

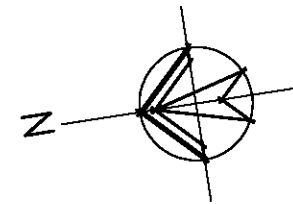
mitchell street

(16.916m)

(80.594m)


(16.916m)

(80.626m)



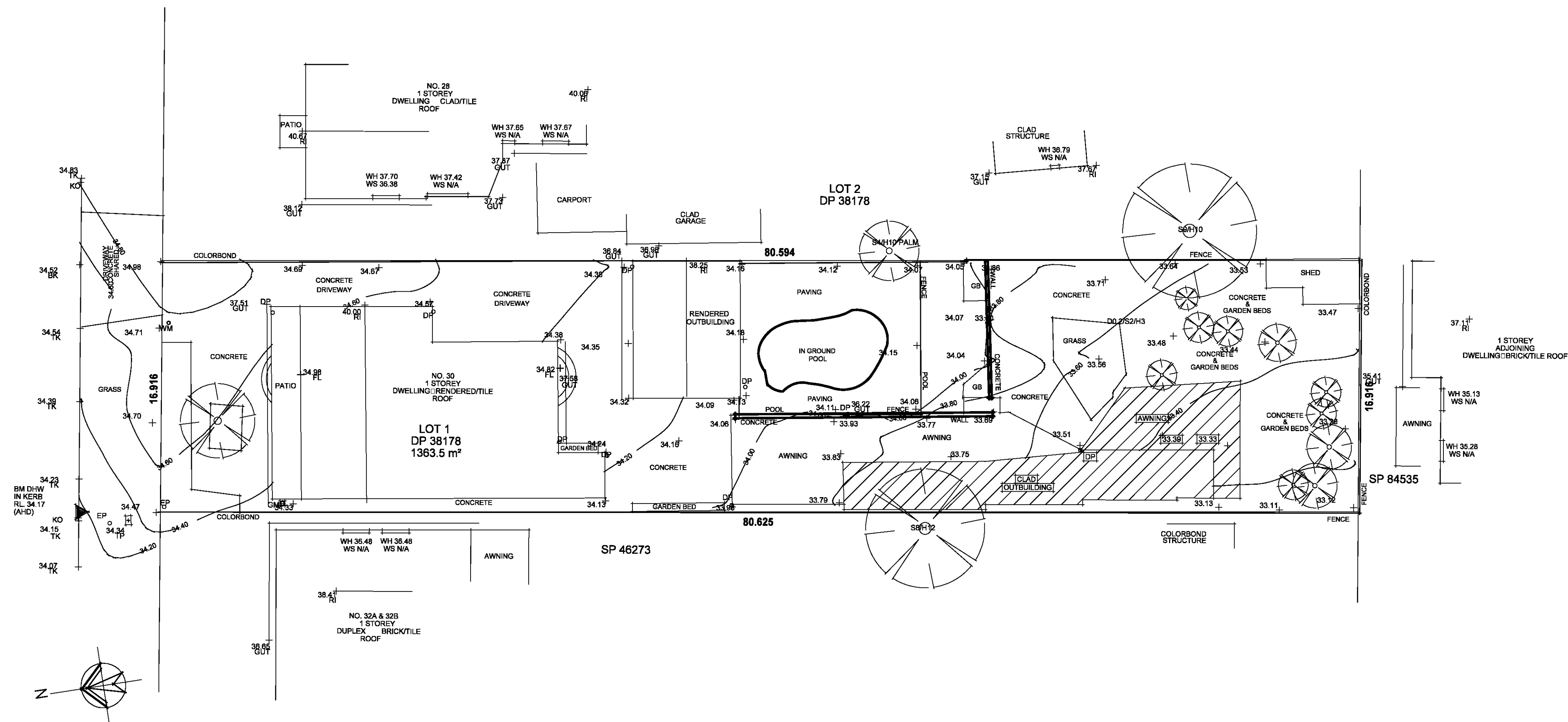
lot I
area 1359sqm (as per DP)
dp 38178

Existing Site Plan
Scale 1:200

				Approval from client		1300 4 DEVINE [REDACTED]	
Client: [REDACTED] .	Job: Proposed Sub Division of Land into 2 Lots 30 mitchell street, st marys	Scale: 1:200	Date: 4-7-20	NOTES: 1. Levels shown are approx only and should be verified on site 2. Figured dimensions are to be taken in preference to scaling 3. All measurements are in mm unless otherwise stated 4. Window sizes are nominal only. Final window sizes by builder 5. Dimensions are to be verified on site by builder before commencement of work. 6. Any items shown or drawn on the enclosed plans but not listed as an inclusion will be deemed an exclusion			
		Drawing No: 20192-1 m.w	Sheet: 1			Issue: B	
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STREET

