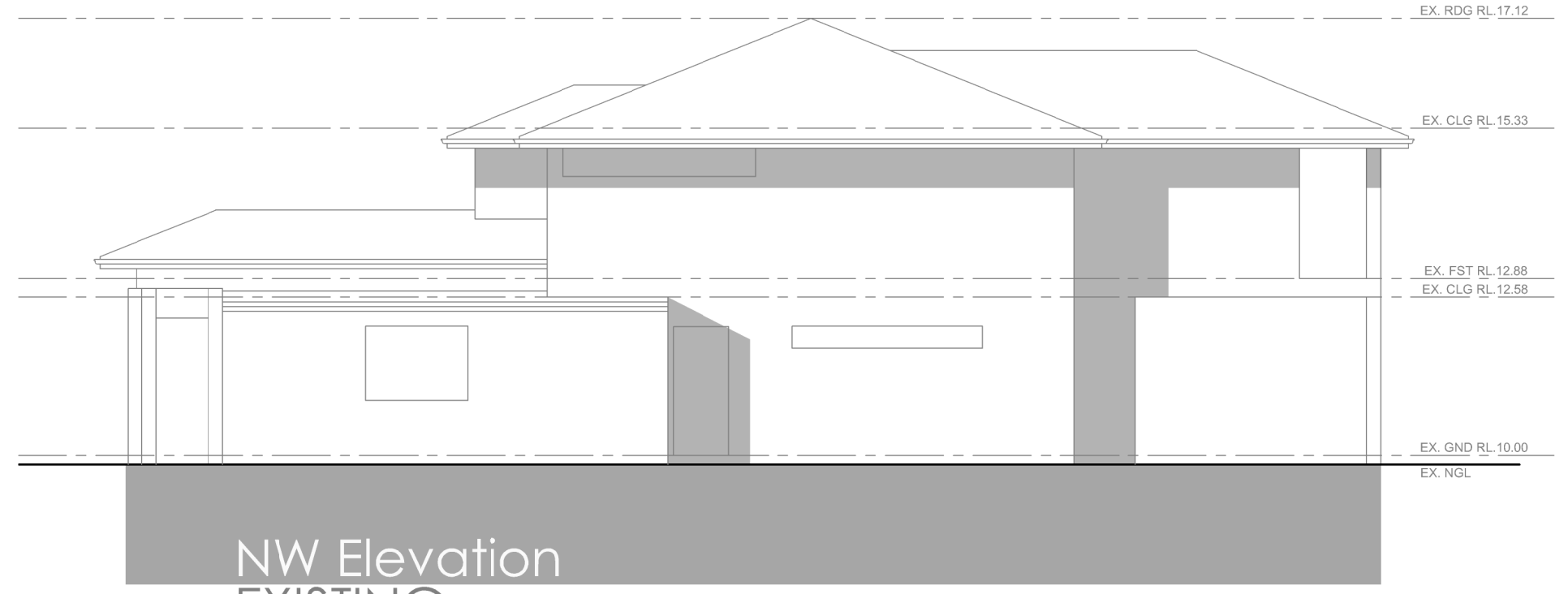
NE Elevation
EXISTING



SE Elevation
EXISTING



SW Elevation
EXISTING



NW Elevation
EXISTING



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info@obriendesign.com.au

CLIENT	Andrew Reece
PROJECT	Proposed Alterations and Additions at 32 Pamela Parade LEONAY NSW 2750 Lot 103 DP 226473
DRG TITLE	ELEVATIONS - EXISTING

<input type="checkbox"/> Concept	<input type="checkbox"/> Quote	<input checked="" type="checkbox"/> Production
All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Written dimensions take precedence over scale. Do not scale from drawing.		
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DATE	15.04.20
DRN BY	AOB
SCALE	A2
SCALE	1 : 100
AMENDMENT	A APPROVALS ISSUE
DATE	15.04.20
DRG NO	32_PL_A.06
ISSUE	A

NOTES

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STORMWATER
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BUILDER TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION

ALL TERMITE TREATMENT TO BE CARRIED OUT IN ACCORDANCE WITH AS 3660

SMOKE DETECTORS TO BE INSTALLED AND CONNECTED TO AS 3786

NOTE :

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INDICATES EXTENDED AREA

BUILDING DATA			
32 PAMELA PDE, LEONAY Lot 32 DP 226473			
ZONE - R2 RESIDENTIAL LOW DENSITY			
FSR - N/A			
HERITAGE - N/A			
BUSHFIRE PRONE LAND - NO			
FLOOD PLANNING AREA - NO			
CONTROL	EXISTING	PROPOSED	COMPLIANCE
LOT SIZE	685 m2	SAME	YES
FLOOR AREA	GND - 183 m2	GND - 183 m2	YES
	FST - 126 m2	FST - 157 m2	
	TOT - 309 m2	TOT - 340 m2	
BLDG HEIGHT	7.27m	7.66m	YES
FRONT SETBACK	6.97m min	SAME	YES
AVERAGE NEIGHBOURS			
SIDE SETBACK	1.38m	SAME	YES
900mm MIN			
BUILDING ENVELOPE	REFER EXISTING ELEVATIONS	REFER PROPOSED ELEVATIONS	COUNCIL TO ASSESS
PDCP 2.1.2 Fig. D2.1			
REAR SETBACK (4m MIN)	9.6m	SAME	YES
LANDSCAPED AREA	306m2	SAME	AS EXISTING
MIN 5% (343m2)			
P.O.S	>24m2	>24m2	YES

