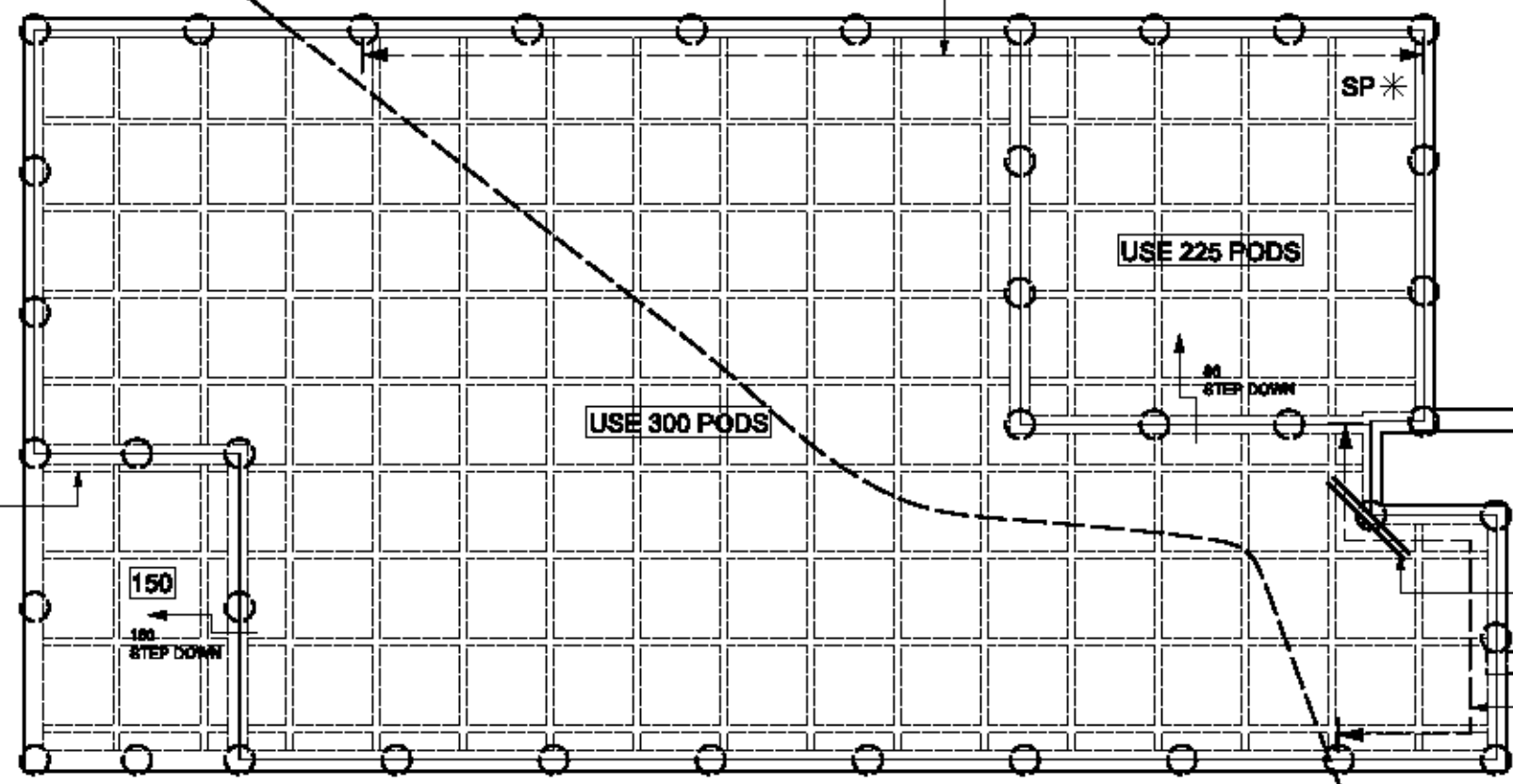


SLIMLINE RAIN WATER TANK PAD



EXTERNAL DEEP BEAM REFER TO PAGE 2 FOR SPECIFICATIONS



EXTENDED PODS REFER TO PAGE 2 FOR DETAILS

STRIP FOOTING 300 WIDE 400 DEEP 3L-11 TM TOP & BTM R6 TIES @ 900 CTS WIDEN FOOTING AS REQUIRED UNDER COLUMN, 100mm PAST FACE OF BRICKWORK.

2-N12 BARS 1500 LONG, TYPICAL, TIED TO UNDERSIDE OF FABRIC.

EXTERNAL DEEP BEAM REFER TO PAGE 2 FOR SPECIFICATIONS

CUT & FILL LINE

REFER TO PAGES 3 FOR SEWER DETAILS

THIS IS TO CERTIFY THAT THE SLAB HAS BEEN DESIGNED FOR SALINE AFFECTED SOILS. REFER TO PAGES 1 & 2 FOR SALINITY REQUIREMENTS.

FORMWORK LEVEL CHECK BOOKED
FORMWORK LEVEL CHECK COMPLETE

CONSTRUCTION NOTES

GENERAL: UNLESS NOTED OTHERWISE
THE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER WORKING DRAWINGS AND SPECIFICATIONS AND ANY OTHER WRITTEN INSTRUCTIONS ISSUED DURING CONSTRUCTION. ALL DISCREPANCIES AND VARIATIONS SHALL BE REFERRED TO THE ENGINEER, BEFORE PROCEEDING WITH THE WORK.
DURING CONSTRUCTION THE STRUCTURE AND ANY ADJACENT STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWING ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS.
THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH THE LOCATION, SIZE AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS.
ALL SITE SAFETY MEASURES AND WORK METHOD STATEMENTS PREPARED BY BUILDER/SUB-CONTRACTORS ARE TO BE IMPLEMENTED DURING CONSTRUCTION. NO WORK IS TO COMMENCE UNTIL SUPERVISOR/BUILDER HAS IDENTIFIED AND APPROPRIATELY ACTED ON ANY POTENTIAL HAZARD.
UNLESS REQUESTED AND PRODUCED ON THE PLANS, BUILDER IS TO ENSURE THAT ARTICULATION JOINTS ARE SHOWN ON THEIR ARCHITECTURAL DRAWINGS AND BE SATISFIED THEY ARE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES.

ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF RELEVANT AUSTRALIAN STANDARD CODES AND THE REGULATIONS OF THE RELEVANT BUILDING AUTHORITY
FOOTINGS ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 100kPa.
PIER HOLES ARE DESIGNED FOR ALLOWABLE BEARING PRESSURE OF 200kPa.
FOUNDATION MATERIAL SHALL BE APPROVED PRIOR TO CONSTRUCTION
ADDITIONAL CONCRETE PIERS MAY BE REQUIRED UNDER SLAB TO EVEN BEARING IN SOIL AS RECOMMENDED BY AUSTRALIAN STANDARD AS 2870.
ADDITIONAL PIERS IN THE CUT SECTION OF BUILDING PLATFORM MAY ALSO BE REQUIRED TO ACHIEVE THE SAME BEARING AS PIERS IN THE FILL SECTION.
A 1 METRE WIDE APRON, WITH 2% CROSS FALL AWAY FROM SLAB EDGE IS TO BE FORMED ALL AROUND THE RAFT SLAB WHERE APPLICABLE
IF THE LOCATION OF THE SLAB IS NEXT TO AN ABOVE OR BELOW ON SITE DETENTION SYSTEM OR BELOW GROUND RAINWATER TANK, THE BUILDER IS TO ADVISE ENGINEER IN ORDER TO ENSURE THAT CONCRETE PIERS ARE TAKEN 60mm BELOW THE INVERT LEVEL OF TANK OR THE FOOTING OF THE SUPPORTING WALL FOR AN ABOVE GROUND DETENTION SYSTEM.
ALL SITE FILLING PLACED BENEATH SLAB TO BE TREATED IN ACCORDANCE WITH CLAUSE 6.4. OF AS 2870.2 - 2011.

REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF RAINWATER TANK AC, HMB AND LPG UNITS.

