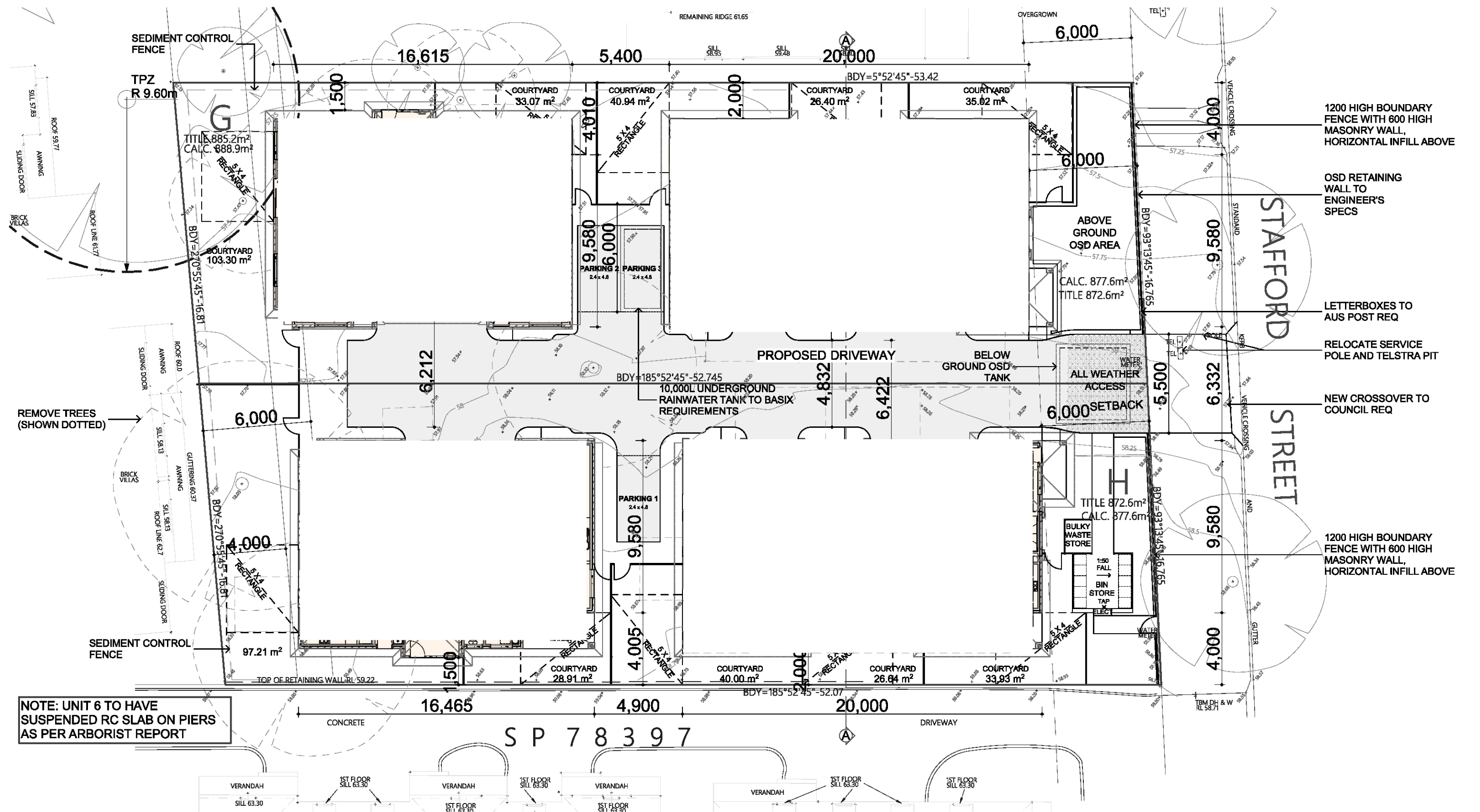
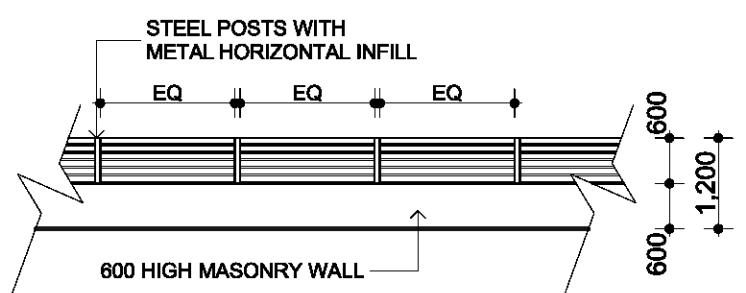
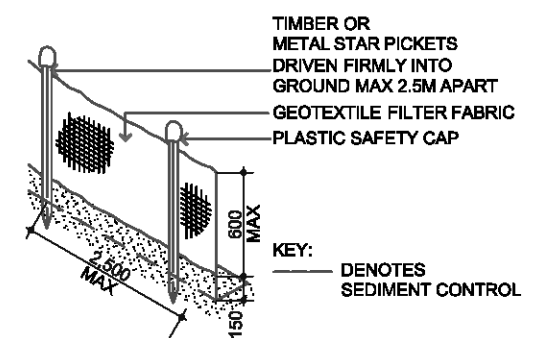




NOTE: UNIT 6 TO HAVE
SUSPENDED RC SLAB ON PIERS
AS PER ARBORIST REPORT



FRONT FENCE DETAIL

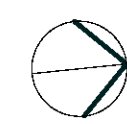


SEDIMENT FENCING DETAIL

SITE CALCULATIONS

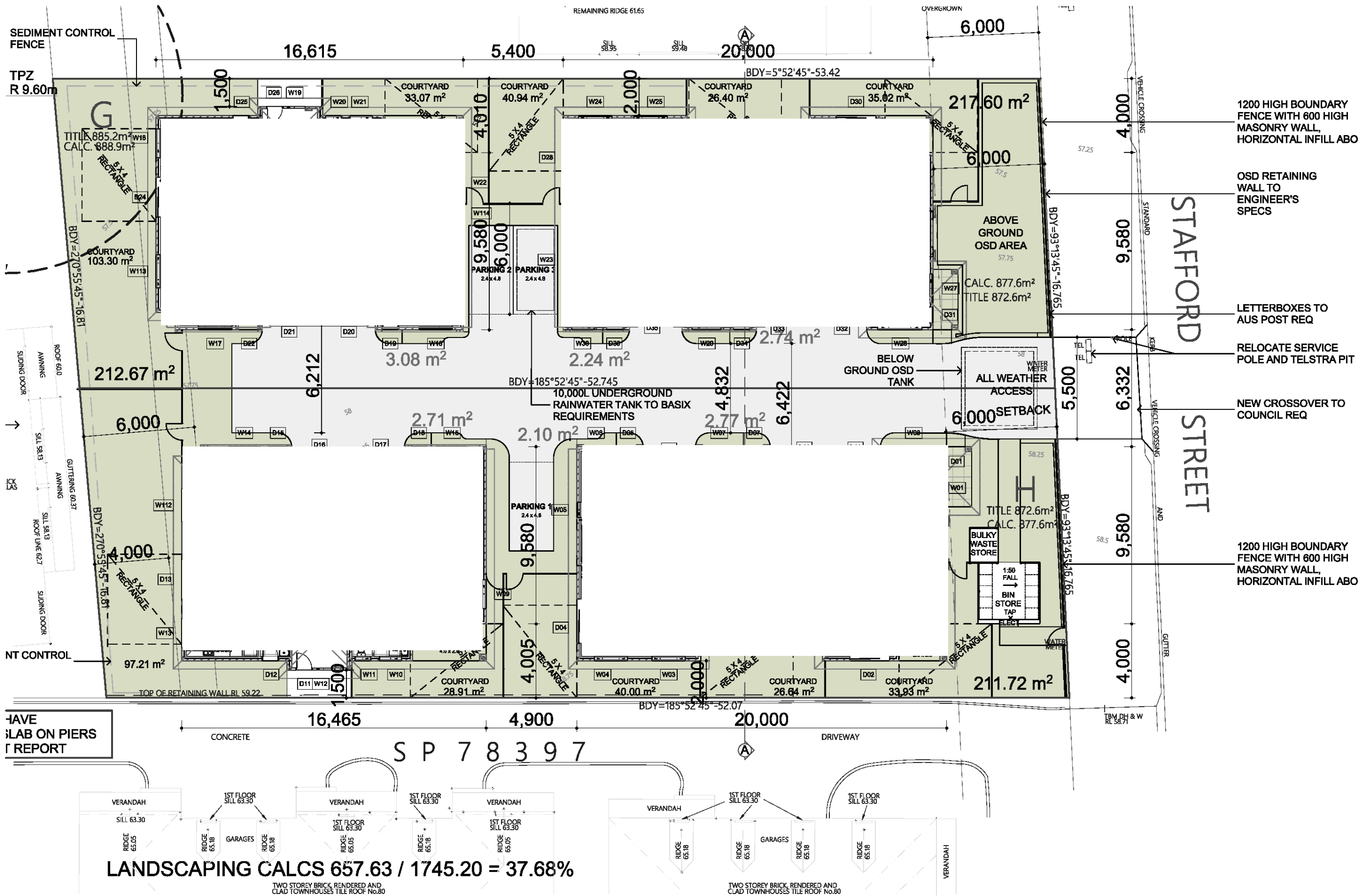
SITE AREA	1745.2m²	UNIT 4	LIVING	149.15m²	UNIT 8	LIVING	137.37m²
			GARAGE	20.04m²		GARAGE	18.01m²
			VER'H	7.95m²		TOTAL	155.38m²
			TOTAL	177.14m²			
FLOOR AREAS		UNIT 5	LIVING	161.85m²	WSUD CALCULATION:		
UNITS 1 & 10	LIVING		GARAGE	35.98m²	ROOF	909.54m²	
	VER'H		VER'H	0.83m²	DRIVEWAY	288.94m²	
	TOTAL		TOTAL	198.66m²	PERMEABLE	548.72m²	
UNITS 2 & 9	LIVING	UNIT 6	LIVING	154.27m²	TOTAL	1745.20m²	
	GARAGE		GARAGE	35.98m²	LANDSCAPE		
	VER'H		VER'H	0.83m²	NEED (30%)	523.56m²	
	TOTAL		TOTAL	191.08m²	ACTUAL (37.68%)	657.63m²	
UNIT 3	LIVING	UNIT 7	LIVING	144.81m²	DEEP SOIL ZONE		
	GARAGE		GARAGE	20.04m²	NEED (15%)	281.78m²	
	TOTAL		TOTAL	173.26m²	ACTUAL (24.05%)	419.70m²	