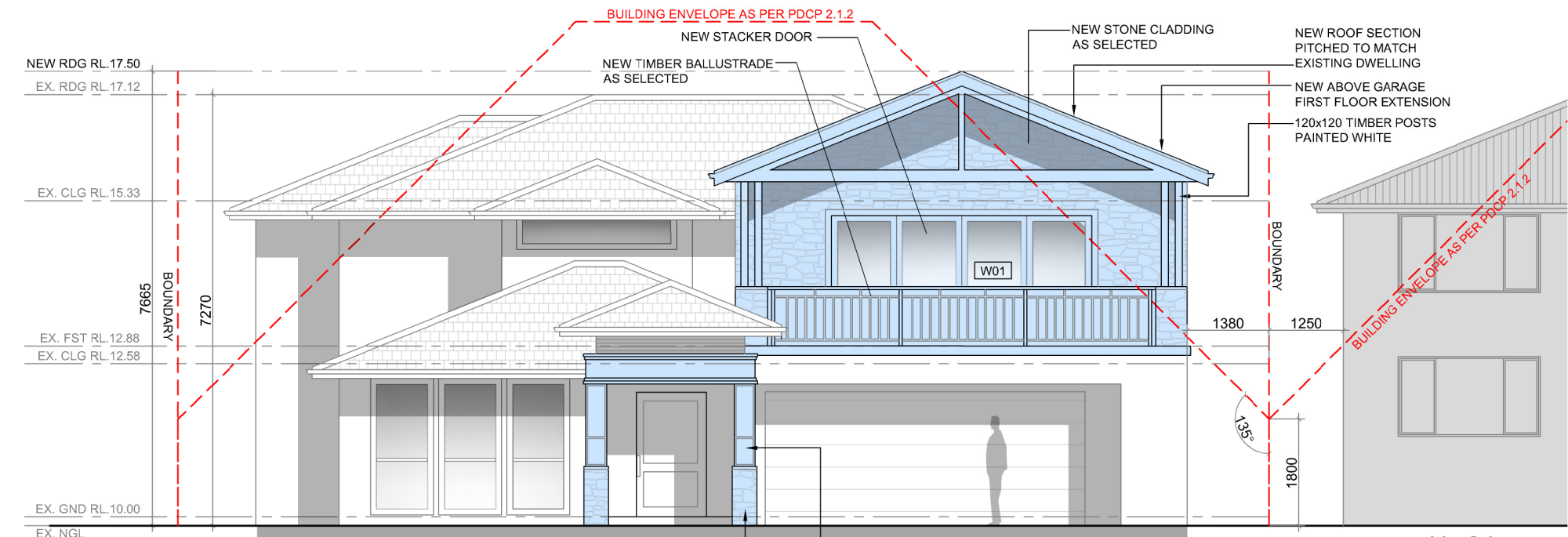


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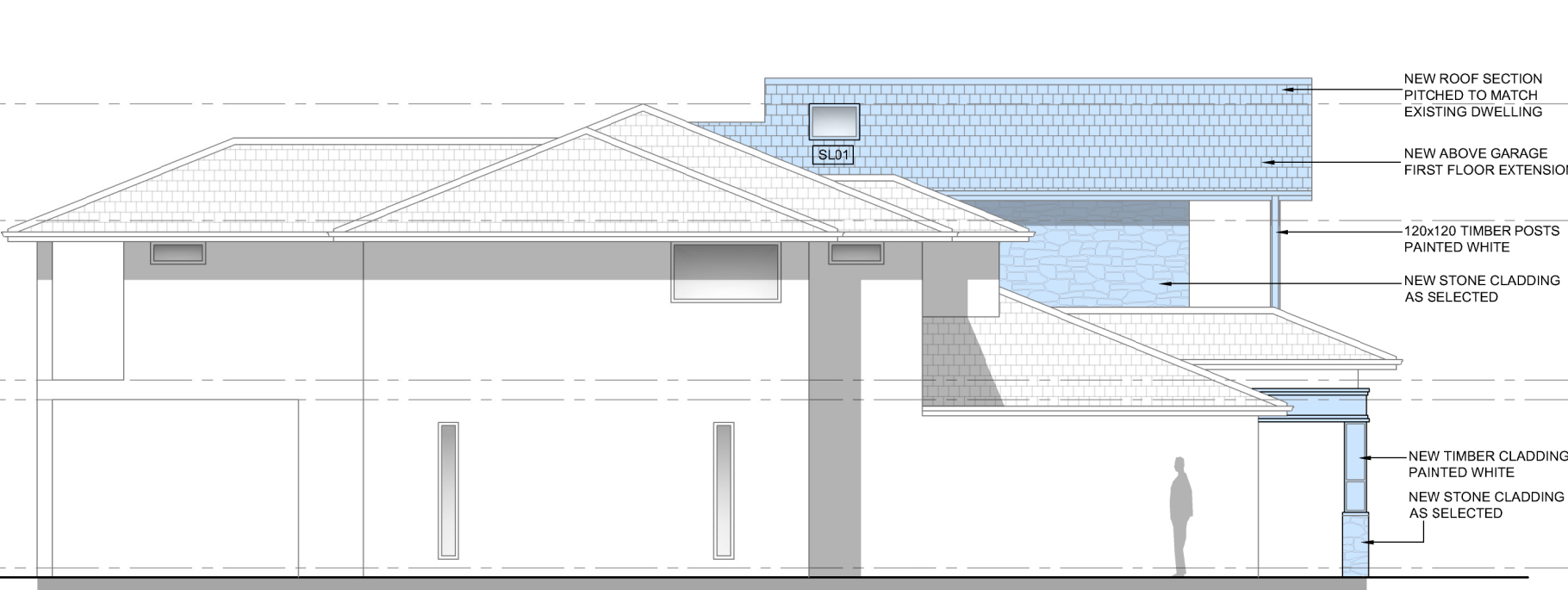
CLIENT Andrew Reece
 PROJECT Proposed Alterations and Additions at 32 Pamela Parade LEONAY NSW 2750 Lot 103 DP 226473
 DRG TITLE ELEVATIONS - PROPOSED