MITCHELL



lot I
area 1359sqm (as per DP)
dp 38178

Existing Site Analyst
Scale 1:200

Client:

Job:
Proposed Sub Division
of Land into 2 Lots

30 mitchell street, st marys

Scale:
1:200

Drawing No:
20192-1 m.w

Date:
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Sheet:
3

Issue:
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Approval from client

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1300 4 DEVINE

DEVINE
DRAFTING & DESIGN

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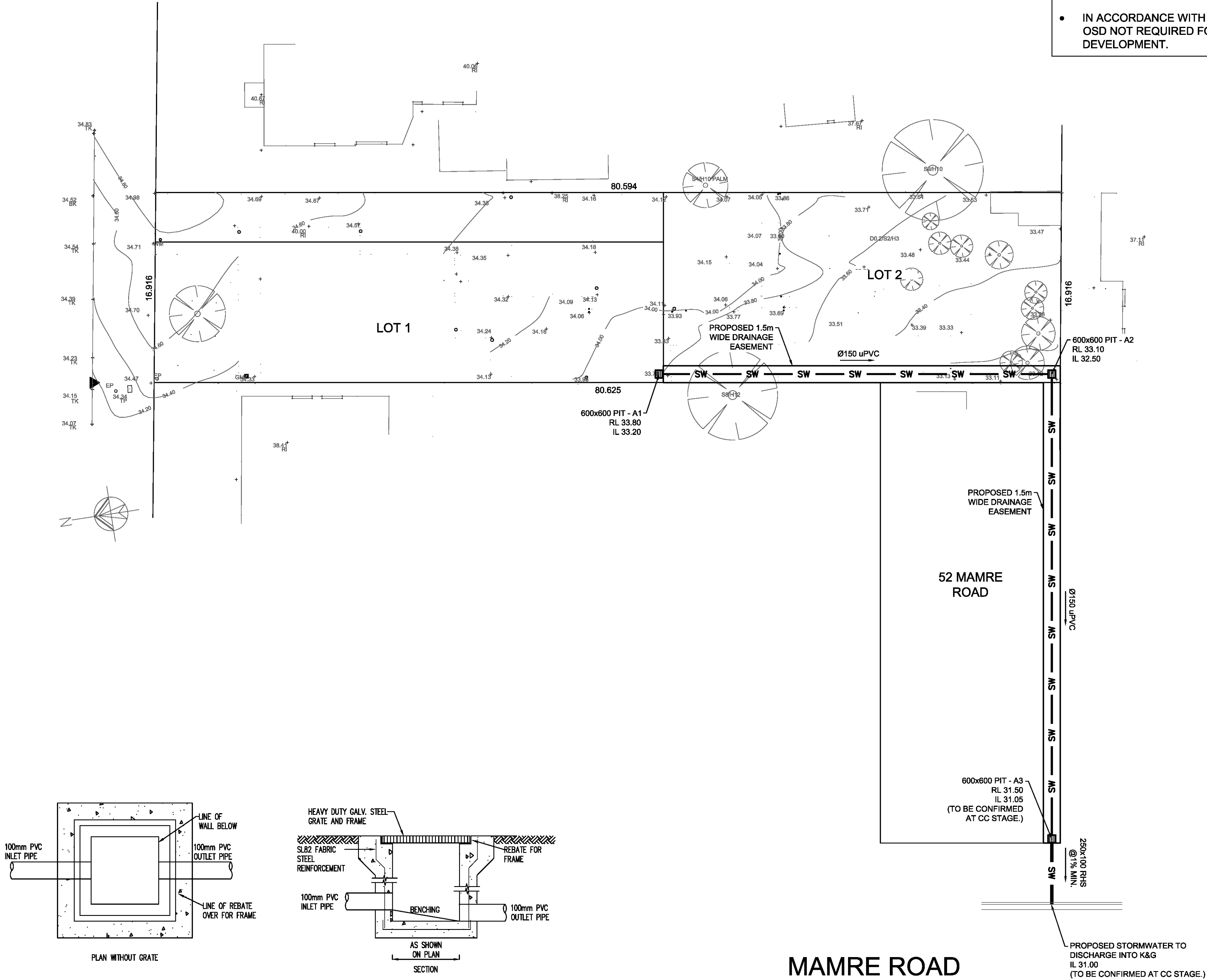
NOTES