NOTE: ALL DIMENSIONS ARE TO BE CHECKED ON SITE
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PROPOSED SEPP 2009 DEVELOPMENT AT
82-84 STAFFORD STREET,
KINGSWOOD
CLIENT: MR JOSEF USNIK & MR DANIEL PACI
N. F. BILLYARD P/L
PO BOX 4327, NORTH CURL CURL NSW 2099
Ph 0414 597 913

07/12/21 SCALE 1:200 A3 SHEET
SITE PLAN/ GROUND
FLOOR LEVEL 1367 DA01



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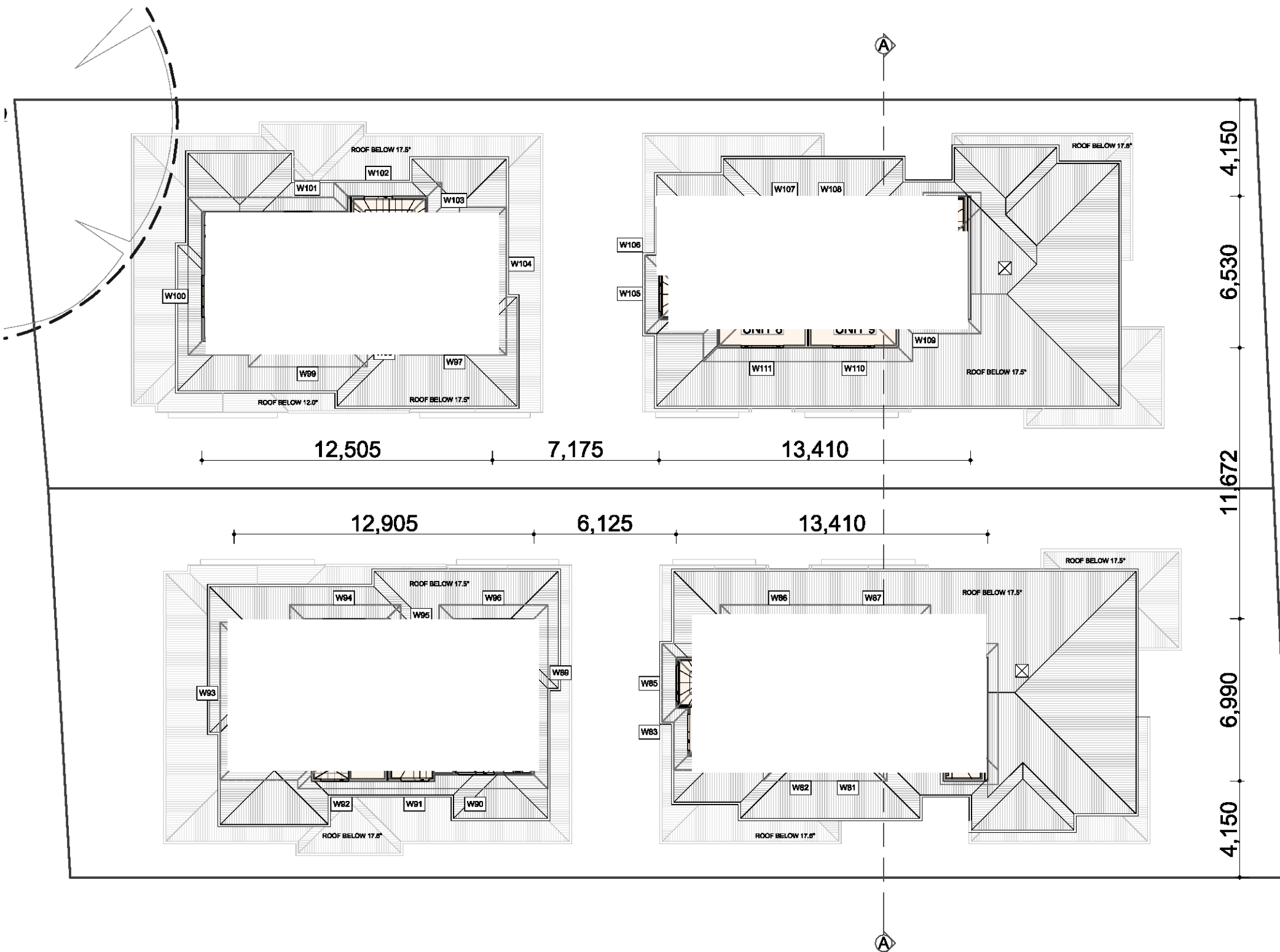
07/12/21 SCALE 1:200 A3 SHEET
GROUND LEVEL FLOOR PLAN 1367 DA02

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LANDSCAPING CALCS $657.63 / 1745.20 = 37.68\%$

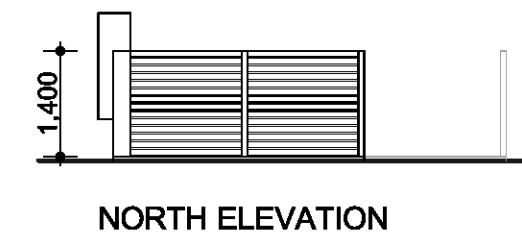
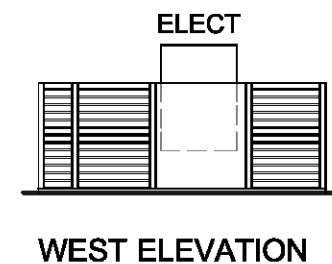
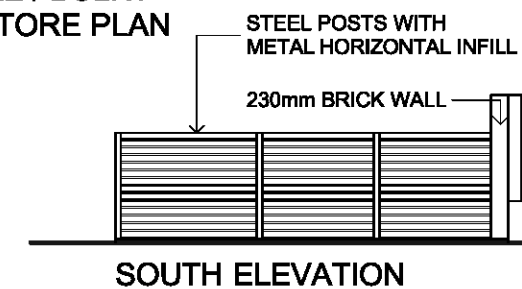
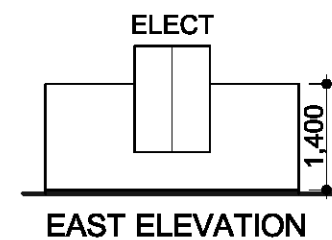
TWO STOREY BRICK, RENDERED AND
CLAD TOWNHOUSES TILE ROOF No.80

