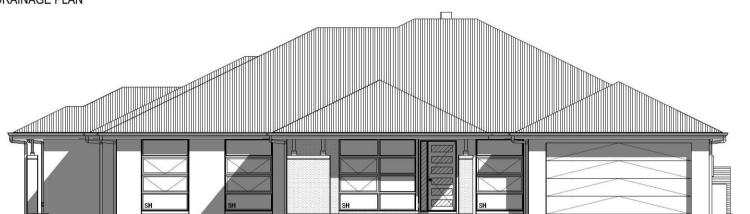
SHEET INDEX

No. NAME

- 1 COVER SHEET
- 2 SITE PLAN
- 3 GROUND FLOOR PLAN
- 4 DOOR & WINDOW SCHEDULES
- 5 ELEVATIONS / SECTION
- 6 ELEVATIONS
- 7 KITCHEN DETAILS
- 8 BATHROOM / WC1 DETAILS
- 9 ENSUITE / WC2 / LAUNDRY DETAILS
- 10 RECYCLED WATER / FLOOR COVERINGS
- 11 SLAB PLAN
- 12 DRAINAGE PLAN





LOT 6147

5.6 NATIONWIDE HOUSE ENERGY RATING SCHEME 98 MJ/m² www.nathers.gov.au

Certificate no.:
Assessor Name:
Accreditation no.:
Certificate date:
Dwelling Address:
46 Nagel Street
JORDAN SPRING

Dwelling Address: 46 Nagel Street JORDAN SPRINGS, NSW 2747

www.nathers.gov.au

0000871822

18 Oct 2016

20753

.Christina Silman



SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS 3 STAR TOILET SUITES

3 STAR KITCHEN TAPS 3 STAR BATHROOM TAPS

357.53 m² TOTAL ROOF AREA

4500 L WATER TANK(S) MINIMUM CAPACITY 169.19 m² MINIMUM ROOF AREA TO TANK(S)

RAINWATER TANK(S) TO BE CONNECTED TO:

- AT LEAST ONE OUTDOOR TAP
- ALL TOILETS
- WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

240 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 5.5 STAR

HEATING SYSTEM

 3-PHASE REVERSE CYCLE AIR CONDITIONING EER 3.5 - 4.0

COOLING SYSTEM

- 3-PHASE REVERSE CYCLE AIR CONDITIONING EER 3.0 - 3.5

VENTILATION (EXHAUST FANS)

- AT LEAST ONE BATHROOM:
- INDIVIDUAL FAN DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- KITCHEN RANGEHOOD:
- INDIVIDUAL FAN DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER

- N/A

NATURAL LIGHTING TO

- KITCHEN
- 3 BATHROOM(S)/TOILET(S)

ALTERNATIVE ENERGY

- N/A

OTHER

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY OWNER

BUILDING INFORMATION

GAS SUPPLY:

ROOF MATERIAL:

ROOF INSULATION

ROOF COLOUR:

GROUND FLOOR CEILING HEIGHT(S): 2700mm
FRAMES AND TRUSSES: STEEL
ROOF PITCH (U.N.O.): 26°
ELECTRICITY SUPPLY: 3-PHASE

3-PHASE RETICULATED NATURAL

SHEET METAL DARK

R3.0 BATTS 50mm FOIL FACED BLANKET

WHIRLYBIRDS:

WALL MATERIAL:
WALL COLOUR:
WALL INSULATION:

R2.0 BATTS

FLOOR INSULATION: N/A

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200 µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2005

DESIGN CRITERIA

WIND RATING: N2

SITE CLASSIFICATION

SITE CLASSIFICATION IS:

SLAB CLASSIFICATION

SLAB CLASSIFICATION IS: M

BASIX AREAS

CONDITIONED 174.11 UNCONDITIONED 14.45

TOTAL FLOOR AREAS

ALFRESCO 62.38
GARAGE 35.01
LIVING (GROUND FLOOR) 210.05
PATIO 11.18
318.62 m²

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

D/ (IL.

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS

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PRIOR TO THE COMMENCEMENT OF AN

WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE

mcdonald jones

SPECIFICATION:

COUNTRY JOHNS

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CLIENT:

Mr. GREG HASTINGS & Mrs. KERRIE HASTINGS

ADDRESS:

46 NAGLE STREET

SUBURB:

JORDAN SPRINGS

LOT No:
6147

DP No:
1211125

SECTION No:
-

HOUSE DESIGN:
LYNDHURST
H-LYNCLAS14400

FACADE DESIGN:
CONTEMPORARY
F-LYNCTMP01

SHEET TITLE:
COVER SHEET
SCALES:
SHEET No:
1 / 12

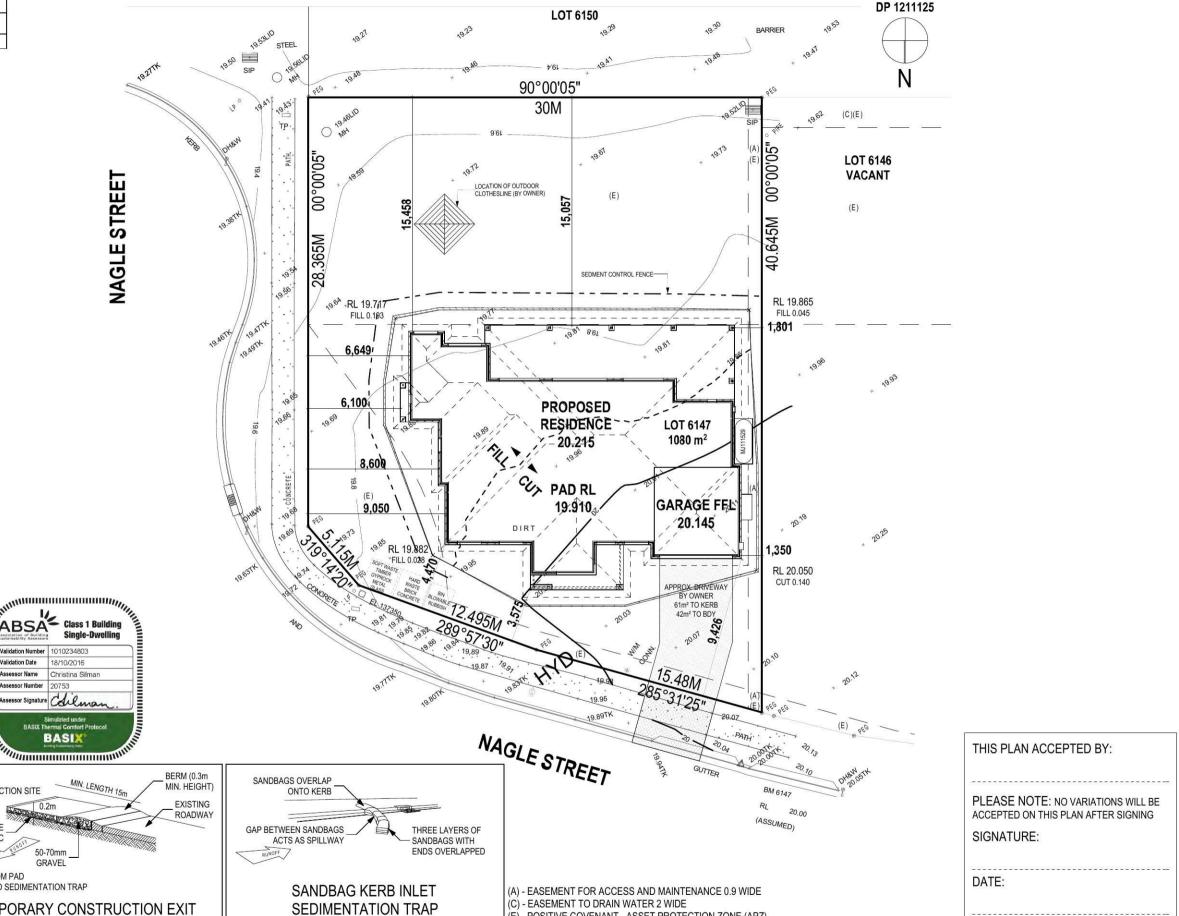
BUILDING INFORMATION REGARDING: SITE CLASSIFICATION GENERAL HOUSE SPECIFICATIONS STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. THE BUILDER PROVIDES CAPACIT FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

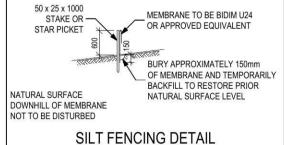
WIND CLASSIFICATION	N1
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO

REFER TO SHEET 1 (COVER SHEET) FOR ALL +/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS. SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

SITE CO-ORDINATES					
LATITUDE	LONGITUDE				
33° 42' 55"S	150° 44' 18" E				



(E) - POSITIVE COVENANT - ASSET PROTECTION ZONE (APZ)



Certificate no.:

Owelling Address:

46 Nagel Street

2747

JORDAN SPRINGS, NSW

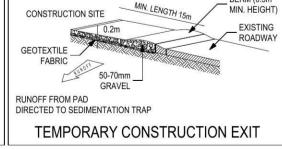
www.nathers.gov.au

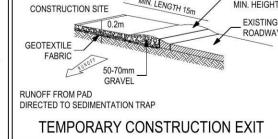
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18 Oct 2016

.Christina Silman







SPECIFICATION:		DRAWING		DRAWN
(T)	1	CONSOLIDATED TENDER	SVO	2016.09.
COUNTRY LIVING COLLECTION	2	CONTRACT PLANS	JCR	2016.10.
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@ 2016				

.13	CLIENT: Mr. GREG HASTINGS & N	LOT No: 6147		
.07	ADDRESS: 46 NAGLE STREET	DP No: 1211125		
	SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No:

HOUSE DESIGN:	HOUSE CODE:				
LYNDHURST	H-LYNCLAS14400				
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP01				
SHEET TITLE:	SCALES: SHEET N				
SITE PLAN	1:250 2 / 12				

MGA

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF AN WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE

WINDOW SCHEDULE

IDENTIFICATION			SIZE						RE	VEAL & REVEA	L COVERPLAT	E (CPL)	
ID CODEº	ROOM	HEIGHT	T WIDTH	AREA (m²)	FRAME	SILL TYPE	GLAZING	ORIENT.	HEAD	SILL	LEFT ¹	RIGHT ²	ADDITIONAL INFORMATION ³
W01 F/W/W/F2380x1570	BED 3	2,380	1,570	3.74	ALUMINIUM	SNAP HEADER	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595
W02 F/W/W/F2380x1570	BED 2	2,380	1,570	3.74	ALUMINIUM	SNAP HEADER	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595
W03 FF/WF/WF/FF2380x2630	HOME THEATRE	2,380	2,630	6.26	ALUMINIUM	SNAP HEADER	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595, MP 1315/1315/1315, CORNER JOINING, BLADE OVER
W04 F/F/F/F2380x710	HOME THEATRE	2,380	710	1.69	ALUMINIUM	SNAP HEADER	CLEAR	W	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595, CORNER JOINING, BLADE OVER
W05 F/W/W/F2380x1570	STUDY	2,380	1,570	3.74	ALUMINIUM	SNAP HEADER	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595
W06 W/F2080x610	WC2	2,080	610	1.27	ALUMINIUM	ANGLED	OBSCURE, TOUGHENED	S	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
W07 XO0622	BED 4	600	2,170	1.30	ALUMINIUM	ANGLED	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	
W08 XO1516	BATH	1,460	1,570	2.29	ALUMINIUM	ANGLED	OBSCURE, TOUGHENED	S	SINGLE	SINGLE	SINGLE	SINGLE	
W09 W/F2080x610	WC1	2,080	610	1.27	ALUMINIUM	ANGLED	OBSCURE, TOUGHENED	E	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
				25.29									
								-0					
					8								

^{0,3} ASSUME LOOKING FROM OUTSIDE

EXTERIOR DOOR SCHEDULE

ID CODE°	ROOM	HEIGHT	WIDTH	AREA (m²)	FRAME	SILL TYPE	GLAZING	ORIENT.	DOOR TYPE	ADDITIONAL INFORMATION ¹
D01 920	ENTRY	2,340	1,210	2.83	TIMBER	SNAP HEADER	DOOR(S): OBSCURE - SIDELIGHT(S): OBSCURE	N	SWINGING	
D02 FSS2427	MASTER SUITE	2,400	2,688	6.45	ALUMINIUM	SNAP HEADER	CLEAR	S	STACKER	
D03 FSS2436	FAMILY / LIVING	2,400	3,588	8.61	ALUMINIUM	SNAP HEADER	CLEAR	S	STACKER	
D04 FSS2427	KITCHEN	2,400	2,688	6.45	ALUMINIUM	SNAP HEADER	CLEAR	S	STACKER	
D05 820	LDRY	2,106	867	1.83	TIMBER	SNAP HEADER	DOOR(S): CLEAR - SIDELIGHT(S): N/A	Е	SWINGING	
				26.17 m ²						