CONCRETE SPECIFICATION (F₂₈ DAYS) TO BE AS FOLLOWS: ADOPT TYPE 'A' CEMENT WITH MAX AGGREGATE SIZE OF 20mm AND 80mm SLUMP

LOCATION	NORMAL F _c	SALINE AFFECTED F _c
PIERS	30 MPa	38 MPa
SLAB	25 MPa	32 MPa
STRIP FOOTINGS	25 MPa	32 MPa

CLEAR COVER TO REINFORCEMENT TO BE AS FOLLOWS:

LOCATION	FORMED & SHELTERED	FORMED & EXPOSED	POURED ON GROUND
SLABS & WALLS	20	30	55
BEAMS	25	40	55
COLUMNS	40	60	—
STRIP FOOTING	—	—	55

REINFORCEMENT SYMBOLS ARE AS FOLLOWS:
(R) - HOT ROLLED DEFORMED BARS (400 n)
(RL) - HARD-DRAWN WIRE REINFORCING FABRIC (400 n)
(S) - STRUCTURAL GRADE DEFORMED BARS

NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS ARE TO BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR ENGINEER'S APPROVAL.
CONSTRUCTION JOINTS THAT ARE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.

ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED IN ITS REQUIRED POSITION AND COVER DURING PLACEMENT OF CONCRETE

PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.

ALL CONCRETE TO BE MECHANICALLY VIBRATED AND SHALL BE CAREFULLY WORKED AROUND THE REINFORCEMENT AND INTO THE CORNERS OF FORMWORK
BUILDER TO ADHERE TO ANY GEOTECHNICAL REPORT RECOMMENDATIONS PREPARED FOR THE SITE.

● REINFORCED CONC. PIER ● SEWER AFFECTED PIER ● SCREW PIER
○ UNREINFORCED CONC. PIER † ARTICULATION JOINT * STARTING POINT
DESIGNED TO AS 2870 - 2011 SLAB AND FOOTING CODES

RAFELETOS
ABN: 35 078 047 468
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 91 KINGSGROVE NSW 2208



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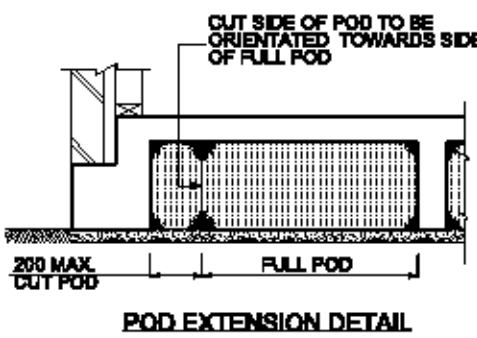
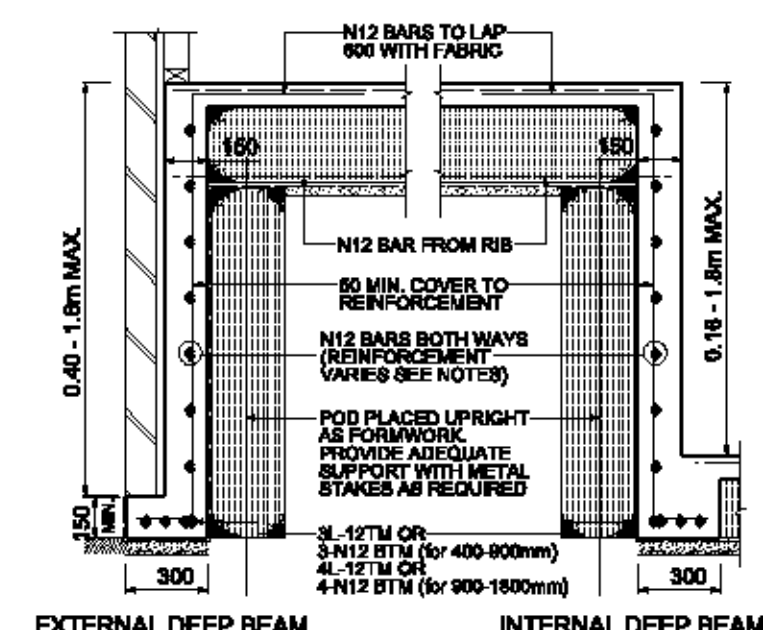
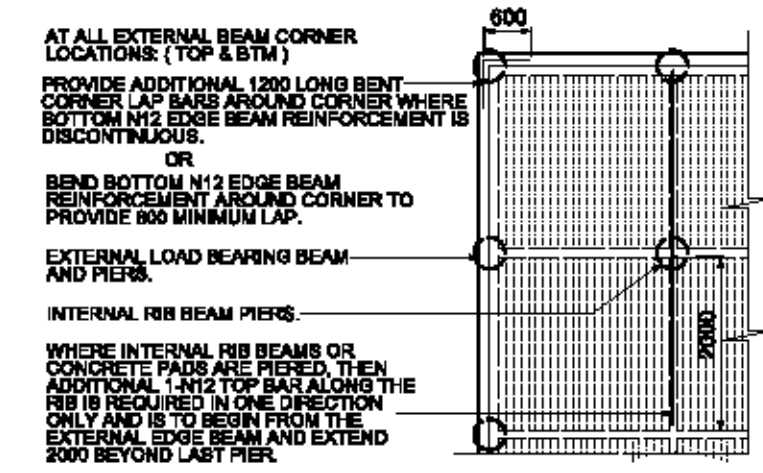
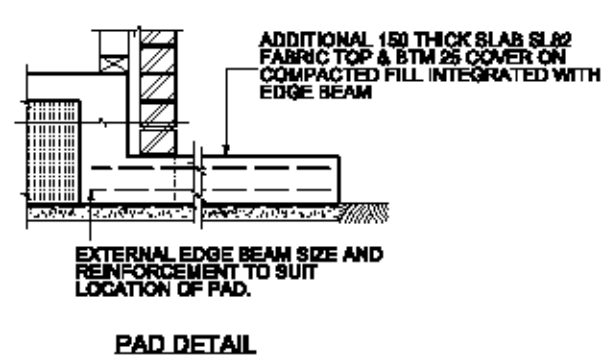
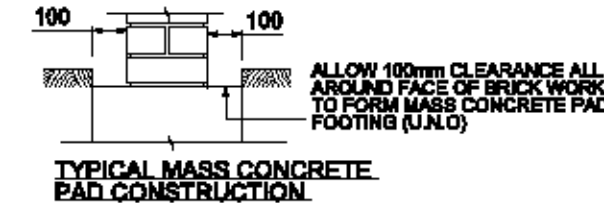
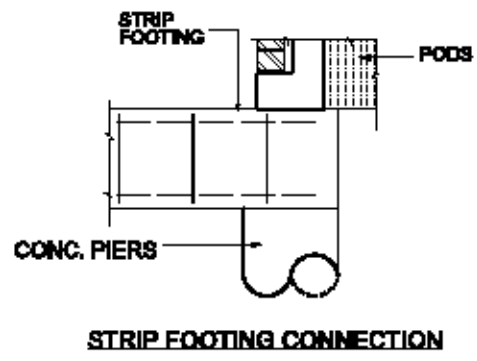
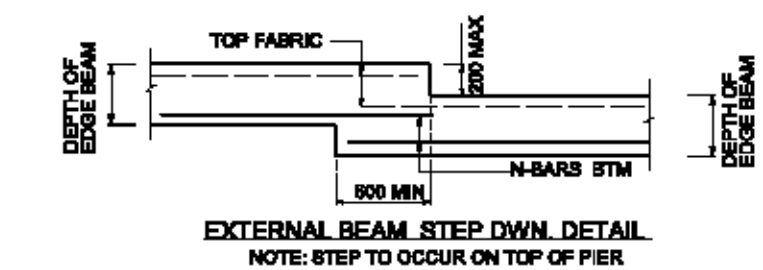
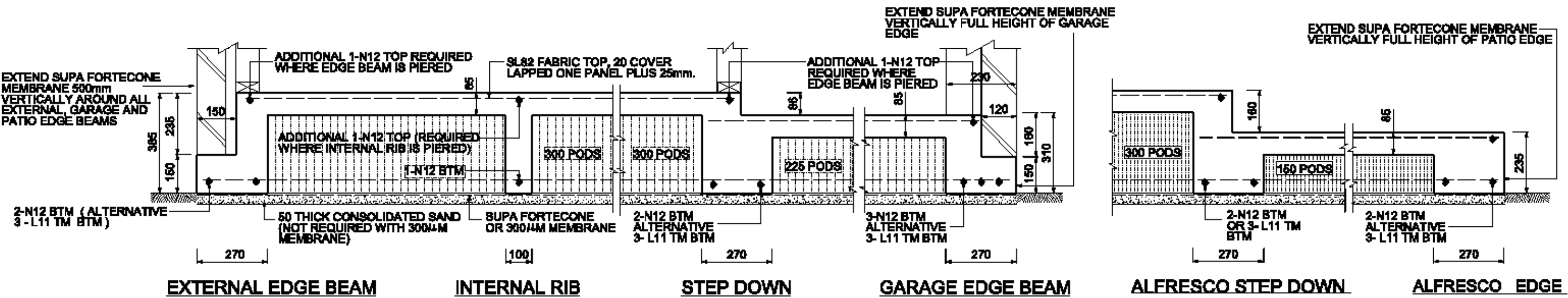
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B.E., M.I.E. AUST.