TWO STOREY BRICK, RENDERED AND
CLAD TOWNHOUSES TILE ROOF No.80



STAFFORD STREET

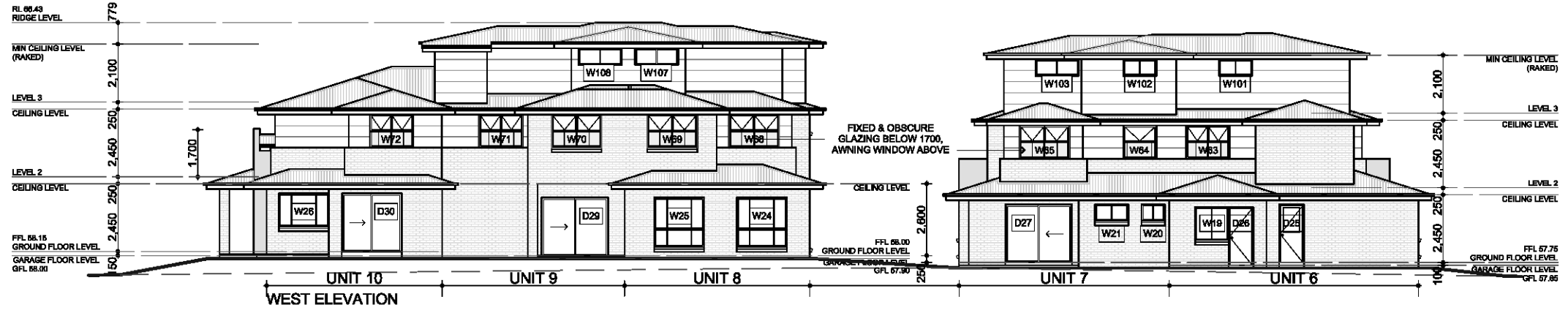
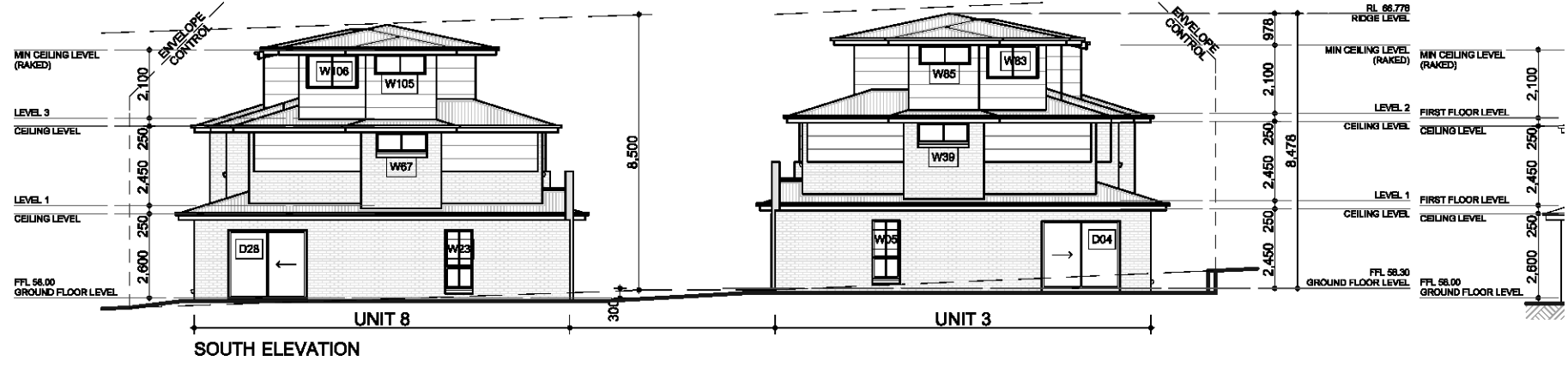
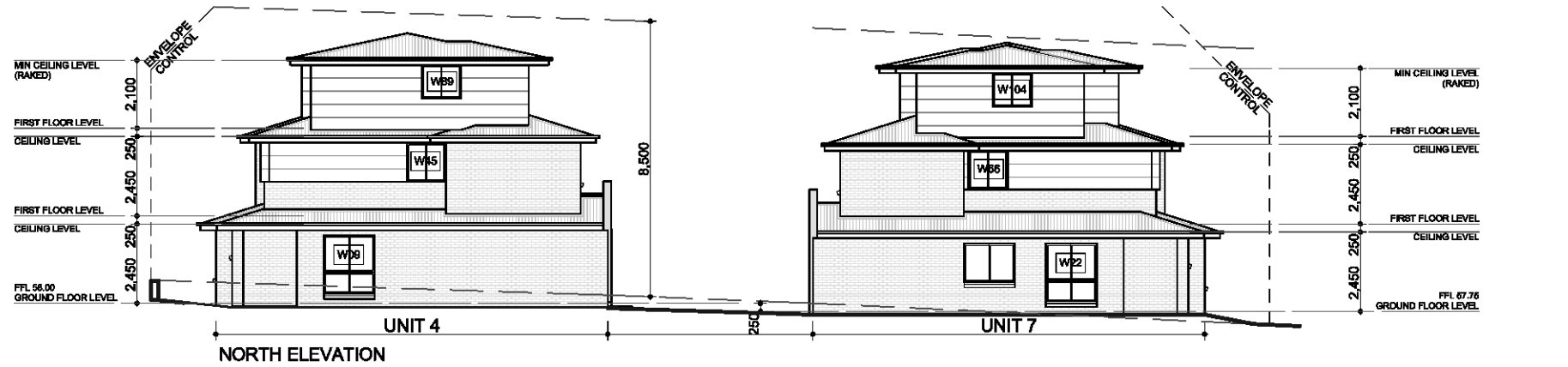
BIN STORE / BULKY WASTE STORE PLAN



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07/12/21 SCALE 1:200; 1:100 A3 SHEET
LEVEL 2 FLOOR PLAN &
BULKY WASTE/BIN STORE 1367 DA04



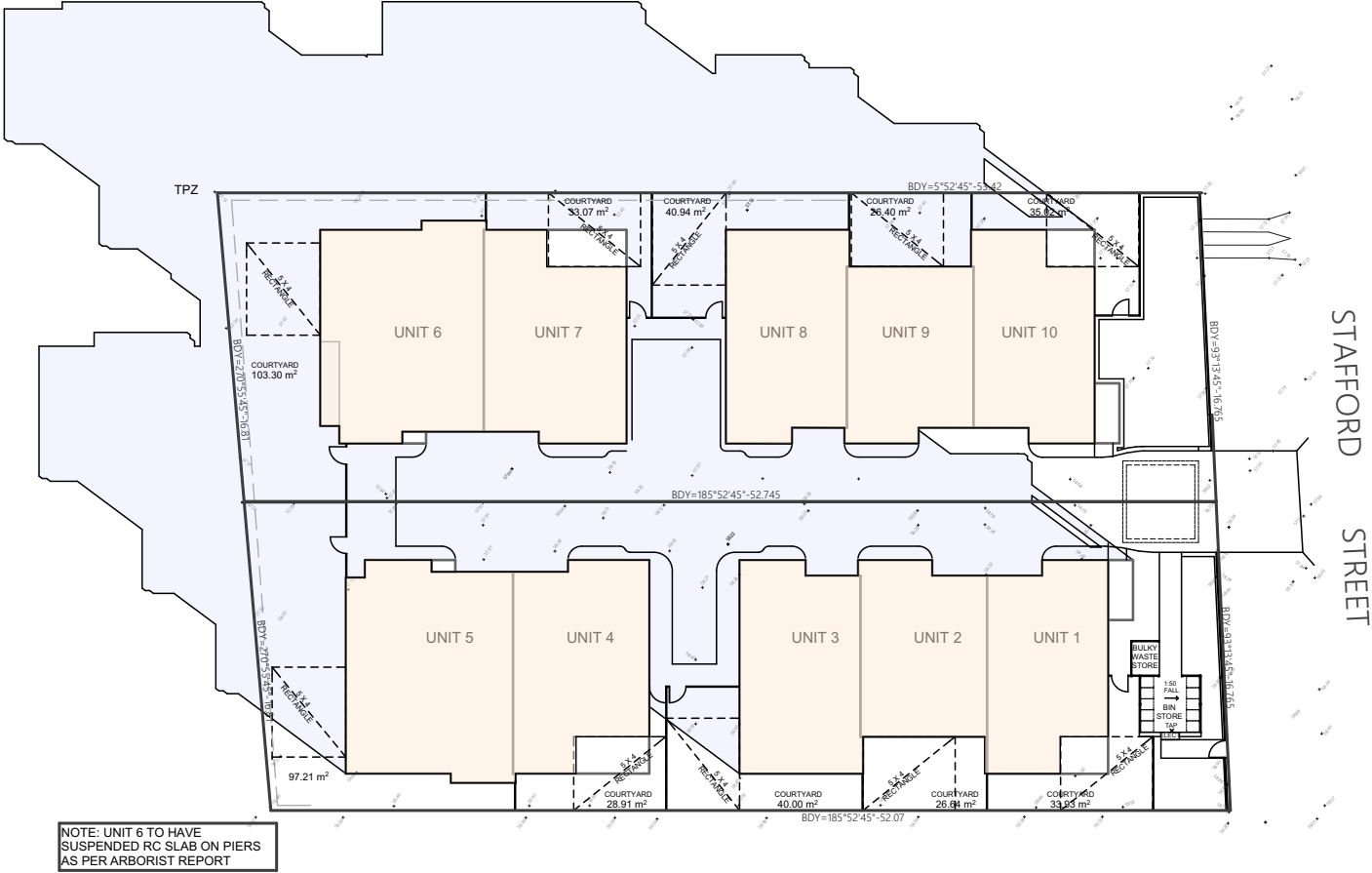
STAFFORD STREET STREETScape

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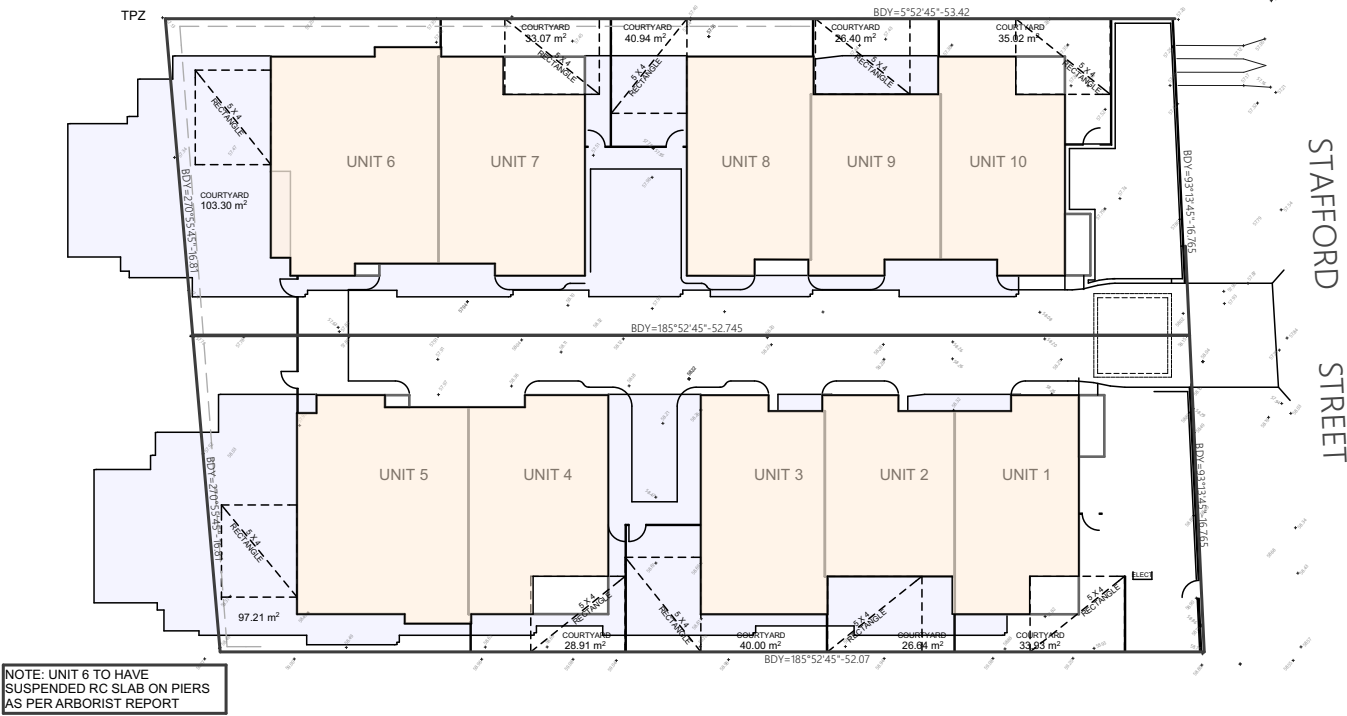
07/12/21 SCALE 1:200 A3 SHEET

