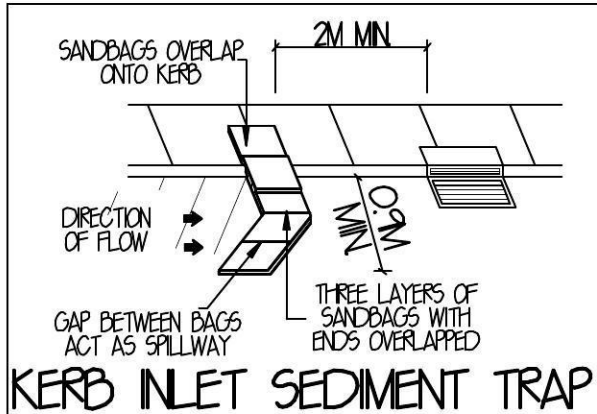
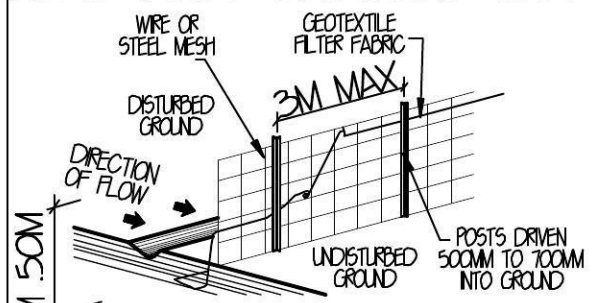


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KERB INLET SEDIMENT TRAP



SILT FENCE DETAIL

SEDIMENT CONTROL NOTES

ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.

ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

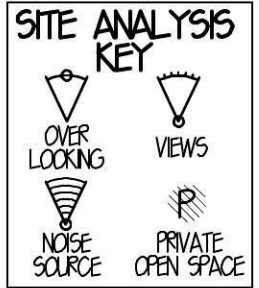
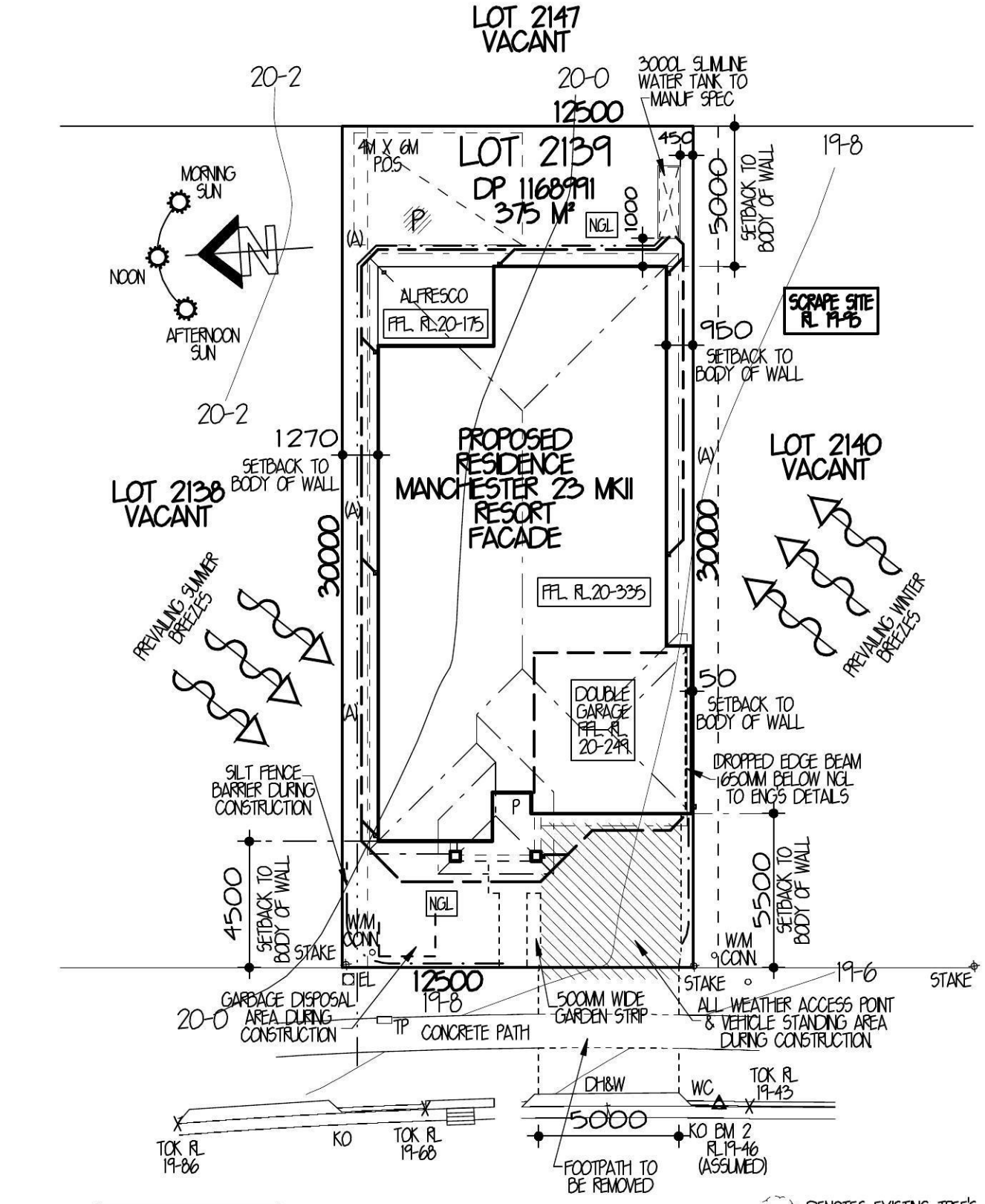
ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POSTS AT 2M CENTRES). FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

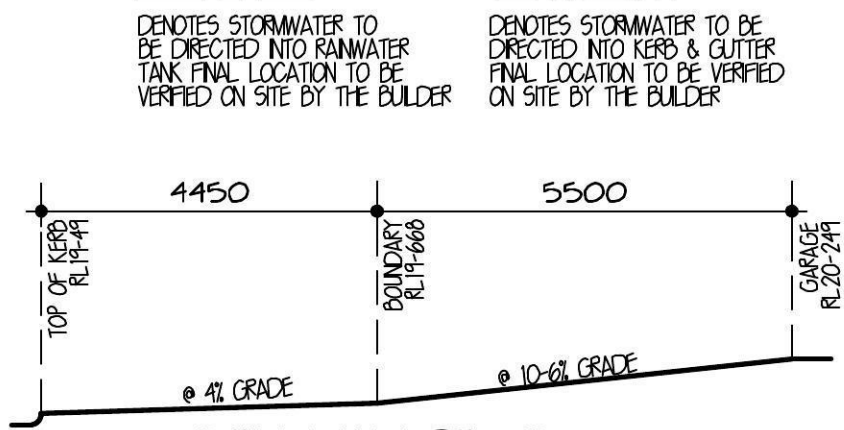
GENERAL NOTES

- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
- SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
- ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER.
- FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO A&N DESIGN BEFORE PROCEEDING.
- SITE CLASSIFICATION HI
- CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL19-95 GARAGE TO RL19-95
- HOUSE FLOOR LEVEL RL-20-335, 385MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL-20-249, 299MM ABOVE PLATFORM LEVEL.
- TOTAL ROOF AREA = 236.6 M²



SITE ANALYSIS & SITE PLAN 1:200
(DRAINAGE PLAN)

- DENOTES EXISTING TREES TO BE REMOVED
- DENOTES RETAINING WALL BY OWNER
- - - DENOTES SILT FENCE BARRIER
- - - - DENOTES DROPPED EDGE BEAM
- ▭▭▭ DENOTES LINE OF BATTER TO CUT OR FILL
- VEHICLE CROSSOVER TO BE PLAN CONCRETE TO PCC SPECIFICATION
- ANY EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION
- ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900MM AND OVER ON THE LOT ARE TO BE OF MASONRY CONSTRUCTION



DRIVEWAY PROFILE 1:100

SITE DATA

SITE AREA = 375 M²

PRIVATE OPEN SPACE REQUIRED = 15% OR 56.2 M²
PROVIDED = 20.7% OR 77.8 M²

FLOOR AREAS

FLOOR AREA = 164.8 M² (NOT INCLUDING GARAGE)
GARAGE FLOOR AREA = 32.7 M²
PORCH FLOOR AREA = 5.0 M²
ALFRESCO FLOOR AREA = 11.7 M²

TOTAL FLOOR AREA = 214.2 M² OR 23-1 SQ5

EDEN BRAE CONNECT HOMES
LEVEL 3, 22 BROOKHOLLOW AVENUE,
NORTHWEST BUSINESS PARK,
BALLKHAM HILLS NSW 2153
P: 8860 9222
F: 8860 9233

FOR **CONNECT HOMES** UBD AREA: SYD REVISION: 48 MAP: 44 REF: G14

AT **LOT 2139 ILLOURA WAY, JORDAN SPRINGS DP 11689911**

TYPE **MANCHESTER 23 MKII** JOB NO. **0016461**

FACADE **RESORT (SMART LIVING SERIES)** HAND **R1**

MASTER **A19483** DWG NO. **A19455** PAGE NO. **1 OF 7**

AGN SYDNEY

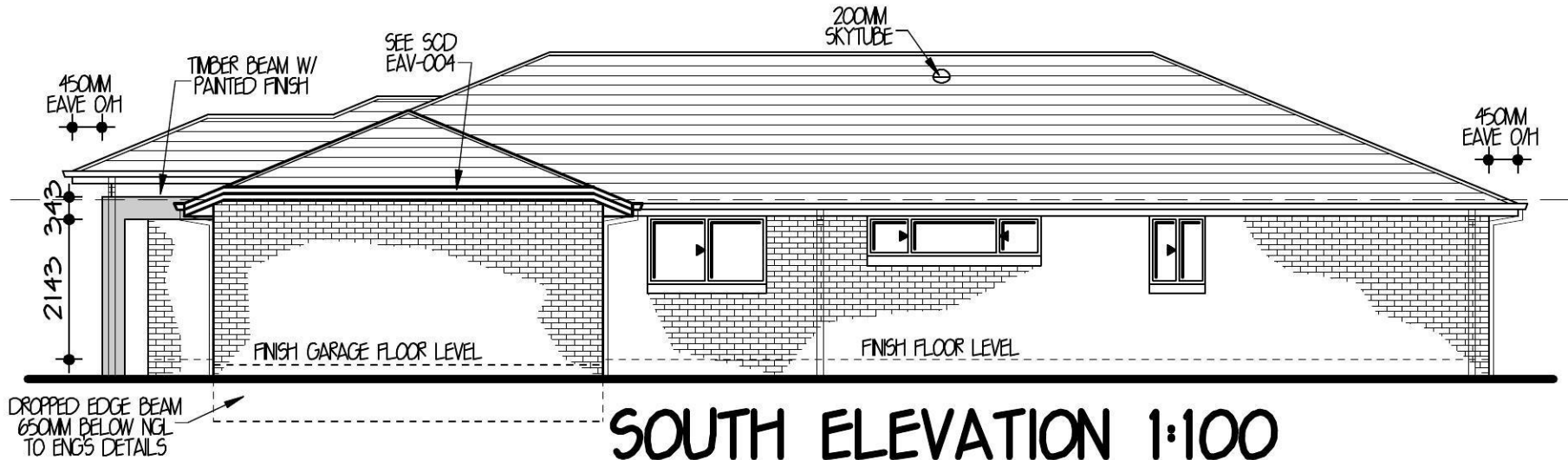
LEVEL 2 SUITE 216 MACARTHUR POINT
NO. 25-27 SOLENT CIRCUIT BALLKHAM HILLS
PO BOX 6410 BALLKHAM HILLS
BUSINESS CENTRE NSW, 2153
PHONE: (02) 8824 3523 FAX: (02) 8824 3544
WWW.ANDESIGNSYDNEY.COM.AU