^{0, 1} ASSUME LOOKING FROM OUTSIDE

INTERIOR DOOR SCHEDULE

TYPE	CODE	QTY	HEIGHT	WIDTH	ADDITIONAL INFORMATION	
SQUARE SET OPENING	1000 SS	4	2,455	1,000		
SQUARE SET OPENING	1155 SS	1	2,455	1,155		
SQUARE SET OPENING	1500 SS	1	2,455	1,500		
SQUARE SET OPENING	800 SS	2	2,455	800		
SWINGING	2 x 720	4	2,340	1,440		
SWINGING	2 x 820	1	2,340	1,640	SELECT	
SWINGING	770	3	2,340	770		
SWINGING	820	3	2,340	820		Certificate no
SWINGING	820	2	2,340	820	SELECT	Assessor Na
SWINGING	820	2	2,340	820	LIFT-OFF HINGES	5.6 Accreditation
						Certificate da
						NATIONWIDE Dwelling Add
						HOUSE 46 Nagel St
						JORDAN SI
						98 M Mar 2747

PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

TYPE		HEIGHT	WIDTH	AREA (m²)	QTY
SS WIND	OW OPENING	1,455	2,000	2.91	1
TV RECE	SS	1,355	2,000	2.71	1
ate no.:	0000871822		MILL	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	11111111111111 ₁₁₁₁
or Name:	Christina S 20753	ilman	ĚΑ	BSA - CH	ass 1 Building
ite date:	18 Oct 2016		Valid	ation Number 101023	14803
Address:	7.60		_	ation Date 18/10/2	-
el Street	-	e sector	=	ssor Name Christin ssor Number 20753	a Silman
N SPRINGS	, NSW			ssor Signature	garage
	(A)			Simulated to BASIX Thermal Con	under
nathers.gov.a	J.		TIM	BASI	1 Innoversity

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- BASIX/ABSA REQUIREMENTS

- SITE CLASSIFICATION

- GENERAL HOUSE SPECIFICATIONS

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE

ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



EIFICATION:
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ı		DRAWING	DRAWN				
ı	1	CONSOLIDATED TENDER	SVO	2016.09.13			
l	2	CONTRACT PLANS	JCR	2016.10.07			
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ı							

CLIENT: Mr. GREG HASTINGS & M	614	767		
ADDRESS: 46 NAGLE STREET			DP No.	
SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION -	ON No:

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS1	4400
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMPO)1
SHEET TITLE: DOOR & WINDOW SCHEDULES	SCALES:	SHEET No: 4 / 12

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

^{1,2} ASSUME LOOKING FROM INSIDE

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: BASIX/ABSA REQUIREMENTS SITE CLASSIFICATION
GENERAL HOUSE SPECIFICATIONS SH = SNAP HEADER SILL COLORBOND SHEET ROOFING + FOIL FACED BLANKET RL 22.960 - PITCHING BEAM 350 x 350mm FACE BRICK PIER WITH BOXED STUD TO CORE RL 20.215 - GROUND FLOOR NATURAL GROUND LINE-350 x 350mm FACE BRICK PIER 1800mm HIGH PLUS ARTICULATED FACE BRICKWORK POLYMER MODIFIED CEMENT 1430 x 350mm BRICK PIER 1800mm 1430 x 350mm BRICK PIER 1800mm HIGH PLUS HEADER COURSE WITH —POLYMER MODIFIED CEMENT RENDER FINISH AND 2 x 112 x 112mm TIMBER POSTS RENDER FINISH TO ARTICULATED BRICKWORK **LEFT ELEVATION** Scale: 1:100 RL 22.960 - PITCHING BEAM 470 x 350mm BRICK PIER 1800mm HIGH PLUS HEADER COURSE WITH POLYMER MODIFIED CEMENT RENDER
FINISH AND 112 x 112mm TIMBER POST



RL 20.215 - GROUND FLOOR -

NATURAL GROUND LINE

RIGHT ELEVATION Scale: 1:100

MJ111529 (4500L) ABOVE GROUND WATER TANK 2900 x 1100 x 1560H ON 3000 x 1200 PAD

0000871822 .Christina Silman 20753 18 Oct 2016

ABSA Christina Silman

BASIX

Annum manum matt

WINDOW TYPE LEGEND AWNING DOUBLE HUNG LOUVRE

SLIDING **GLASS TYPE LEGEND**

_350 x 350mm FACE BRICK PIER

CLEAR	OBSCURE

-ARTICULATED FACE BRICKWORK

– – –		
ACOUSTIC	LOW-E	

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2	
N -E	TONED

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING SIGNATURE: DATE:

THIS PLAN ACCEPTED BY:

ALL CUT/FILL BATTERS ARE 1:- MAX GRADIENT



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	П		DRAWING		D	RAWN
	lſ	1	CONSOLIDATED TENDER	SVC	5	2016.09.13
		2	CONTRACT PLANS	JCF	1	2016.10.07
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3-PHASE METER BOX

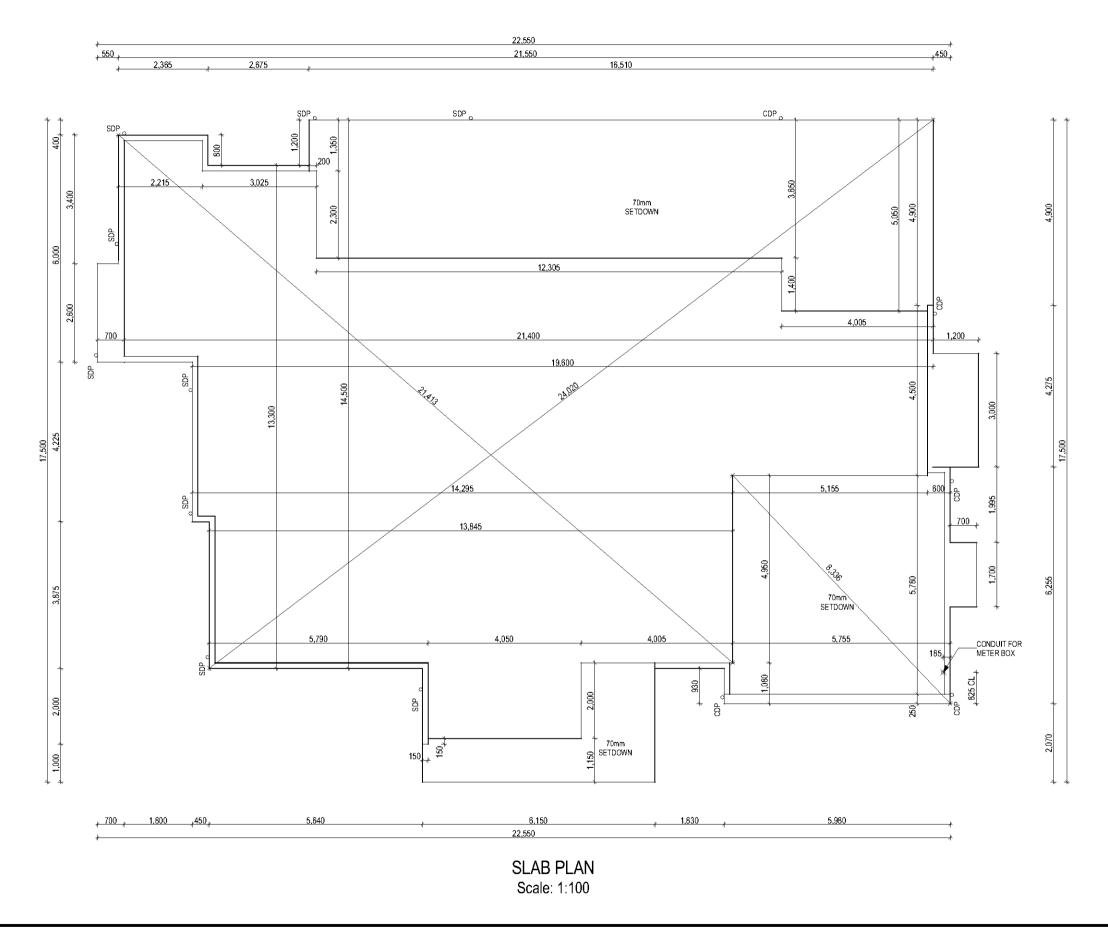
AIR CONDITIONING UNIT

3	Mr. GREG HASTINGS & Mrs. KERRIE HASTINGS			6147
7	ADDRESS: 46 NAGLE STREET		DP No: 1211125	
	SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No:

HOT WATER SERVICE

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS14400	
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP01	
SHEET TITLE: ELEVATIONS	SCALES: 1:100	SHEET No: 6 / 12

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF AN WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE





SPECIFICATION:

CONTINUE

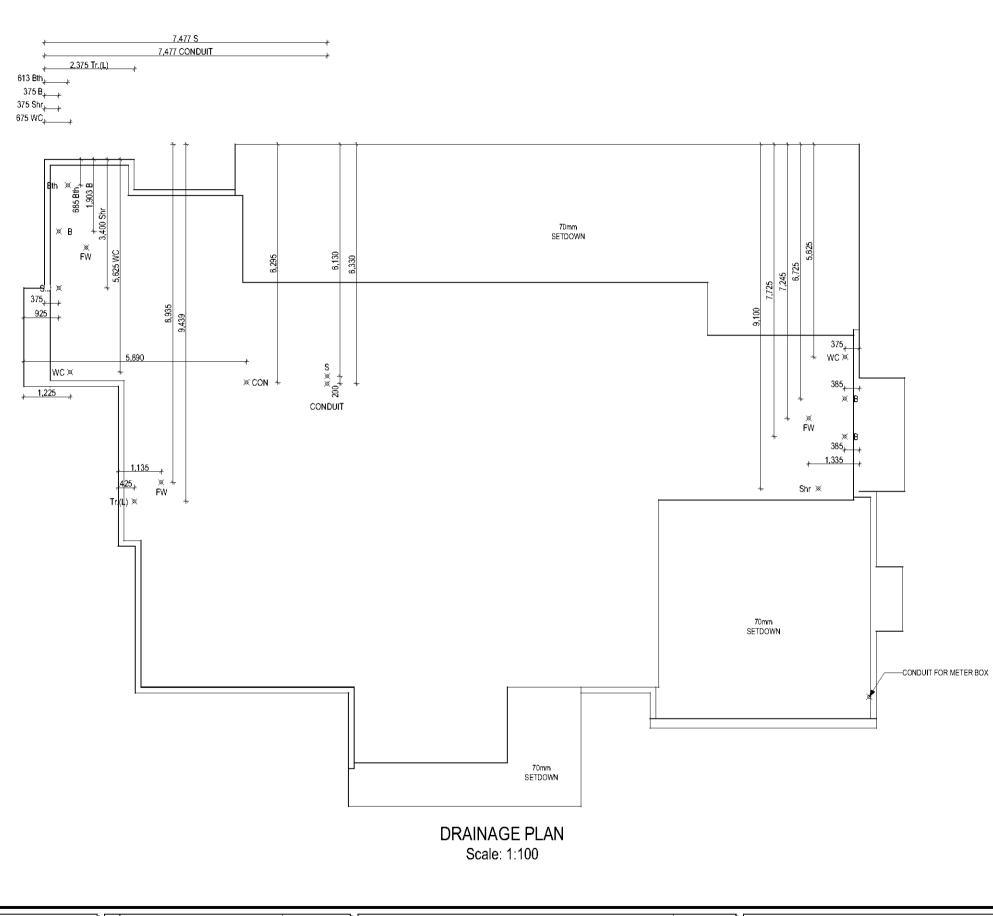
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1	CONSOLIDATED TENDER	SVO	2016.09.13
2	CONTRACT PLANS	JCR	2016.10.07

3	CLIENT: Mr. GREG HASTINGS & Mrs. KERRIE HASTINGS				
7	1 1			DP No: 1211125	
	SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No:	

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS14400		
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP01		
SHEET TITLE: SLAB PLAN	scales: 1:100	SHEET No: 11 / 12	

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LEGEND

BATH WASTE FLOOR WASTE GULLY

SINK (KITCHEN)

WATER CLOSET

TROUGH (LAUNDRY)

SHOWER

Shr

Tr.(L)

WC

SPECIFICATION:

CONTINUE

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3	CLIENT: Mr. GREG HASTINGS & Mrs. KERRIE HASTINGS			
7			DP No: 1211125	
\exists	SUBURB: JORDAN SPRINGS	POSTCODE:	COUNCIL: PENRITH CITY	SECTION No:

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS14400		
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP01		PF F
SHEET TITLE: DRAINAGE PLAN	SCALES: 1:100	SHEET No: 12 / 12	

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY, CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