ELEVATIONS & SECTION 1367 DA06

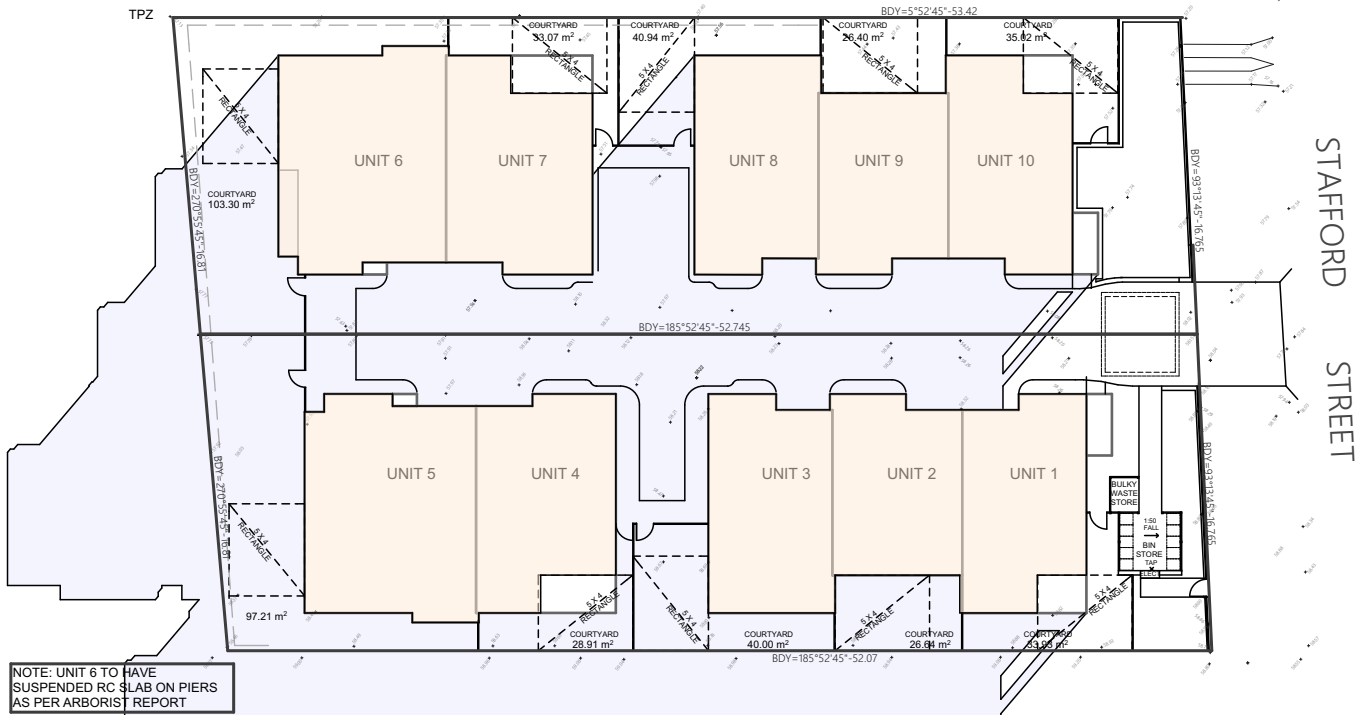
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SHADOW DIAGRAMS
9AM



SHADOW DIAGRAMS
12 NOON



SHADOW DIAGRAMS
3PM



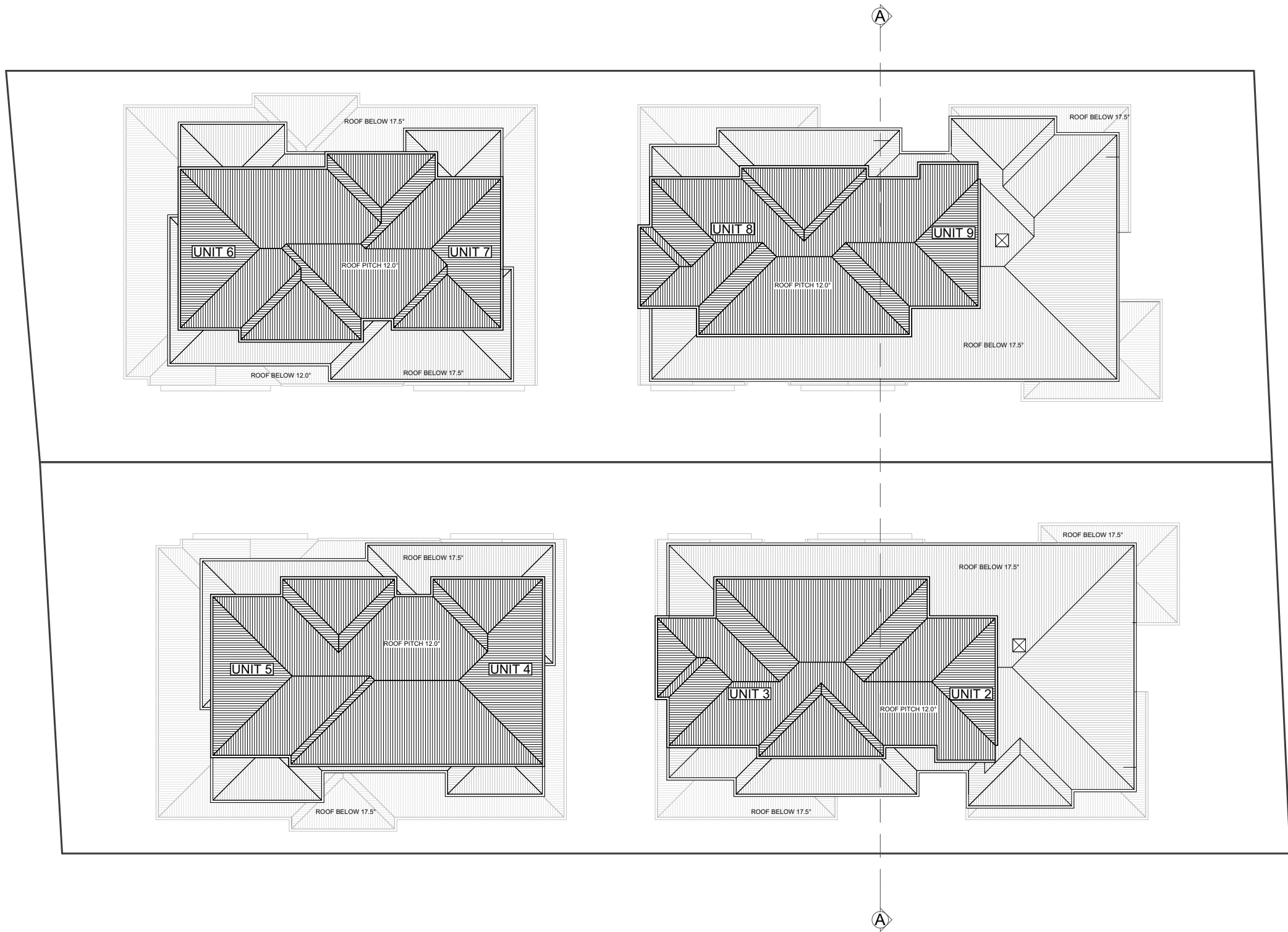
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07/12/21 SCALE 1:400 A3 SHEET

