

# Application for Development and/or Construction



Planning and/or  
Building Construction  
Applications/Certificates  
under the Environmental  
Planning and Assessment  
Act 1979, or Local  
Government Act 1993

## Type of Application

Please tick the type/s of applications required

### Development Application

Please also nominate below (if applicable)

<input type="checkbox"/> Designated Development	<input type="checkbox"/> Modification (S96)	<input type="checkbox"/> DA No
<input type="checkbox"/> Integrated Development	<input type="checkbox"/> Extension of Consent	<input type="checkbox"/> DA No
<input type="checkbox"/> Advertised Development	<input type="checkbox"/> Review of Determination	<input type="checkbox"/> DA No
<input type="checkbox"/> Other		

## Subdivision

<input type="checkbox"/> Number of lots	<input type="checkbox"/> Subdivision Certificate
<input type="checkbox"/> Existing	<input type="checkbox"/> Strata
<input type="checkbox"/> Proposed	<input type="checkbox"/> Land/Torrens Title
<input type="checkbox"/> Road	<input type="checkbox"/> Community Title
Yes	Related DA No <input type="text"/>
No	

Does the Subdivision include works other than a road?  Yes  No

## Construction Certificate

Related DA No

## Complying Development Certificate

Please select the Planning Policy you are applying under

State Environmental Planning Policy (Name and Number)

Penrith Council Local Environmental Plan (Policy Name)

## Install a Sewerage Management System

(Section 68 Local Government Act 1993)

Aerated (Brand and Model)

<input type="checkbox"/> On Site Disposal	or	<input type="checkbox"/> Pump Out
<input type="checkbox"/> Irrigation		<input type="checkbox"/> Trench Disposal

## Other Approvals (Section 68 Local Government Act 1993)

### Office Use Only

Receipt Date

23.9.13

Fees Paid

1163.68

Application Number

DA13/1076

Receipt Number

2488480

## Property Details

Lot No/Sec No. DP/SP No. Land No (Office Use)  
2105 1168991 88502

Street No Street Name  
4 ALINTA PROMENADE

Suburb Post Code  
JORDAN SPRINGS 2747

Location of the proposal.  
All details must be provided.

Provide details of the current use of the site and any previous uses.  
Eg vacant land, farm, dwelling, car park.

Description of Current and Previous Use/s of the Site  
VACANT BLOCK

Is this use still operating? If no, when did the use cease?  
 Yes  No

Include all work associated with the application. Eg construction of single dwelling, landscaping, garage, demolition.

## Description of the Proposal

PROPOSED TWO STOREY DWELLING

Estimated or contract value of the works. Council may request verification through builders quote or by a Quantity Surveyor.

## Value of Work Proposed

Must include materials, labour costs and GST. Subdivision applications are to provide details of costs of construction. Major developments are to provide Capital Investment Value (CIV) where required.  
\$162,000.00

All correspondence relating to the application will be directed to the applicant.  
The applicant may be, but is not necessarily, the owner.

## Applicant Details

First Name/s Surname/s

Company Name (if applicable)  
ANCON DEVELOPMENT GROUP PTY LTD


Street No Street Name / PO Box / DX  
215 MCCORMACK STREET

Suburb Post Code  
ARNDILL PARK 2148

Contact Phone Number Email Address  
9678 9185 jason@ancon.net.au

## Declaration

I declare that all particulars supplied are correct and all information required has been supplied. I also certify that all information supplied digitally/electronically is a true copy of all plans and documents submitted with this application and that electronic data is not corrupted and does not contain any viruses.

Signature/s Date  
 23.9.13

## Owners Details

This must be completed to include details of ALL owners. If there are more than two owners please attach a separate authority.

Owner 1  
First Name

Surname

Owner 2  
First Name

Surname

### Postal Address

Street Number Street Name

2/5 Mc Cormack Street

Suburb

Arndell Park

Post Code

2148

Contact Phone Number

9678 9456

Email Address

jason@ancon.net.au

Company Name (if applicable)

Ancon Development Group Pty Ltd

Name of signatory for company

Jason Commisso / Tony Commisso

Position held by signatory

General Manager / Director

## Owners Consent

This must be completed to include signatures of ALL owners (see above note). If the property is subject to strata or community title the application must have consent from the Body Corporate.

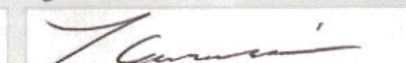
As owner/s of the property the subject of this application I/we consent to the application. I/we grant permission for Council Officers to enter the premises for the purpose of assessment of this application and to conduct inspections relative to this application.

Owner 1/Company Signatory

Print

Tony Commisso

Signature



Date

23.9.13

Owner 2

Print

Signature

Date

## Pecuniary Interest

Details of any pecuniary interest to be disclosed here.

Is the applicant an employee of Penrith City Council, or is the application being submitted on behalf of an employee of Penrith City Council?

Yes  No

Does the applicant have a relationship to any staff or Councillor of Penrith City Council or is the application being submitted on behalf of someone who has such a relationship?