BUILDING INFORMATION REGARDING: BASIX/ABSA REQUIREMENTS

GENERAL HOUSE SPECIFICATIONS

SITE CLASSIFICATION

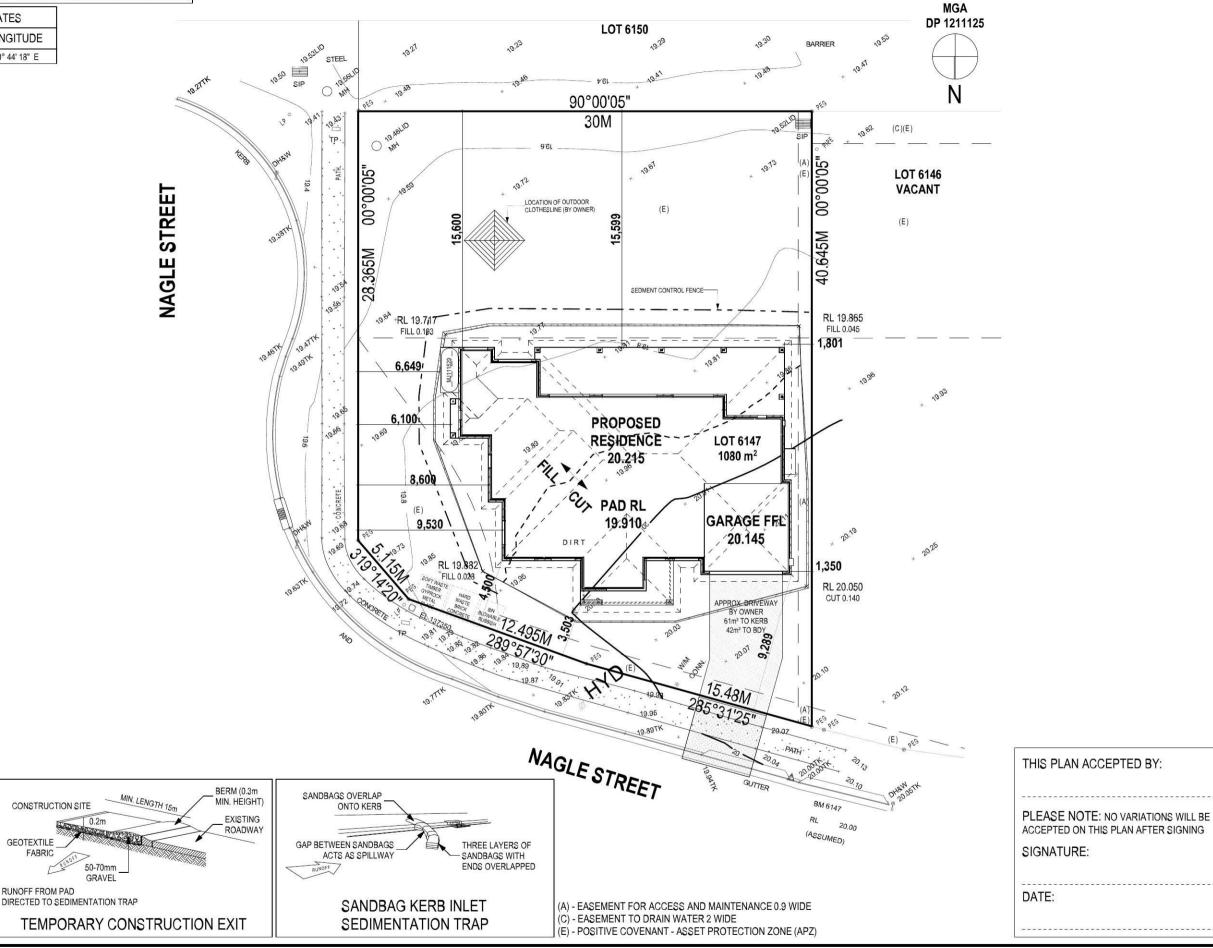
STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS. ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

WIND CLASSIFICATION WITHIN 1 KM. OF BREAKING SALT WATER WITHIN 100 M. OF SALT WATER MINIMUM AHD FLOOR NO LEVEL APPLICABLE

REFER TO SHEET 1 (COVER SHEET) FOR ALL +/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS. SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

> SITE CO-ORDINATES LATITUDE LONGITUDE 33° 42' 55"S 150° 44' 18" E





MEMBRANE TO BE BIDIM U24

OR APPROVED EQUIVALENT

SPECIFICATION:
COUNTRY LIVING COLLECTION
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CONSTRUCTION SITE

50-70mm

GEOTEXTILE ___

RUNOFF FROM PAD

R	svo JCR	2016.09.13
	JCR	2016 10 07
	5/20/20	2010.10.01
007	VP	2016.11.08
-	07	07 VP

3	CLIENT: Mr. GREG HASTINGS & M	6147		
)7)8	ADDRESS: 46 NAGLE STREET			DP No: 1211125
	SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No:

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS14	HOUSE CODE: H-LYNCLAS14400	
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP0	FACADE CODE: F-LYNCTMP01	
SHEET TITLE: SITE PLAN	SCALES: 1:250	SHEET No: 2 / 12	

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF AN WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE

603287

Version: 1, Version Date: 29/11/2016

mcdonald jones

YOUR HOME, YOUR DREAM

50 x 25 x 1000

STAR PICKET

STAKE OR

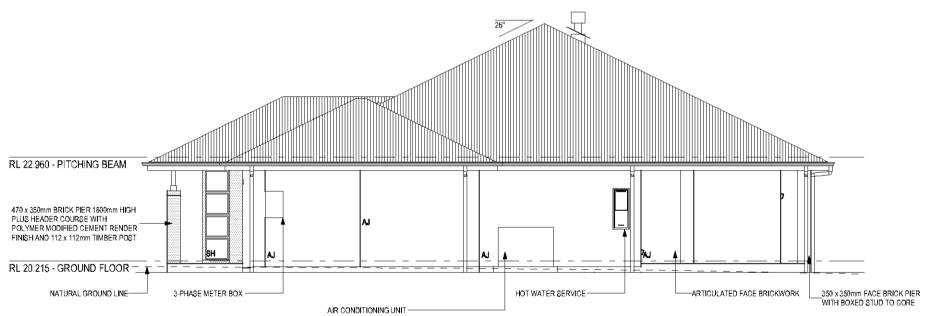
COLORBOND SHEET ROOFING -+ FOIL FACED BLANKET RL 22.960 - PITCHING BEAM RL 20.215 - GROUND FLOOR 1430 x 350mm BRICK PIER 1800mm HIGH PLUS HEADER COURSE WITH —POLYMER MODIFIED CEMENT RENDER FINISH AND 2 x 112 x 112mm TIMBER POSTS 350 x 350mm FACE BRICK PIER 1800mm HIGH PLUS HEADER COURSE AND 88 x 88mm TIMBER POST NATURAL GROUND LINE ARTICULATED FACE BRICKWORK -POLYMER MODIFIED CEMENT RENDER FINISH TO ARTICULATED BRICKWORK

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
 GENERAL HOUSE SPECIFICATIONS
- SH = SNAP HEADER SILL

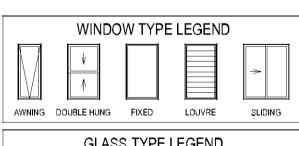
LEFT ELEVATION

Scale: 1:100



RIGHT ELEVATION

Scale: 1:100



GLASS TYPE LEGEND

	OLAGO		CLIND	
			4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	
CLEAR	OBSCURE	ACOUSTIC	LOW-E	TONED

THIS PLAN ACCEPTED BY:
PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING
SIGNATURE:
DATE:

ALL CUT/FILL BATTERS ARE 1:- MAX GRADIENT



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	П		DRAWING		DRAWN
		1	CONSOLIDATED TENDER	svo	2016.09.1
		2	CONTRACT PLANS	JCR	2016.10.0
		രാ	AMENDED AS PER PCV007	VP	2016.11.0
n.au					
	П				

3	Mr. GREG HASTINGS & Mrs. K	6147		
7 3				DP No: 1211125
	SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No:

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS14400	
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP01	
SHEET TITLE: ELEVATIONS	scales: 1:100	SHEET No: 6 / 12

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

BUILDING INFORMATION REGARDING: BASIX/ABSA REQUIREMENTS

SITE CLASSIFICATION GENERAL HOUSE SPECIFICATIONS

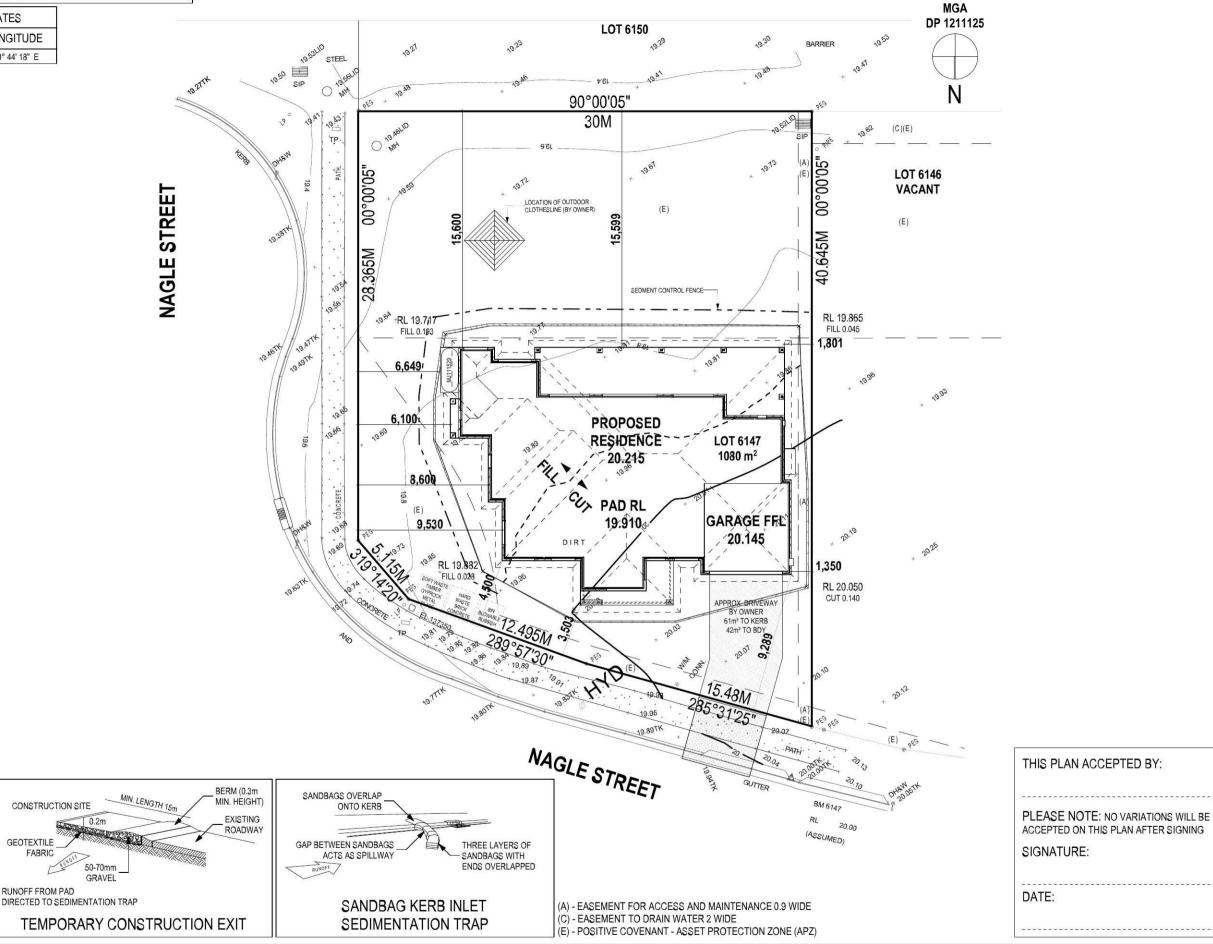
STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

WIND CLASSIFICATION WITHIN 1 KM. OF BREAKING SALT WATER WITHIN 100 M. OF SALT WATER MINIMUM AHD FLOOR NO LEVEL APPLICABLE

REFER TO SHEET 1 (COVER SHEET) FOR ALL | +/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS. SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

> SITE CO-ORDINATES LATITUDE LONGITUDE 33° 42' 55"S 150° 44' 18" E





50 x 25 x 1000

STAR PICKET

DOWNHILL OF MEMBRANE

NOT TO BE DISTURBED

STAKE OR

SPECIFICATION: www.mcdonaldjoneshomes.com.au

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CONSTRUCTION SITE

50-70mm

GEOTEXTILE ___

RUNOFF FROM PAD

MEMBRANE TO BE BIDIM U24

OR APPROVED EQUIVALENT

NATURAL SURFACE LEVEL

SILT FENCING DETAIL

BURY APPROXIMATELY 150mm OF MEMBRANE AND TEMPORARILY BACKFILL TO RESTORE PRIOR

ı		DRAWING	1	DRAWN
ı	1	CONSOLIDATED TENDER	svo	2016.09.13
ı	2	CONTRACT PLANS	JCR	2016.10.07
╛	3	AMENDED AS PER PCV007	VP	2016.11.08
ı				
ı				

3	CLIENT: Mr. GREG HASTINGS & M	LOT No: 6147		
7 8	ADDRESS: 46 NAGLE STREET			DP No: 1211125
	SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No:

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS	HOUSE CODE: H-LYNCLAS14400	
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP	FACADE CODE: F-LYNCTMP01	
SHEET TITLE: SITE PLAN	SCALES: 1:250	SHEET No: 2 / 12	