- ALL LINES ARE TO BE MIN. 100Ø UPVC @ MIN 1.0% GRADE UNLESS NOTED OTHERWISE.
- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS. ALL DESIGN LEVELS SHOWN ON PLAN SHALL BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL PIPES TO HAVE MIN 200mm COVER IF LOCATED WITHIN PROPERTY.
- ALL PITS IN DRIVEWAYS BE HEAVY DUTY GRATES. DIRECT SURFACE FLOW TO ALL GRATED SURFACE INLET PITS.
- ALL WORK DO BE DONE IN ACCORDANCE WITH AS/NZ 3500.3.2:1998 AND COUNCIL SPECIFICATIONS.
- LOCATION OF DOWNPIPES & FLOOR WASTES ARE INDICATIVE ONLY. DOWNPIPE & FLOOR WASTE SIZE, LOCATION & QUANTITY TO BE DETERMINED BY BUILDER & IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
- THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, LANDSCAPE AND STRUCTURAL PLANS.
- ANY DISCREPANCIES OR OMISSIONS SHALL BE REFERRED TO THE DESIGN ENGINEER FOR RESOLUTION.
- ALL PITS OR GRATES IN TRAFFICABLE AREAS TO BE HEAVY DUTY.
- ALL GUTTERS WILL BE FITTED WITH LEAF GUARDS AND SHOULD BE INSPECTED AND CLEANED TO ENSURE LEAF LITTER CANNOT ENTER THE DOWNPIPES
- EXISTING STORMWATER DRAINAGE TO BE UTILISED WHERE CONTRACTOR SEE FIT.

SYMBOLS

- RL PIT SURFACE LEVEL
IL INVERT LEVEL
TK TOP OF KERB
SW STORMWATER DRAINAGE PIPE
RWT DOWNPIPE TO RAINWATER TANK
OVERFLOW PIPE FROM RAINWATER TANK
Ø100 SUBSOIL PIPE
RM RISING MAIN
FW FLOOR WASTE 150X150
FW FLOOR WASTE 150Ø
RWO RAINWATER OUTLET 300Ø
DP DOWN PIPE
CO CLEAN OUT
IO INSPECTION OPENING
VD VERTICAL DROP
VR VERTICAL RISER
CONCRETE COVER JUNCTION PIT
GRATED INLET PIT
WIDE GRATED DRAIN

STREET
MITCHELL



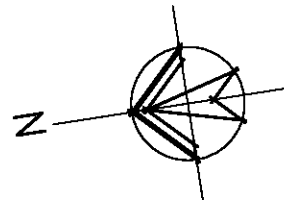
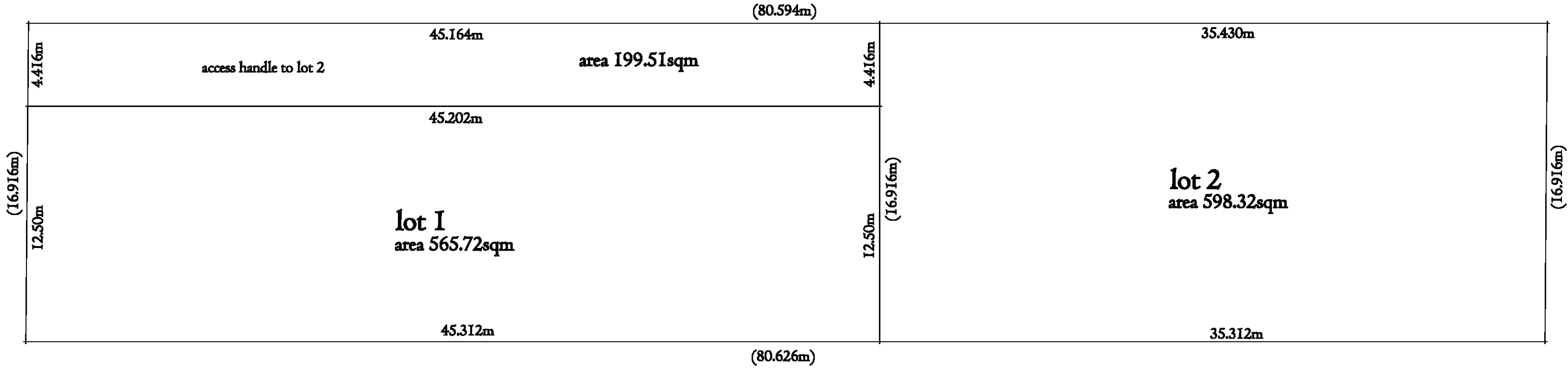
DESIGN NOTES