ISS	DATE	REVISION	DRAWN
A	14-2-13	CC PLAN	J5
B	21-02-13	BAGX PLAN	TM
C	20-03-13	AMENDMENTS	JT
D	21-05-13	RESITE	CL
E	06-06-13	AMENDMENTS	AD

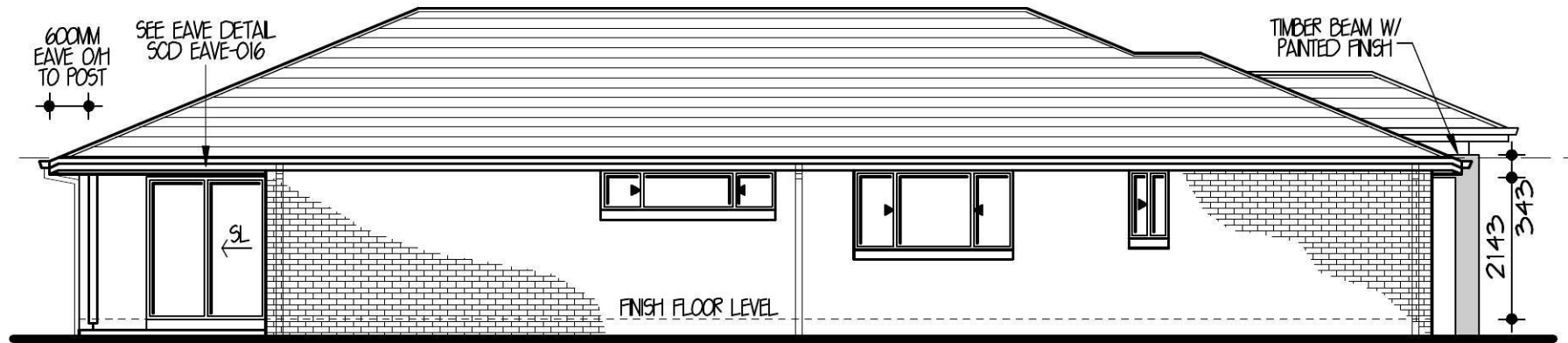
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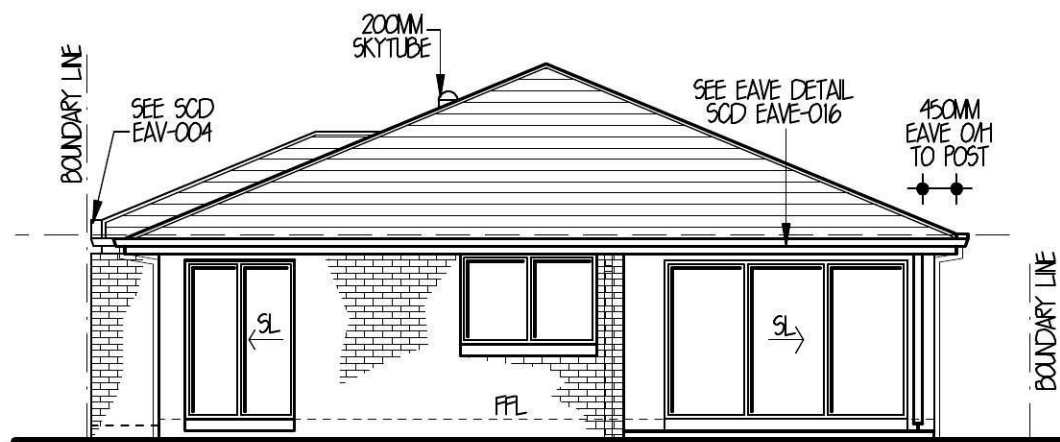
WEST ELEVATION 1:100



SOUTH ELEVATION 1:100



NORTH ELEVATION 1:100



EAST ELEVATION 1:100

EDEN BRAE CONNECT HOMES

LEVEL 3, 22 BROOKHOLLOW AVENUE,
NORTHWEST BUSINESS PARK,
BALLKHAM HILLS NSW 2153
P 8860 9222
F 8860 9233

FOR CONNECT HOMES	LED AREA: SYD REVISION: 18 MAP: 144 REF: G14
AT LOT 2139 ILLOURA WAY, JORDAN SPRINGS DP 11689711	
TYPE MANCHESTER 23 MKII	JOB NO. 0016461
FACADE RESORT (SMART LIVING SERIES)	HAND RH
MASTER A19483	DWG NO. A19455
	PAGE NO. 3 OF 7



LEVEL 2 SUITE 216 MACARTHUR POINT
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ISS	DATE	REVISION	DRAWN
A	14-2-13	CC PLAN	J5
B	21-02-13	BASIS PLAN	TM
C	20-03-13	AMENDMENTS	JT
D	21-05-13	RESITE	CL
E	06-06-13	AMENDMENTS	AD

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INSULATION

R2-0 WALL INSULATION
R3-5 CEILING INSULATION (EXCLUDING GARAGE & ALFRESCO)
ROOF SARKING

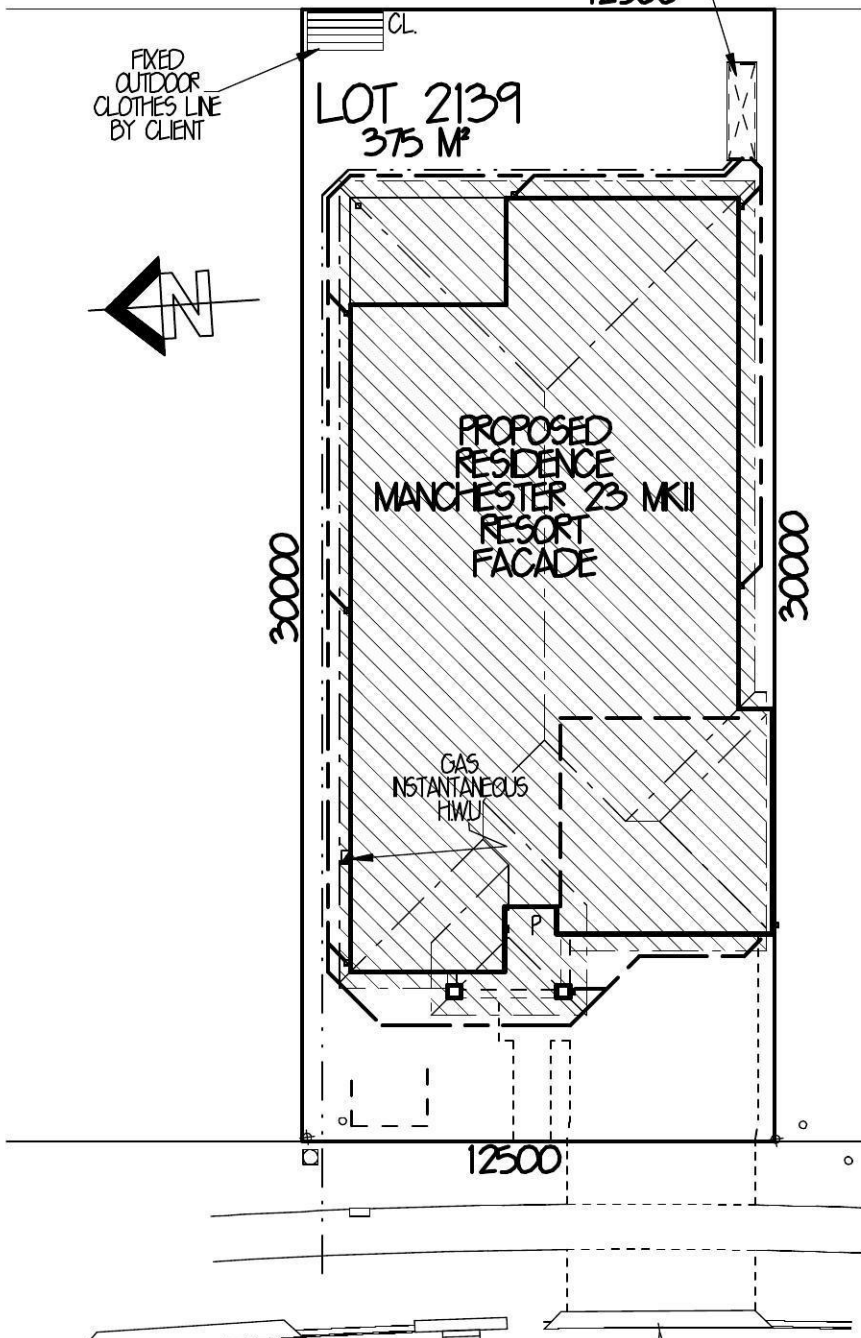
BASIX SCORE

WATER - 40% (TARGET 40%)
THERMAL COMFORT - PASS (TARGET PASS)
ENERGY - 40% (TARGET 40%)

THERMAL COMFORT

THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE CERTIFICATE N° 4691725_02 AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OR APPLICATION FOR COMPLYING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THE VALUES SHOWN IN THE CERTIFICATE N° 4691725_02

☐ DENOTES 165M² OF ROOF TO BE COLLECTED
3000L SLIMLINE WATER TANK TO MANUF SPEC



**ILLOURA WAY
BASIX PLAN
1:200**

STORMWATER / WATER

COLLECTION OF RAINWATER & STORMWATER:
THE APPLICANT MUST INSTALL A RAINWATER TANK ON THE SITE. THE RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES

RAINWATER TANK:
THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RUNOFF FROM AT LEAST 165 SQM OF THE ROOF AREA OF THE DWELLING

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO ALL THE TOILETS IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR TOILET FLUSHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHING MACHINE IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR CLOTHES WASHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT SO THAT RAINWATER CAN BE USED TO IRRIGATE VEGETATED AREAS OF THE SITE.

THE RAINWATER TANK MUST HAVE A CAPACITY OF AT LEAST 3000 LITRES.

SHOWERHEADS:
THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (75 BUT ≤9L/MIN) IN ALL SHOWERS IN THE DEVELOPMENT

TOILETS:
THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 3 STAR IN EACH TOILET IN THE DEVELOPMENT.