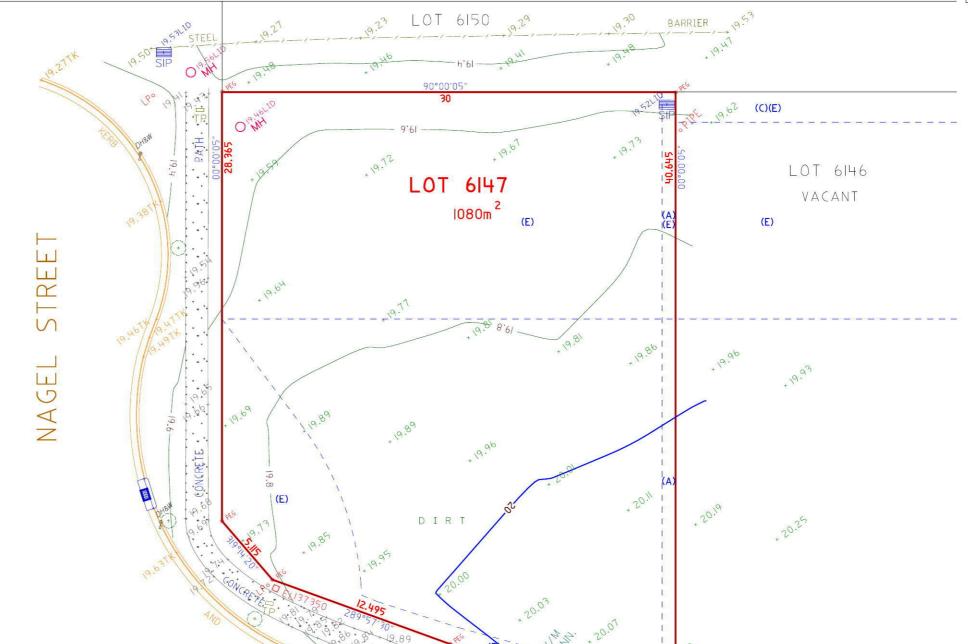
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DP IZIIIZ5 0

LOCALITY SKETCH

UBD AREA: SYD REVISION: 49 MAP: 144 REF: H9 Appr S 33° 42'55''

_ E 150° 44'18''



NO SURVEY MARKS ARE AFFECTED COMMENCE WORKS

IF SURVEY MARKS ARE IN THE AREA
The locality sketch glan (Survey Mark Sketches) should be
downloaded from the LP1 online Shop
http://shop.lands.nsw.gov.au see Specialised Searches

IF SURVEY MARKS ARE LIKELY TO BE DISTRUBED OR DESTROYED Avoid disturbing or destroying survey marks by.

Livering works to avoid disturbing the marks or.

2. Contacting a Registered Surveyor to place and survey a mark at a more surable site nearby to mainton survey integrity. Any survey necessary to recover the position of survey make proposed to be destroyed may only be undertaken by a surveyor registered under the Surveying and Spatial Information Act 2002 or by survey staff authorised by the Surveyor General.

(A) - EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE

(C) - EASEMENT TO DRAIN WATER 2 WIDE

(E) - POSITIVE COVENANT - ASSET PROTECTION ZONE (APZ)



THE BOUNDARY POSITION IS APPROXIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION WORKS.



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pocument Set ID: 7434273

GENERAL NOTES

GENERAL NOTES

A THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY.
THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT
BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONL
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE
APPARENT AT THE TIME OF SURVEY.
THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO
VERFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR
TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY.
SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON
FOR REDUCED LEVELS ON PARTICULAR FEATURES.

	T	GP	GULLY PIT	-E-	OVERHEAD ELEC LINE
	Φ	HYD	HYDRANT	-S-	SEWER LINE
NLY		SIP	SURFACE INLET PIT	D	GM GAS METER
JINL I	0	SIC	SEWER INSPECTION COVER	0	LP LIGHT POLE
	0	SMH	SEWER MANHOLE	EC	ELECTRICITY CONDUIT
		W/M	WATER METER	ECT	ELEC & TELE CONDUIT
		EL	ELECTRICITY BOX	TC	TELECOM CONDUIT
	-	TP	TELECOM PIT	WC	WATER CONDUIT
		VC	VEHICLE CROSSING	INV	INVERT
ON	D==0	SV	STOP VALVE	KO	KERB DUTLET
		SWMH	STORMWATER MANHOLE	TK	TOP of KERB

ASPECT DEVELOPMENT & SURVEY PTY LTD CONSULTING REGISTERED SURVEYORS
ABN 60 078 649 000

SUITE 1 103 VANESSA STREET KINGSGROVE NSW 2208 PHONE (02) 9554 8388 FAX (02) 9554 8588

NAGEL STREET

PO BOX 161 KINGSGROVE NSW 1480 DX 11392 HURSTVILLE

OUR REFERENCE	REFERENCE 3/1035158/194642			
LOT 6147	DP 1211125	SECTION		
DATUM ASSUMED		SOURCE		
ORIGIN OF LEVELS	BM 6147	REDUCED LEVEL 20.00		
SURVEYED VG		DATE 14.06.2016		
DRAWN AB		DATE 20.06.2016		

PROJECT

BM 6147 RL 20.00 (ASSUMED)

> CLIENT: McDONALD JONES HOMES REF: **HASTINGS** REF: 603287

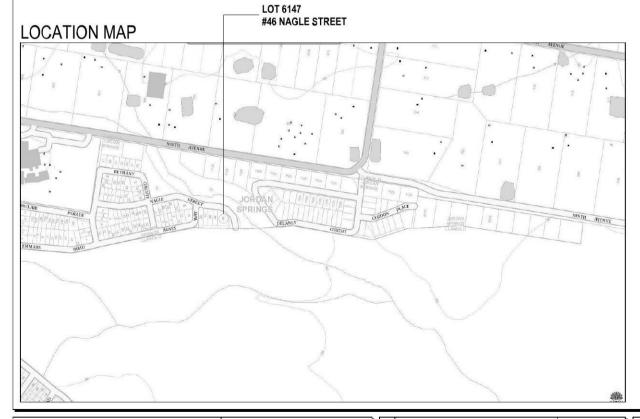
ADDRESS: NAGLE STREET SUBURB JORDAN SPRINGS

SHEET INDEX

NAME No.

- **COVER SHEET**
- 2 SITE PLAN
- 3 **GROUND FLOOR PLAN**
- DOOR & WINDOW SCHEDULES
- 5 **ELEVATIONS / SECTION**
- **ELEVATIONS**
- KITCHEN DETAILS
- BATHROOM / WC1 DETAILS
- 9 ENSUITE / WC2 / LAUNDRY DETAILS
- 10 RECYCLED WATER / FLOOR COVERINGS
- 11 SLAB PLAN
- 12 DRAINAGE PLAN





SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS 4 STAR TOILET SUITES 3 STAR KITCHEN TAPS

3 STAR BATHROOM TAPS

357.53 m² TOTAL ROOF AREA

4500 L WATER TANK(S) MINIMUM CAPACITY 322.56 m² MINIMUM ROOF AREA TO TANK(S)

RAINWATER TANK(S) TO BE CONNECTED TO:

- AT LEAST ONE OUTDOOR TAP
- ALL TOILETS
- WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

240 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 5.5 STAR

HEATING SYSTEM

- 3-PHASE REVERSE CYCLE AIR CONDITIONING EER 3.5 - 4.0

COOLING SYSTEM

- 3-PHASE REVERSE CYCLE AIR CONDITIONING EER 3.0 - 3.5

VENTILATION (EXHAUST FANS)

- AT LEAST ONE BATHROOM:
- INDIVIDUAL FAN DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- KITCHEN RANGEHOOD:
- INDIVIDUAL FAN DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER

- N/A

NATURAL LIGHTING TO

- KITCHEN
- 3 BATHROOM(S)/TOILET(S)

ALTERNATIVE ENERGY

- N/A

OTHER

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY OWNER

BUILDING INFORMATION

GAS SUPPLY:

GROUND FLOOR CEILING HEIGHT(S): 2700mm FRAMES AND TRUSSES: STEEL ROOF PITCH (U.N.O.): 26° ELECTRICITY SUPPLY: 3-PHASE

RETICULATED NATURAL

ROOF MATERIAL: SHEET METAL ROOF COLOUR: DARK R3.0 BATTS ROOF INSULATION:

50mm FOIL FACED BLANKET

WHIRLYBIRDS:

WALL MATERIAL: **BRICK VENEER** WALL COLOUR: WALL INSULATION: R2.0 BATTS

FLOOR INSULATION: N/A

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200 µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2005

DESIGN CRITERIA

WIND RATING: N2

SITE CLASSIFICATION

SITE CLASSIFICATION IS: M

SLAB CLASSIFICATION

M SLAB CLASSIFICATION IS:

BASIX AREAS

CONDITIONED 172.34 UNCONDITIONED 14.45

TOTAL FLOOR AREAS

ALFRESCO 62.38 **GARAGE** 35.01 LIVING (GROUND FLOOR) 210.05 PATIO 10.78 318.22 m²

THIS	S PLAN ACCEPTED BY:
	ASE NOTE: NO VARIATIONS WILL BE EPTED ON THIS PLAN AFTER SIGNING
SIGI	NATURE:
DAT	E:



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		DRAWING	DRAWN	
	1	CONSOLIDATED TENDER	SVO	2016.09.13
20	2	CONTRACT PLANS	JCR	2016.10.07
2000	3	AMENDED AS PER PCV007	VP	2016.11.08

l	Mr. GREG HASTINGS & Mr	6147		
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	SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No:

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS	14400
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP	01
SHEET TITLE: COVER SHEET	SCALES:	SHEET No: 1 / 12

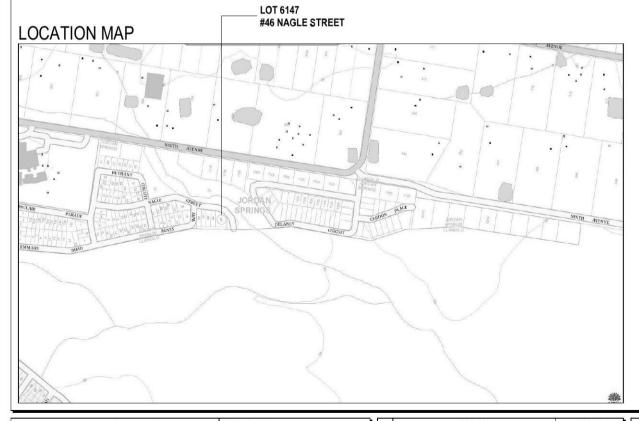
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- 3 BATHROOM(S)/TOILET(S)

ALTERNATIVE ENERGY

- N/A

OTHER

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY OWNER

BUILDING INFORMATION

GROUND FLOOR CEILING HEIGHT(S): FRAMES AND TRUSSES: ROOF PITCH (U.N.O.): ELECTRICITY SUPPLY:

3-PHASE

2700mm

STEEL

26°

GAS SUPPLY: RETICULATED NATURAL

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50mm FOIL FACED BLANKET

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GARAGE 35.01
LIVING (GROUND FLOOR) 210.05
PATIO 10.78
318.22 m²

Reviewed by LENDLEASE
COVENANT MANAGER

Mal

THIS PLAN ACCEPTED BY:				
PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING				
SIGNATURE:				
DATE:				



SPECIFICATION:

COUNTRY JUNIO

COLLECTION

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DRAWING DRAWN

1 CONSOLIDATED TENDER SVO 2016.09.13

2 CONTRACT PLANS JCR 2016.10.07

3 AMENDED AS PER PCV007 VP 2016.11.08

SUBURB: JORDAN SPRINGS	POSTCODE:	COUNCIL: PENRITH CITY	SECTION No:	
ADDRESS: 46 NAGLE STREET			DP No: 1211125	
CLIENT: Mr. GREG HASTINGS & Mr	6147			

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS	14400	
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP01		
SHEET TITLE: COVER SHEET	SCALES:	SHEET No: 1 / 12	