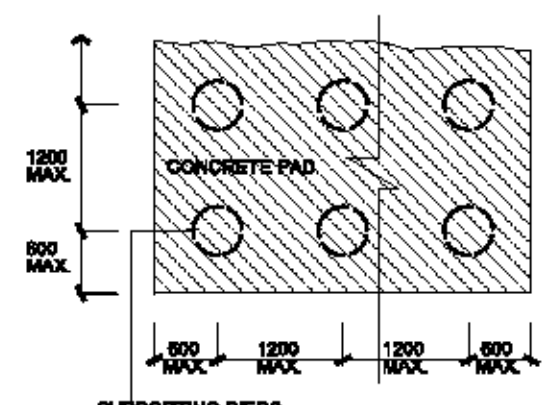
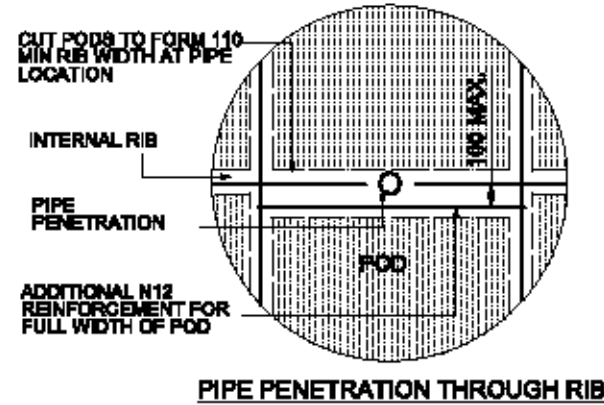
CLASSIFICATION H1
REFERENCE 10635

STRUCTURAL SLAB DETAIL PLAN

CLIENT LOCATION	CONNECT HOMES LOT 2295 BINALONG STREET, JORDAN SPRINGS			A3
DRAWN	N.P	SCALE	1:100	SHEET No. 1
ISSUE	A	DATE	25/06/13	JOB No. 55080EB



- FOR RAINWATER TANK, LPG & A/C UNITS ETC. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- SPACE PIERS AS REQUIRED TO SUIT PAD SIZE:
- 600 MAXIMUM TO EDGE OF SLAB FOR PERIMETER PIERS.
- 1000 MAXIMUM CENTRES IF ADDITIONAL INTERNAL PIERS ARE REQUIRED FOR PAD SIZE.



DEEP BEAM DEPTH	BEAM REINFORCEMENT
160 - 400mm	N12 BARS AT 1200 CENTRES & 1-N12 HORIZONTAL
400 - 900mm	N12 BARS AT 600 CENTRES & 1-N12 CENTRALLY
900 - 1500mm	N12 BARS AT 300 CENTRES BOTH WAYS
1500 - 1800mm	N12 BARS AT 200 CENTRES BOTH WAYS

THIS IS TO CERTIFY THAT THE SLAB HAS BEEN DESIGNED FOR SALINE AFFECTED SOILS.

PROVIDE 400 DIA. CONCRETE PIERS TO CLAY AND SAND, OR 300 DIA. TO ROCK OR SHALE.

SPACE PIERS AT 2400 CTS AS SHOWN ALONG EXTERNAL EDGE BEAM, UNLESS NOTED OTHERWISE

PIERS REQUIRED UNDER INTERNAL RIB BEAMS WHEN CONSTRUCTED ON MORE THAN 300mm OF UNCONTROLLED/NON-COMPACTED MATERIAL, OR AS SHOWN

N12 BARS CAN BE REPLACED WITH 10.85mm HDW (450MPa STRESS GRADE)

REINFORCEMENT FOR RIBS AND BEAMS		
WIDTH	TOP STEEL	BTM STEEL
271-330	1-N12	3-N12
331-440	2-N12	4-N12
441-550	3-N12	5-N12
551-660	4-N12	6-N12

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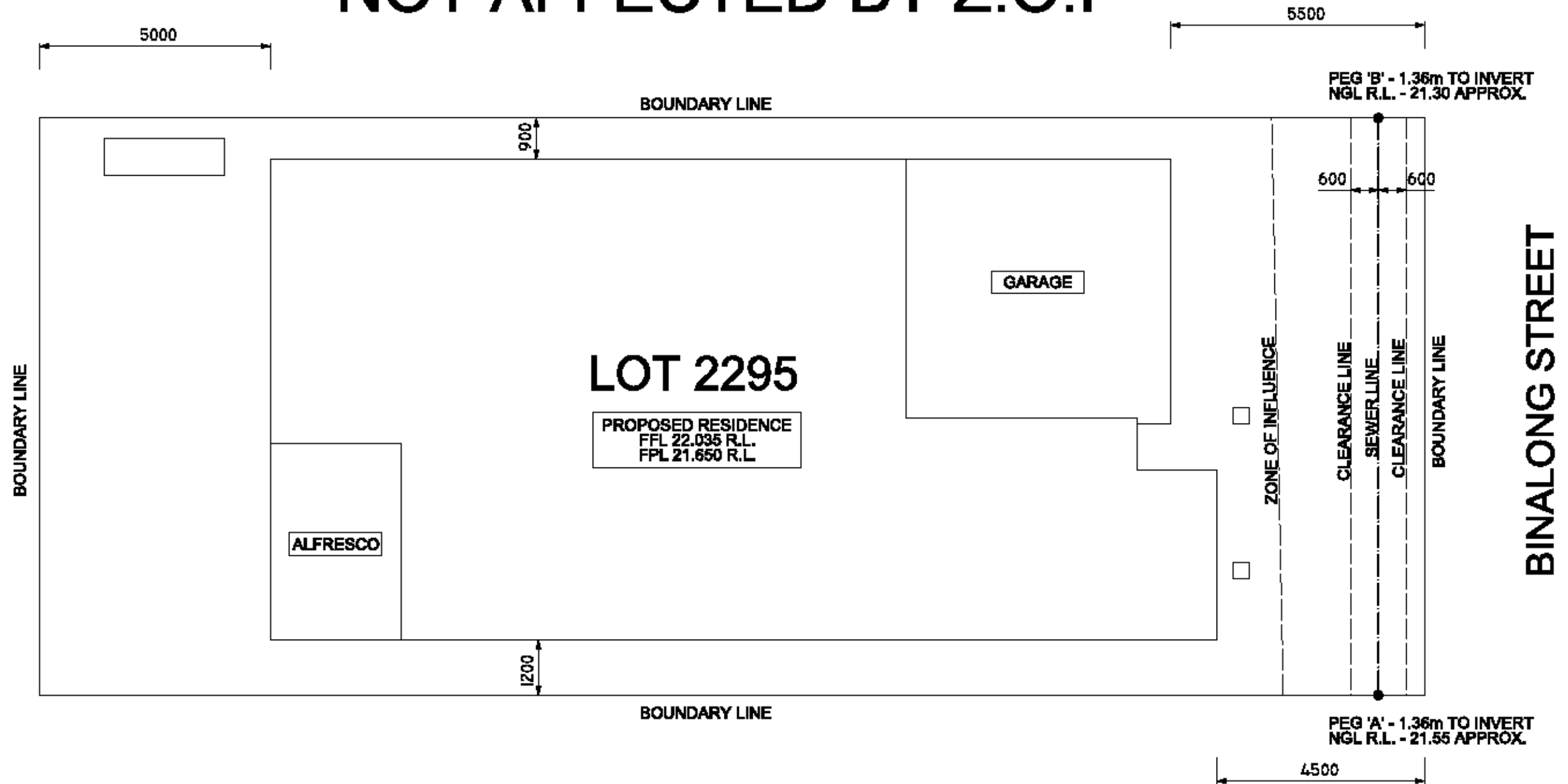
heden brae homes