SHADOW DIAGRAMS 1367 DA07

STAFFORD STREET

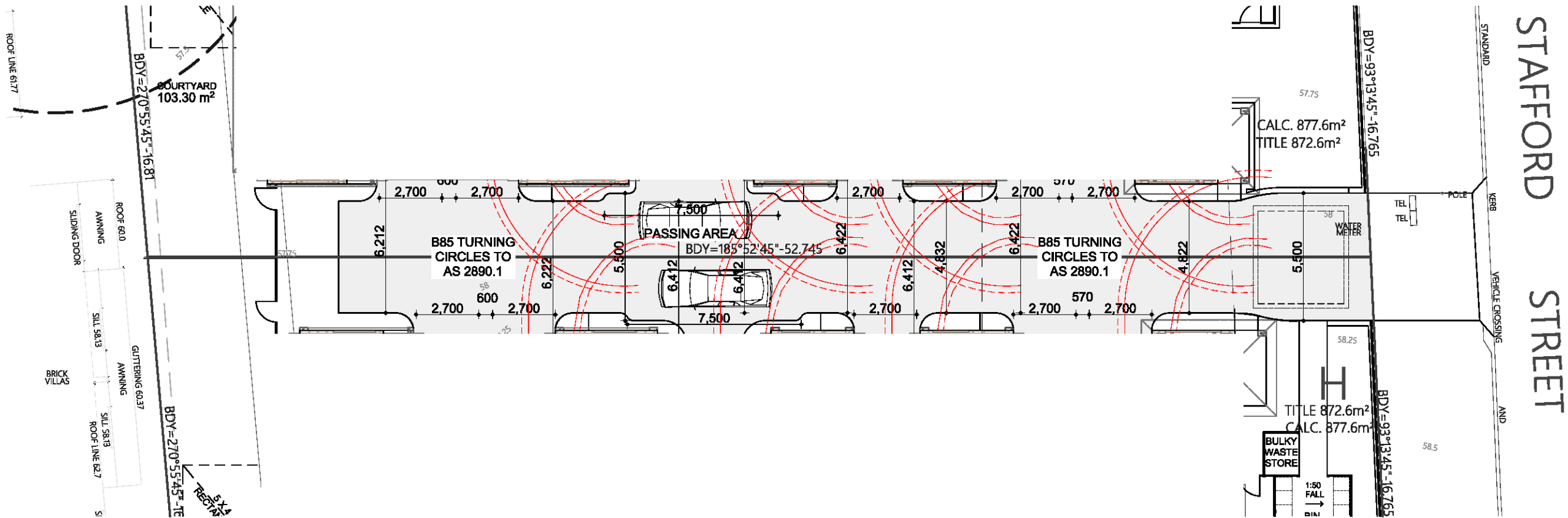


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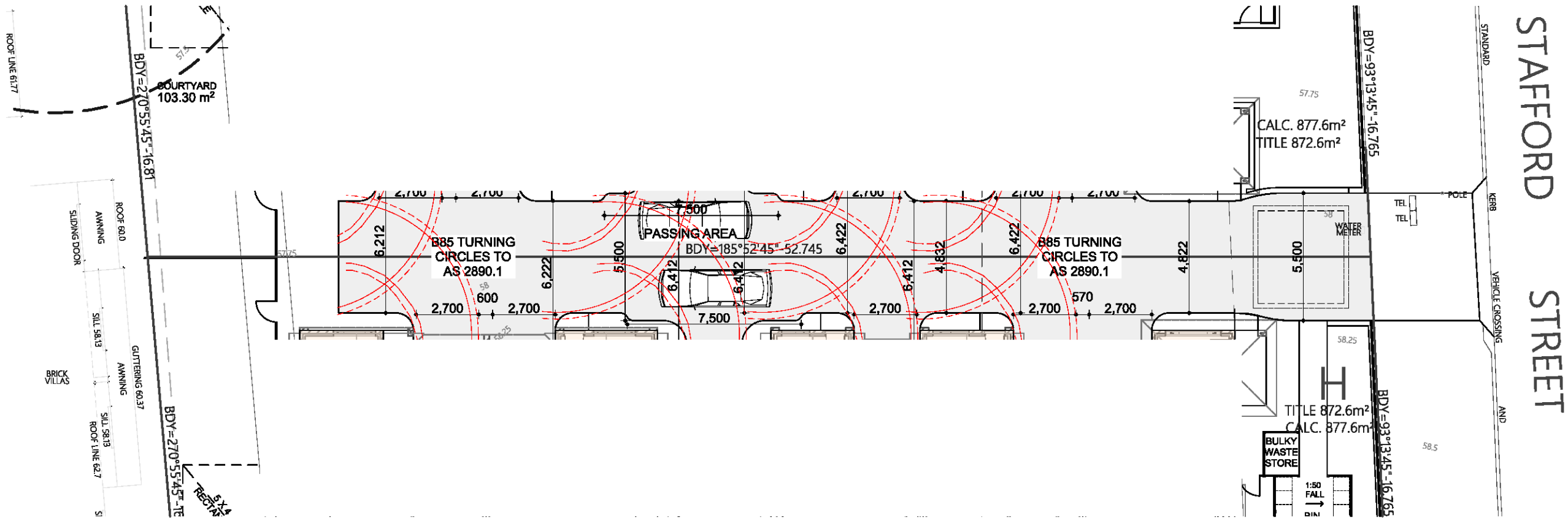
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07/12/21 SCALE 1:200 A3 SHEET