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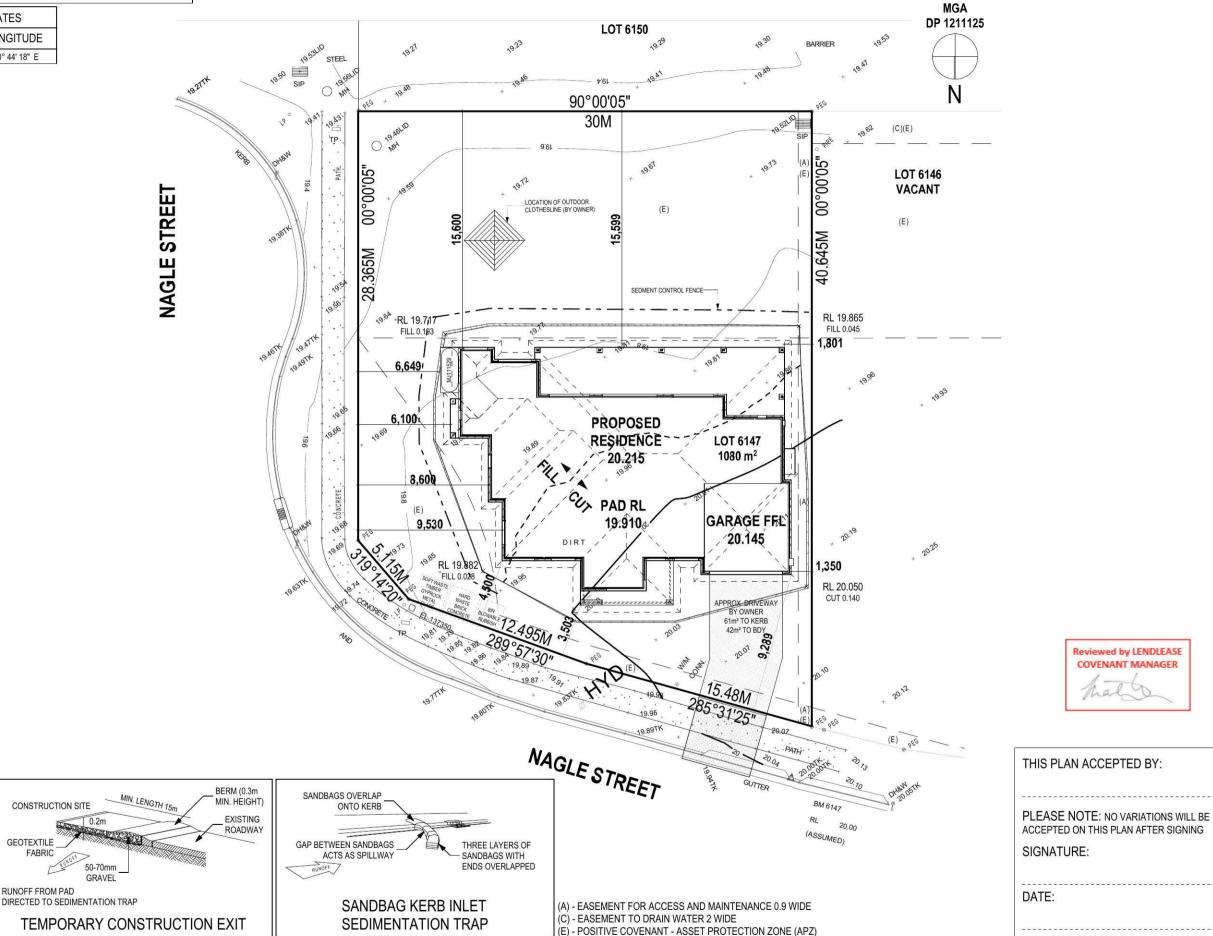
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50 x 25 x 1000

STAR PICKET

DOWNHILL OF MEMBRANE

NOT TO BE DISTURBED

STAKE OR

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CONSTRUCTION SITE

50-70mm

GEOTEXTILE ___

RUNOFF FROM PAD

MEMBRANE TO BE BIDIM U24

OR APPROVED EQUIVALENT

NATURAL SURFACE LEVEL

SILT FENCING DETAIL

BURY APPROXIMATELY 150mm OF MEMBRANE AND TEMPORARILY BACKFILL TO RESTORE PRIOR

DRAWN 1 CONSOLIDATED TENDER SVO 2016.09.13 2 CONTRACT PLANS JCR 2016.10.07 3 AMENDED AS PER PCV007 VP 2016.11.08

3	CLIENT: Mr. GREG HASTINGS & Mrs. F	LOT No: 6147		
3	ADDRESS: 46 NAGLE STREET		DP No: 1211125	
	SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No:

HOUSE DESIGN HOUSE CODE: H-LYNCLAS14400 LYNDHURST FACADE DESIGN: FACADE CODE: CONTEMPORARY F-LYNCTMP01 SHEET No. SHEET TITLE: SCALES: SITE PLAN 1:250

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RL 22.960 - PITCHING BEAM
RL 20.215 - GROUND FLOOR
NATURAL GROUND LINE

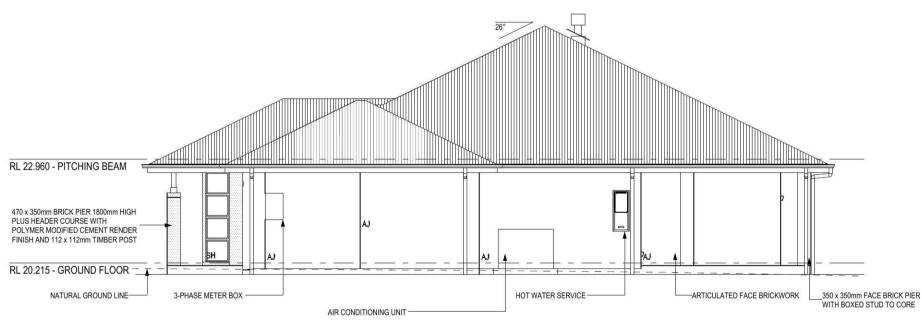
303 - SSSem FACE SRICK PER 1900mm MIGH PLUS
HEADER COUNSE AND 68 x 88mm TIMEER PLOST

LEFT ELEVATION
Scale: 1:100

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
 GENERAL HOUSE SPECIFICATIONS

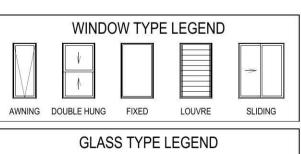
SH = SNAP HEADER SILL





RIGHT ELEVATION

Scale: 1:100



OBSCURE ACOUSTIC

CLEAR

THIS PLAN ACCEPTED BY:
PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING
SIGNATURE:
DATE:

ALL CUT/FILL BATTERS ARE 1:- MAX GRADIENT



SPECIFICATION:

COUNTRY LINING
COULETION

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		DRAWING	DRAWN	
lĺ	1	CONSOLIDATED TENDER	SVO	2016.09.13
П	2	CONTRACT PLANS	JCR	2016.10.07
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FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMPO)1
SHEET TITLE: ELEVATIONS	SCALES: SHEE 1:100 6 /	

LOW-E

TONED

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LANDSCAPE SPECIFICATION

SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPEED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANANAGEMENT FACILITY.

TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVTION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINEDWHERE APPLICABLE.

WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER.ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANANAGEMENT FACILITY.

GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVELANT.

LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGARDE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 80MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER' BUFFALO TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. FEFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEESE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SUFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETNETION. WATER THOROUGHLY AFTER PLANTING.

STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

GARDEN EDGING

USE EITHER *'HAVEN' BRICK EDGING* OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR *TREATED TIMBER EDGING* SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

RETAINING WALLS

MATURE HEIGHT X WIDTH

OTY POTSIZE

REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY

COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

Sheet: Reference:
2 of 4 LP 01

Designed by:

Drafted:

JS

Julian Saw Diploma of Horticulture (Landscape Design)

Revision Schedule

Issue: Description:

DA APPROVAL

By: Date:

10/10/16

JS

Scale: 1:200

General Notes

1. See Architects drawings for site levels,

setbacks and extent of cut and fill.

2. This plan shall be read in conjunction with the Hydraulic

Engineers drawings.

All relevant australian standards are to be adhered to.
 Any structural items are to be installed as per the

4. Any structural items are to be installed as per the manufacturer/engineers specifications.

5. This plan is indicative only and not for construction purposes

LOT AREA	1080 sq m	
PAVED AREA TOTAL	49.9 sq m	4.623%



Client:

Mr & Mrs Hastings

Client Signatures:

1.

2.

Job No. 0297

Drawing: Plant List/Specification

Address: 46 Nagle Street

Javdan Carinas

Jordan Springs

Council: Penrith



Ph: 0437 043 112 www.dappledesigns.com.au

PLANT LIST

TYPE

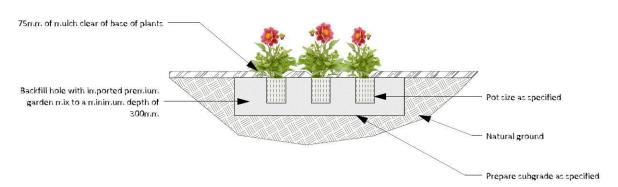
TIFE	JIMOO	L DOTAINCHAML	COMMONINAME	MATURETIEIGHT A VIIDITI	411	FOI JIZE
TREES						
	Er	ELAEOCARPUS RETICULATUS	BLUEBERRY ASH	9M X 4M	1	25ltr
	Lsr	JACARANDA MIMOSIFOLIA	JACARANDA	13M X 7M	1	25ltr
SHRUBS						
	Lbr	LEUCOPHYTA BROWNII	CUSHION PLANT	1M X 1M	12	200MM
groundcovers & perennials						
	Hpl	HELICHRYSUM PETIOLARE 'LIMELIGHT'	everlasting	0.45 X 1M	77	200MM
	Zae	ZANTHEDESCHIA AETHIOPICA	ARUM LILY	0.9M X 0.9M	6	200MM
GRASSES & STRAP LEAF PLANTS						
	Lmrp	LIRIOPE MUSCARI 'ROYAL PURPLE'	LILY TURF	0.4M X 0.4M	36	150MM
HEDGES						
	Asam	ACMENA SMITHII 'ALLYN MAGIC'	DWARF LILY PILLY	TRIMMED UP TO 1M	31	300MM
	Sąoz	SYZYGIUM AUSTRALE 'ASUSSIE SOUTHERN'	SCRUB CHERRY	TRIMMED UP TO 3M	25	300MM

COMMON NAME

* 78% Australian natives have been used and meet the minimum required by the developer. A minimum of 50% Australian native plants shall be chosen as well as at least one Australian native tree

SYMBOL BOTANIC NAME





DETAILS

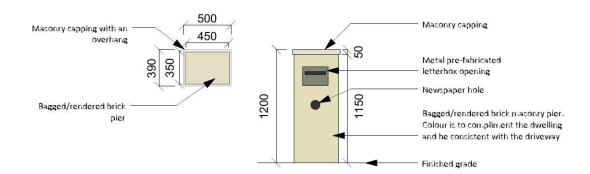
- 1. TURF ROLLS ARE TO BE IN GOOD HEALTH, FREE FROM PESTS AND DISEASES AND WITHOUT HOLES
- 2. APPLY WATER SAVING CRYSTALS TO THE GROUND PRIOR TO LAYING
- 3. BUT ROLLS CLOSELY TOGETHER TO AVOID GAPS AND DIEBACK
- 4. WATER THROUROUGHLY AFTER PLANTING AND REGULARLY UNTIL ESTABLISHED

TURF LAYING DETAIL

SCALE 1:20

TOP VIEW

FRONT VIEW

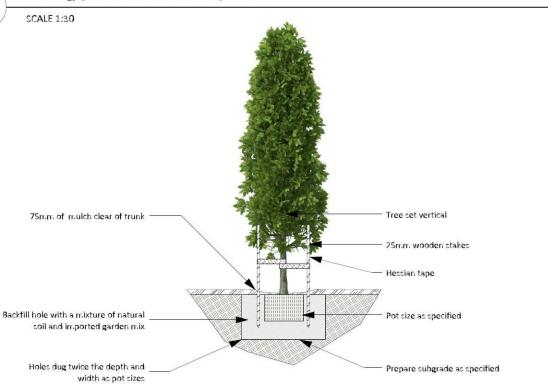


- 1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
- 2. ENSURE THAT NO CEMENT OR RENDER IS LEFT ON THE BRICKWORK OR LETTERBOX OPENING
- 3. BRICK PIER IS TO LEVEL AND STRAIGHT

DETAILS

- 1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
- 2. GENTLY LOOSEN ROOTS IF REQUIRED, PRIOR TO PLANTING
- 3. WATER THROUROUGHLY AFTER PLANTING
- 4. REFER TO PLAN FOR QUANTITIES AND SPACING

SHRUB & GROUNDCOVER PLANTING DETAIL



- 1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
- 2. WATER THROUROUGHLY AFTER PLANTING

TREE PLANTING DETAIL

Revision Schedule

Issue:	Description:	Ву:	Date:		
Α	DA APPROVAL	JS	10/10/16		

Drafted: Scale: 1:200 JS

Sheet: Reference:

LP 01 3 of 4

Designed by:

Julian Saw Diploma of Horticulture (Landscape Design)

General Notes: 1. See Architects drawings for site levels, etbacks and extent of cut and fill.

P. This plan shall be read in conjunction with the Hydraulic Engineers drawings.

2. All relevant australian standards are to be adhered to.

4. Any structural items are to be installed as per the nanufacturer/engineers specifications

5. This plan is indicative only and not for construction purpose

SITE CALCULATIONS PAVED AREA TOTAL

LANDSCAPED AREA TOTAL 706.1 sq m



Client:

Mr & Mrs Hastings

Client Signatures:

Job No. 0297

Drawing: Construction Details

Address: 46 Nagle Street **Jordan Springs**

Council: Penrith

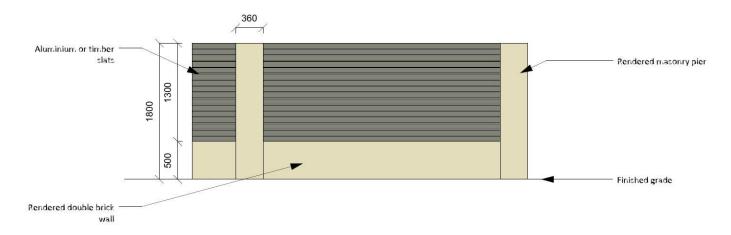


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LETTERBOX DETAIL

Document Set ID: 7434273 Version: 1, Version Date: 29/11/2016

FRONT VIEW



DETAILS

- 1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
- 2. RENDER COLOUR IS TO MATCH THE HOUSE RENDERING

SECONDARY STREET FENCING DETAIL SCALE 1:50

Revision Schedule Issue: Description: Drafted: JS Sheet: Designed by: Julian Saw SITE CALCULATIONS LOT AREA PAVED AREA TOTAL Client:

DA APPROVAL Diploma of Horticulture (Landscape Design) General Notes:

1. See Architects drawings for site levels, setbacks and extent of cut and fill.

2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.