Concept Quote Production
 DATE 15.04.20
 DRN BY AOB
 SIZE A2
 SCALE 1 : 100

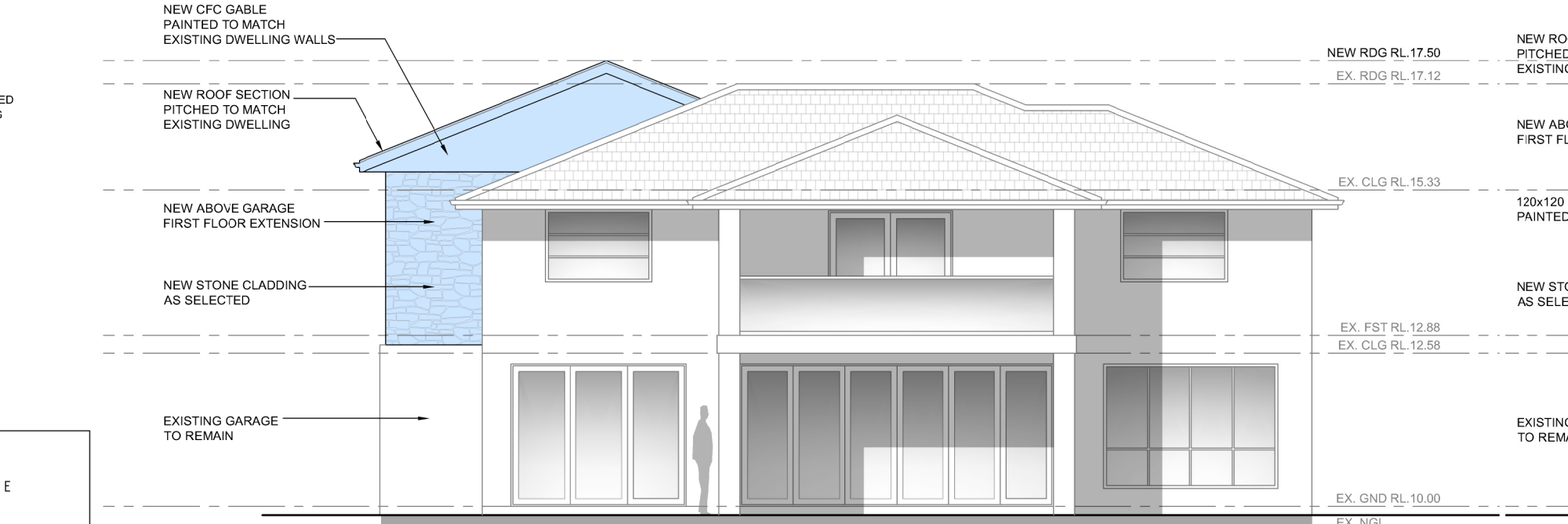
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A	APPROVALS ISSUE	15.04.20	A
	32_PL_A.07		