STRUCTURAL DETAIL PLAN					
CLIENT LOCATION	CONNECT HOMES LOT 2295 BINALONG STREET, JORDAN SPRINGS				
SALINE AFFECTED	CLASSIFICATION	H1	SCALE	NTS.	SHEET No. 2
300.82.2.9	ISSUE	A	DATE	25/06/13	JOB No. 55886EB

SEWER NOTES:

- * POSITION OF SEWER IS ONLY APPROXIMATE
- * POSITION OF SEWER IS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK
- * PIER DEPTHS AS SHOWN ARE FOR ZONE OF INFLUENCE REQUIREMENTS
- * PIERS ARE TO BE FOUNDED ON NATURAL BEARING AS PER ENGINEERING REQUIREMENTS WHERE NECESSARY

NOT AFFECTED BY Z.O.I



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 ABN: 35 078 047 468
 LEVEL 2, 103 VANESSA STREET
 KINGSGROVE NSW 2208
 PO BOX 91 KINGSGROVE NSW 2208



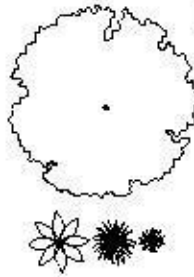
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 B.E., M.I.E. AUST.



CLASSIFICATION H1
 REFERENCE 10635

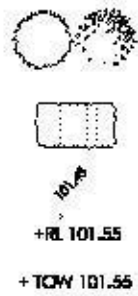
SITE AND B.A.S/B.O.S DETAIL PLAN				
CLIENT LOCATION	CONNECT HOMES LOT 2295 BINALONG STREET, JORDAN SPRINGS			A3
DRAWN	N.P	SCALE	1:100	SHEET No. 3
ISSUE	A	DATE	25/06/13	JOB No. 55088EB



LEGEND

Proposed trees - refer to plant schedule

Proposed accents & grasses - refer to plant schedule



Proposed shrubs - refer to plant schedule

Proposed groundcovers and grasses - refer to plant schedule

Existing levels

Proposed levels

Proposed Top Of Wall levels



Boundary

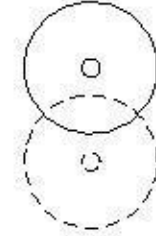
Fence

Garden edging

Timber retaining walls

Masonry retaining walls

Existing contours



Existing tree to be retained

Existing tree to be removed

PLANT SCHEDULE Prepared by H2O Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Dcl	*Dianella caerulea 'Little Jess'	Compact Blue Flax Lily	10	150mm	0.3m
Er	*Elaeocarpus reticulatus	Blueberry Ash	1	25L	9m
Hf	*Hymenosporum flavum	Native Frangipani	1	25L	10m
Lbn	*Leptospermum 'Little Bun'	Little Bun Tea Tree	6	200mm	1m
Pph	Phormium tenax 'Purple Haze'	New Zealand Flax	4	150mm	1.2m

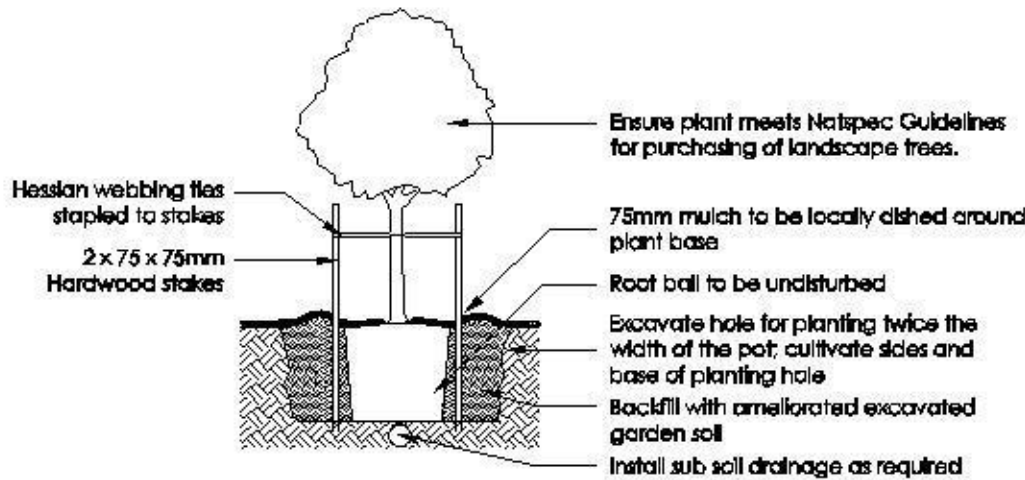
*Australian native plants

PLANTING SUMMARY

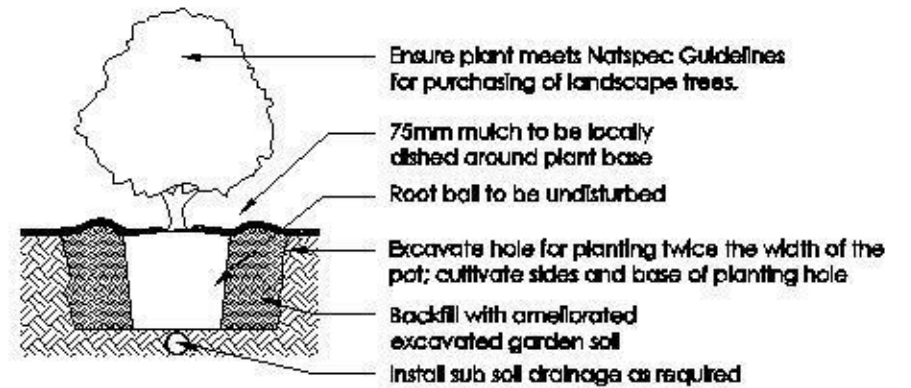
Total Plants	Total Native Plants	Total Exotic Plants	% Native Plants**	Total Trees***
22	18	4	82%	2

** Minimum required 50%

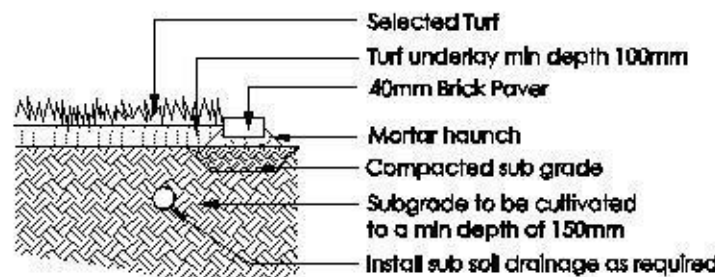
*** Minimum 2 trees



1 Tree Planting Detail
NTS 25L - 75L Pot Size

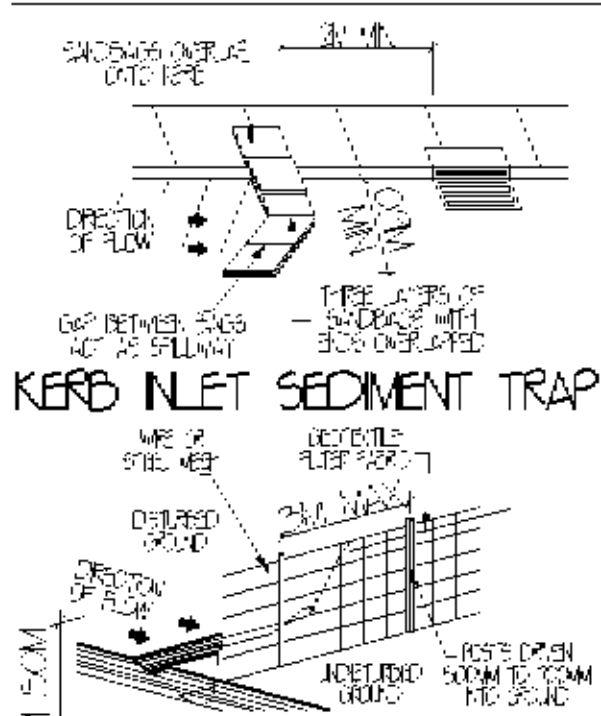


2 Planting Detail
NTS Tube, 150mm, 200mm Pot Size



3 Turf Detail
NTS Brick Paver Edge

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SEMENT CONTROL NOTES

ALL DRAINAGE AND SEDIMENTATION CONTROL MEASURES FOLLOWING RESIDENCE AND STORAGE OF SOIL AND TOPSOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION ACT.

ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

SEMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL RAIN PITS CONSISTING OF 300MM WIDE x 300MM DEEP TRAPS.

ALL SEMENT BASINS AND TRAPS SHALL BE CLEANED WITH THE SEEDS AND A MINIMUM OF ONE FULL OF MATERIALS FOLLOWING THE MAINTENANCE PERIOD.

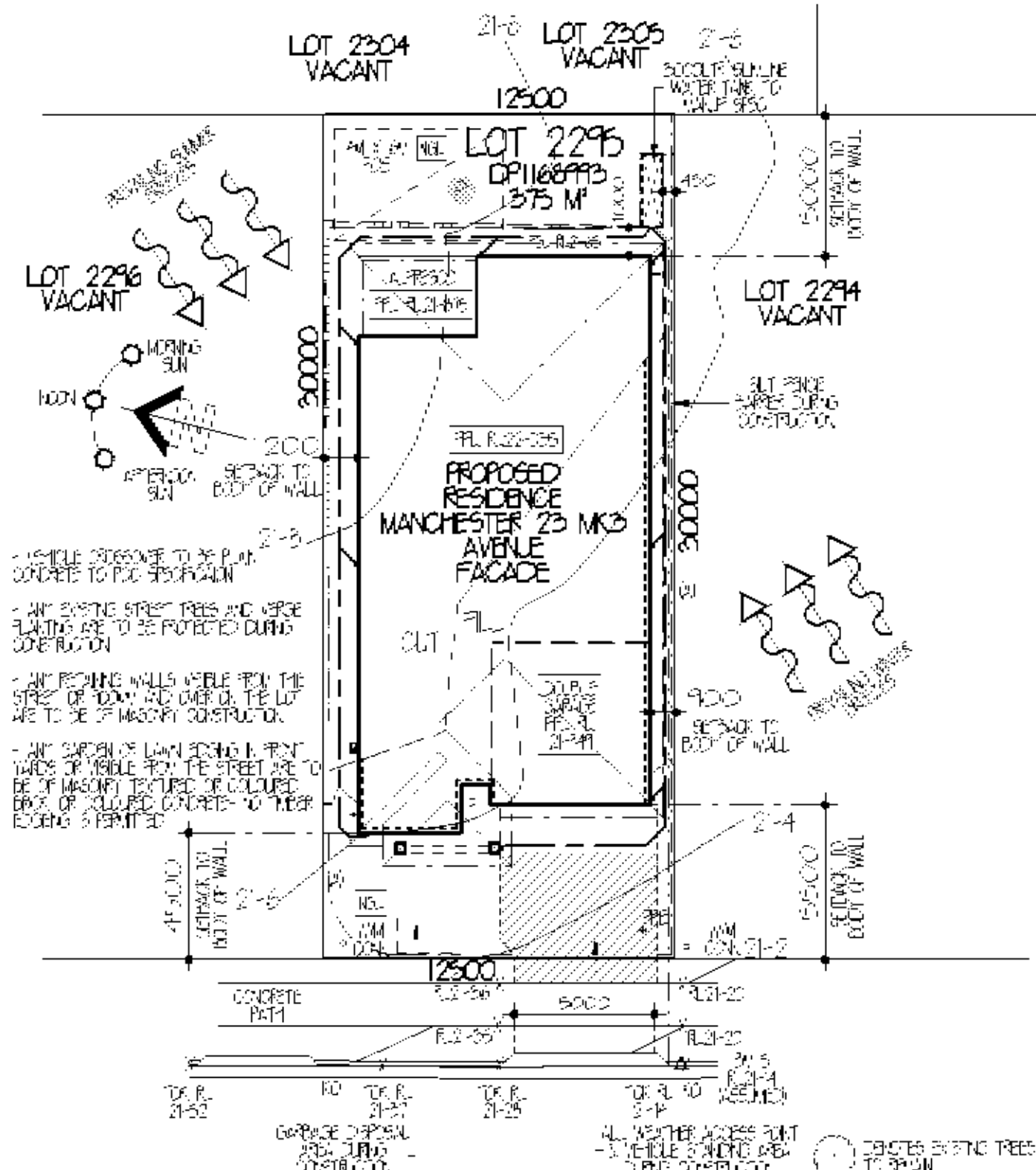
ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREAS WHERE WATER MAY CONCENTRATE.

SILT FENCES SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC OVER A APPROXIMATELY EQUIVALENT TO A 100MM DEEP CONTROL FENCE SHALL BE BORED FROM ALONG ITS LOWER EDGE.

GENERAL NOTES

- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO REA REQUIREMENTS.
- REFER TO LOCAL AUTHORITIES REQUIREMENTS.
- ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE SURVEYOR.
- FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.
- WRITTEN DRAINAGE TO TAKE PRECEDENCE OVER ANY OTHER PLAN DISCREPANCIES TO BE REFERRED BACK TO ARCH DESIGN BEFORE PROCEEDING.
- SITE CLASSIFICATION: P1.
- CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL 21465 (GRADE TO RL 21465).
- HOUSE FLOOR LEVEL: RL 21405 (200MM ABOVE PLATFORM LEVEL). GARAGE FLOOR LEVEL APPROX: RL 21449 (200MM ABOVE PLATFORM LEVEL).
- TOTAL ROOF AREA = 236.5 M².



SITE ANALYSIS & SITE PLAN 1:200 (DRAINAGE PLAN)

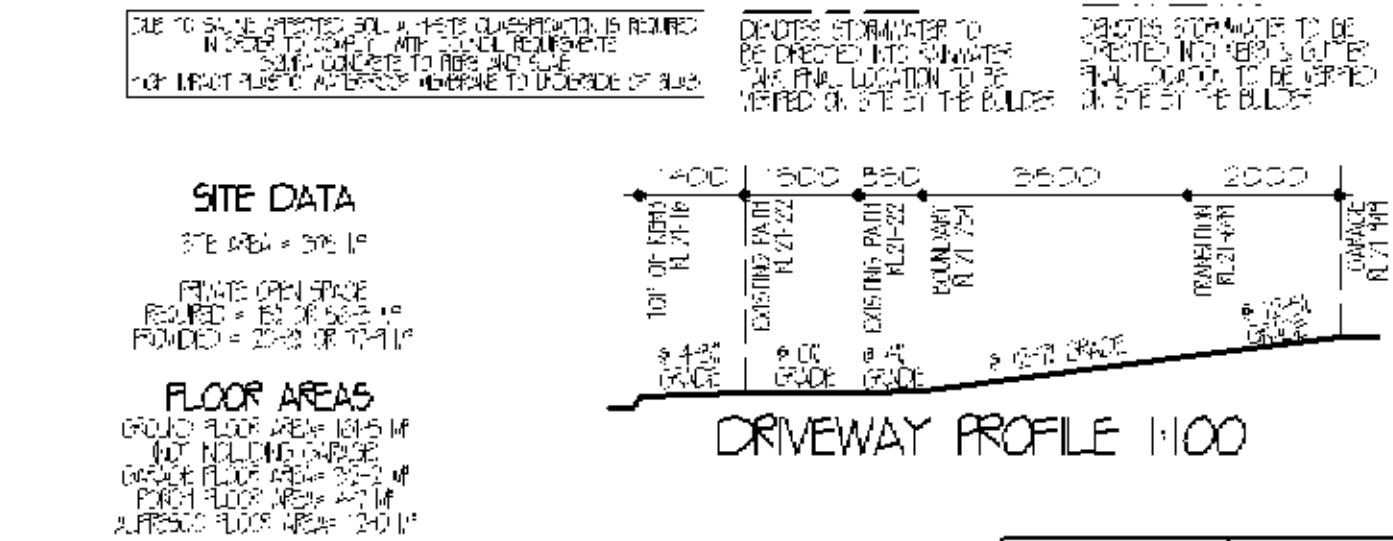
AN ASSESSMENT FOR ACCESS AND MAINTENANCE SPACES