3. All relevant australian standards are to be adhered to.

4. Any structural items are to be installed as per the manufacturer/engineers specifications.

5. This plan is indicative only and not for construction purposes 49.9 sq m LANDSCAPED AREA TOTAL 706.1 sq m 65.381% Reviewed by LENDLEASE COVENANT MANAGER Job No. 0297 Drawing: Construction Details Address: 46 Nagle Street

Mr & Mrs Hastings

By: Date:

JS 10/10/16

Scale: 1:200

Reference:

LP 01

Client Signatures:

Jordan Springs

Council: Penrith



Ph: 0437 043 112 www.dappledesigns.com.au

EXTERNAL COLOUR PALETTE



BRICK



FASCIA Colorbond Surfmist



WINDOW Bradnams



ROOF
Colorbond Shale Grev



GUTTER Shale Grev



GARAGE
Dvnamic Flatline Surfmist



603287 - Lot 6147 Nagle Street Jordan Springs



External Colour Photo

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING BASIX/ABSA REQUIREMENTS SITE CLASSIFICATION GENERAL HOUSE SPECIFICATIONS SH = SNAP HEADER SILL COLORBOND SHEET ROOFING + FOIL FACED BLANKET RL 22.960 - PITCHING BEAM 350 x 350mm FACE BRICK PIER WITH BOXED STUD TO CORE RL 20.215 - GROUND FLOOR 1430 x 350mm BRICK PIER 1800mm HIGH PLUS HEADER COURSE WITH -POLYMER MODIFIED CEMENT POLYMER MODIFIED CEMENT ARTICULATED FACE BRICKWORK 350 x 350mm FACE BRICK PIER 1800mm HIGH PLUS HEADER COURSE AND 88 x 88mm TIMBER POST NATURAL GROUND LINE-RENDER FINISH TO ARTICULATED BRICKWORK RENDER FINISH AND 2 x 112 x 112mm TIMBER POSTS LEFT ELEVATION Scale: 1:100 RL 22.960 - PITCHING BEAM 470 x 350mm BRICK PIER 1800mm HIGH PLUS HEADER COURSE WITH POLYMER MODIFIED CEMENT RENDER Reviewed by LENDLEASE COVENANT MANAGER FINISH AND 112 x 112mm TIMBER POST RL 20.215 - GROUND FLOOR -350 x 350mm FACE BRICK PIER WITH BOXED STUD TO CORE HOT WATER SERVICE--ARTICULATED FACE BRICKWORK MJ111529 (4500L) ABOVE GROUND NATURAL GROUND LINE-3-PHASE METER BOX WATER TANK 2900 x 1100 x 1560H ON 3000 x 1200 PAD AIR CONDITIONING UNIT WINDOW TYPE LEGEND THIS PLAN ACCEPTED BY: RIGHT ELEVATION Scale: 1:100 PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING SLIDING AWNING DOUBLE HUNG FIXED LOUVRE SIGNATURE: GLASS TYPE LEGEND DATE: TONED CLEAR OBSCURE ACOUSTIC LOW-E **ALL CUT/FILL BATTERS ARE 1:- MAX GRADIENT** DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS HOUSE CODE: HOUSE DESIGN: DRAWN DRAWING H-LYNCLAS14400 SPECIFICATION: 6147 LYNDHURST Mr. GREG HASTINGS & Mrs. KERRIE HASTINGS SVO 2016.09.13 PRIOR TO THE COMMENCEMENT OF ANY
WORK, ALL DISCREPANCIES TO BE
REPORTED TO THE DRAFTING OFFICE. 1 CONSOLIDATED TENDER FACADE CODE: FACADE DESIGN: F-LYNCTMP01 CONTEMPORARY 1211125 **46 NAGLE STREET** COLLECTION SHEET No 603287 SHEET TITLE: ELEVATIONS SCALES: mcdonald jones SECTION No: POSTCODE: COUNCIL: SUBURB: 6/12 1:100 www.mcdonaldjoneshomes.com.au 2747 PENRITH CITY JORDAN SPRINGS YOUR HOME, YOUR DREAM © 2016

Document Set ID: 7434273 Version: 1, Version Date: 29/11/2016

COLORBOND SHEET ROOFING -+ FOIL FACED BLANKET RL 22.960 - PITCHING BEAM RL 20.215 - GROUND FLOOR NATURAL GROUND LINE-350 x 350mm FACE BRICK PIER 1800mm HIGH PLUS ARTICULATED FACE BRICKWORK -POLYMER MODIFIED CEMENT 1430 x 350mm BRICK PIER 1800mm 1439 x 350mm BRICK PIER 1809mm HIGH PLUS HEADER COURSE WITH —POLYMER MODIFIED CEMENT RENDER FINISH AND 2 x 112 x 112mm TIMBER POSTS RENDER FINISH TO ARTICULATED BRICKWORK

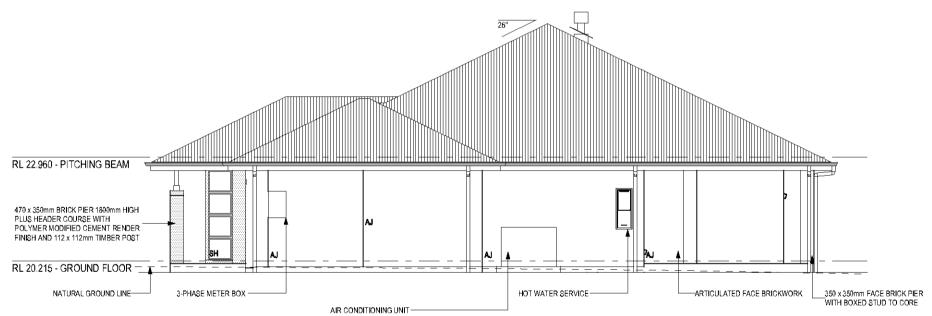
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION GENERAL HOUSE SPECIFICATIONS

SH = SNAP HEADER SILL

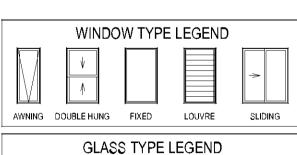
LEFT ELEVATION

Scale: 1:100



RIGHT ELEVATION

Scale: 1:100





CLIVE	
4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	
LOW-E	TONED

ACCEPTED ON THIS PLAN AFTER SIGNING SIGNATURE:

PLEASE NOTE: NO VARIATIONS WILL BE

THIS PLAN ACCEPTED BY:

DATE:

ALL CUT/FILL BATTERS ARE 1:- MAX GRADIENT



COLLECTION www.mcdonaldjoneshomes.

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		DRAWING		DRAWN	
	1	CONSOLIDATED TENDER	svo	2016.09.1	
	2	CONTRACT PLANS	JCR	2016.10.0	
	3	AMENDED AS PER PCV007	VP	2016.11.0	
s.com.au					

3	CLIENT: Mr. GREG HASTINGS & Mrs. K	LOT No: 6147		
7 8	ADDRESS: 46 NAGLE STREET	DP No: 1211125		
\exists	SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No:

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS14400		
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP01		
SHEET TITLE: ELEVATIONS	SCALES: 1:100	SHEET No: 6 / 12	

DO NOT SCALE DRAWINGS, USE DO NOT SCALE DRAWINGS, USE. FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

SHEET INDEX

NAME No.

- **COVER SHEET**
- 2 SITE PLAN
- 3 **GROUND FLOOR PLAN**
- DOOR & WINDOW SCHEDULES
- 5 **ELEVATIONS / SECTION**
- **ELEVATIONS**
- KITCHEN DETAILS
- BATHROOM / WC1 DETAILS
- 9 ENSUITE / WC2 / LAUNDRY DETAILS
- 10 RECYCLED WATER / FLOOR COVERINGS
- 11 SLAB PLAN
- 12 DRAINAGE PLAN



LOT 6147 **#46 NAGLE STREET LOCATION MAP**

SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS 4 STAR TOILET SUITES

3 STAR KITCHEN TAPS 3 STAR BATHROOM TAPS

357.53 m² TOTAL ROOF AREA

4500 L WATER TANK(S) MINIMUM CAPACITY 322.56 m² MINIMUM ROOF AREA TO TANK(S)

RAINWATER TANK(S) TO BE CONNECTED TO:

- AT LEAST ONE OUTDOOR TAP
- ALL TOILETS
- WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

240 m2 GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 5.5 STAR

HEATING SYSTEM

- 3-PHASE REVERSE CYCLE AIR CONDITIONING EER 3.5 - 4.0

COOLING SYSTEM

- 3-PHASE REVERSE CYCLE AIR CONDITIONING EER 3.0 - 3.5

VENTILATION (EXHAUST FANS)

- AT LEAST ONE BATHROOM:
- INDIVIDUAL FAN DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- KITCHEN RANGEHOOD:
- INDIVIDUAL FAN DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER

- N/A

NATURAL LIGHTING TO

- KITCHEN
- 3 BATHROOM(S)/TOILET(S)

ALTERNATIVE ENERGY

- N/A

OTHER

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY OWNER

BUILDING INFORMATION

GAS SUPPLY:

GROUND FLOOR CEILING HEIGHT(S): 2700mm FRAMES AND TRUSSES: STEEL ROOF PITCH (U.N.O.): 26° ELECTRICITY SUPPLY: 3-PHASE

RETICULATED NATURAL

ROOF MATERIAL: SHEET METAL ROOF COLOUR: DARK R3.0 BATTS ROOF INSULATION:

50mm FOIL FACED BLANKET

WHIRLYBIRDS:

WALL MATERIAL: **BRICK VENEER** WALL COLOUR: WALL INSULATION: R2.0 BATTS

FLOOR INSULATION: N/A

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200um WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2005

DESIGN CRITERIA

WIND RATING: N2

SITE CLASSIFICATION

SITE CLASSIFICATION IS: M

SLAB CLASSIFICATION

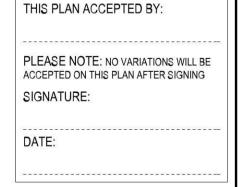
M SLAB CLASSIFICATION IS:

BASIX AREAS

CONDITIONED 172.34 UNCONDITIONED 14.45

TOTAL FLOOR AREAS

ALFRESCO 62.38 GARAGE 35.01 LIVING (GROUND FLOOR) 210.05 PATIO 10.78 318.22 m²





1 CONSOLIDATED TENDER SVO 2016.09.13 2 CONTRACT PLANS 3 AMENDED AS PER PCV007 www.mcdonaldjoneshomes.com.au © 2016

DRAWN

JCR 2016.10.07

VP 2016.11.08

┨	Mr. GREG HASTINGS & Mrs. K	ASTINGS	6147	
1	ADDRESS: 46 NAGLE STREET		DP No: 1211125	
	SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No:

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS14400
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP01
SHEET TITLE: COVER SHEET	SCALES: SHEET N 1 / 12

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF AN WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE

BUILDING INFORMATION REGARDING: SITE CLASSIFICATION

GENERAL HOUSE SPECIFICATIONS STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL

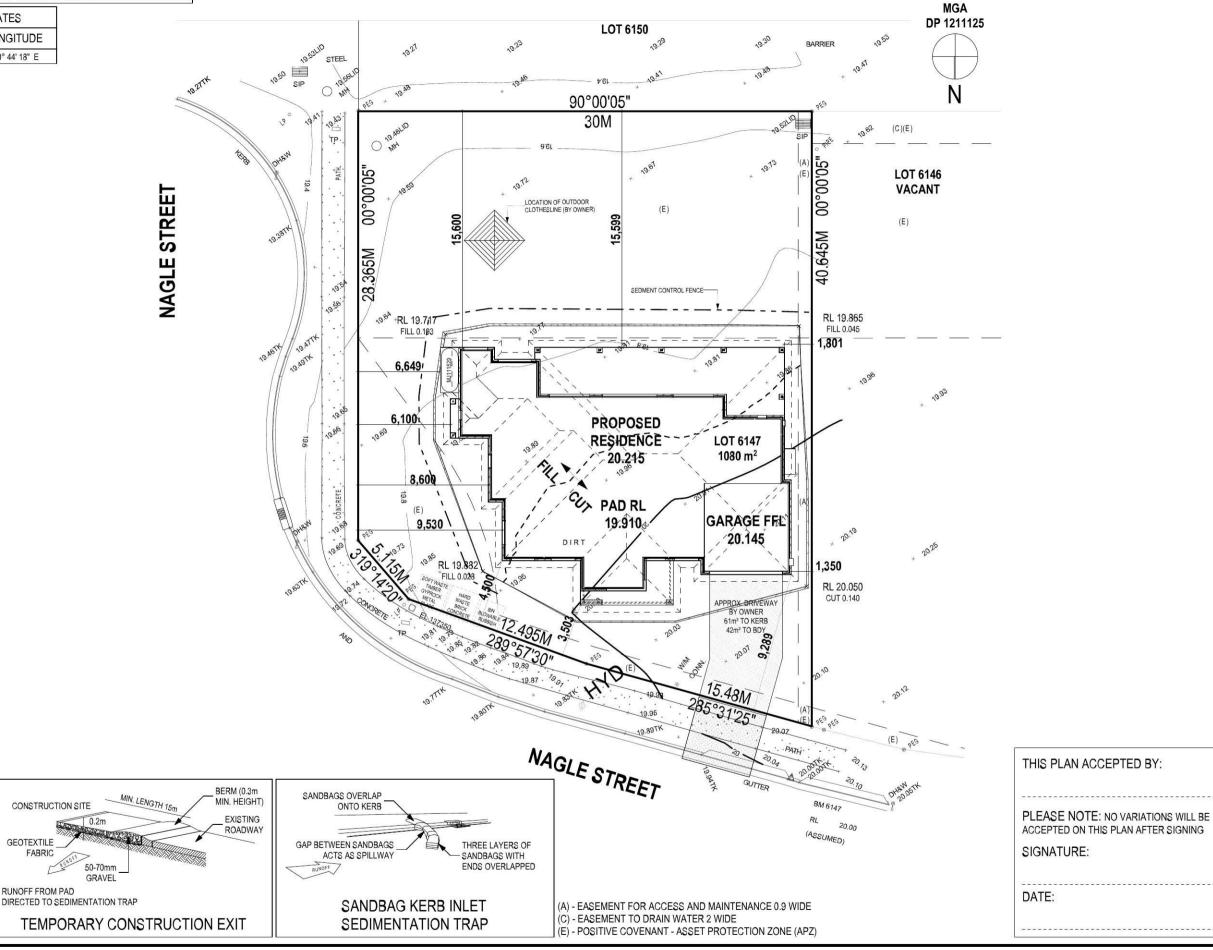
SURFACE WATER DRAINAGE BY OWNER.