TAP FITTINGS:
THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM FLOW RATE OF 3 STAR IN THE KITCHEN IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL BATHROOM TAPS (OTHER THAN SHOWERHEADS) WITH A MINIMUM FLOW RATE OF 3 STAR IN EACH BATHROOM IN THE DEVELOPMENT

ENERGY

HOT WATER:
THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT:
GAS INSTANTANEOUS

ACTIVE COOLING:
THE LIVING AREAS MUST NOT INCORPORATE ANY COOLING SYSTEM OR ANY DUCTING WHICH IS DESIGNED TO ACCOMMODATE A COOLING SYSTEM

THE BEDROOMS MUST NOT INCORPORATE ANY COOLING SYSTEM OR ANY DUCTING WHICH IS DESIGNED TO ACCOMMODATE A COOLING SYSTEM

ACTIVE HEATING:
THE LIVING AREAS MUST NOT INCORPORATE ANY HEATING SYSTEM OR ANY DUCTING WHICH IS DESIGNED TO ACCOMMODATE A HEATING SYSTEM

THE BEDROOMS MUST NOT INCORPORATE ANY HEATING SYSTEM OR ANY DUCTING WHICH IS DESIGNED TO ACCOMMODATE A HEATING SYSTEM

VENTILATION:
THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:
AT LEAST 1 BATHROOM: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF. OPERATION CONTROL: MANUAL SWITCH ON/OFF
KITCHEN: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF. OPERATION CONTROL: MANUAL SWITCH ON/OFF
LAUNDRY: NATURAL VENTILATION ONLY, OR NO LAUNDRY: OPERATION CONTROL: N/A

NATURAL LIGHTING:
THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 2 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

ARTIFICIAL LIGHTING:
THE APPLICANT MUST ENSURE THAT THE "PRIMARY TYPE OF ARTIFICIAL LIGHTING" IS FLUORESCENT OR LED LIGHTING IN THE FOLLOWING ROOMS:

- AT LEAST 4 OF THE BEDROOMS/STUDY: DEDICATED
- AT LEAST 2 OF THE LIVING/ DINING AREAS DEDICATED

AS WELL AS THESE ROOMS THE APPLICANT MUST ALSO ENSURE THAT THE PRINCIPLES APPLY TO ANYWHERE THE WORD "DEDICATED" APPEARS.

FITTINGS FOR THESE LIGHTS MUST ONLY BE CAPABLE OF ACCEPTING FLUORESCENT OR LED LAMPS

COOKING:
THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.

OTHER:
THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT

THE APPLICANT MUST CONSTRUCT EACH REFRIGERATOR SPACE IN THE DEVELOPMENT SO THAT IT IS "WELL VENTILATED", AS DEFINED IN THE BASIX

**EDEN BRAE
CONNECT HOMES**

LEVEL 3, 22 BROOKHOLLOW AVENUE,
NORTHWEST BUSINESS PARK,
BALLKHAM HILLS NSW 2153
P: 8860 9222
F: 8860 9233

FOR **CONNECT HOMES** UED AREA: SYD REVISION: 04 MAP: 144 REF: G14

AT **LOT 2139 ILLOURA WAY,
JORDAN SPRINGS DP 11689911**

TYPE **MANCHESTER
23 MKII** JOB NO. **0016461**

FACADE **RESORT
(SMART LIVING SERIES)** HAND **RH**

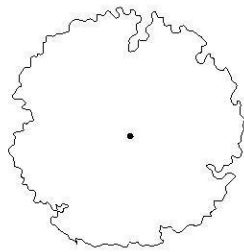
MASTER **A19483** DWG NO. **A19455** PAGE NO. **7 OF 7**



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ISS	DATE	REVISION	DRAWN
A	14-2-13	CC PLAN	J5
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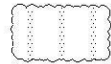
LEGEND



Proposed trees - refer to plant schedule



Proposed shrubs - refer to plant schedule



Proposed groundcovers and grasses - refer to plant schedule



Existing levels

+RL 101.55

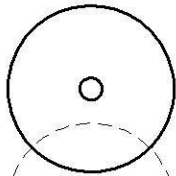
Proposed levels

+TOW 101.55

Proposed Top Of Wall levels



Proposed accents & grasses - refer to plant schedule



Existing tree to be retained



Existing tree to be removed

--- Boundary

--- Fence

--- Garden edging

█ Masonry retaining walls

--- Existing contours

PLANT SCHEDULE Prepared by H2Odesign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
*Ash	Acmena smithii 'Hedgemaster'	Hedgemaster Lillypilly	6	200mm	1-1.5m
Crf	Cordyline 'Red Fountain'	Red Fountain Cordyline	4	175mm	1m
*Dea	Dianella tasmanica 'Emerald Arch'	Emerald Arch Flax Lily	13	150mm	0.45m
*Er	Elaeocarpus reticulatus	Blueberry Ash	1	25L	9m
*TI	Tristaniopsis laurina	Water Gum	1	25L	7m

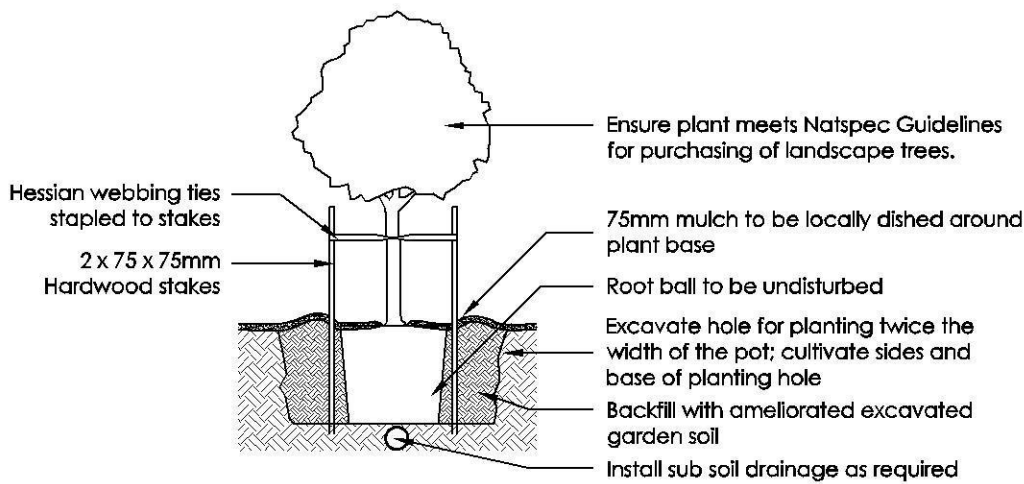
*Australian native plants

PLANTING SUMMARY

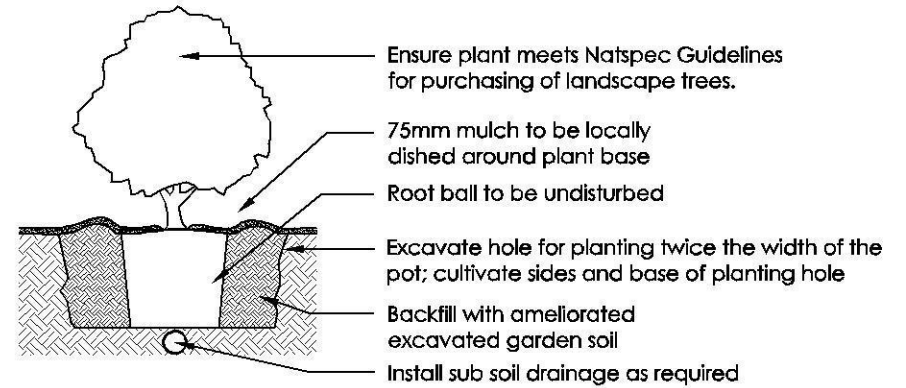
Total Plants	Total Native Plants	Total Exotic Plants	% Native Plants**	Total Trees***
25	21	4	84%	2

**Minimum required 50%

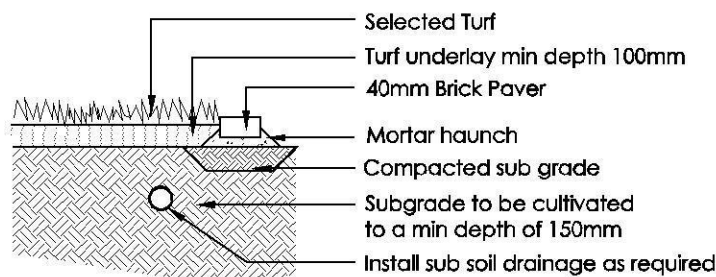
***Minimum 2 trees



1 Tree Planting Detail
NTS 25L - 75L Pot Size



2 Planting Detail
NTS Tube, 150mm, 200mm Pot Size



3 Turf Detail
NTS Brick Paver Edge

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	SUBMITTED FOR APPROVAL	VF	MD	07-08-13
B	AMENDED DUE TO ARCHITECT COMMENTS	VF	MD	21-09-13
C	AMENDED DUE TO DEVELOPER REQUIREMENTS	KH	MD	17-06-13

H2ODESIGN
 PO Box 3136, Caringford, NSW 2118
 Ph: (02) 9871 7701 Fax: (02) 9873 2663
 Member of the Australian Institute of Landscape Design and Heritage

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 2. Verify all measurements on site
 3. Notify H2Odesign of any inconsistencies
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 5. Drawing remains the property of H2Odesign

6. All work to comply with relevant Australian Standards or Building Code of Australia
 7. All work to be performed by a suitably qualified tradesperson
 8. For application purposes only - NOT FOR CONSTRUCTION

PROJECT: **LOT 2139 ILLOURA WAY, JORDAN SPRINGS**

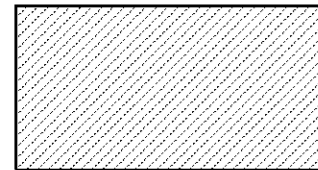
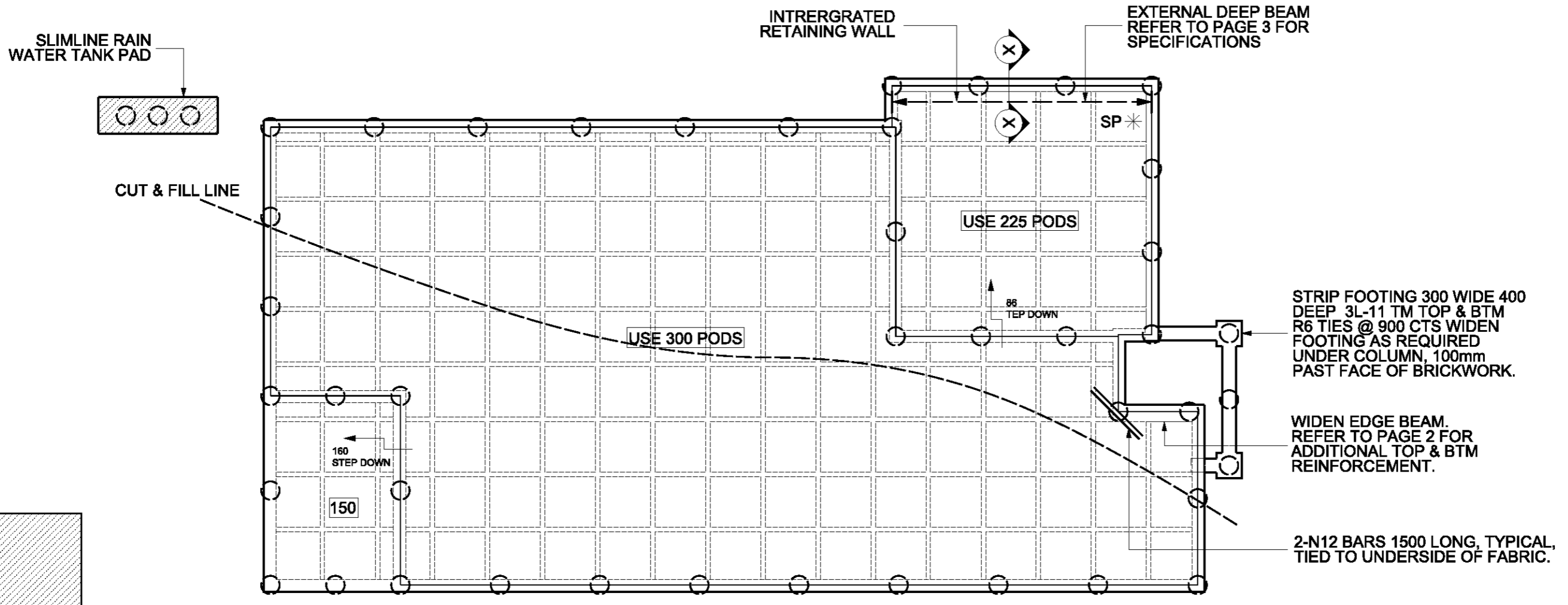
DRAWING: **CONNECT HOMES**