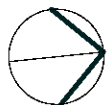
OVERALL ROOF PLAN 1367 DA08



B 85 TURNING CIRCLES - INWARD



B 85 TURNING CIRCLES - REVERSE

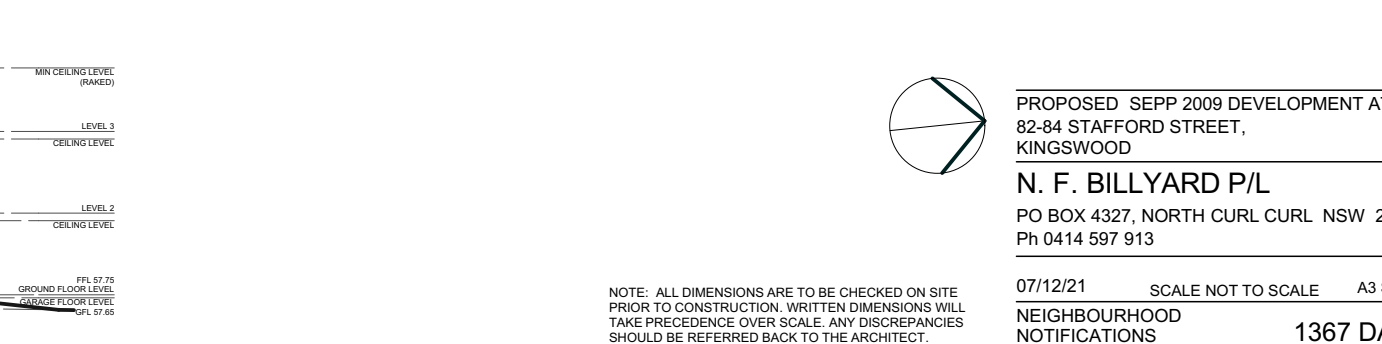
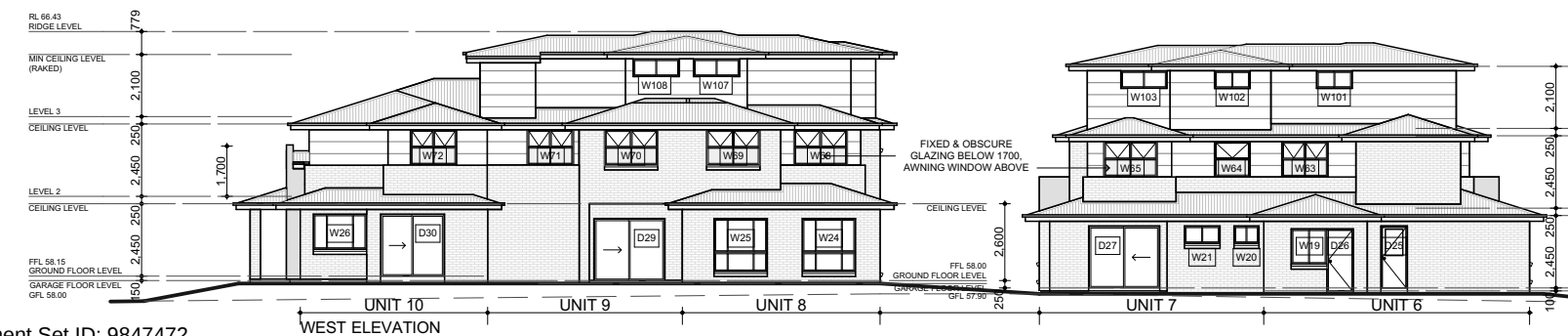
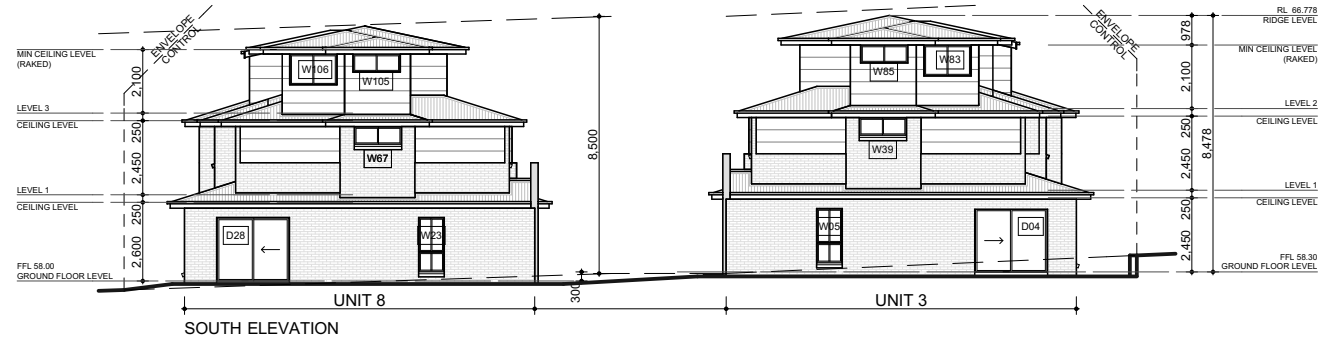
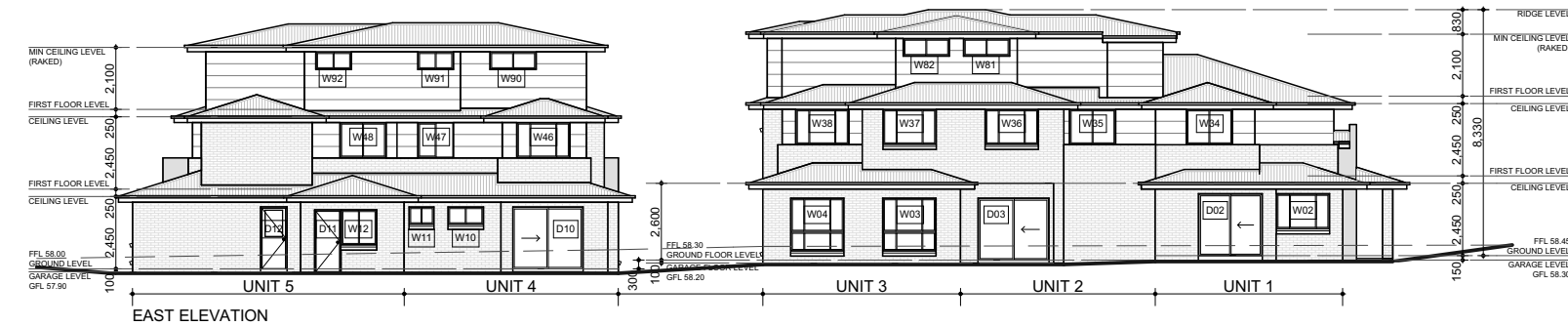
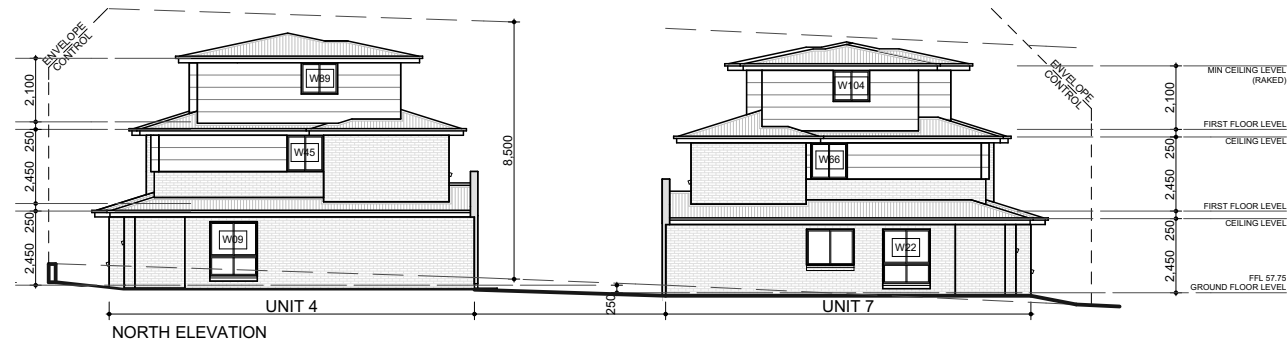
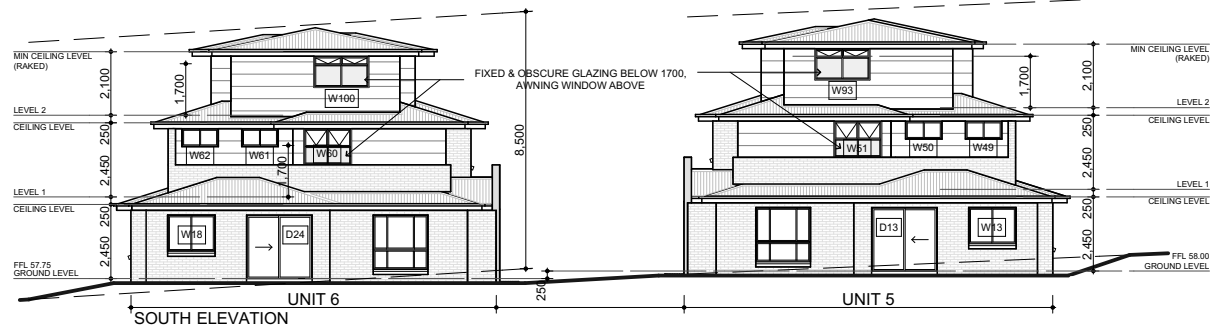
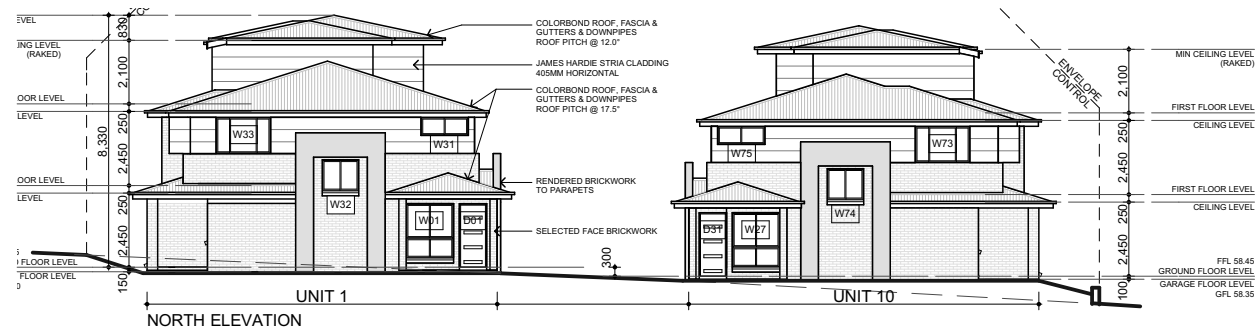
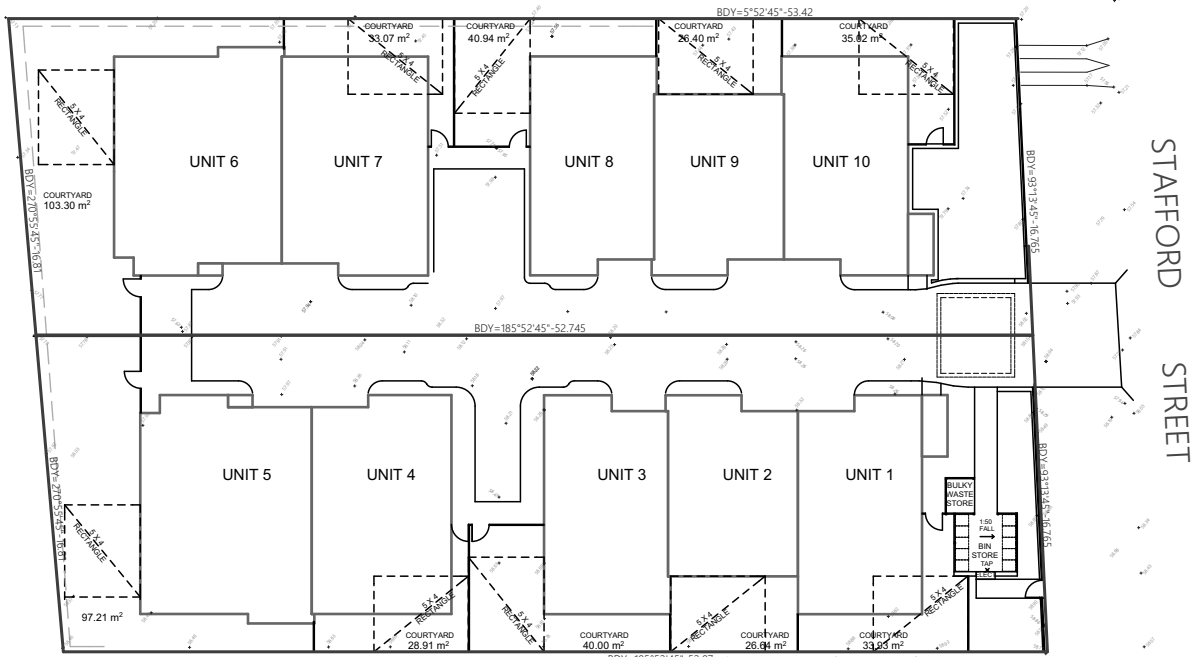


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07/12/21 SCALE 1:200 A3 SHEET

TURNING CIRCLE PLAN 1367 DA09



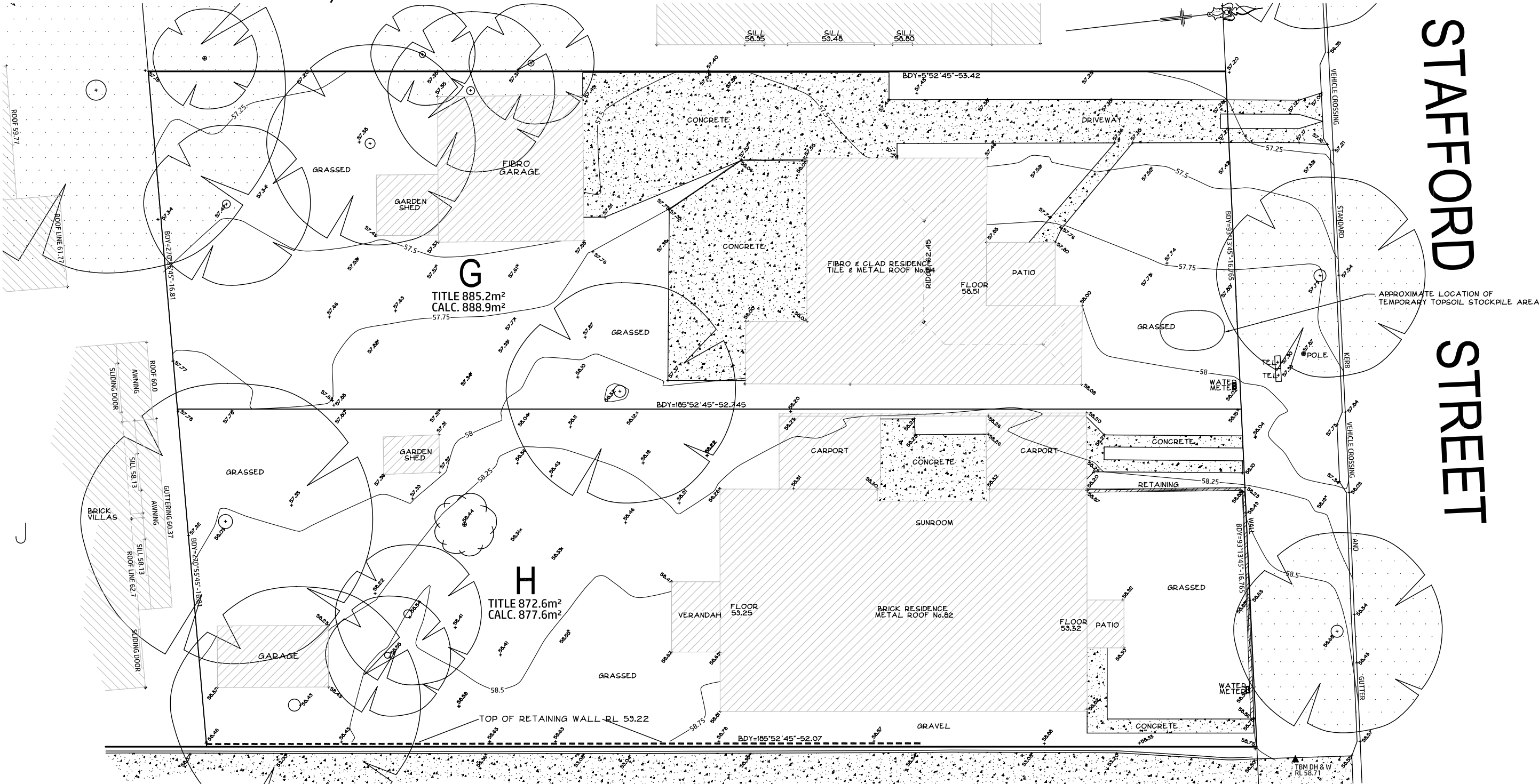
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07/12/21 SCALE NOT TO SCALE A3 SHEET
NEIGHBOURHOOD
NOTIFICATIONS 1367 DANN