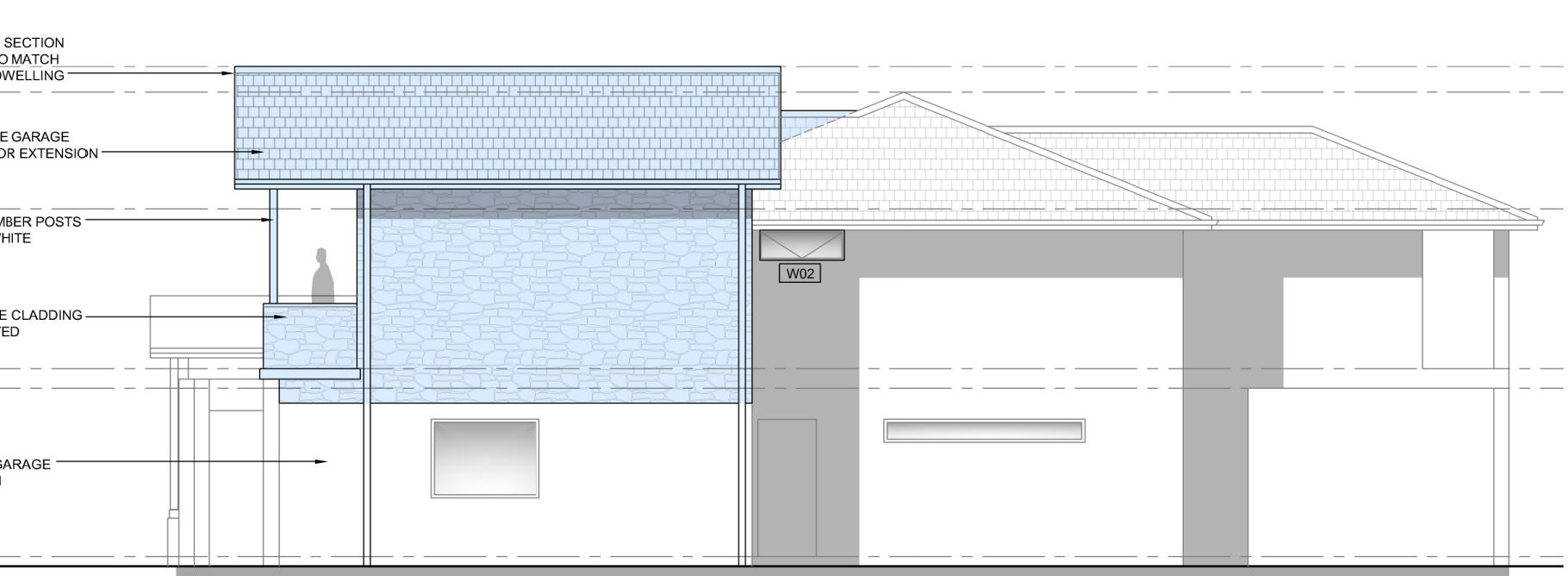
NE Elevation PROPOSED



SE Elevation PROPOSED



SW Elevation PROPOSED



NW Elevation PROPOSED



BUILDING DATA			
32 PAMELA PDE. LEONAY Lot 32 DP 226473			
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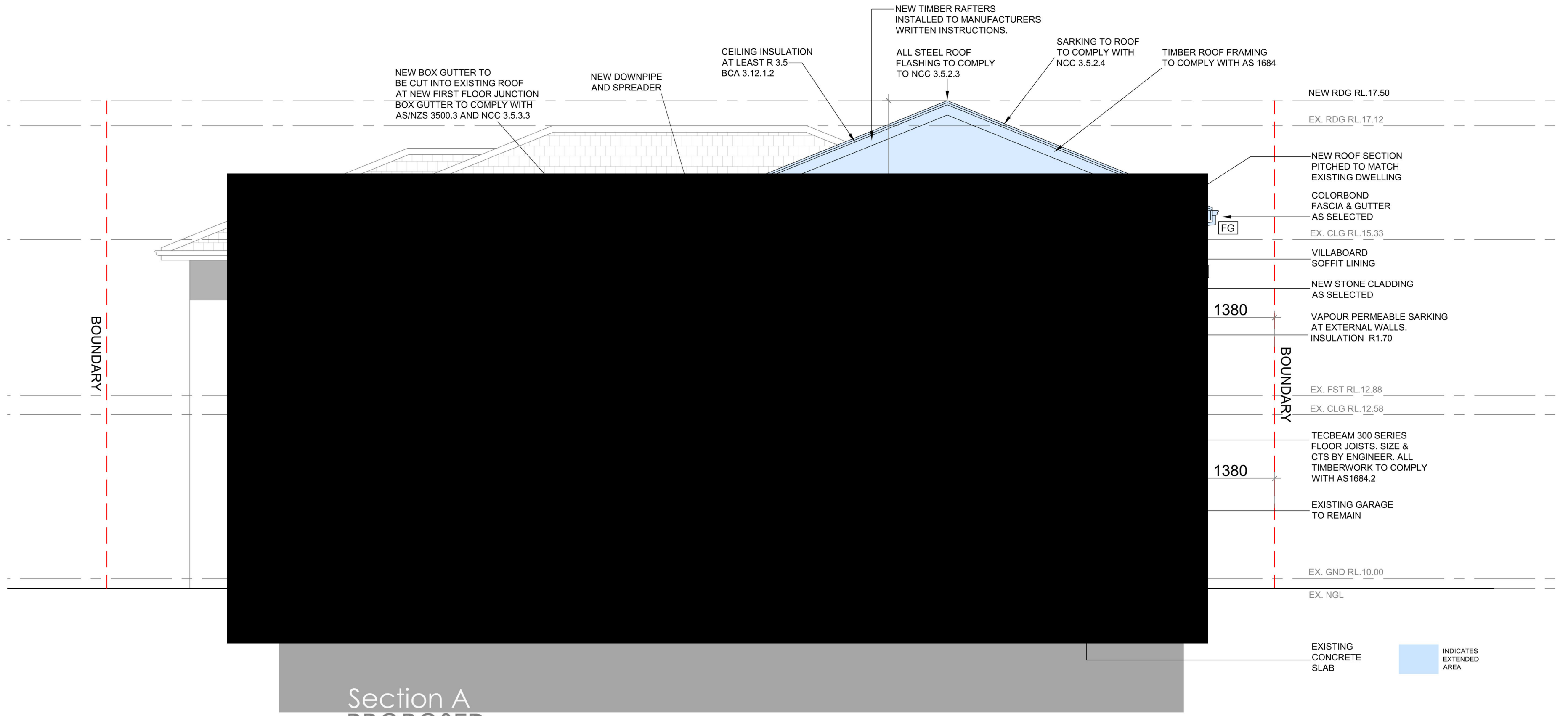
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Section A
PROPOSED

SECTION NOTES:

PROVIDE SELECTED STEEL ROOF TO MAIN ROOF TO MANUFACTURERS WRITTEN INSTRUCTIONS AND AS DIRECTED.
PROVIDE SELECTED PREFABRICATED TIMBER ROOF RAFTERS AT 600 cts TO MANUFACTURERS WRITTEN INSTRUCTIONS AND AS DIRECTED.
PROVIDE SUITABLE BATTENS AT CENTRES TO SUIT STEEL ROOF.
PROVIDE DOUBLE-SIDED SISALATION AS SARKING TO ROOF AND OUTSIDE FACE OF EXTERNAL WALL FRAMES.
PROVIDE R2.5 INSULATION BLANKET TO ROOF OVER INTERNAL AREAS.
PROVIDE ALUMINIUM EAVES AND GUTTERS AS SELECTED.
LINE UNDERSIDE OF TRUSSES/RAFTERS WITH 10mm PLASTERBOARD AS DIRECTED.
LINE UNDERSIDE OF EAVES AND SOFFITS WITH HARDFLEX (IF REQUIRED).
FRAME UP FOR LOADBEARING WALLS WITH 90mm F5 FRAMING AS DIRECTED.
PROVIDE 70x90 F15 TOOP AND BOTTOM PLATES
PROVIDE 90x35 F5 STUDS AT 450cts
PROVIDE 90x35 F5 NOGGINGS AT MAX. 1350cts

NOTE: ALL TIMBER SIZES TO BE VERIFIED WITH ENGINEER BEFORE ORDERING OR COMMENCING WORK.
PROVIDE ALL STRUCTURAL STEEL MEMBERS TO ENGINEERS DETAILS.
PROVIDE CONCRETE SLAB-ON-GROUND, STRIP AND PAD FOOTINGS TO ENGINEERS DETAILS.
PROVIDE TERMIMESH TERMITE PROTECTION SYSTEM COMPLYING WITH AS3600.1 AND BCA. ALL WORK TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BCA REQUIREMENTS.

CONSTRUCTION LEGEND

FG	STEEL FASCIA & GUTTER
DP	STEEL DOWNPIPE
AW	SELECTED ALUMINIUM WINDOW
SD	SELECTED SLIDING DOOR
BB	BLUEBOARD PAINTED AS SELECTED
CC	SELECTED TIMBER COLUMNS
TS	INTERNAL TIMBER STUD WALLS
SL	CFC SOFFIT LINING
TT	TIMBER TRUSSES TO MFG DETAIL
TB	TIMBER BEAMS TO ENG. DETAIL
CS	REINFORCED CONCRETE SLAB TO ENG. DETAILS
CP	CONCRETE PIERS TO ENG. DETAILS
RW	BESSER BLOCK RETAINING WALL TO ENGINEERS DETAIL

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https://obriendesigndrafting.com.au/
info@obriendesign.com.au