PROJECT: **NEW RESIDENCE**

DRAWING: **LANDSCAPE PLAN**

SCALE: **1:100 @ A3** DATE: **DA** SHEET: **L-02**

DRAWN: **KH** CHECK: **MD** DATE: **17-06-13** REVISION: **C**



HATCHED AREA DENOTES
150 THICK INFILL SLAB
SL72 FABRIC TOP/BTM 25
COVER ON COMPACTED FILL

THIS IS TO CERTIFY THAT THE SLAB
HAS BEEN DESIGNED FOR SALINE
AFFECTED SOILS. REFER TO PAGES
1 & 2 FOR SALINITY REQUIREMENTS.

REFER TO PAGES 4
FOR SEWER DETAILS

FORMWORK LEVEL CHECK BOOKED
FORMWORK LEVEL CHECK COMPLETE

CONSTRUCTION NOTES

GENERAL: UNLESS NOTED OTHERWISE

THE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER WORKING DRAWINGS AND SPECIFICATIONS AND ANY OTHER WRITTEN INSTRUCTIONS ISSUED DURING CONSTRUCTION. ALL DISCREPANCIES AND VARIATIONS SHALL BE REFERRED TO THE ENGINEER, BEFORE PROCEEDING WITH THE WORK.

DURING CONSTRUCTION THE STRUCTURE AND ANY ADJACENT STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWING ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS.

THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH THE LOCATION, SIZE AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS.

ALL SITE SAFETY MEASURES AND WORK METHOD STATEMENTS PREPARED BY BUILDER/SUB-CONTRACTORS ARE TO BE IMPLEMENTED DURING CONSTRUCTION. NO WORK IS TO COMMENCE UNTIL SUPERVISOR/BUILDER HAS IDENTIFIED AND APPROPRIATELY ACTED ON ANY POTENTIAL HAZARDS.

UNLESS REQUESTED AND PRODUCED ON THE PLANS, BUILDER IS TO ENSURE THAT ARTICULATION JOINTS ARE SHOWN ON THEIR ARCHITECTURAL DRAWINGS AND BE SATISFIED THEY ARE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES.

ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF RELEVANT AUSTRALIAN STANDARD CODES AND THE REGULATIONS OF THE RELEVANT BUILDING AUTHORITY

FOOTINGS ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 100kPa.

PIER HOLES ARE DESIGNED FOR ALLOWABLE BEARING PRESSURE OF 200kPa.

FOUNDATION MATERIAL SHALL BE APPROVED PRIOR TO CONSTRUCTION

ADDITIONAL CONCRETE PIERS MAY BE REQUIRED UNDER SLAB TO EVEN BEARING IN SOIL AS RECOMMENDED BY AUSTRALIAN STANDARD AS 2870.

ADDITIONAL PIERS IN THE CUT SECTION OF BUILDING PLATFORM MAY ALSO BE REQUIRED TO ACHIEVE THE SAME BEARING AS PIERS IN THE FILL SECTION.

A 1 METRE WIDE APRON, WITH 25 CROSS FALL AWAY FROM SLAB EDGE IS TO BE FORMED ALL AROUND THE RAFT SLAB WHERE APPLICABLE

IF THE LOCATION OF THE SLAB IS NEXT TO AN ABOVE OR BELOW ON SITE DETENTION SYSTEM OR BELOW GROUND RAINWATER TANK, THE BUILDER IS TO ADVISE ENGINEER IN ORDER TO ENSURE THAT CONCRETE PIERS ARE TAKEN 500mm BELOW THE INVERT LEVEL OF TANK OR THE FOOTING OF THE SUPPORTING WALL FOR AN ABOVE GROUND DETENTION SYSTEM.

ALL SITE FILLING PLACED BENEATH SLAB TO BE TREATED IN ACCORDANCE WITH CLAUSE 6.4. OF AS 2870.2 - 2011.

REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF RAINWATER TANK AC, HWS AND LPG UNITS.

CONCRETE SPECIFICATION (F_c 28 DAYS) TO BE AS FOLLOWS: ADOPT TYPE 'A' CEMENT WITH MAX AGGREGATE SIZE OF 20mm AND 80mm SLUMP

LOCATION	NORMAL F _c	SALINE AFFECTED F _c
PIERS	20 MPa	32 MPa
SLAB	20 MPa	32 MPa
STRIP FOOTINGS	25 MPa	32 MPa

CLEAR COVER TO REINFORCEMENT TO BE AS FOLLOW:

LOCATION	FORMED & SHELTERED	FORMED & EXPOSED	POURED ON GROUND
SLABS & WALLS	20	30	65
BEAMS	25	40	65
COLUMNS	40	50	—
STRIP FOOTING	—	—	65

REINFORCEMENT SYMBOLS ARE AS FOLLOWS:
(N) - HOT ROLLED DEFORMED BARS (400 n)
(SL) - HARD-DRAWN WIRE REINFORCING FABRIC (450 sl)
(S) - STRUCTURAL GRADE DEFORMED BARS

NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS ARE TO BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR ENGINEERS APPROVAL.

CONSTRUCTION JOINTS THAT ARE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.

ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED IN ITS REQUIRED POSITION AND COVER DURING PLACEMENT OF CONCRETE

PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.

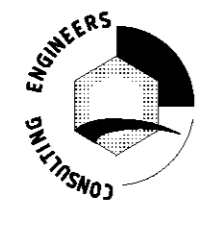
ALL CONCRETE TO BE MECHANICALLY VIBRATED AND SHALL BE CAREFULLY WORKED AROUND THE REINFORCEMENT AND INTO THE CORNERS OF FORMWORK

BUILDER TO ADHERE TO ANY GEOTECHNICAL REPORT RECOMMENDATIONS PREPARED FOR THE SITE.

REINFORCED CONC. PIER
 SEWER AFFECTED PIER
 SCREW PIER
 UNREINFORCED CONC. PIER
 ARTICULATION JOINT
 STARTING POINT

DESIGNED TO AS 2870 - 2011 SLAB AND FOOTING CODE

RAFELETOS
ABN: 35 079 047 466
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 91 KINGSGROVE NSW 2208

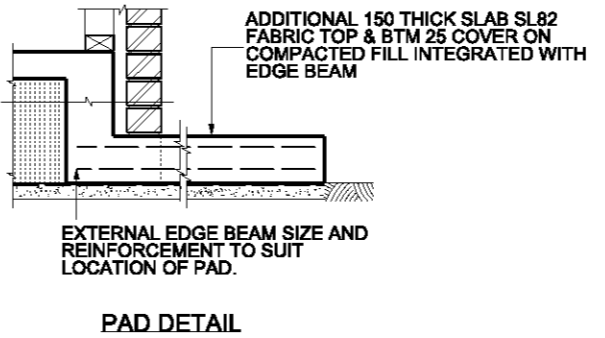
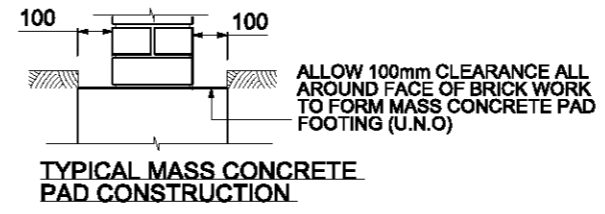
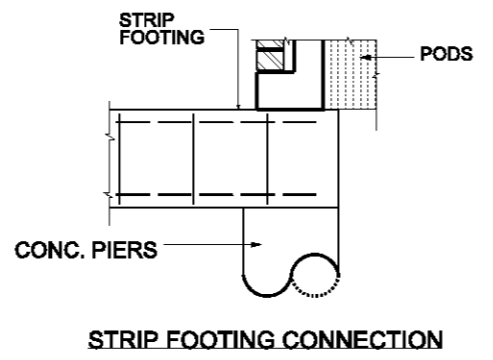
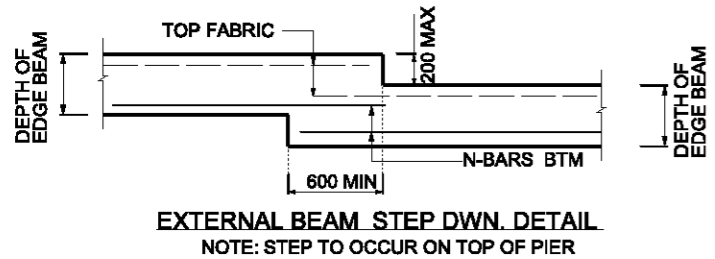
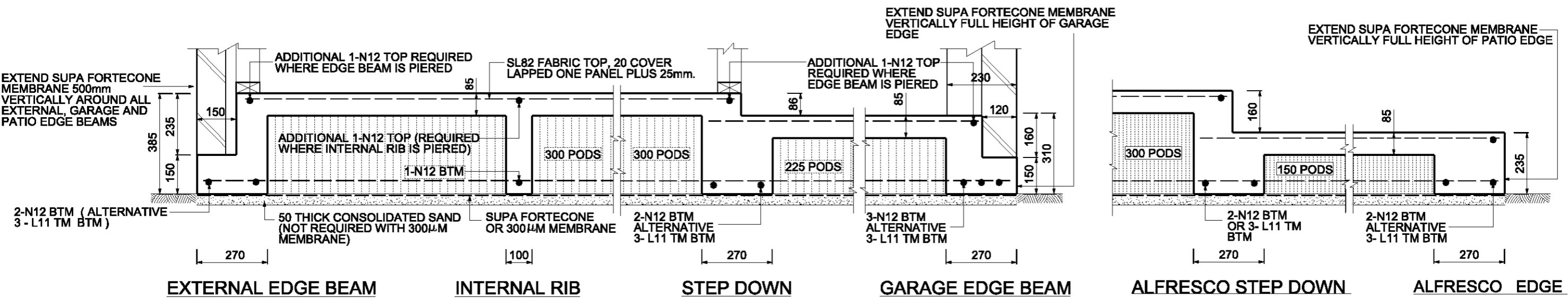