Yes  No

If the answer is yes to any of the above the relationship must be disclosed

## Builder/Owner Builder Details

Please Nominate

Licenced Builder

Owner Builder

First Name

Surname/Company Name

Licence No

Arcon Development Group 14075PC

Postal Address

Street No.

Street Name

215 Mc Cormack Street

Suburb

Post Code

Arndell Park

2148

Contact Phone Number

Email Address

9678 9456

jason@arcon.net.au

## Materials to be used

Please Nominate

This is required to be completed for the Australian Bureau of Statistics

Floor

- Concrete  
 Timber  
 Other

Frame

- Timber  
 Steel  
 Aluminium  
 Other

Walls

- Brick Veneer  
 Double Brick  
 Concrete  
 Fibre Cement  
 Curtain Glass  
 Steel  
 Aluminium  
 Other

Roof

- Tiles  
 Fibre Cement  
 Aluminium  
 Steel  
 Other

Gross Floor Area of Proposal (if applicable)

Existing

Proposed

Total

+

=

162.17

## Integrated Development

If the development is Integrated and requires approval under another Act, please nominate which approvals are required.

If the Application is for Integrated Development Please indicate under which Act/s the Licences/Permits are required.

Fisheries Management Act

Heritage Act

National Parks and Wildlife Act

Roads Act

Protection of the Environment

Rural Fires Act

Operations Act

Other

Water Management Act

## Pre Lodgement/Urban Design Review Panel

Have you attended a Prelodgement/UDRP meeting regarding this application?

Yes  No

Reference No.



# Submission Requirements

MATRIX OF INFORMATION TO ACCOMPANY APPLICATION (see separate information sheet for meanings of symbols)	Residential Dwellings	Alterations or Additions to Residential Dwellings	Garage, Outbuilding, Awning Carport, etc	Farm Building	Swimming Pool	Dual Occupancy	Multi Unit Housing	Commercial / Industrial Building	Alteration and Additions to Commercial / Industrial	Demolition	Subdivision of Land	Septic Tank (Sewage Management)	Advertising Sign	Home Business	Applicant Checklist Council Checklist - supplied Y/N
Site plan	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	
Floor Plan	✓	✓	✓	✓		✓	✓	✓	✓		◇	✓		✓	
Elevation Plan	✓	✓	✓	✓	✓	✓	✓	✓	✓				✓	○	
Section Plan	✓	✓	✓	✓	✓	✓	✓	✓	✓			✓	◇	○	
Specifications	○	○	○	○	○	○	○	○	○	✓		✓	◇	○	
Statement of Environment Effects	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	
BASIX	✓	◇			◇	✓	✓								
Shadow Diagrams	◇	◇				◇	◇	◇	◇						
Notification Plan (A4)	✓	✓	✓	✓	✓	✓	✓	◇	◇					✓	
Landscaping	◇	◇	◇	✓		✓	✓	✓	◇			✓			
Erosion/Sediment Control	✓	✓	◇	◇	◇	✓	✓	✓	◇	✓	◇	◇	◇		
Drainage Plan (Stormwater)	✓	✓	✓	✓	✓	✓	✓	✓	✓	◇	◇	✓			
Drainage Plan (Effluent)	✓	◇		◇	✓	✓	✓	✓	◇	✓				◇	
Waste management	✓	◇		◇	✓	✓	✓	✓	◇	✓				◇	
External Colour Schedule	✓	✓		✓		✓	✓	✓	✓						

The matrix identifies the minimum information (plans and supporting documents) required for the most common types of developments.

- ✓ Indicates this information must be provided.
- ◇ Indicates this additional information must be provided if applying for a Construction Certificate or Complying Development Certificate.
- Indicates this information may also be required (refer to the relevant policies or contact Council for further details before lodging your application).

### Requirements for submission of applications, plans and documentation.

- A minimum of 6 complete sets of all plans and documentation.
- Please fold all plans to A4 size. Rolled plans will not be accepted (originals of subdivision certificates may be rolled).
- Notification plans are to be A4 size and are to be kept separate from other plans.
- Notification plans should not include any floor plans that may affect your right to privacy
- **An electronic copy is also to be provided in PDF format.** One file is to be submitted for each document or plan. File names are to include; document name, plan type, description, and number (including version and date). Exemptions from this requirement may apply to proposals of a minor nature. Digital files must be virus free.

(Where applications for minor development do not provide an electronic copy a scanning fee may apply.)

*NB Additional types or copies of plans/documents may be required for major developments. Please contact the Development Services Department on 4732 7991 to confirm documentation required.*

**Applications for major developments:** (including advertised and integrated development). An appointment is required for lodgement of these applications. Please contact the Development Services Duty Planner on 4732 7991 to arrange an appointment for the lodging of your application.

## Contact Us

STREET ADDRESS  
Penrith City Council  
601 High Street  
PENRITH NSW 2750

POSTAL ADDRESS  
PO Box 60  
PENRITH NSW 2751, or  
DX 8017 PENRITH

TELEPHONE: (02) 4732 7991  
FACSIMILIE: (02) 4732 7958  
EMAIL: council@penrithcity.nsw.gov.au  
WEB: www.penrithcity.nsw.gov.au