SITE ANALYSIS KEY

- RETAINING WALL
- VEGETATION TO REMAIN
- VEGETATION TO BE REMOVED
- RETAINING WALL BY OWNER
- DESIGN SILT FENCE BARRIER
- DESIGN PROPOSED EDGE BEAM
- DESIGN LINE OF BARRIER TO CUT OFF FILL

NOTES:

- VEHICLE CROSSOVER TO BE PLACED ON CONCRETE TO PROTECT SUBSOIL.
- ALL EXISTING STREET TREES AND CURB PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.
- ALL EXISTING WALLS VISIBLE FROM THE STREET OR FROM OVER THE LOT ARE TO BE OF MASONRY CONSTRUCTION.
- ALL GARDEN OR LAWN AREAS IN FRONT YARDS OR VISIBLE FROM THE STREET ARE TO BE OF MASONRY TEXTURED OR COLOURED GRASS OR COLOURED CONCRETE TO THEIR BOUNDARIES.
- ALL WEATHER ACCESS POINTS - VEHICLE STANDING AREA DURING CONSTRUCTION.
- DESIGN STORMWATER TO BE DIRECTED INTO SUBWAYS. FINAL LOCATION TO BE VERIFIED ON-SITE BY THE SURVEYOR.
- DESIGN STORMWATER TO BE DIRECTED INTO SUBWAYS. FINAL LOCATION TO BE VERIFIED ON-SITE BY THE SURVEYOR.



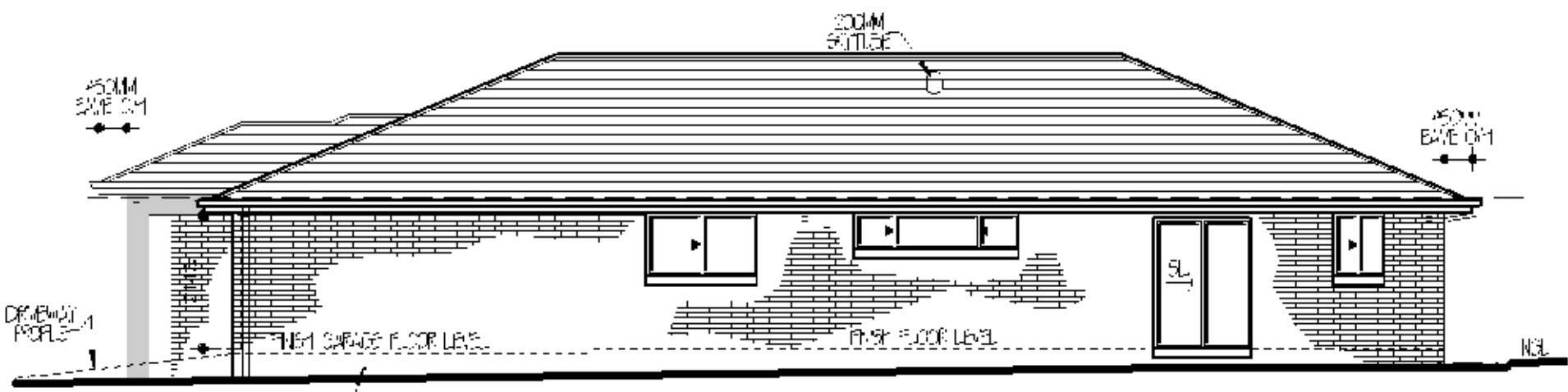
EDEN BRAE CONNECT HOMES		LEVEL 3 22 BROOKLYN AVENUE JORDAN SPRINGS PART 3411/24 HILLS ROAD 2168 SYDNEY NSW 1585 P 9500 2222
FOR	CONNECT HOMES	URS ARCHITECT SYDNEY 101/111 WILSON ST NSW 1570
AT	LOT 2295 BINALONG STREET JORDAN SPRINGS	DELEGATE
TYPE	MANCHESTER 23 MKIII	10635
FACADE	AVENUE	PH
DATE	JUNE 13	DWG NO: A19958 PAGE NO: 1 OF 7

<p>LEVEL 2 SITE @ MCGOWAN POINT NO 228 SOUTH BAY 3411/24 HILLS ROAD JORDAN SPRINGS PART BUSINESS OF THE NEW 235 P.O.B. 102188 SYDNEY NSW 1585 WWW.EDENBRAE.COM.AU</p>			
NO	DATE	BY	DRW
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2	15-12-18	ESK + AMED	AL
3	15-12-18	AL/CLBY	AL
4	20-06-19	BRW	TM

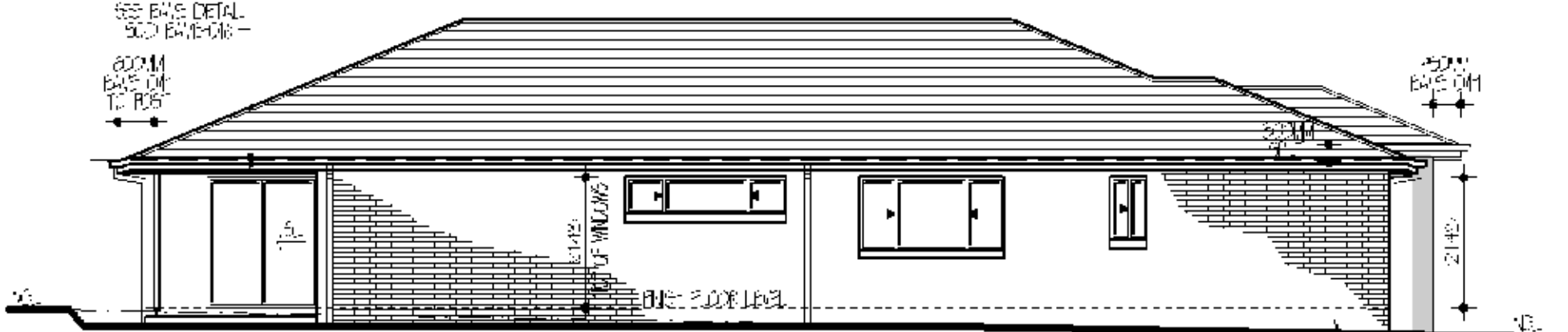
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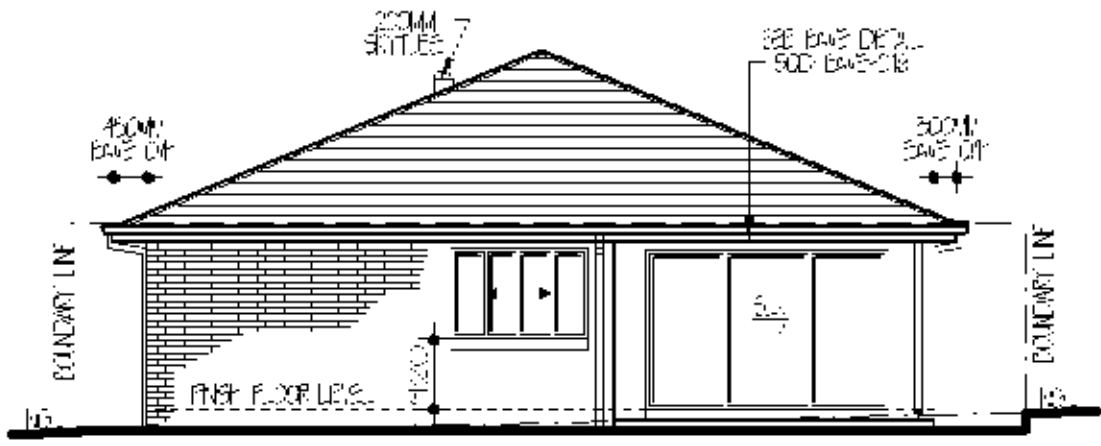
WEST ELEVATION 1:100