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Pty Ltd
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EMAIL: admin@rafzan.com.au

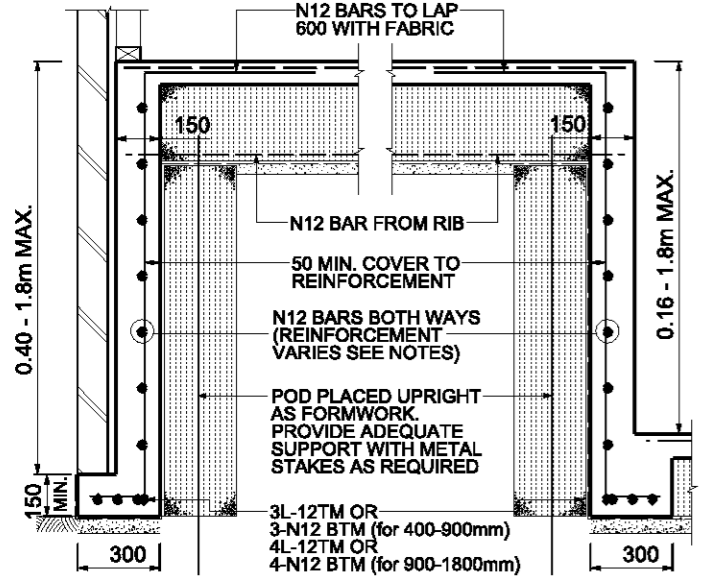
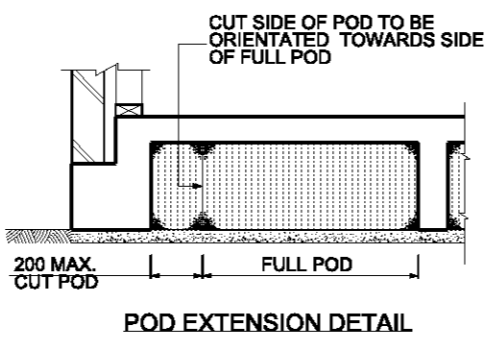
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heden brae homes

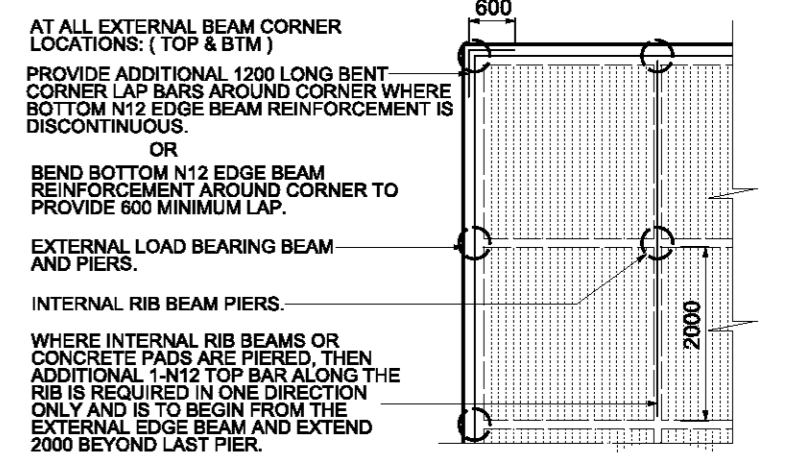
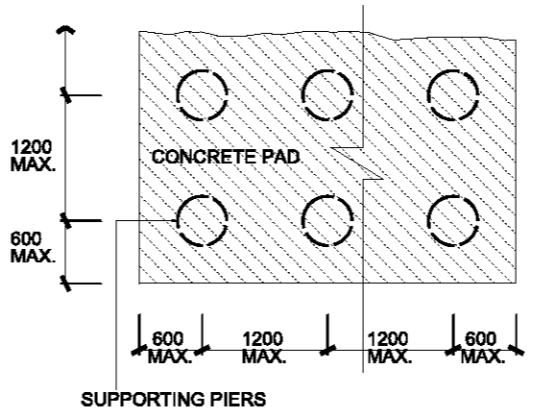
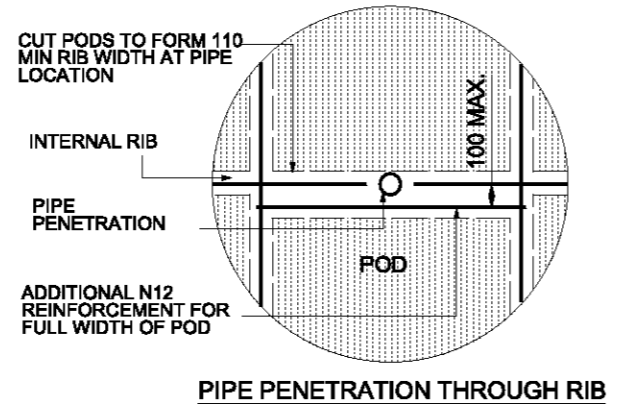
STRUCTURAL SLAB DETAIL PLAN				
CLIENT LOCATION	CONNECT HOMES LOT 2139 ILLOURA WAY, JORDAN SPRINGS			
CLASSIFICATION	H1	DRAWN	N.P	SCALE 1:100
REFERENCE	16461	ISSUE	A	DATE 02/07/13
			SHEET No.	1
			JOB No.	55749EB



- FOR RAINWATER TANK, LPG & A/C UNITS ETC. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- SPACE PIERS AS REQUIRED TO SUIT PAD SIZE:
- 500 MAXIMUM TO EDGE OF SLAB FOR PERIMETER PIERS.
- 1000 MAXIMUM CENTRES IF ADDITIONAL INTERNAL PIERS ARE REQUIRED FOR PAD SIZE.



DEEP BEAM DEPTH	BEAM REINFORCEMENT
160 - 400mm	N12 BARS AT 1200 CENTRES & 1-N12 HORIZONTAL
400 - 900mm	N12 BARS AT 600 CENTRES & 1-N12 CENTRALLY
900 - 1500mm	N12 BARS AT 300 CENTRES BOTH WAYS
1500 - 1800mm	N12 BARS AT 200 CENTRES BOTH WAYS



THIS IS TO CERTIFY THAT THE SLAB HAS BEEN DESIGNED FOR SALINE AFFECTED SOILS.

PROVIDE 400 DIA. CONCRETE PIERS TO CLAY AND SAND, OR 300 DIA. TO ROCK OR SHALE.

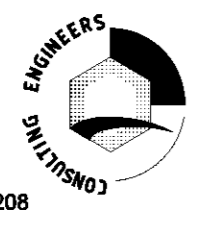
SPACE PIERS AT 2400 CTS AS SHOWN ALONG EXTERNAL EDGE BEAM, UNLESS NOTED OTHERWISE

PIERS REQUIRED UNDER INTERNAL RIB BEAMS WHEN CONSTRUCTED ON MORE THAN 300mm OF UNCONTROLLED/NON-COMPACTED MATERIAL, OR AS SHOWN.

N12 BARS CAN BE REPLACED WITH 10.65mm HDW (450MPa STRESS GRADE)

REINFORCEMENT FOR RIBS AND BEAMS		
WIDTH	TOP STEEL	BTM STEEL
271-330	1-N12	3-N12
331-440	2-N12	4-N12
441-550	3-N12	5-N12
551-660	4-N12	6-N12

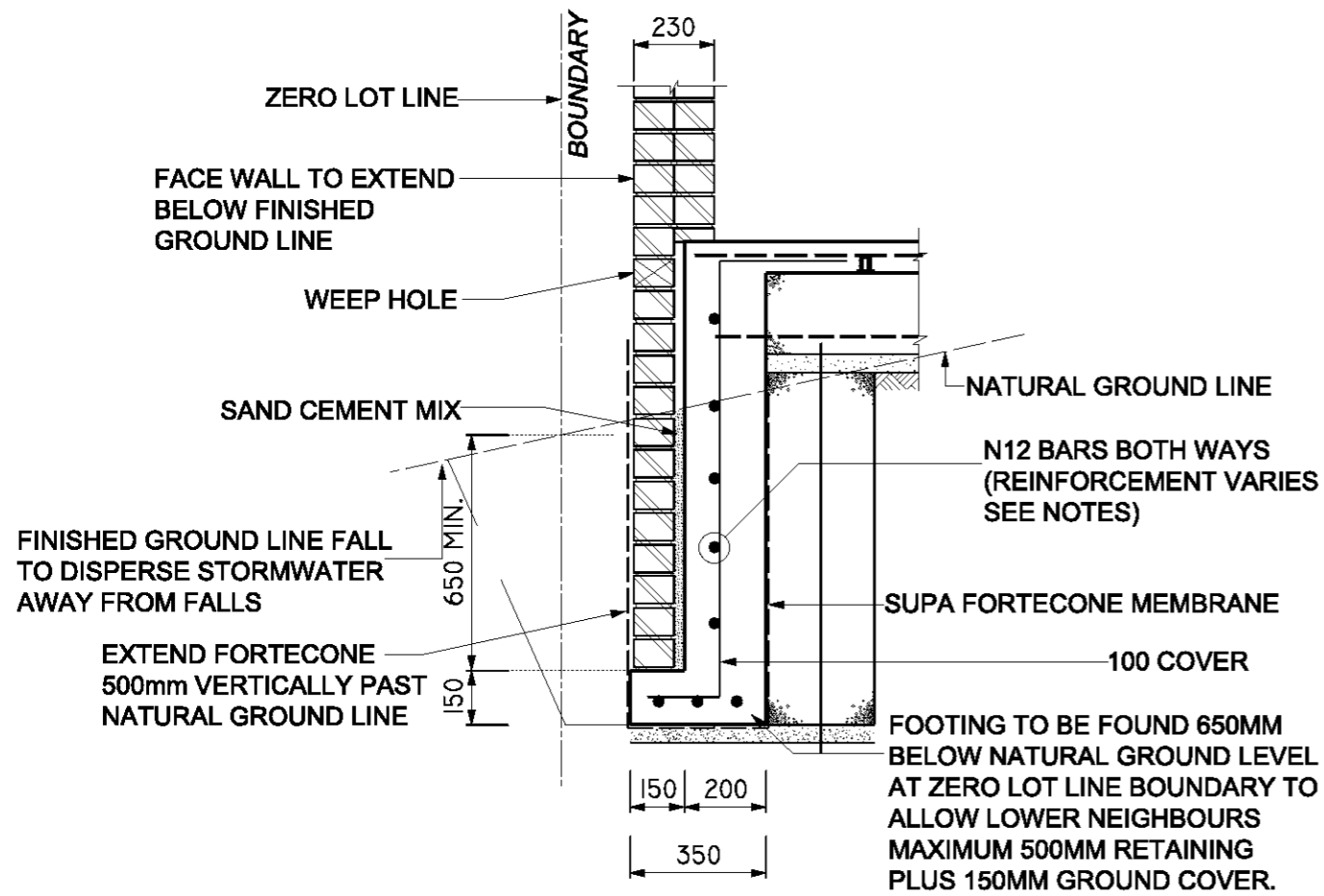
Rafletos
ACN 079047466
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 91 KINGSGROVE NSW 2208