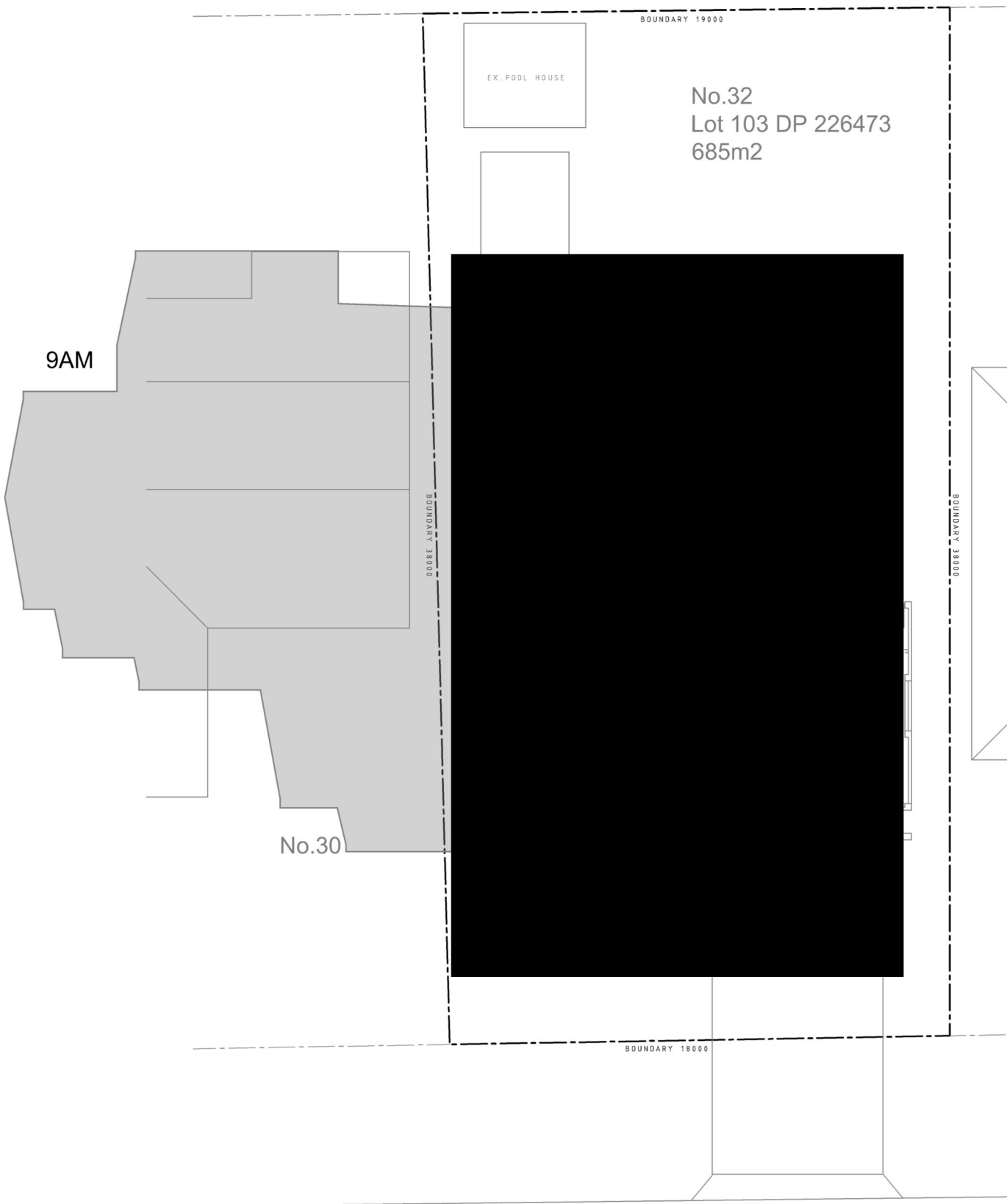
CUSTOMER	Andrew Reece
PROJECT	Proposed Alterations and Additions at 32 Pamela Parade LEONAY NSW 2750 Lot 103 DP 226473
DWG TITLE	SECTION - PROPOSED

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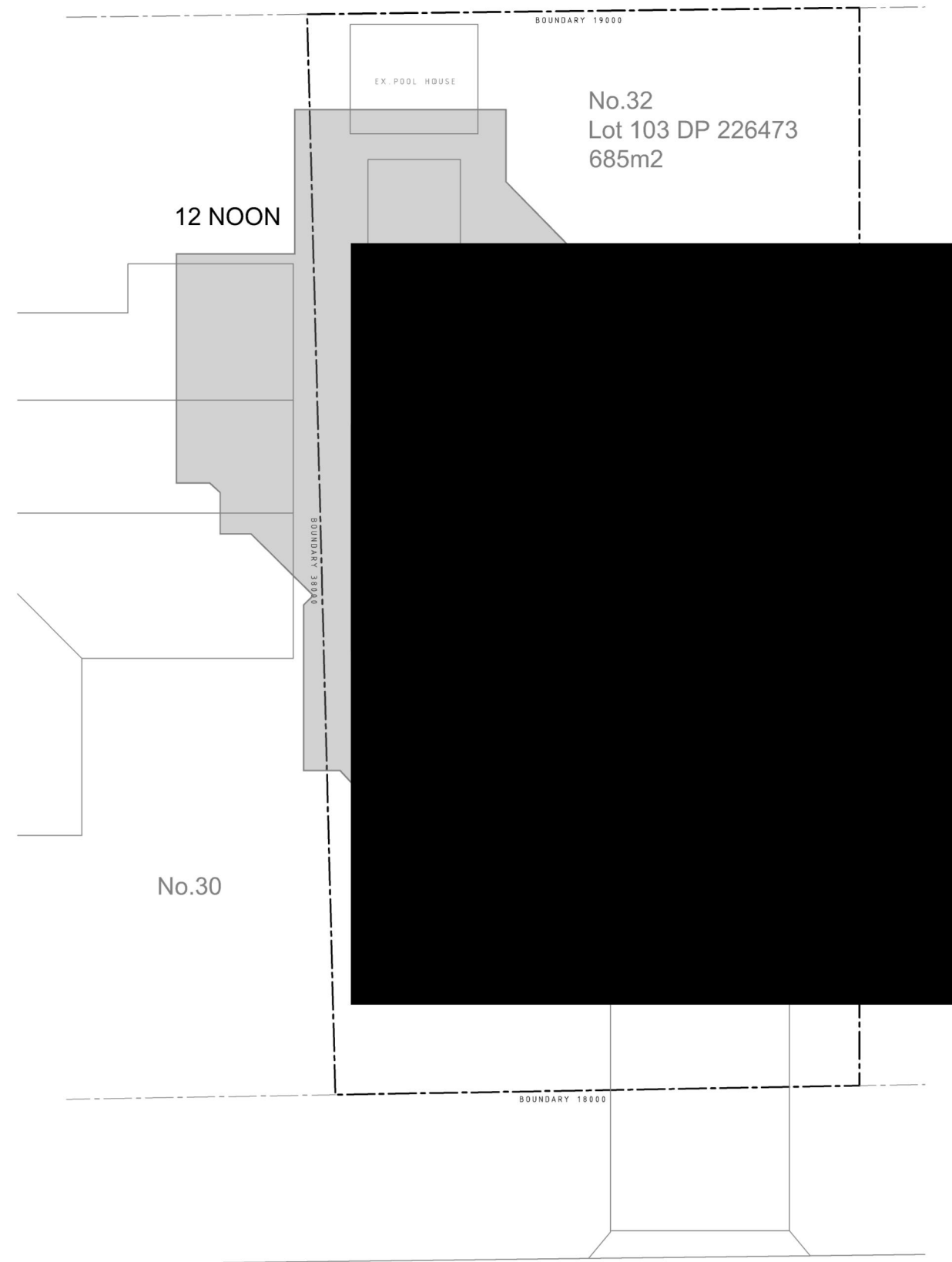
AMENDMENT A DESCRIPTION APPROVALS ISSUE DATE 15.04.20 ISSUE A
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SHADOW STUDY TAKEN AT
9am, 12noon & 3pm ON 21 JUNE 2020

