

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 12561605_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 01 February 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINA_3_18_5 Certificate No.: 12561605_02 Tuesday, 01 February 2022 page 1/8

Project address		Assessor details and thermal loads	
Project name	fourth road shed conversion	Assessor number	n/a
Street address	10-18 fourth Road berkshire park 2765	Certificate number	n/a
Local Government Area	Penrith City Council	Climate zone	n/a
Plan type and plan number	deposited Plan 1039929	Area adjusted cooling load (MJ/m ² /year)	n/a
Lot no.	165	Area adjusted heating load (MJ/m ² /year)	n/a
Section no.	-	Ceiling fan in at least one bedroom	n/a
Project type		Ceiling fan in at least one living room or other conditioned area	n/a
Project type	separate dwelling house - secondary dwelling	Project score	
No. of bedrooms	2	Water	✓ 43 Target 40
Site details		Thermal Comfort	✓ Pass Target Pass
Site area (m ²)	20230	Energy	✓ 67 Target 50
Roof area (m ²)	58		
Conditioned floor area (m ²)	52.7		
Unconditioned floor area (m ²)	5.75		
Total area of garden and lawn (m ²)	0		
Roof area (m ²) of the existing dwelling	257		
No. of bedrooms in the existing dwelling	4		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 50 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - framed (weatherboard, fibre cement, metal clad)	2.20 (or 2.60 including construction)	
ceiling and roof - flat ceiling / pitched roof	ceiling: 1.95 (up), roof: foil backed blanket (100 mm)	unventilated; medium (solar absorptance 0.475-0.70)

Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (>0.7 square metres) which is not listed in the table.		✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
• For the following glass and frame types, the certifier check can be performed by visual inspection.			✓
• Aluminium single clear			
• Aluminium double (air) clear			
• TimberuPVCfibreglass single clear			
• TimberuPVCfibreglass double (air) clear			

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 15%)	Overshadowing
South-East facing					
W02	900	600	aluminium, single, clear	none	not overshadowed
W01	1000	1200	aluminium, single, clear	none	not overshadowed
W03	1000	1400	aluminium, single, clear	none	not overshadowed
South-West facing					
W04	2100	1600	aluminium, single, clear	none	not overshadowed

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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric instantaneous.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase air conditioning. Energy rating: 6 Star (old label)		✓	✓
The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
Heating system			
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		✓	✓
Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a		✓	✓
Laundry: individual fan, ducted to facade or roof; Operation control: interlocked to light		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 2 of the bedrooms / study;		✓	✓
• at least 2 of the living / dining rooms;		✓	✓
• the kitchen;		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets;		✓	✓
• the laundry;		✓	✓
• all hallways;		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 1.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

AMENDMENT A - UPDATED NOTES AND BASIX FOR WINDOWS - 1/2/22

SECONDARY DWELLING COVER

FOR:
AT: 10-18 Fourth Road
BERKSHIRE PARK
LOT: 165 / 1039929
DATE: 2/11/2021
SHEET: 1/4
DRAWING # 40998
DRAWN: TP
SCALE: 1:100 (A3)

DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY. DIMENSIONS OF EXISTING WORKS TO BE CONSIDERED APPROXIMATES.

IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER SUBCONTRACTOR TO VERIFY ALL DIMENSIONS, LEVELS & SETBACKS PRIOR TO COMMENCING WORKS OR ORDERING MATERIALS & TO ENSURE ALL WORKS & PLANNED WORK COMPLIES WITH THE CURRENT BUILDING CODE OF AUSTRALIA & MOST RECENT AUSTRALIAN STANDARDS.

FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS, ALL WORK TO BE SET OUT BY REGISTERED SURVEYOR



DESCRIPTION:

Dual occupancy has been built within existing shed.
Plans show existing and requirements for basix