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. THE BUILDER PROVIDES CAPACIT FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

WIND CLASSIFICATION WITHIN 1 KM. OF BREAKING SALT WATER WITHIN 100 M. OF SALT MINIMUM AHD FLOOR NO LEVEL APPLICABLE

REFER TO SHEET 1 (COVER SHEET) FOR ALL +/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS. SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

> SITE CO-ORDINATES LATITUDE LONGITUDE 33° 42' 55"S 150° 44' 18" E





50 x 25 x 1000

STAR PICKET

DOWNHILL OF MEMBRANE

NOT TO BE DISTURBED

STAKE OR

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CONSTRUCTION SITE

50-70mm

GEOTEXTILE ___

RUNOFF FROM PAD

MEMBRANE TO BE BIDIM U24

OR APPROVED EQUIVALENT

NATURAL SURFACE LEVEL

SILT FENCING DETAIL

BURY APPROXIMATELY 150mm OF MEMBRANE AND TEMPORARILY BACKFILL TO RESTORE PRIOR

DRAWN 1 CONSOLIDATED TENDER SVO 2016.09.13 JCR 2016.10.07 2 CONTRACT PLANS 3 AMENDED AS PER PCV007 VP 2016.11.08

3	CLIENT: Mr. GREG HASTINGS & N	LOT No: 6147		
3	ADDRESS: 46 NAGLE STREET	DP No: 1211125		
	SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No:

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS14400			
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP01			
SHEET TITLE: SITE PLAN	SCALES: 1:250	SHEET No: 2 / 12		

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603287

Version: 1, Version Date: 29/11/2016

WINDOW SCHEDULE

	IDENTIFICATION		SIZE					RI	EVEAL & REVE	AL COVERPLA	TE (CPL)	
ID CODE	ROOM	HEIGHT WI	DTH AREA (m)	FRAME	SILL TYPE	GLAZING	ORIENT.	HEAD	SILL	LEFT	RIGHT	ADDITIONAL INFORMATION
W01 F/W/W/F2380x1570	BED 3	2,380 1,57	0 3.74	ALUMINIUM	SNAP HEADER	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595
W01 F/W/W/F2380x1570	BED 3	2,380 1,57	0 3.74	ALUMINIUM	SNAP HEADER	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595
W02 F/W/W/F2380x1570	BED 2	2,380 1,57	0 3.74	ALUMINIUM	SNAP HEADER	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595
W03 FF/WF/WF/FF2380x2	2630 HOME THEATRE	2,380 2,63	0 6.26	ALUMINIUM	SNAP HEADER	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595, MP 1315/1315/1315/1315, CORNER JOINING, BLADE OVER
W04 F/F/F/F2380x710	HOME THEATRE	2,380 710	1.69	ALUMINIUM	SNAP HEADER	CLEAR	W	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595, CORNER JOINING, BLADE OVER
W05 F/W/W/F2380x1570	STUDY	2,380 1,57	0 3.74	ALUMINIUM	SNAP HEADER	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595
W06 W/F2080x610	WC2	2,080 610	1.27	ALUMINIUM	ANGLED	OBSCURE, TOUGHENED	S	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
W07 XO0622	BED 4	600 2,17	0 1.30	ALUMINIUM	ANGLED	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	
W08 XO1516	BATH	1,460 1,57	0 2.29	ALUMINIUM	ANGLED	OBSCURE, TOUGHENED	S	SINGLE	SINGLE	SINGLE	SINGLE	
W09 W/F2080x610	WC1	2,080 610	1.27	ALUMINIUM	ANGLED	OBSCURE, TOUGHENED	E	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
			29.03									

^{0.2} ASSUME LOOKING FROM OUTSIDE

EXTERIOR DOOR SCHEDULE

ID CODE	ROOM	HEIGHT	r WIDTH	AREA (m)	FRAME	SILL TYPE	GLAZING	ORIENT.	DOOR TYPE ADDITIONAL INFORMATION
D01 920	ENTRY	2,340	1,210	2.83	TIMBER	SNAP HEADER	DOOR(S): OBSCURE - SIDELIGHT(S): OBSCURE	N	SWINGING
D02 FSS2427	MASTER SUITE	2,400	2,688	6.45	ALUMINIUM	SNAP HEADER	CLEAR	S	STACKER
D03 FSS2436	FAMILY / LIVING	2,400	3,588	8.61	ALUMINIUM	SNAP HEADER	CLEAR	S	STACKER
D04 FSS2427	KITCHEN	2,400	2,688	6.45	ALUMINIUM	SNAP HEADER	CLEAR	S	STACKER
D05 820	LDRY	2,106	867	1.83	TIMBER	SNAP HEADER	DOOR(S): CLEAR - SIDELIGHT(S): N/A	E	SWINGING
				26.17 m ²					

ASSUME LOOKING FROM OUTSIDE

INTERIOR DOOR SCHEDULE

TYPE	CODE	QTY	HEIGHT	WIDTH	ADDITIONAL INFORMATION
SQUARE SET OPENING	1000 SS	4	2,455	1,000	
SQUARE SET OPENING	1155 SS	1	2,455	1,155	
SQUARE SET OPENING	1500 SS	1	2,455	1,500	
SQUARE SET OPENING	800 SS	2	2,455	800	
SWINGING	2 x 620	2	2,340	1,240	
SWINGING	2 x 720	2	2,340	1,440	
SWINGING	2 x 820	1	2,340	1,640	SELECT
SWINGING	770	3	2,340	770	
SWINGING	820	3	2,340	820	
SWINGING	820	2	2,340	820	SELECT
SWINGING	820	2	2,340	820	LIFT-OFF HINGES

PICTURE / TV RECESS & SQUARE SET WINDOW SCHEDULE

		AREA (m)	QTY
1,455	2,000	2.91	1
1,355	2,000	2.71	1

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- BASIX/ABSA REQUIREMENTS

- SITE CLASSIFICATION

- GENERAL HOUSE SPECIFICATIONS

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

mcdonald jones

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	DRAWING	l '	DIVANNI
1	CONSOLIDATED TENDER	SVO	2016.09.13
2	CONTRACT PLANS	JCR	2016.10.07
3	AMENDED AS PER PCV007	VP	2016.11.08

CLIENT: Mr. GREG HASTINGS & Mrs. K	LOT No: 6147					
ADDRESS: 46 NAGLE STREET						
SUBURB: JORDAN SPRINGS	POSTCODE:	COUNCIL: PENRITH CITY	SECTION No:			

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS144	00
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP01	
SHEET TITLE: DOOR & WINDOW SCHEDULES	SCALES:	SHEET No: 4 / 12

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603287

YOUR HOME, YOUR DREAM

^{1.2} ASSUME LOOKING FROM INSIDE

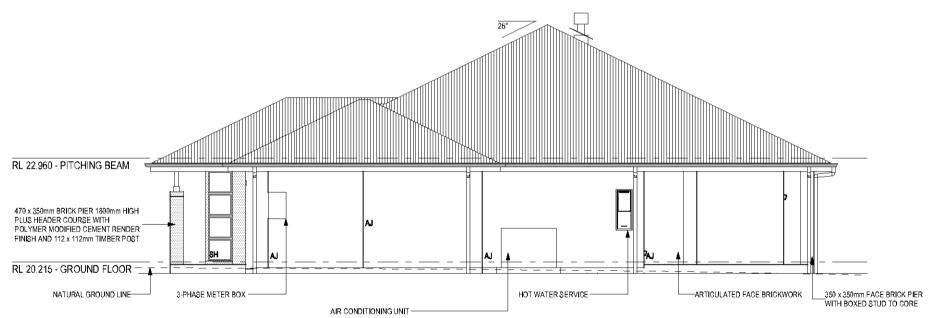
COLORBOND SHEET ROOFING -+ FOIL FACED BLANKET RL 22.960 - PITCHING BEAM RL 20.215 - GROUND FLOOR 1430 x 359mm BRICK PIER 1809mm HIGH PLUS HEADER COURSE WITH —POLYMER MODIFIED CEMENT RENDER FINISH AND 2 x 112 x 112mm TIMBER POSTS NATURAL GROUND LINE-350 x 350mm FACE BRICK PIER 1800mm HIGH PLUS ARTICULATED FACE BRICKWORK -POLYMER MODIFIED CEMENT RENDER FINISH TO ARTICULATED BRICKWORK

SH = SNAP HEADER SILL

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING: BASIX/ABSA REQUIREMENTS - SITE CLASSIFICATION - GENERAL HOUSE SPECIFICATIONS

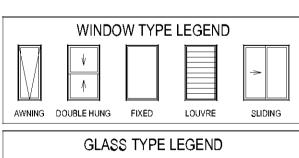
LEFT ELEVATION

Scale: 1:100



RIGHT ELEVATION

Scale: 1:100



OBSCURE ACOUSTIC

CLEAR

>	PLEAS
CLIDING	ACCEPT
SLIDING	SIGNA
TONED	DATE:

THIS PLAN ACCEPTED BY:
PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING
SIGNATURE:
DATE:

ALL CUT/FILL BATTERS ARE 1:- MAX GRADIENT



COLLECTION www.mcdonaldjoneshomes.com.au

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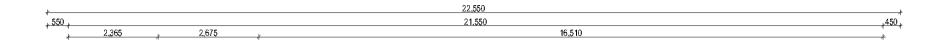
ı		DRAWING		DRAWN			
l	1	CONSOLIDATED TENDER	SVO	2016.09.13			
	2	CONTRACT PLANS	JCR	2016.10.07			
	3	AMENDED AS PER PCV007	VP	2016.11.08			
l							
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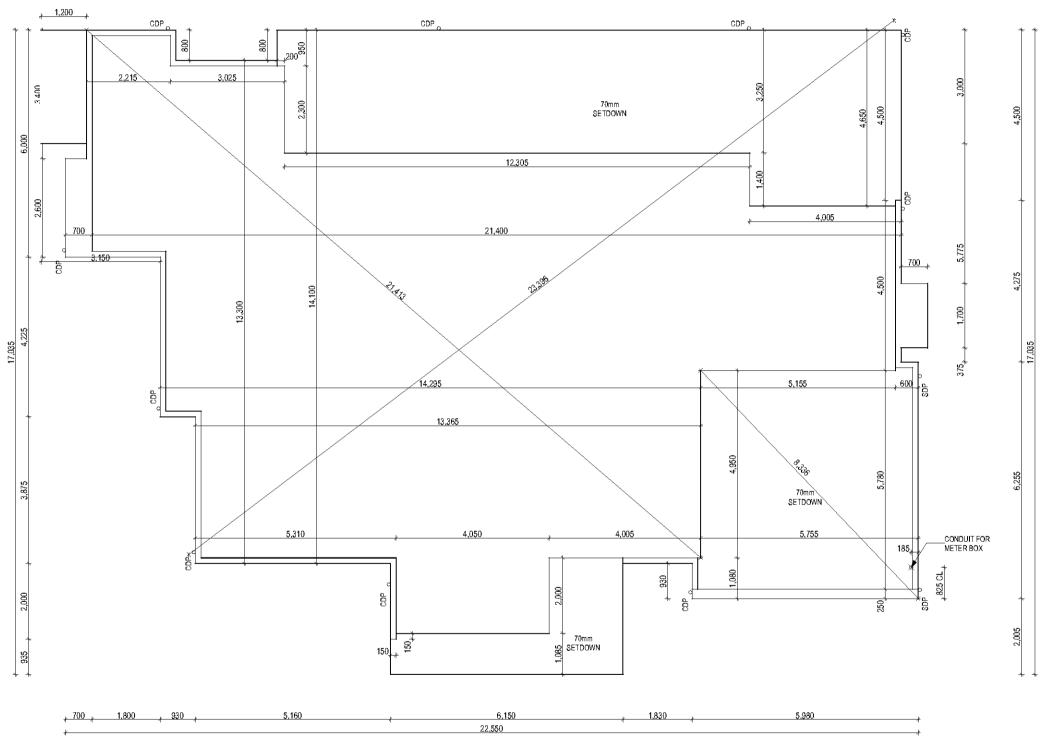
3	Mr. GREG HASTINGS & Mrs. K	LOT No: 6147						
17 18	ADDRESS: 46 NAGLE STREET							
	SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No: -				

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS14400	
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP01	
SHEET TITLE: ELEVATIONS	SCALES: SHEET N 6 / 12	

LOW-E

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIEY DIMENSIONS AND LEVELS. PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.