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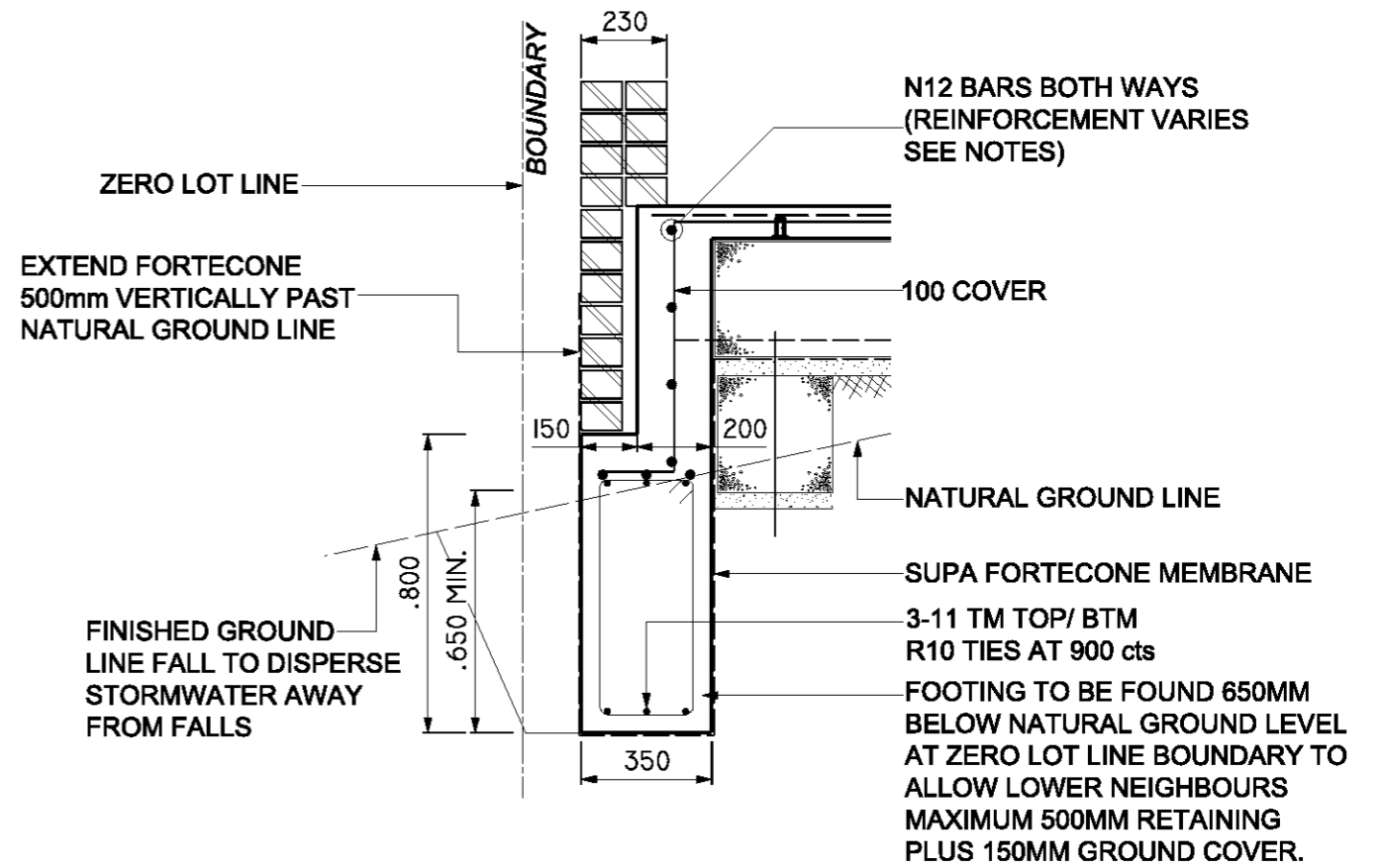
STRUCTURAL DETAIL PLAN					
CLIENT LOCATION	CONNECT HOMES LOT 2139 ILLOURA WAY, JORDAN SPRINGS				
SALINE AFFECTED	CLASSIFICATION	H1	SCALE	NTS.	SHEET No. 2
300.82.2.S	ISSUE	A	DATE	02/07/13	JOB No. 55749EB



**GARAGE WALL DEEPEDED
EDGE BEAM / RETAINING WALL**

SECTION X-X

NOTE: TERMGUARD POSITION TO BE CONFIRMED BY PEST CONTROLLER



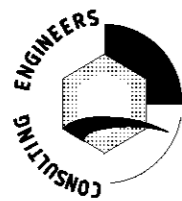
**EDGE BEAM
RETAINING WALL**

SECTION X-X

NOTE: TERMGUARD POSITION TO BE CONFIRMED BY PEST CONTROLLER

RAFELETOS

ABN: 35 079 047 466
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CLASSIFICATION H1
REFERENCE 16461

STRUCTURAL SLAB DETAIL PLAN

CLIENT LOCATION

CONNECT HOMES
LOT 2139 ILLOURA WAY, JORDAN SPRINGS

A3

DRAWN
ISSUE

N.P
A

SCALE
DATE

1:100
02/07/13

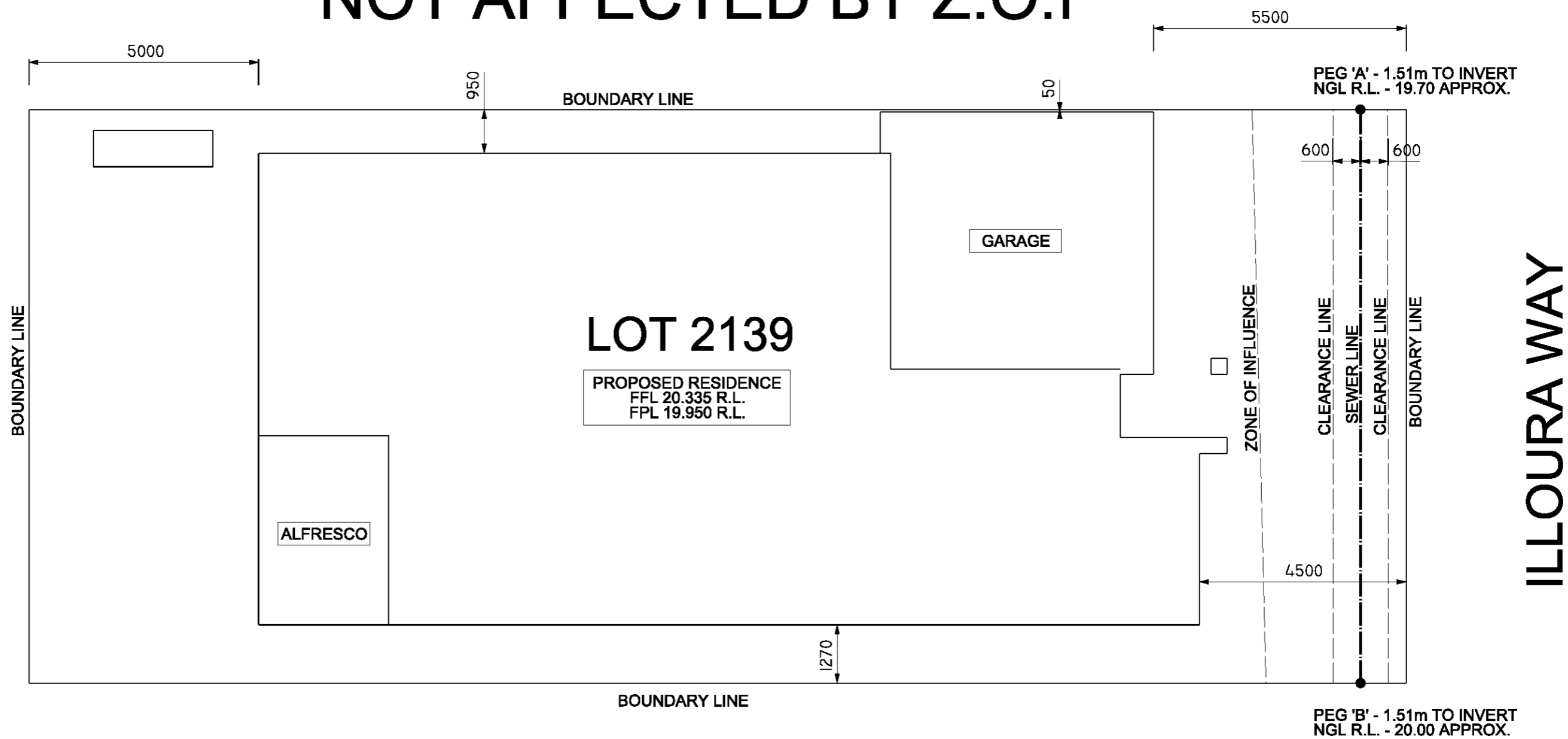
SHEET No.
JOB No.

3
55749EB

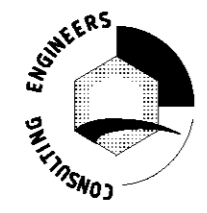
SEWER NOTES:

- * POSITION OF SEWER IS ONLY APPROXIMATE
- * POSITION OF SEWER IS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK
- * PIER DEPTHS AS SHOWN ARE FOR ZONE OF INFLUENCE REQUIREMENTS
- * PIERS ARE TO BE FOUNDED ON NATURAL BEARING AS PER ENGINEERING REQUIREMENTS WHERE NECESSARY

NOT AFFECTED BY Z.O.I



RAFELETOS
 ABN: 35 079 047 466
 LEVEL 2, 103 VANESSA STREET
 KINGSGROVE NSW 2208
 PO BOX 91 KINGSGROVE NSW 2208



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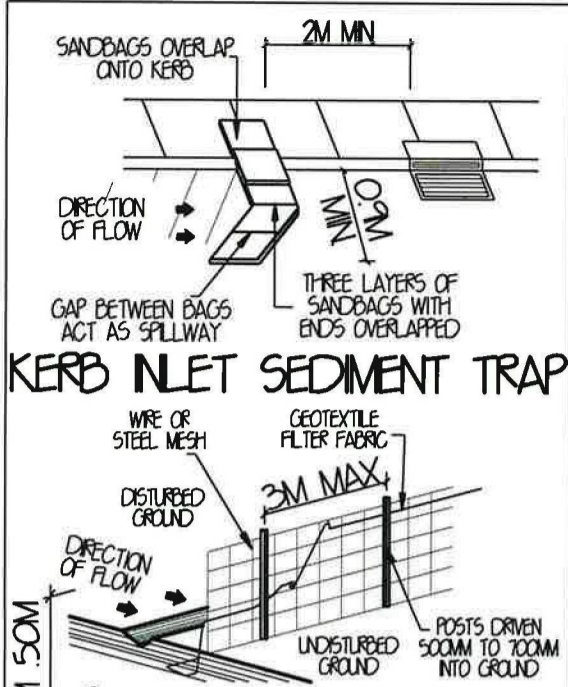
[Signature]
 B.E., M.I.E. AUST.



CLASSIFICATION H1
 REFERENCE 16461

SITE AND B.A.S/B.O.S DETAIL PLAN						
CLIENT LOCATION	CONNECT HOMES LOT 2139 ILLOURA WAY, JORDAN SPRINGS					A3
DRAWN	N.P	SCALE	1:100	SHEET No.	4	
ISSUE	A	DATE	02/07/13	JOB No.	55749EB	

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SILT FENCE DETAIL

SEDIMENT CONTROL NOTES

ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.

ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

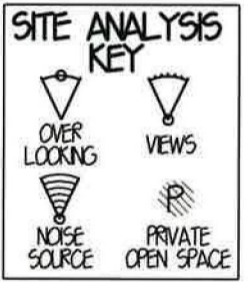
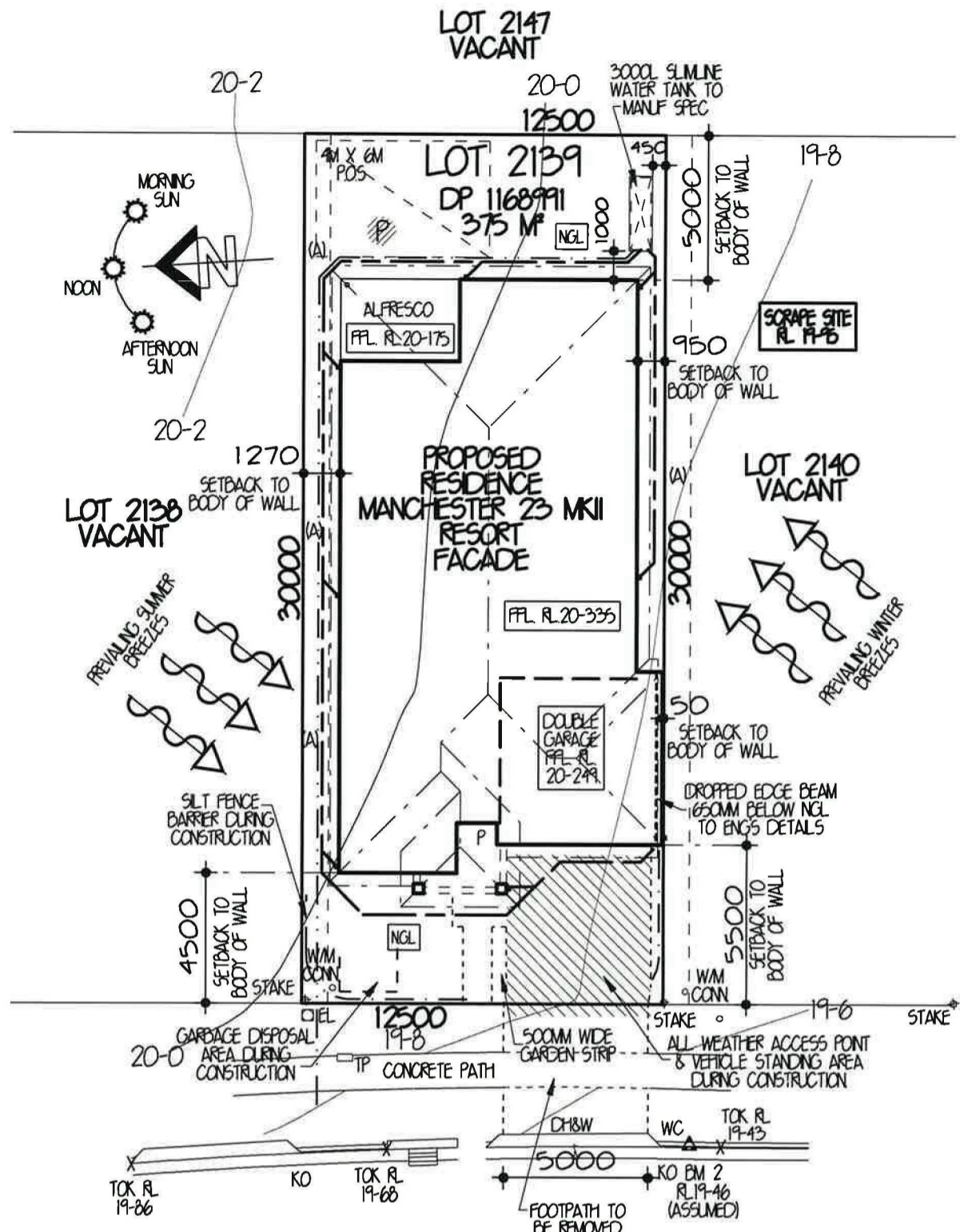
ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POSTS AT 2M CENTRES) FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

GENERAL NOTES

- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
- SEWER TO LOCAL AUTHORITIES REQUIREMENTS
- ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER
- FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO ASN DESIGN BEFORE PROCEEDING
- SITE CLASSIFICATION H1
- CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL.19-95 GARAGE TO RL.19-95
- HOUSE FLOOR LEVEL RL.20-335, 385MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL.20-249, 29MM ABOVE PLATFORM LEVEL
- TOTAL ROOF AREA = 236.6 M²

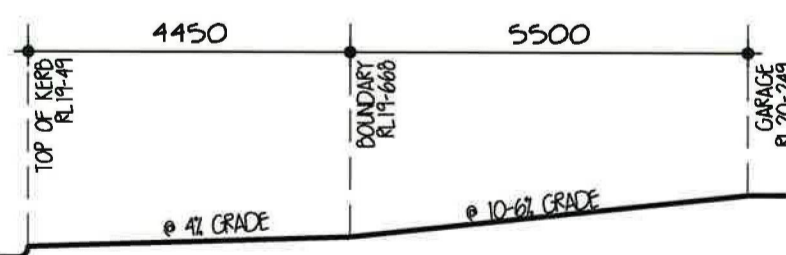


SITE ANALYSIS & SITE PLAN 1:200
(DRAINAGE PLAN)

- DENOTES EXISTING TREES TO BE REMOVED
- DENOTES RETAINING WALL BY OWNER
- - - DENOTES SILT FENCE BARRIER
- - - DENOTES DROPPED EDGE BEAM
- DENOTES LINE OF BATTER TO CUT OR FILL
- VEHICLE CROSSOVER TO BE PLAN CONCRETE TO PCC SPECIFICATION
- ANY EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION
- ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900MM AND OVER ON THE LOT ARE TO BE OF MASONRY CONSTRUCTION

DENOTES STORMWATER TO BE DIRECTED INTO RAINWATER TANK FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER

DENOTES STORMWATER TO BE DIRECTED INTO KERB & GUTTER FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER



DRIVEWAY PROFILE 1:100

SITE DATA

SITE AREA = 375 M²

PRIVATE OPEN SPACE = REQUIRED = 15% OR 56.2 M² PROVIDED = 20.7% OR 77.8 M²

FLOOR AREAS

FLOOR AREA = 164.8 M² (NOT INCLUDING GARAGE)

GARAGE FLOOR AREA = 32.7 M²

PORCH FLOOR AREA = 5.0 M²

ALFRESCO FLOOR AREA = 11.7 M²

TOTAL FLOOR AREA = 214.2 M² OR 23.1 SQS



EDEN BRAE CONNECT HOMES
LEVEL 3, 22 BROOKHOLLOW AVENUE, NORTHWEST BUSINESS PARK, BULLHAM HILLS NSW 2153
P 8860 9222 F 8860 9233

FOR **CONNECT HOMES** LBD AREA: SYD REVISION: 04 MAP: 144 REF: G14

AT **LOT 2139 ILLOURA WAY, JORDAN SPRINGS DP 1168911**

TYPE **MANCHESTER 23 MKII** JOB NO. **0016461**

FACADE **RESORT (SMART LIVING SERIES)** HAND **RH**

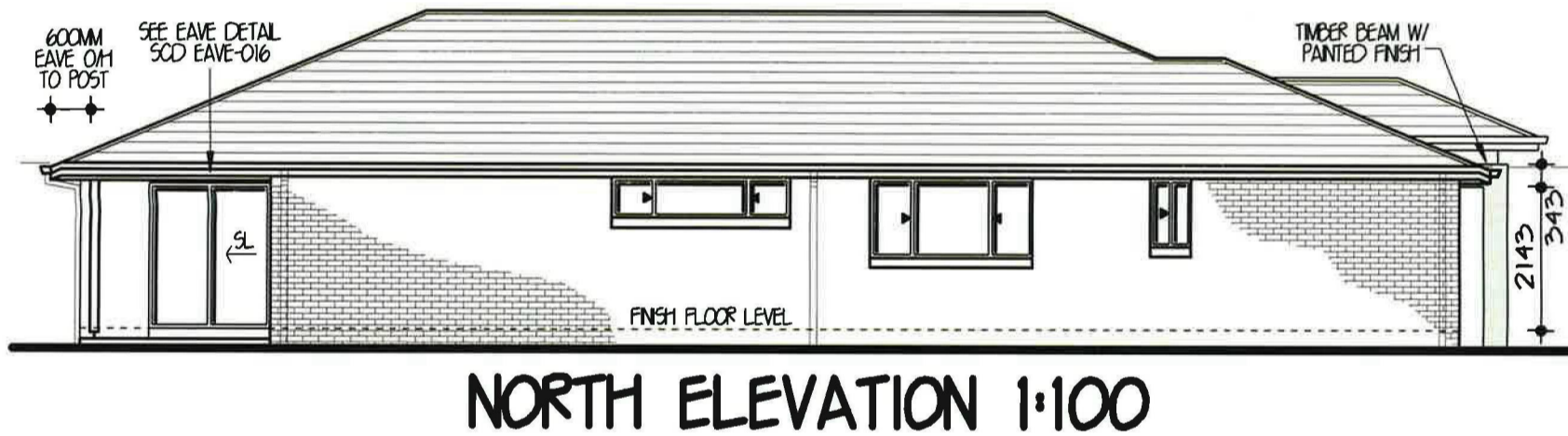
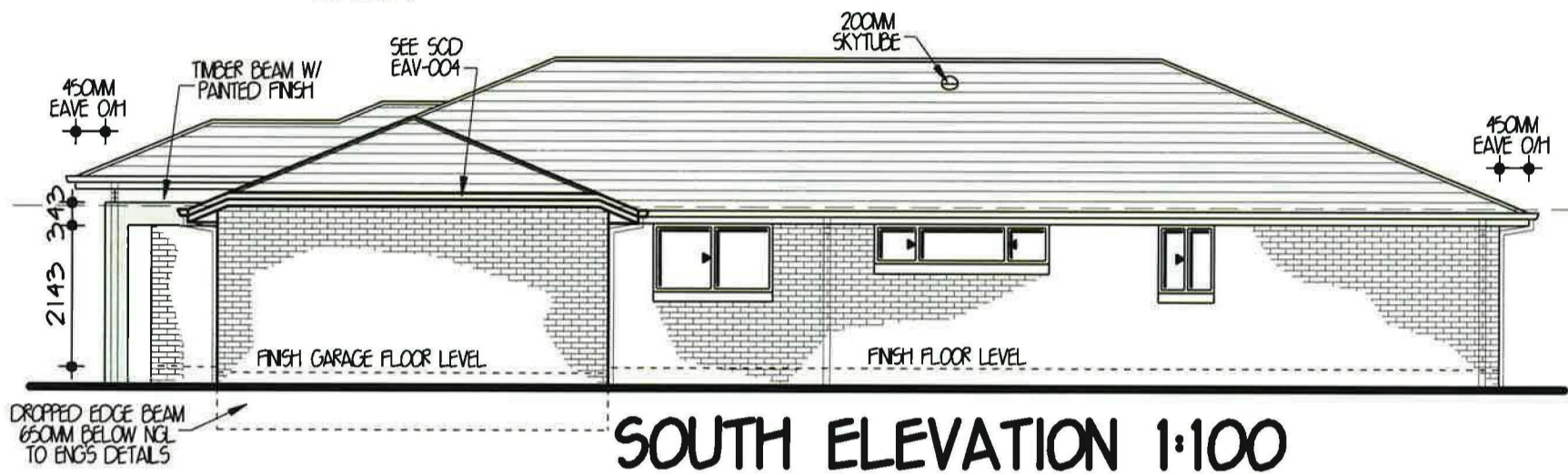
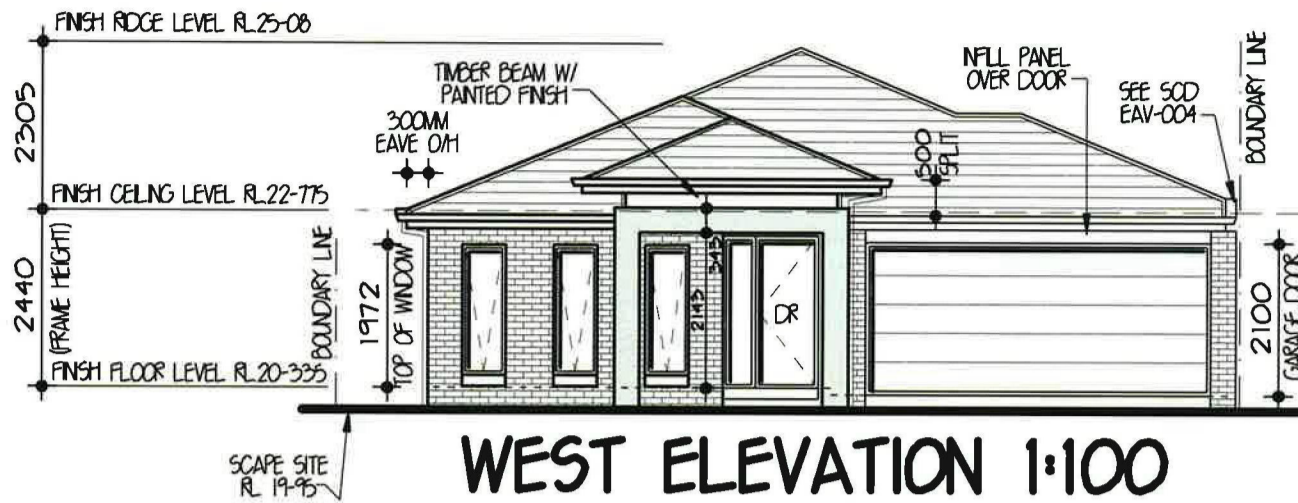
MASTER **A19483** DWG NO. **A19455** PAGE NO. **1 OF 7**