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SITE ANALYSIS PLAN / SITE MANAGEMENT PLAN

STAFFORD STREET



GENERAL NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL SHALL BE IMPLEMENTED TO THE REQUIREMENTS OF THE DOCUMENT "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION" 4th EDITION, BY THE NSW DEPARTMENT OF HOUSING (2004) REFERRED TO AS THE "BLUE BOOK". MEASURES TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, TO BE PROPERLY MAINTAINED FOR DURATION OF WORKS, AND SUITABLY DECOMMISSIONED UPON COMPLETION OF CONSTRUCTION WORKS.
- SITE WORKS WILL NOT START UNTIL THE EROSION AND SEDIMENT CONTROL WORKS OUTLINED IN THE PLAN ARE INSTALLED AND FUNCTIONAL.
- ENTRY AND EXIT TO THE SITE WILL BE CONFINED TO ONE STABILISED LOCATION. FENCING WILL BE USED TO RESTRICT ALL VEHICULAR MOVEMENTS TO THE STABILISED ENTRANCE. STABILISATION WILL BE ACHIEVED BY EITHER:
 - CONSTRUCTING A CONCRETE DRIVEWAY TO THE STREET
 - CONSTRUCTING A STABILISED SITE ACCESS, ACCORDING TO STANDARD DRAWING SD 5-7 OR ACCORDING TO ANOTHER SUITABLE TECHNIQUE APPROVED BY COUNCIL.
- SEDIMENT CONTROL (SD 6-7) AND BARRIER FENCES WILL BE INSTALLED AS REQUIRED
- MESH AND GRAVEL "SAUSAGE" PROTECTION (SD 6-8) WILL BE PROVIDED TO PROTECT GUTTER INLETS NEAR THE ALLOTMENT.

- TOPSOIL WILL BE STRIPPED AND STOCKPILED FOR LATER USE IN THE LANDSCAPING SITE. ALL STOCKPILES WILL BE PLACED IN THE LOCATION SHOWN ON THE PLAN AND AT LEAST 2 METRES CLEAR OF ALL AREAS OF CONCENTRATED WATER FLOW AND THE DRIVEWAY PROTECTED BY SITE WORKS (SD 4-1).
- LANDS TO THE REAR AND SIDE OF THE ALLOTMENT AND ON THE FOOTPATH WILL NOT BE DISTURBED DURING WORKS EXCEPT WHERE ESSENTIAL, E.G. DRAINAGE WORKS ACROSS THE FOOTPATH. WHERE WORKS ARE NECESSARY, THEY WILL BE UNDERTAKEN IN SUCH A WAY TO LEAVE THE LANDS IN A CONDITION OF HIGH EROSION HAZARDS FOR AS SHORT A PERIOD AS PRACTICABLE. THEY WILL BE REHABILITATED AS SOON AS POSSIBLE. STOCKPILES WILL NOT BE PLACED ON THESE LANDS AND THEY WILL NOT BE USED AS VEHICLE PARKING AREAS.
- APPROVED BINS FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS AND LITTER WILL BE PROVIDED AND ARRANGEMENTS MADE FOR COLLECTION AND DISPOSAL.
- GUTTERING WILL BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICABLE. TOPSOIL WILL BE RESPREAD AND ALL DISTURBED AREAS WILL BE REHABILITATED WITHIN 20 WORKING DAYS OF THE COMPLETION OF WORKS. RESPREAD TOPSOIL TO 100mm DEPTH (MIN) ON BARE SOIL SURFACES AND REVEGETATED.
- ALL EROSION AND SEDIMENT CONTROLS WILL BE CHECKED AT LEAST WEEKLY AND AFTER RAIN TO ENSURE THEY ARE MAINTAINED IN A FULLY FUNCTIONAL CONDITION.

STOCKPILE NOTES:

- IF STOCKPILES ARE TO BE IN PLACE FOR LONGER THAN 30 DAYS THEN THEY SHALL BE STABILIZED BY COVERING WITH A MULCH OR WITH TEMPORARY VEGETATION.

SEDIMENTATION CONTROL DEVICES:

- SILT FENCES SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR SIMILAR) BETWEEN POSTS AT 2m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

SPECIAL NOTES:

- LOCATION AND EXTENT OF SOIL AND WATER MANAGEMENT DEVICES IS DIAGRAMMATIC ONLY AND THE ACTUAL REQUIREMENTS SHALL BE CONFIRMED ON SITE.
- CONFORMITY WITH THIS PLAN SHALL IN NO WAY REDUCE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT AGAINST WATER DAMAGE DURING THE COURSE OF THE CONTRACT.
- MANAGEMENT DEVICES SHALL BE MAINTAINED ON A REGULAR BASIS. WHERE CLEANING IS REQUIRED, THE SEDIMENT SHALL BE REMOVED TO OFFSITE TO A SUITABLE POINT OF DISPOSAL.
- NO TREES SHALL BE REMOVED WITHOUT COUNCIL'S CLEARANCE.

LEGEND



EXISTING TREES
TO REMAIN AND BE PROTECTED



EXISTING TREES
TO BE REMOVED



F		
E		
D		
C		
B		
A	FIRST ISSUE	27/10/21
No.	AMENDMENT	DATE

Bio Engineered Solutions Pty. Ltd.
Landscape design and Environmental Management

3 TERRYMOOT RD
WARRIMOO, 2774

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A.B.N. 83 104965219
PH: (02) 4753 6614