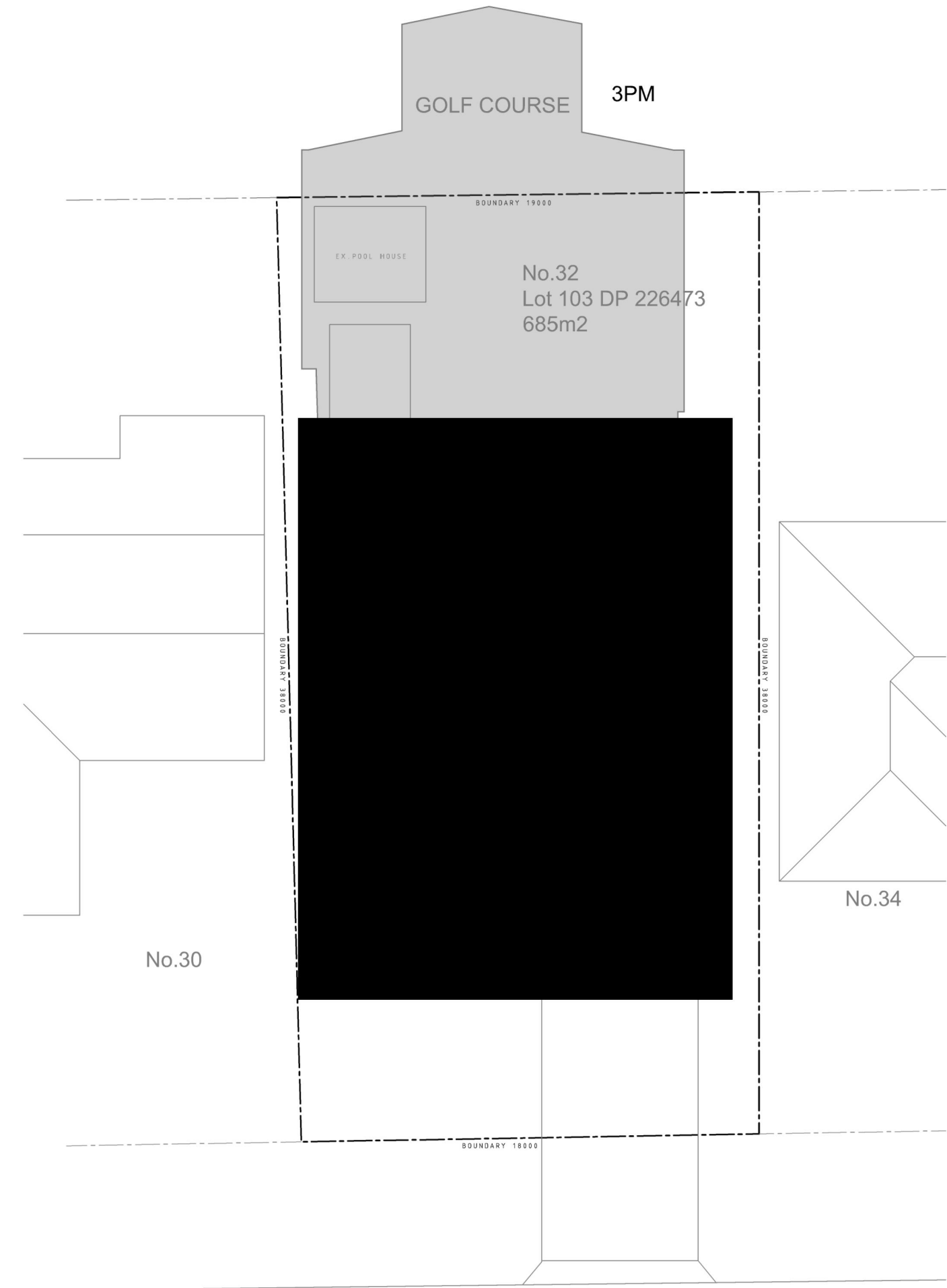
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GOLF COURSE