- 1) Cover / Basix
- 2) Site plan
- 3) Floor plan
- 4) Elevations & Section



GENERAL NOTES

TIMBER FRAMES AS1684 - NATIONAL TIMBER FRAMING CODE & BCA 3.4.3 (STEEL TO 3.4.2)
SMOKE ALARMS TO AS 3786 & BCA 3.7.2 (hard wired)
RESIDENTIAL SLAB AND FOOTINGS TO AS 2870-1996 & BCA PART 3.4.0 / ENGINEERS SPECS
TERMITE MANAGEMENT TO AS 3660.1
FIRE SEPERATION TO BCA 3.7.1
DAMP-PROOF COURSES AND FLASHINGS AS/NZ2904-1995
WATERPROOFING OF ALL WET AREAS TO AS3740 & BCA 3.8.1
ROOFING TO BCA 3.5.1 & AS1562 & AS2049 & AS2050-2002
GUTTERS & DOWNPIPES TO AS 3500.3 & BCA 3.5.2
STORMWATER TO AS3500 & BCA 3.1.2.5
STORMWATER LEGAL POINT OF DISCHARGE AS DETERMINED BY THE RELEVANT AUTHORITY
BUSHFIRE PROTECTION TO 3.7.4.2
ON-SITE WASTE WATER TO AS/NZS 1547:2012 & LOCAL COUNCIL DCP

SECONDARY DWELLING FLOOR PLAN

FOR:
AT: 10-18 Fourth Road
BERKSHIRE PARK
LOT: 165 / 1039929
DATE: 2/11/2021
SHEET: 3/4
DRAWING # 40998
DRAWN: TP
SCALE: 1:1000 (A3)

DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY. DIMENSIONS OF EXISTING WORKS TO BE CONSIDERED APPROXIMATES.

IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER SUBCONTRACTOR TO VERIFY ALL DIMENSIONS, LEVELS & SETBACKS PRIOR TO COMMENCING WORKS OR ORDERING MATERIALS & TO ENSURE ALL WORKS & PLANNED WORK COMPLIES WITH THE CURRENT BUILDING CODE OF AUSTRALIA & MOST RECENT AUSTRALIAN STANDARDS.

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NOTES:

Wall Thickness assumed but unverified

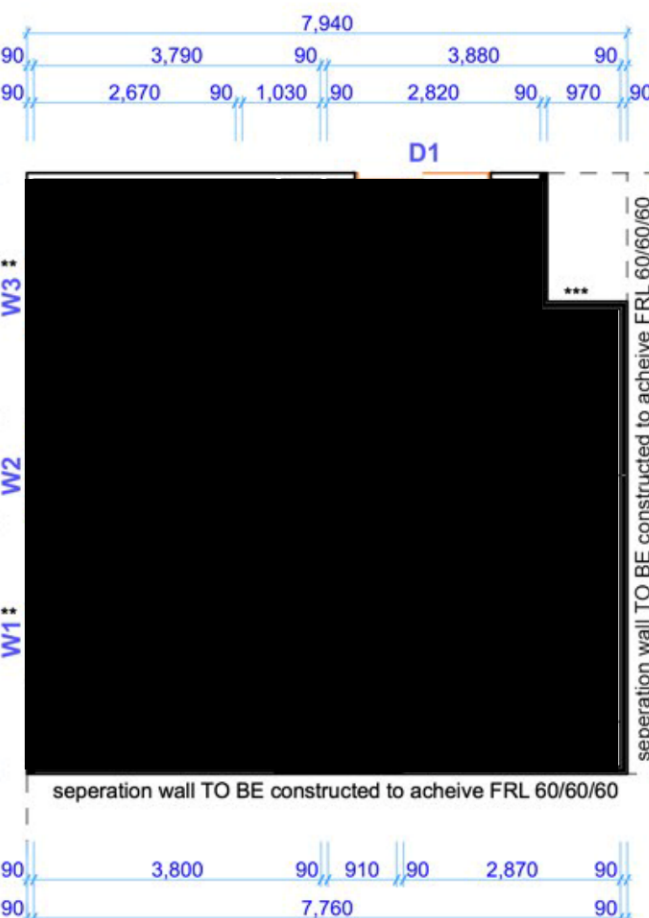
Room purpose and label assumed (unoccupied)