SLAB PLAN Scale: 1:100



SPECIFICATION:

CONTRACT

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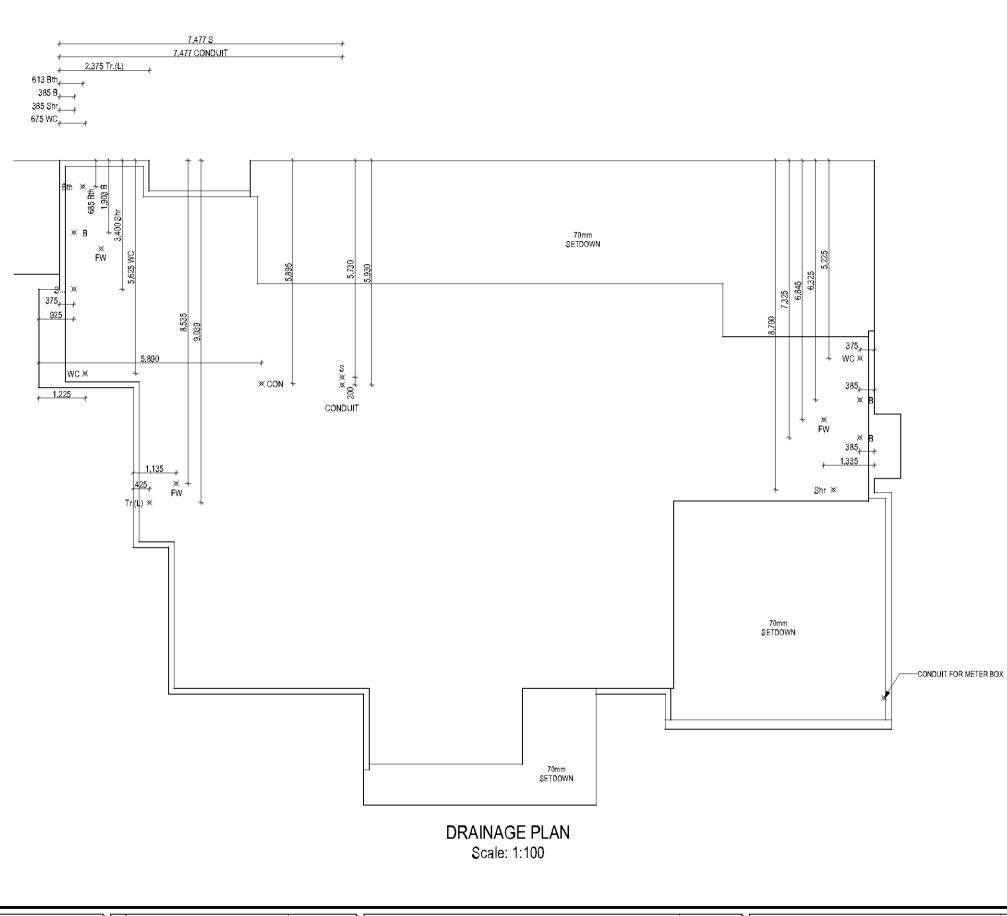
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Ì		DRAWING		DRAWN		
l	1	CONSOLIDATED TENDER	SVO	2016.09.13		
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l						

).13	CLIENT: Mr. GREG HASTINGS & Mrs. KERRIE HASTINGS				
).07 1.08	46 NACLE OFFICE				
	SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No:	

HOUSE DESIGN:	HOUSE CODE:		
LYNDHURST	H-LYNCLAS14400		
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP01		
SHEET TITLE:	SCALES: SHEET NO		
SLAB PLAN	1:100 11 / 12		

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LEGEND

BATH WASTE FLOOR WASTE GULLY

SINK (KITCHEN)

WATER CLOSET

TROUGH (LAUNDRY)

SHOWER

Shr

Tr.(L)

WC.

SPECIFICATION:

CONTINUES

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	CLIENT: Mr. GREG HASTINGS & Mrs. KERRIE HASTINGS				
,	ADDRESS: 46 NAGLE STREET				
	SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No:	

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS14400		
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP01		
SHEET TITLE: DRAINAGE PLAN	SCALES: SHEET 1:100 12 /		

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.



Version: 1, Version Date: 29/11/2016

LANDSCAPE SPECIFICATION

SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPEED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANANAGEMENT FACILITY.

TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVTION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINEDWHERE APPLICABLE.

WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER.ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANANAGEMENT FACILITY.

GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVELANT.

LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGARDE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 80MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER' BUFFALO TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. FEFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEESE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SUFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETNETION. WATER THOROUGHLY AFTER PLANTING.

STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

GARDEN EDGING

USE EITHER "HAVEN" BRICK EDGING OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR TREATED TIMBER EDGING SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

RETAINING WALLS

MATURE HEIGHT X WIDTH

QTY POT SIZE

REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY.

COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

Sheet: Reference:
2 of 4 LP 01

Designed by:

Julian Saw

Drafted:

Diploma of Horticulture (Landscape Design)

Revision Schedule

Issue: Description:

DA APPROVAL

By: Date:

10/10/16

JS

Scale: 1:200

General Notes:

1. See Architects drawings for site levels, setbacks and extent of cut and fill.

 This plan shall be read in conjunction with the Hydraulic Engineers drawings.
 All relevant australian standards are to be adhered to.

 All relevant australian standards are to be adhered to 4. Any structural items are to be installed as per the manufacturer/engineers specifications.

5. This plan is indicative only and not for construction purposes

Client:

Mr & Mrs Hastings

Client Signatures:

1.

2.

Job No. **0297**

Drawing: Plant List/Specification

Address: 46 Nagle Street
Jordan Springs

Council: Penrith



Ph: 0437 043 112 www.dappledesigns.com.au

PLANT LIST

TYPE

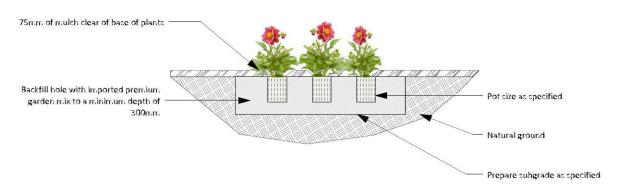
IIIL	JINIDO	L DOTAINC NAME	COMMONITARIL	MATURETIEIGHT A WIDTH	211	FOISIZE
TREES						
	Er	ELAEOCARPUS RETICULATUS	BLUEBERRY ASH	911 × 411	1	2.5 tr
	Lsr	JACARANDA MIMOSIFOLIA	JACARANDA	13/1/ X 7/1/	1	2.5ltr
SHRUBS						
	Lbr	LEUCOPHYTA BROWNIII	CUSHION PLANT	1/4 × 1/4	12.	MMCC.2
groundcovers & perennials						
	Həl	HELICHRYSUM PETIOLARE 'LIMELIGHT'	EVERLASTING	0.45 × 1M	77	200MM
	Zae	ZANTHEDESCHIA AETHIOPICA	ARUM LILY	0.911 × 0.911	5	200MM
GRASSES & STRAP LEAF PLANTS						
	Lmrp	LIRIOPE MUSCAKI "ROYAL PURPLE"	LILY TURF	0.4M × 0.4M	35	150MM
HEDGES						
	Asam	ACMENA SMITHIL'ALLYN MAGIC'	DVVARE LILY PILLY	TRIMMED UP TO 1M	31	MMCCE
	Saoz	SYZYGIUM AUSTRALE 'ASUSSIE SOUTHERN'	SCRUB CHERRY	TRIMMED UP TO 3M	25	300MM

COMMON NAME

* 78% Australian natives have been used and meet the minimum required by the developer. A minimum of 50% Australian native plants shall be chosen as well as at least one Australian native tree

SYMBOL BOTANIC NAME





DETAILS

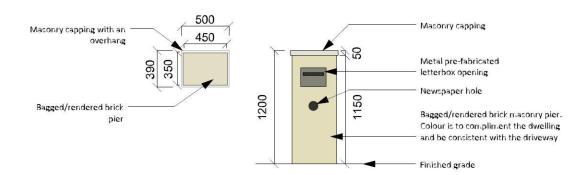
- 1. TURF ROLLS ARE TO BE IN GOOD HEALTH, FREE FROM PESTS AND DISEASES AND WITHOUT HOLES
- 2. APPLY WATER SAVING CRYSTALS TO THE GROUND PRIOR TO LAYING
- 3. BUT ROLLS CLOSELY TOGETHER TO AVOID GAPS AND DIEBACK
- 4. WATER THROUROUGHLY AFTER PLANTING AND REGULARLY UNTIL ESTABLISHED

TURF LAYING DETAIL

SCALE 1:20

TOP VIEW

FRONT VIEW

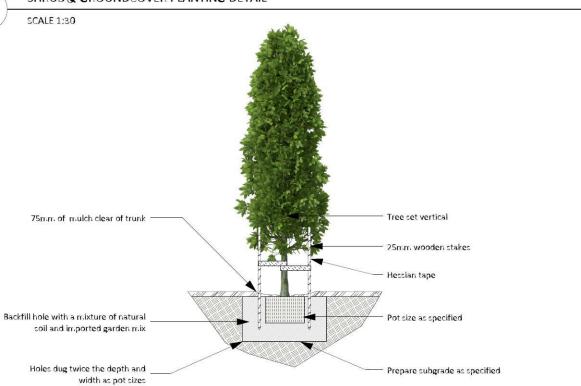


- 1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
- 2. ENSURE THAT NO CEMENT OR RENDER IS LEFT ON THE BRICKWORK OR LETTERBOX OPENING
- 3. BRICK PIER IS TO LEVEL AND STRAIGHT

DETAILS

- 1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
- 2. GENTLY LOOSEN ROOTS IF REQUIRED, PRIOR TO PLANTING
- 3. WATER THROUROUGHLY AFTER PLANTING
- 4. REFER TO PLAN FOR QUANTITIES AND SPACING

SHRUB & GROUNDCOVER PLANTING DETAIL



- 1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
- 2. WATER THROUROUGHLY AFTER PLANTING

TREE PLANTING DETAIL

Revision Schedule

Description:	By:	Date:
DA APPROVAL	JS	10/10/16
	93503049 Sterreston, Aurillander Artister	2000 CONTROL OF THE C

Drafted:

JS Sheet: Reference:

3 of 4 LP 01

Scale: 1:200

Designed by:

Julian Saw Diploma of Horticulture (Landscape Design)

General Notes: 1. See Architects drawings for site levels, etbacks and extent of cut and fill.

P. This plan shall be read in conjunction with the Hydraulic ingineers drawings.

2. All relevant australian standards are to be adhered to.

4. Any structural items are to be installed as per the nanufacturer/engineers specifications

5. This plan is indicative only and not for construction purpose

SITE CALCULATIONS PAVED AREA TOTAL

LANDSCAPED AREA TOTAL 706.1 sq m

Client:

Mr & Mrs Hastings

Client Signatures:

Job No. 0297

Drawing: Construction Details

Address: 46 Nagle Street

Jordan Springs

Council: Penrith

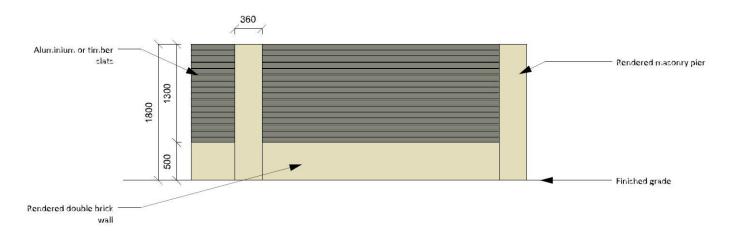


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LETTERBOX DETAIL

Document Set ID: 7434273 Version: 1, Version Date: 29/11/2016

FRONT VIEW



DETAILS

- 1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
- 2. RENDER COLOUR IS TO MATCH THE HOUSE RENDERING

SECONDARY STREET FENCING DETAIL SCALE 1:50

Drafted: JS Sheet: Julian Saw SITE CALCULATIONS LOT AREA PAVED AREA TOTAL Client: Client Signatures: Job No. Drawing: Construction Details Address: 46 Nagle Street Council: **Penrith**

Revision Schedule By: Date: Issue: Description: JS 10/10/16 DA APPROVAL Scale: 1:200 Reference: LP 01 Designed by: Diploma of Horticulture (Landscape Design) General Notes:

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49.9 sq m 4.623% LANDSCAPED AREA TOTAL 706.1 sq m 65.381%

Mr & Mrs Hastings

0297

Jordan Springs



Ph: 0437 043 112 www.dappledesigns.com.au