- LGA = CITY OF PENRITH COUNCIL
- SCOPE OF WORKS TO INCLUDE THE SUBDIVISION OF EXISTING LOT.
- IN ACCORDANCE WITH COUNCIL GUIDELINES, OSD NOT REQUIRED FOR SUBJECT DEVELOPMENT.

DETAIL
STORMWATER PIT
SCALE NTS

						ARCHITECT 		CLIENT 		SHEET SUBJECT STORMWATER DRAINAGE PLAN AND DETAILS		PROJECT 30 MITCHELL STREET, ST MARYS, NSW 2760				ISSUED FOR D.A.	
												DATE 02.08.2020	DRAWN A.E.	DESIGNED A.E.	CHECKED A.E.		
A ISSUED FOR APPROVAL				A.E. A.E. 02.08.20								SCALE @ A1 1:100 U.N.O.	JOB No D20149				DO NOT SCALE DRAWING, USE FIGURED DIMENSIONS ONLY
No AMENDMENT				ENG	DRAFT	DATE							AUTHORISED A.E.	DWG No SW01	REV A	This drawing remains the property of A.E CONSULTING ENGINEERS and must not be reproduced or used without written consent.	

mitchell street



lot I
area 1359sqm (as per DP)
dp 38178

Proposed Site Plan
Scale 1:200

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of Land into 2 Lots

30 mitchell street, st marys

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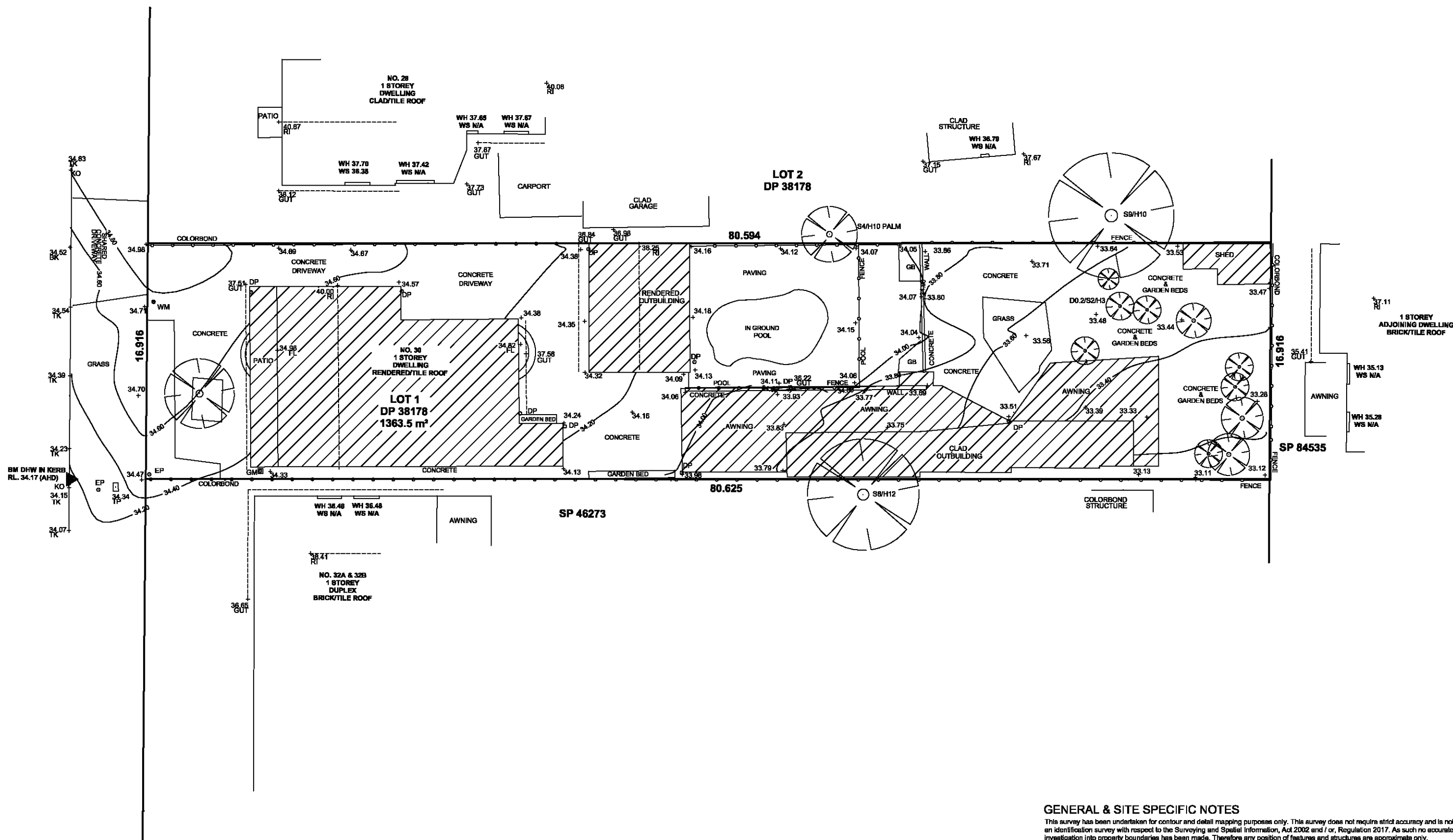
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MITCHELL STREET


