WINDOW SCHEDULE EXISTING

W1 - 1000 x 1000
W2 - 600 x 900
W3 - 1000 x 1000
D1 - 2100 x 1600

WINDOW SCHEDULE REQUIRED

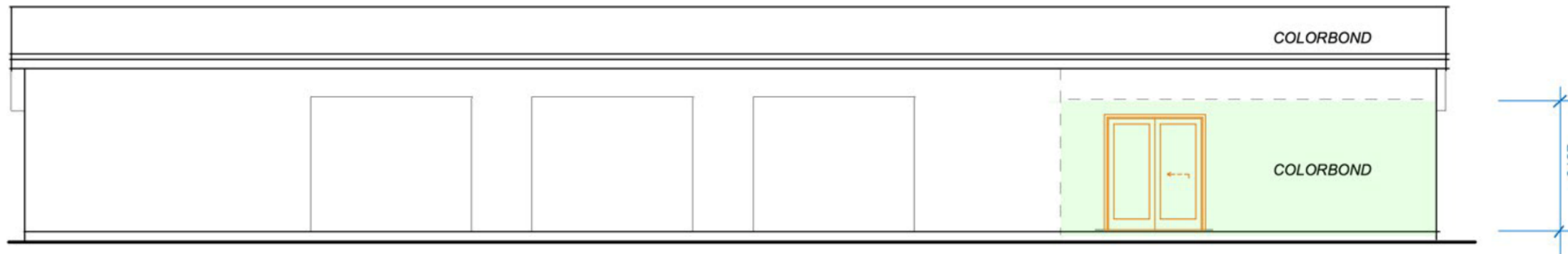
W1 - 1200 x 1000
W2 - 600 x 900
W3 - 1400 x 1000
D1 - 2100 x 1600



REQUIRED CHANGES FROM EXISTING

- * DOOR TO SWING OUTWARD OR EASILY REMOVED TO COMPLY WITH PART 3.8.3.3
- ** WINDOWS INCREASED AS PER WINDOW SCHEDULE TO COMPLY WITH PART 3.8.4.2 & 3.8.5.2
- *** WALL TO BE CONSTRUCTED TO FRL 60/60/60

When new windows are installed, they must be provided with flashing complying with the requirements of Part 3.5.4.6.

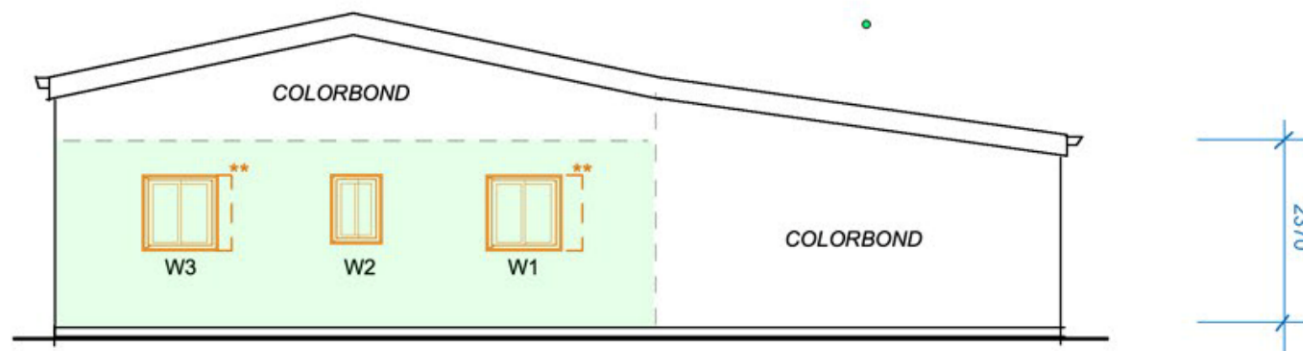


SOUTH WEST ELEVATION 1:100

seperation wall TO BE constructed to acheive FRL 60/60/60



SECTION A - 1:100



SOUTH EAST ELEVATION 1:100

The windows of the two bedrooms are too small to provide the required natural lighting. Windows to the two bedrooms must be increased in size to allow an aggregate light transmitting area of not less than 10% of the floor area of each room. When new windows are installed, they must be provided with flashing complying with the requirements of Part 3.5.4.6.

SECONDARY DWELLING ELEVATIONS

FOR:

AT: 10-18 Fourth Road
BERKSHIRE PARK

LOT: 165 / 1039929

DATE: 2/11/2021

SHEET: 4/4

DRAWING # 40998

DRAWN: TP

SCALE: 1:100 (A3)

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FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS, ALL WORK TO BE SET OUT BY REGISTERED SURVEYOR



WINDOW SCHEDULE EXISTING

W1 - 1000 x 1000

W2 - 600 x 900

W3 - 1000 x 1000

D1 - 2100 x 1600

WINDOW SCHEDULE REQUIRED

** W1 - 1200 x 1000

W2 - 600 x 900

** W3 - 1400 x 1000

D1 - 2100 x 1600