SOUTH ELEVATION 1:100




NORTH ELEVATION 1:100



EAST ELEVATION 1:100

EDEN BRAE CONNECT HOMES		LEVEL 3 22 BROOKVIEW AVENUE MANCHESTER BUSINESS PARK BALLAWATTA HILLS NSW 2155 P. 02 9620 2222 F. 02 9620 2222
FOR	CONNECT HOMES	URS ARCHITECT SYDNEY MAY 14 2024
PT LOT 2295 BINALONG STREET JORDAN SPRINGS		
TYPE	MANCHESTER 23 MKIII	JOB NO. 10635
FACADE	AVENUE	P&D RH
DATE	JUNE 13	DWG NO A19958
		PAGE NO 3 OF 7

			
LEVEL 3 SITE 22 BROOKVIEW AVENUE NO 2295 SOUTH STREET BALLAWATTA HILLS 22 BROOKVIEW AVENUE BUSINESS CENTRE NEWCASTLE P.O. BOX 1021 BALLAWATTA HILLS NSW 2155 WWW.ANARCHITECTURE.COM.AU			
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2	2023	EAST + WEST	AL
3	2023	ARCHITECT	AL
4	2024	REV	TM

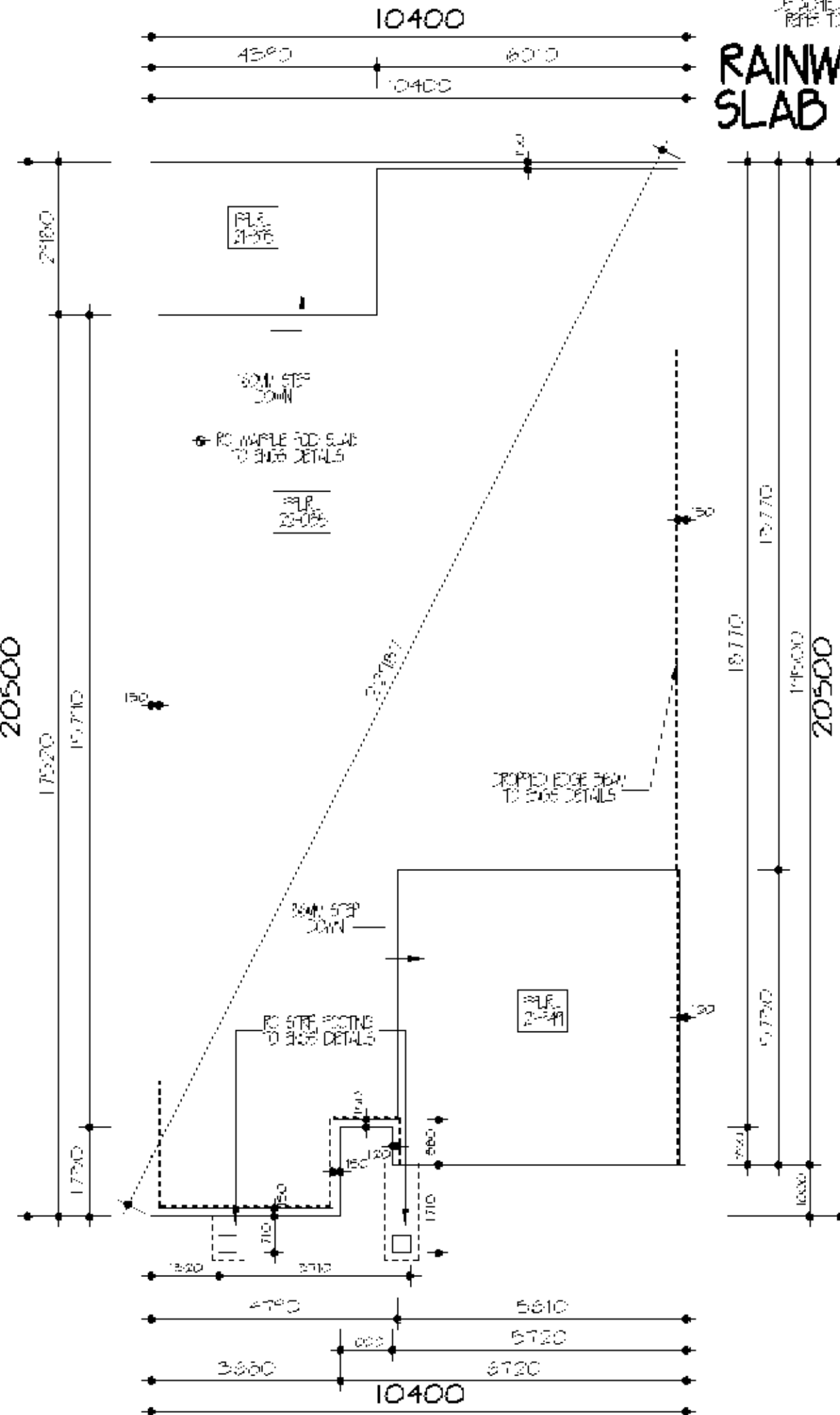
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DUE TO SALINE AFFECTED SOIL & F-SITE CLASSIFICATION IS REQUIRED IN ORDER TO COMPLY WITH COUNCIL REQUIREMENTS AS PER 688 32MFA CONCRETE TO PIERCE AND SLAB HIGH IMPACT PLASTIC WATERPROOF MEMBRANE TO UNDERSIDE OF SLAB



DETACHED SLAB FOR RAINWATER TANK REFER TO SITE PLAN FOR LOCATION

RAINWATER TANK SLAB PLAN 1:100



SLAB FLOOR PLAN 1:100

SLAB PLAN TO BE CROSS REFERENCED WITH FLOOR PLANS. ANY DISCREPANCIES ARE TO BE VERIFIED BEFORE PROCEEDING

EDEN BRAE CONNECT HOMES		LEVEL 3, 22 BROOKLYN AVENUE, JORDAN SPRINGS BUSINESS PARK, BURLINGHAM HILLS NSW 2158	
FOR: CONNECT HOMES		LPS APPROVED: 25/06/2019, 11/11/2019	
AT LOT 2295 BINALONG STREET, JORDAN SPRINGS			
TYPE: MANCHESTER 23 MKIII	JOB NO: 10635	DATE: JUNE 13	
FACADE: AVENUE	FAC: RH	DRAW NO: A19958	
DATE: JUNE 13		PAGE NO: 5 OF 7	

LEVEL 2 SITE 22 BROOKLYN AVENUE, JORDAN SPRINGS BUSINESS PARK, BURLINGHAM HILLS NSW 2158 BUSINESS CENTRE NSW 2158 P.O.B. 1021 BURLINGHAM HILLS NSW 2158 AN/ARCHITECTURE/DESIGN			
NO	DATE	BY	DRW
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3	15-12-18	ARCHIT	AL
4	20-01-19	PLS	TM