DESIGNED KN
DRAWN KN
CHECKED _____

APPROVED _____ DATE _____

SCALE: 1:100

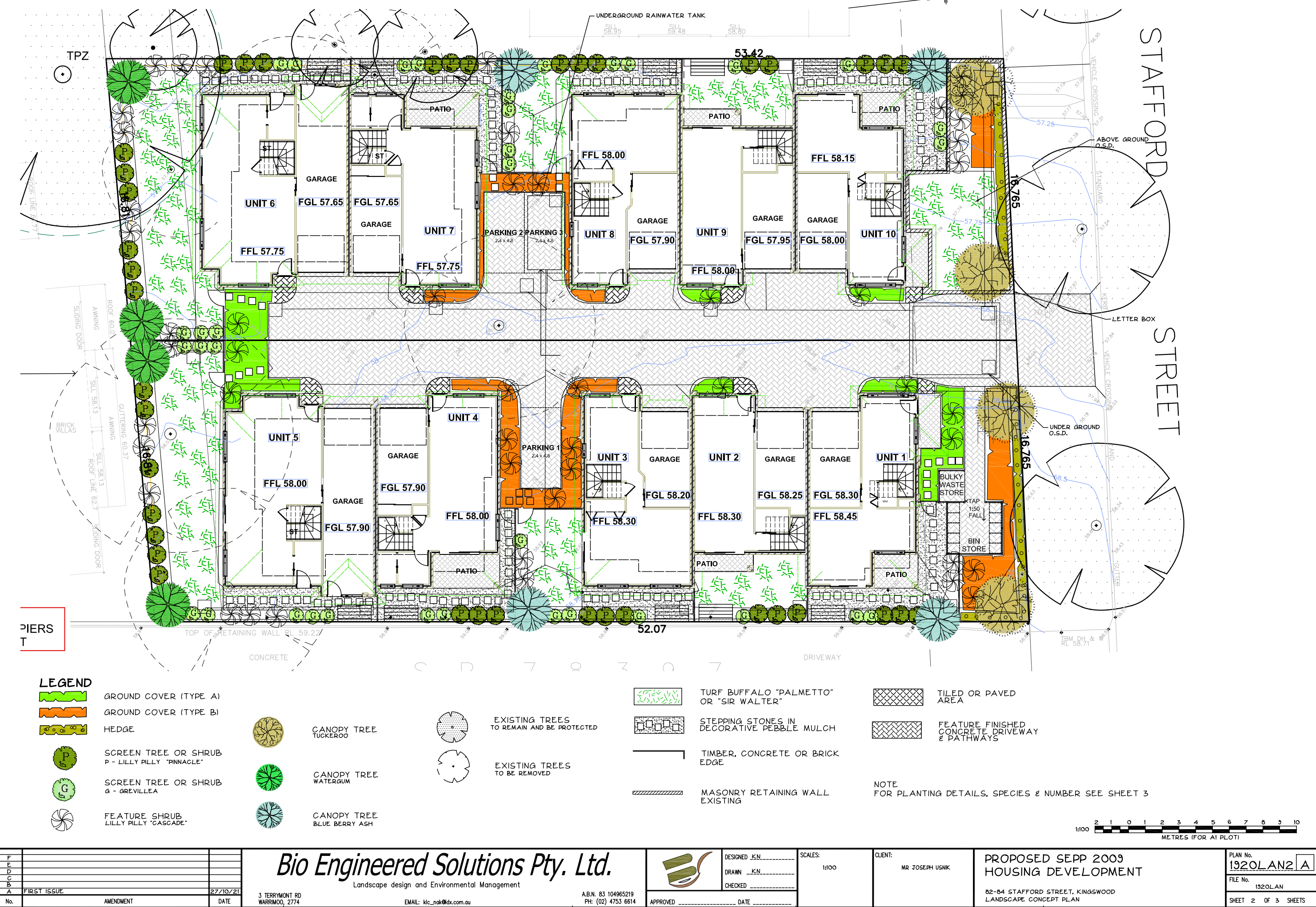
CLIENT: MR JOSEPH USNIK

PROPOSED SEPP 2009
HOUSING DEVELOPMENT

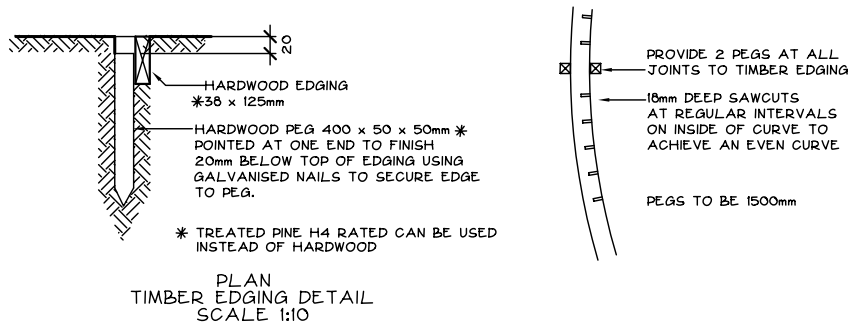
82-84 STAFFORD STREET, KINGSWOOD
SITE ANALYSIS PLAN / SITE MANAGEMENT PLAN

PLAN No. 1920LAN1 A
FILE No. 1920LAN
SHEET 1 OF 3 SHEETS

LANDSCAPE CONCEPT PLAN



LANDSCAPE DETAILS



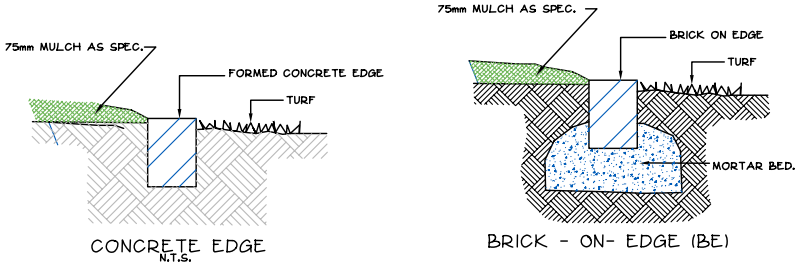
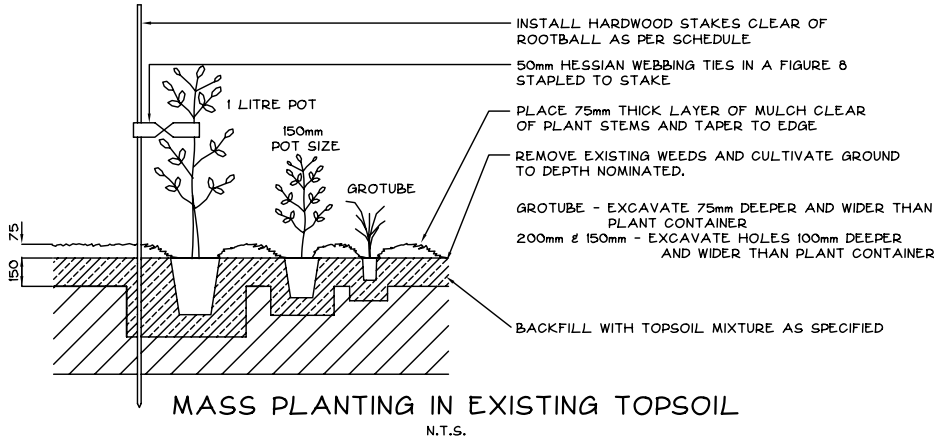
NOTES

1. HARDWOOD STAKES TO BE 38 x 38 x 1800
2. AN APPROVED SLOW RELEASE PELLET TYPE FERTILISER HAVING AN NPK RATIO OF 18:2:1:3.1 EQUIVALENT TO OSMOCOTE 12 - 14 MONTH SLOW RELEASE FERTILISER APPLIED AT THE RATE SPECIFIED BY THE MANUFACTURER SHALL BE USED
3. PROPOSED TURF AREA SHOWN, TO BE FERTILISED WITH A NPK RATIO OF 3.2:4:4.3 SIMILAR TO No 17 LAWN FOOD AT THE RATE SPECIFIED BY THE MANUFACTURER
4. ALL GARDEN AREAS TO BE FILLED WITH APPROVED TOP SOIL AT MINIMUM 150mm DEPTH
5. ALL TURFED AREAS TO HAVE A MIN. OF 50mm OF APPROVED TOP SOIL PLACED PRIOR TO TURFING
6. TOPSOIL SHOULD CONFORM TO AS 4419 "SOILS FOR LANDSCAPING AND GARDEN" AND TO BE SUITABLE FOR NATIVE PLANT GROWTH WITH LOW PHOSPHORUS CONTENT, CONTAINING ORGANIC MATTER AND FREE FROM STONES OR OTHER MATERIAL EXCEEDING 25mm IN ANY DIMENSION.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO CHECK AND ADJUST SOIL pH AS REQUIRED
8. IN ALL GARDEN AREAS, EXISTING SOIL TO BE DEEP RIPPED TO 200mm AND CULTIVATED TO 100mm
9. IN ALL TURFED AREAS, EXISTING SOIL TO BE CULTIVATED TO 75mm
10. WATERING REGIME. THE FIRST MONTH AFTER PLANTING IS THE CRITICAL TIME FOR WATERING. THE PLANTS REQUIRE HEAVY WATERING EVERY 3 DAYS. 50mm OF WATER PER WEEK AS A MINIMUM SHOULD BE ADOPTED AS A GENERAL GUIDE
11. MULCH PLANTING BEDS TO A MINIMUM OF 50 -75mm AS REQUIRED MULCH TO BE COARSE GRADE HARDWOOD MULCH CONFORMING TO AS 4454 "COMPOSTS, SOIL CONDITIONERS AND MULCHES"
12. DECORATIVE PEBBLE MULCH COULD BE USED IN AREAS BORDERING DRIVEWAYS & AREAS SUBJECT TO ONSITE DETENTION
13. IF DECORATIVE MULCH IS USED NEXT TO GARDEN BEDS IN REAR AND SIDES OF UNITS, A CONTRASTING PEBBLE MULCH OR HARDWOOD MULCH TO BE USED WITHIN THE BEDS
14. EXCESS TOPSOIL GENERATED BY THE DEVELOPMENT CAN BE USED TO MOUND UP PLANTING BEDS IN SPECIFIED AREAS

INDICATIVE SPECIES LIST

BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	POT SIZE	APPROX NUMBERS
GROUND COVER (TYPE A)				
<i>Trachelospermum jasminoides</i>	Star Jasmine	30-40cm	150mm	100
GROUND COVER (TYPE B)				
<i>Nandina domestica</i> "Gulf Stream"	Sacred Bamboo	70-90cm	150mm	150
HEDGE				
<i>Acmena smithii</i> "Hodgemaster"	Lilly Pilly "Hodgemaster"	1.0-1.5m	200mm	59
SCREEN TREES & SHRUBS				
<i>Syzygium "Pinnacle"</i>	Lilly Pilly	4-5m	200mm	39
<i>Grevillea "Robyn Gordon"</i>	Grevillea	1-2m	200mm	35
FEATURE SHRUB				
<i>Syzygium "Cascade"</i>	Weeping lillypilly	2-3m	200mm	44
CANOPY TREE				
<i>Tristania laurina</i> "Luscious"	Water Gum	8-10m	45 litre	4
<i>Eleoocarpus reticulatus</i>	Blue berry ash	6-8m	45 litre	4
<i>Cupaniopsis anacardioides</i>	Tuckeroo	6-8m	45 litre	4

PLANTING NOTES
GROUND COVER TYPE "A" TO BE PLANTED AT 2 - 3 PER SQM
GROUND COVER TYPE "B" TO BE PLANTED AT 2 - 3 PER SQM
HEDGE TO BE PLANTED AT 0.5m CENTRES



F		
E		
D		
C		
B		
A	FIRST ISSUE	27/10/21
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DESIGNED KN
DRAWN KN
CHECKED _____

APPROVED _____ DATE _____

SCALES:
1:100

CLIENT:
MR JOSEPH USNIK

PROPOSED SEPP 2009
HOUSING DEVELOPMENT
82-84 STAFFORD STREET, KINGSWOOD
LANDSCAPE DETAILS

PLAN No.
1920LAN3 A
FILE No.
1920LAN
SHEET 3 OF 3 SHEETS