ASN DESIGN SYDNEY

LEVEL 2 SUITE 216 MACARTHUR POINT, NO. 25-27 SOLENT CIRCUIT BULLHAM HILLS, PO BOX 6410 BULLHAM HILLS BUSINESS CENTRE NSW, 2153
PHONE (02) 8824 3533 FAX: (02) 8824 3544 WWW.ASNDESIGNSYDNEY.COM.AU

ISS	DATE	REVISION	DRAWN
A	14-2-13	CG PLAN	J5
B	21-02-13	BASIS PLAN	TM
C	20-03-13	AMENDMENTS	JT
D	21-05-13	RESITE	CL
E	06-06-13	AMENDMENTS	AD

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Reviewed by: JORDAN SPRINGS
LANDSCAPE SECTION
21 JUN 2013
SIGNED: *[Signature]*

EDEN BRAE CONNECT HOMES
LEVEL 3, 22 BROOKHOLLOW AVENUE,
NORTHWEST BUSINESS PARK,
BALLKHAM HILLS NSW 2153
P: 8860 9222
F: 8860 9253

FOR **CONNECT HOMES** LDD AREA 51D
REVISIONS MAP144 REG14

AT LOT 2139 LLOURA WAY,
JORDAN SPRINGS DP 1162891

TYPE **MANCHESTER** JOB NO. **0016461**
23 MKII

FACADE **RESORT** HAND **RH**
(SMART LIVING SERIES)

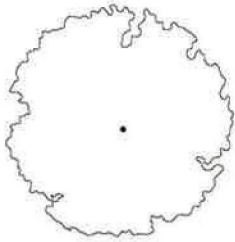
MASTER DWG NO. **A19483** PAGE NO. **3 OF 7**
A19455

AGN DESIGN
SYDNEY

LEVEL 2 SUITE 216 MACARTHUR POINT
NO. 25-27 SOLENT CIRCUIT BALLKHAM HILLS
PO BOX 6410 BALLKHAM HILLS
BUSINESS CENTRE NSW 2153
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ISS	DATE	REVISION	DRAWN
A	14-2-13	CG PLAN	JS
B	21-02-13	BASIX PLAN	TM
C	20-03-13	AMENDMENTS	JT
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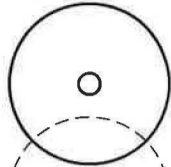
LEGEND



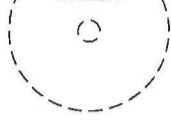
Proposed trees - refer to plant schedule



Proposed accents & grasses - refer to plant schedule



Existing tree to be retained



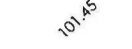
Existing tree to be removed



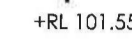
Proposed shrubs - refer to plant schedule



Proposed groundcovers and grasses - refer to plant schedule



Existing levels



Proposed levels



Proposed Top Of Wall levels



Boundary



Fence



Garden edging



Masonry retaining walls

Existing contours

PLANT SCHEDULE Prepared by H2Odesign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
*Ash	Acmena smithii 'Hedgemaster'	Hedgemaster Lillypilly	6	200mm	1-1.5m
Crf	Cordyline 'Red Fountain'	Red Fountain Cordyline	4	175mm	1m
*Dea	Dianella tasmanica 'Emerald Arch'	Emerald Arch Flax Lily	13	150mm	0.45m
*Er	Elaeocarpus reticulatus	Blueberry Ash	1	25L	9m
*Tl	Tristaniopsis laurina	Water Gum	1	25L	7m

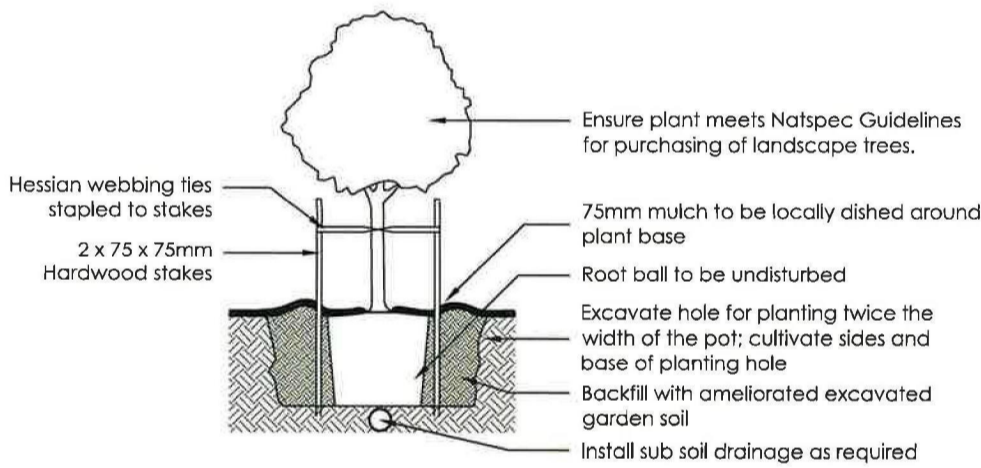
*Australian native plants

PLANTING SUMMARY

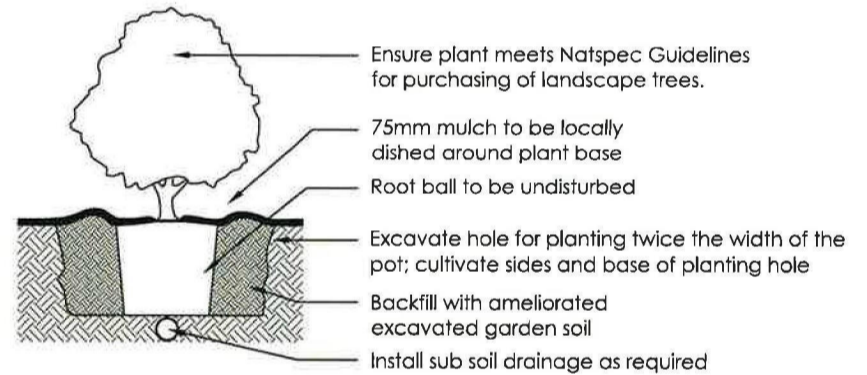
Total Plants	Total Native Plants	Total Exotic Plants	% Native Plants**	Total Trees***
25	21	4	84%	2

** Minimum required 50%

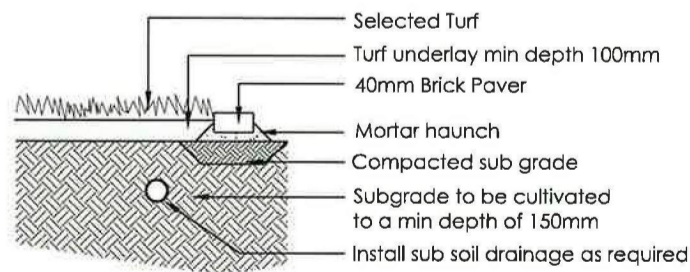
*** Minimum 2 trees



1 Tree Planting Detail
NTS 25L - 75L Pot Size



2 Planting Detail
NTS Tube, 150mm, 200mm Pot Size



3 Turf Detail
NTS Brick Paver Edge

REVISION A SUBMITTED FOR APPROVAL B AMENDED DUE TO ARCHITECT COMMENTS C AMENDED DUE TO DEVELOPER REQUIREMENTS	DRAWN VF VF KH	CHECKED MD MD MD	DATE 07-03-13 21-03-13 17-06-13	H2ODESIGN PO Box 3136, Carlingford, NSW 2118 Ph: (02) 9871 7701 Fax: (02) 9873 2383 <small>Member of the Australian Institute of Landscape Designers (Design & Build) Group</small>	PROJECT LOT 2139 ILLOURA WAY, JORDAN SPRINGS	PROJECT NEW RESIDENCE LANDSCAPE PLAN			
1 Do not scale from drawings 2 Verify all measurements on site 3 Notify H2Odesign of any inconsistencies 4 Copyright © H2Odesign. All rights reserved 5 Drawing remains the property of H2Odesign	6 All work to comply with relevant Australian Standards or Building Code of Australia 7 All work to be performed by a suitably qualified tradesperson 8 For application purposes only - NOT FOR CONSTRUCTION	CLIENT CONNECT HOMES	SCALE 1:100 @ A3	SHEET DA L-02	DATE 17-06-13	DRAWN BY KH	CHECKED BY MD	DATE 17-06-13	SHEET NO. C