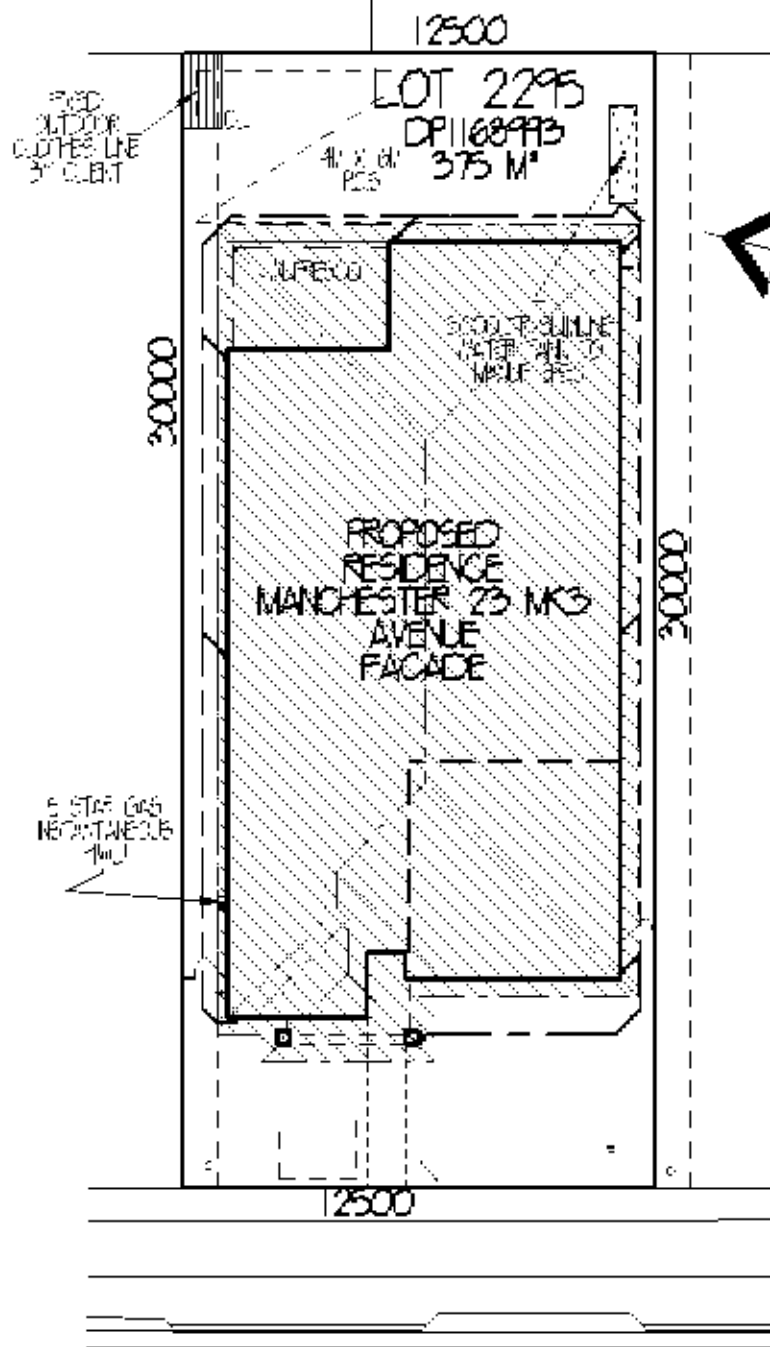
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(BASIX CERTIFICATE NUMBER 4869955_02)

THERMAL COMFORT

THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE CERTIFICATE N° 4869955_02 AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OF APPLICATION FOR COMPLIING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THE VALUES SHOWN IN THE CERTIFICATE N° 4869955_02

DRYTES: ROOF OF ROOF TO BE COLLECTED



**BINALONG STREET
BASIX PLAN
1:200**

STORMWATER / WATER

COLLECTION OF RAINWATER & STORMWATER
THE APPLICANT MUST INSTALL A RAINWATER TANK ON THE SITE. THE RAINWATER TANK MUST MEET AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES

RAINWATER TANK
THE APPLICANT MUST CONSTRUCT THE RAINWATER TANK TO COLLECT RAINOFF FROM AT LEAST 30 SQM OF THE ROOF AREA OF THE DWELLING

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO ALL THE TOILETS IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR TOILET FLUSHING

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO THE COLD WATER TAP THAT SUPPLIES HAND CLOTHES WASHING MACHINE IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR CLOTHES WASHING

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED TO IRRIGATE VEGETATED AREAS OF THE SITE

THE RAINWATER TANK MUST HAVE A CAPACITY OF AT LEAST 2000 LITRES

SHOWERS
THE APPLICANT MUST INSTALL SHOWERSHOUS WITH A MINIMUM RATING OF 3 STAR (25) BUT 4 PLANNING ALL SHOWERS IN THE DEVELOPMENT

TOILETS
THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 3 STAR IN EACH TOILET IN THE DEVELOPMENT

TAP FITTINGS
THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM FLOW RATE OF 3 STAR IN THE KITCHEN IN THE DEVELOPMENT

THE APPLICANT MUST INSTALL BATHROOM TAPS OTHER THAN SHOWERSHOUS WITH A MINIMUM FLOW RATE OF 3 STAR IN EACH BATHROOM IN THE DEVELOPMENT

ENERGY

HOT WATER
THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT GAS INSTANTANEOUS - 3 STAR (OR ONE WITH A HIGHER STAR RATING)

ACTIVE COOLING
THE APPLICANT MUST INSTALL THE FOLLOWING COOLING SYSTEMS IN THE DEVELOPMENT OF SYSTEMS WITH A HIGHER ENERGY RATING - LIVING AREA & PASSIVE ARCHITECTURE ENERGY RATING (EER) 25 - 30

THE BEDROOMS MUST NOT INCORPORATE AIR COOLING SYSTEM OR AIR DUCTING WHICH IS DESIGNED TO ACCOMMODATE A COOLING SYSTEM

ACTIVE HEATING
THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEMS IN THE DEVELOPMENT OF SYSTEMS WITH A HIGHER ENERGY RATING - LIVING AREA & PASSIVE ARCHITECTURE ENERGY RATING (EER) 30 - 35

THE BEDROOMS MUST NOT INCORPORATE AIR HEATING SYSTEM OR AIR DUCTING WHICH IS DESIGNED TO ACCOMMODATE A HEATING SYSTEM

VENTILATION
THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT AT LEAST 1 EXHAUST FAN DUCTED TO EXTERIOR OF ROOF OPERATION CONTROL

KITCHEN INDIVIDUAL FAN NOT DUCTED OPERATION CONTROL

LAUNDRY NATURAL VENTILATION ONLY OR NO LAUNDRY OPERATION CONTROL N/A

NATURAL LIGHTING
THE APPLICANT MUST INSTALL A WINDOW WINDOW SKYLIGHT IN 1 BATHROOM/TOILET IN THE DEVELOPMENT FOR NATURAL LIGHTING

COOKING
THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING

THE APPLICANT MUST CONSTRUCT EACH RECREATION SPACE IN THE DEVELOPMENT SO THAT IT IS WELL VENTILATED AS DEFINED IN THE BASIX

OTHER
THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT

VENTILATION

ROOF WALL VENTILATION
R-3.5 CEILING INSULATION
ENCLOSURE GARAGE & AUSTRALIAN ROOF DRAINING

BASIX SCORE

WATER - 40 (TARGET 40)
THERMAL COMFORT - 1366 (TARGET 1366)
ENERGY - 41 (TARGET 40)

EDEN BRAE CONNECT HOMES		LEVEL 3 22 BROOKVIEW AVENUE JORDAN SPRINGS NSW 2583 34/1-20 HILLS ROAD 2188 5 BAYVIEW F 2580 2583
FOR	CONNECT HOMES	UPC APPROVED 25/06/2018 MAY 14 2018
AT	LOT 2295 BINALONG STREET JORDAN SPRINGS	DEVELOPER
TYPE	MANCHESTER 23 MKIII	JOB NO. 10635
FACADE	AVENUE	FACED RH
DATE	JUNE 13	DWG NO A19958
		PAGE NO 7 OF 7

LEVEL 3 SITE 22 BROOKVIEW AVENUE NO 222 SOUTH BAYVIEW HILLS 25 BAYVIEW ROAD 2188 BUSINESS CENTRE NSW 2583 PHONE 02 8328 2583 FAX 02 8328 2584 WWW.EDENBRAE.COM.AU			
NO	DATE	BY	DRW
1	2018	CC 2583	AL
2	15/06/18	EASY + AMED	AL
3	2018	AMC/ALB	8
4	20/06/18	BAW	TM