GENERAL & SITE SPECIFIC NOTES

This survey has been undertaken for contour and detail mapping purposes only. This survey does not require strict accuracy and is not an identification survey with respect to the Surveying and Spelling Information, Act 2002 and / or, Regulation 2017. As such no accurate investigation into property boundaries has been made. Therefore any position of features and structures are approximate only. Parcel boundary dimensions' bearings and areas have been adopted from the subject deposited plan and have not been investigated, any bearing, distance, area, setback or other dimension may be subject to change with further investigation and lodgment of a plan of survey at the Land Titles Office.

Contours are indicative of surface topography only. Surveyed spot levels are the only values at which reduced level can be relied upon. Contours are displayed at 1 metre major and 0.2 metre minor intervals.

Services shown have been derived from visual evidence apparent at the time of survey. It is strongly advised to visit 'dial before you dig' prior to any excavation or construction and verify critical locations with a suitably qualified service locator to AS 5488-2013 QL-A prior to any works or critical design.

It is strongly advised to review an up to date title search and give careful consideration to all items prior to any planning and/or construction.

CLIENT:	OUR PROJECT REFERENCE & DETAILS:			SCHEDULE OF SYMBOLS & ABBREVIATIONS								SURVEY DETAILS:		SCALE 1:100
CLIENT REF: -	JOB NO:	L.G.A.: PENRITH		 HYD HYDRANT	 EB ELECTRICITY BOX	 EP ELECTRICITY POLE	 LP LIGHT POST	 GV GAS VALVE	 MH MANHOLE	 SL SPOT LEVEL	 SM SURVEY MARK	SURVEYED: AY	PAGE 1	SHEET SIZE: A3
ADDRESS: 30 MITCHELL STREET	LOT: 1	SECTION: -	DP: 38178	 WM WATER METER	 TP TELECOM PIT	 GP GRATED PIT	 LP LINED PIT	 FL FLOOR LEVEL	 RW RETAINING WALL	 WH WINDOW HEAD	COMPILED: A.Y			
DATUM: Australian Height Datum		SOURCE: SCIMS		 SM SEWER MAIN	 CM COMMUNICATIONS	 GM GAS METER	 KO KERBS OUTLET	 CH CHANGE	 OR OPEN ROAD	 D DIA DIAMETER Ø	DATE: 2-7-2020			
SUBURB: ST MARYS	DATUM ORIGIN: PM 6245	REDUCED LEVEL: 34.744	DATE: 1-7-2020	 KI KERBS INSPECTION							REVIEWED: C.C			
												DATE: 6-7-2020		OF 1