GOLF COURSE 3PM



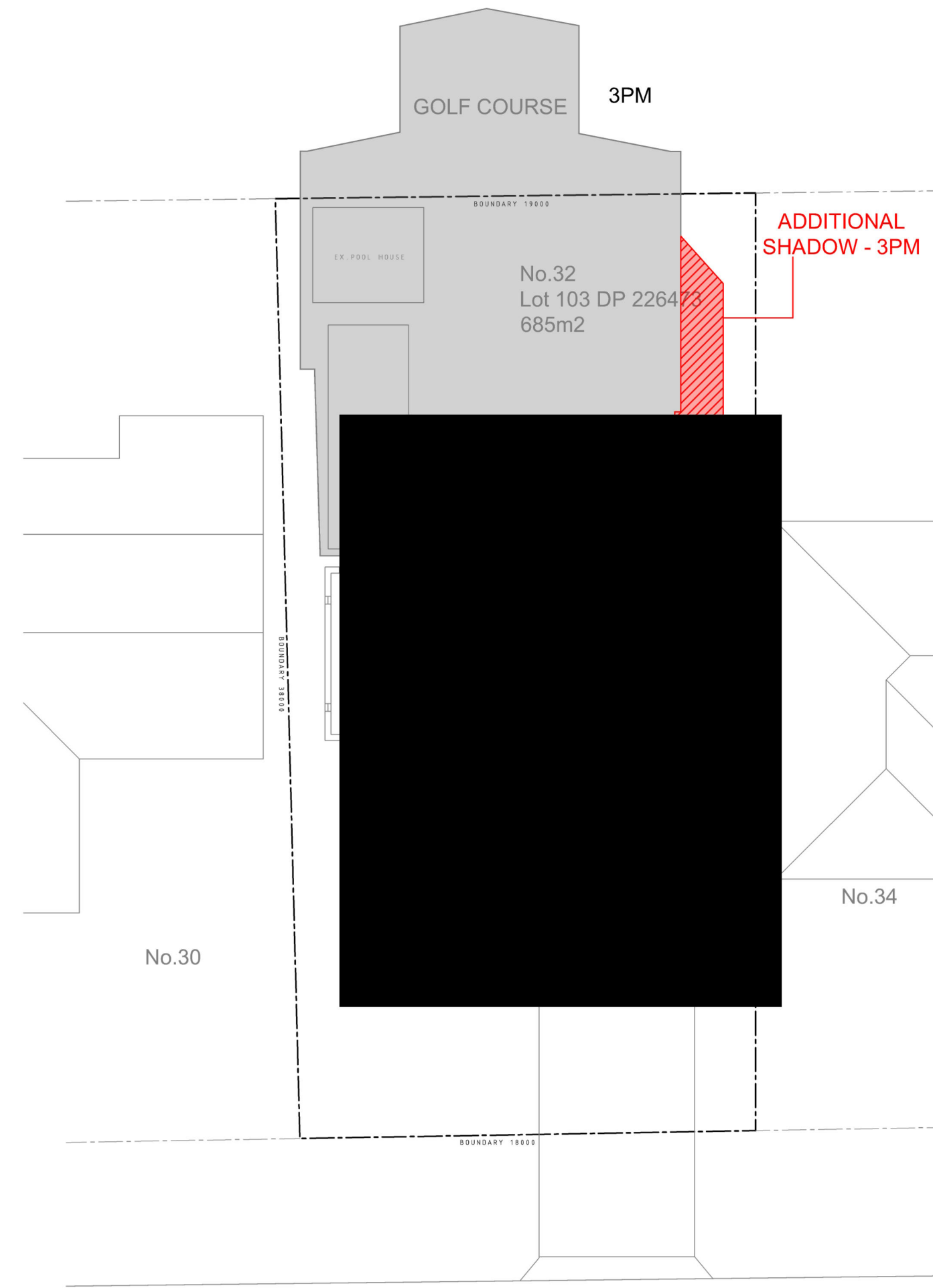
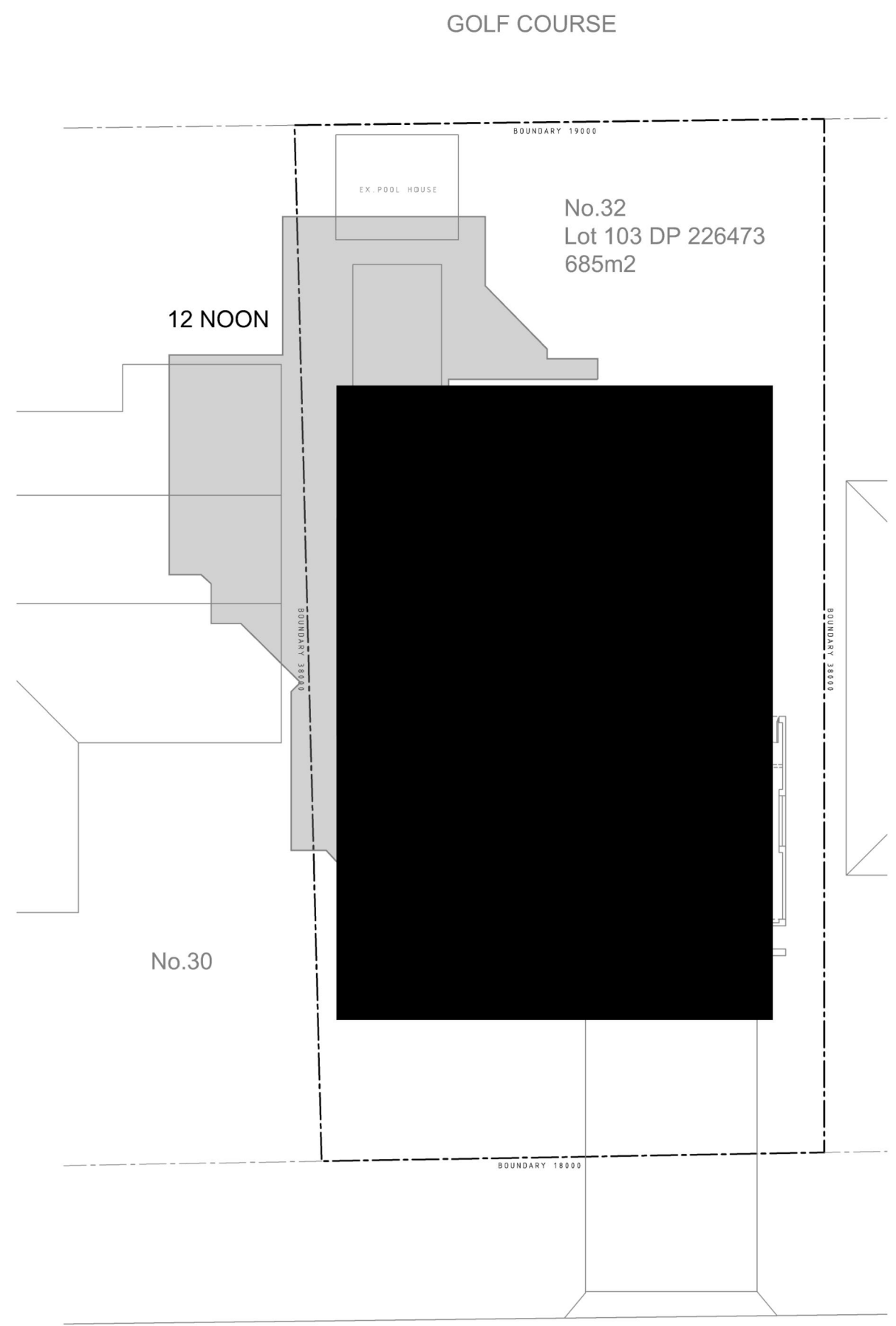
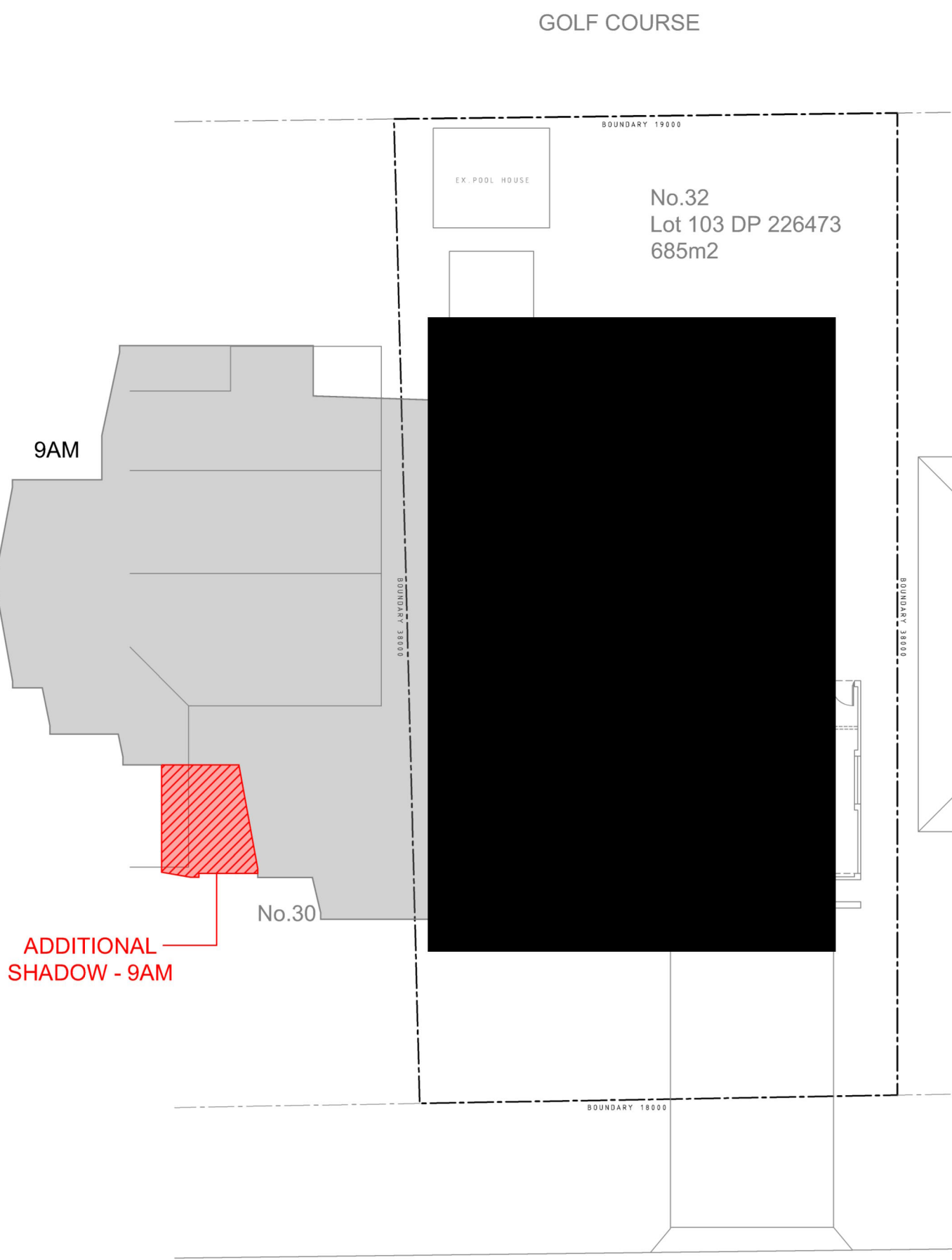
CLIENT	Andrew Reece
PROJECT	Proposed Alterations and Additions at 32 Pamela Parade LEONAY NSW 2750 Lot 103 DP 226473
DWG TITLE	SHADOW STUDY - EXISTING CONDITIONS

<input type="checkbox"/> Concept	<input type="checkbox"/> Quote	<input checked="" type="checkbox"/> Production
<small>All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Written dimensions take precedence over scale. Do not scale from drawing</small>		
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DATE	15.04.20
DRN BY	AOB
SIZE	A2
SCALE	1 : 150

AMENDMENT	DESCRIPTION	DATE
A	APPROVALS ISSUE	15.04.20
DWG NO	32_PL_A.09	ISSUE
		A

SHADOW STUDY TAKEN AT
9am, 12noon & 3pm ON 21 JUNE 2020



CLIENT	Andrew Reece	<input type="checkbox"/> Concept	<input type="checkbox"/> Quote	<input checked="" type="checkbox"/> Production	DATE	15.04.20
PROJECT	Proposed Alterations and Additions at 32 Pamela Parade LEONAY NSW 2750 Lot 103 DP 226473	<small>All dimensions in millimetres unless otherwise stated. Contractor to check all site dimensions prior to commencement of work. Written dimensions take precedence over scale. Do not scale from drawing</small>			DRN BY	AOB
DRG TITLE	SHADOW STUDY - PROPOSED	<small>© All content remains the property obrien design+drafting.</small>			SCALE	1 : 150

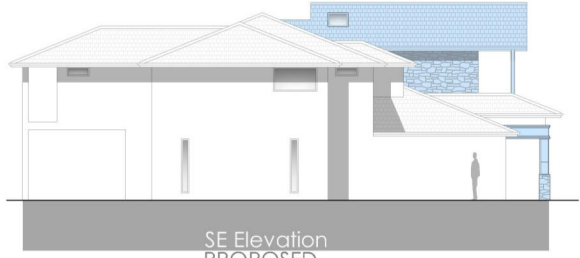
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DRG NO	32_PL_A.10	ISSUE	A	



NE Elevation
PROPOSED



SW Elevation
PROPOSED



SE Elevation
PROPOSED



NW Elevation
PROPOSED

DESIGNER	Andrew Reece
PROJECT	Proposed Alterations and Additions at 32 Pamela Parade LEONAY NSW 275 0 Lot 103 DP 226473
DATE	NOTIFICATION PLAN

<input type="checkbox"/> Concept <input checked="" type="checkbox"/> Issue <input type="checkbox"/> Production	15/04/20 AD9 A4 NTS
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APPROVALS ISSUE 15/04/20 32_PL_A.11 A
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