

SHEET INDEX

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3	GROUND FLOOR PLAN
4	DOOR & WINDOW SCHEDULES
5	ELEVATIONS / SECTION
6	ELEVATIONS
7	KITCHEN DETAILS
8	BATHROOM / WC1 DETAILS
9	ENSUITE / WC2 / LAUNDRY DETAILS
10	RECYCLED WATER / FLOOR COVERINGS
11	SLAB PLAN
12	DRAINAGE PLAN



LOCATION MAP



SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

- 3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS
- 3 STAR TOILET SUITES
- 3 STAR KITCHEN TAPS
- 3 STAR BATHROOM TAPS

357.53 m² TOTAL ROOF AREA

4500 L WATER TANK(S) MINIMUM CAPACITY
169.19 m² MINIMUM ROOF AREA TO TANK(S)

- RAINWATER TANK(S) TO BE CONNECTED TO:
- AT LEAST ONE OUTDOOR TAP
 - ALL TOILETS
 - WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

240 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

- HOT WATER SYSTEM
- GAS CONTINUOUS FLOW - 5.5 STAR

- HEATING SYSTEM
- 3-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.5 - 4.0

- COOLING SYSTEM
- 3-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.0 - 3.5

- VENTILATION (EXHAUST FANS)
- AT LEAST ONE BATHROOM:
INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
 - KITCHEN RANGEHOOD:
INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
 - NO MECHANICAL VENTILATION TO LAUNDRY

- PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER
- N/A

- NATURAL LIGHTING TO
- KITCHEN
 - 3 BATHROOM(S)/TOILET(S)

- ALTERNATIVE ENERGY
- N/A

- OTHER
- GAS COOKTOP, ELECTRIC OVEN
 - FIXED OUTDOOR CLOTHESLINE BY OWNER

BUILDING INFORMATION

GROUND FLOOR CEILING HEIGHT(S): 2700mm
FRAMES AND TRUSSES: STEEL
ROOF PITCH (U.N.O.): 26°
ELECTRICITY SUPPLY: 3-PHASE
GAS SUPPLY: RETICULATED NATURAL

ROOF MATERIAL: SHEET METAL
ROOF COLOUR: DARK
ROOF INSULATION: R3.0 BATTS
50mm FOIL FACED BLANKET
2

WHIRLYBIRDS:

WALL MATERIAL: BRICK VENEER
WALL COLOUR: N/A
WALL INSULATION: R2.0 BATTS

FLOOR INSULATION: N/A

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2005

DESIGN CRITERIA
WIND RATING: N2

SITE CLASSIFICATION
SITE CLASSIFICATION IS: M

SLAB CLASSIFICATION
SLAB CLASSIFICATION IS: M

BASIX AREAS
CONDITIONED 174.11
UNCONDITIONED 14.45

TOTAL FLOOR AREAS
ALFRESCO 62.38
GARAGE 35.01
LIVING (GROUND FLOOR) 210.05
PATIO 11.18
318.62 m²

5.6

NATIONWIDE HOUSE ENERGY RATING SCHEME

98 MJ/m²

www.nathers.gov.au

Certificate no.: 0000871822
Assessor Name: .Christina Silman
Accreditation no.: 20753
Certificate date: 18 Oct 2016
Dwelling Address: 46 Nagel Street
JORDAN SPRINGS, NSW 2747

ABSA Association of Building Sustainability Assessors

Class 1 Building Single-Dwelling

Validation Number	1010234803
Validation Date	18/10/2016
Assessor Name	Christina Silman
Assessor Number	20753
Assessor Signature	

Simulated under BASIX Thermal Comfort Protocol

BASIX Building Sustainability Index

THIS PLAN ACCEPTED BY:

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	DRAWING	DRAWN
1	CONSOLIDATED TENDER	SVO 2016.09.13
2	CONTRACT PLANS	JCR 2016.10.07

CLIENT: Mr. GREG HASTINGS & Mrs. KERRIE HASTINGS			LOT No: 6147
ADDRESS: 46 NAGLE STREET			DP No: 1211125
SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No: -

HOUSE DESIGN: LYNDHURST		HOUSE CODE: H-LYNCLAS14400	
FACADE DESIGN: CONTEMPORARY		FACADE CODE: F-LYNCTMP01	
SHEET TITLE: COVER SHEET		SCALES:	SHEET No: 1 / 12

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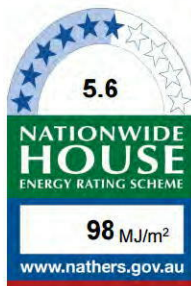
+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.
SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

SITE CO-ORDINATES	
LATITUDE	LONGITUDE
33° 42' 55"S	150° 44' 18" E

STORMWATER LAYOUT IS DIAGRAMMATIC
ONLY AND SUBJECT TO CONTRACTORS
RECOMMENDATIONS AND/OR ANY
CONSTRUCTION CONSTRAINTS. ALL
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CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

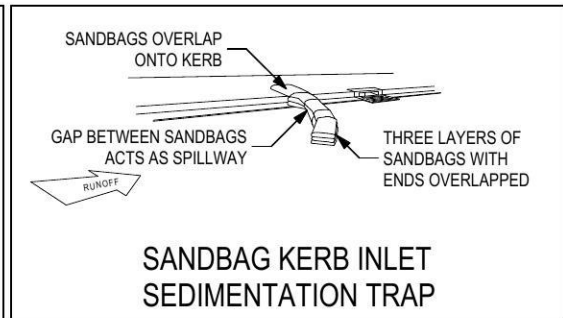
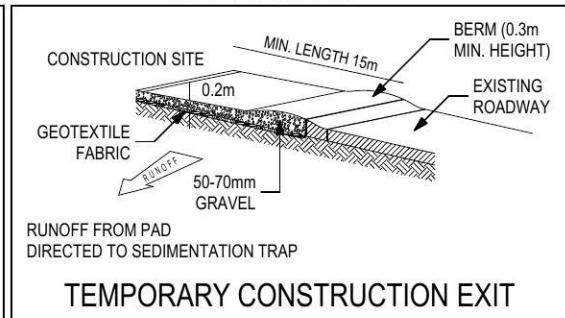
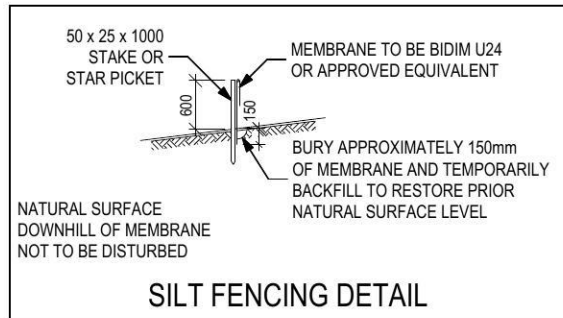
WIND CLASSIFICATION	N1
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WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO



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(A) - EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
(C) - EASEMENT TO DRAIN WATER 2 WIDE
(E) - POSITIVE COVENANT - ASSET PROTECTION ZONE (APZ)

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SECTION No:
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SHEET TITLE:
SITE PLAN

HOUSE CODE:
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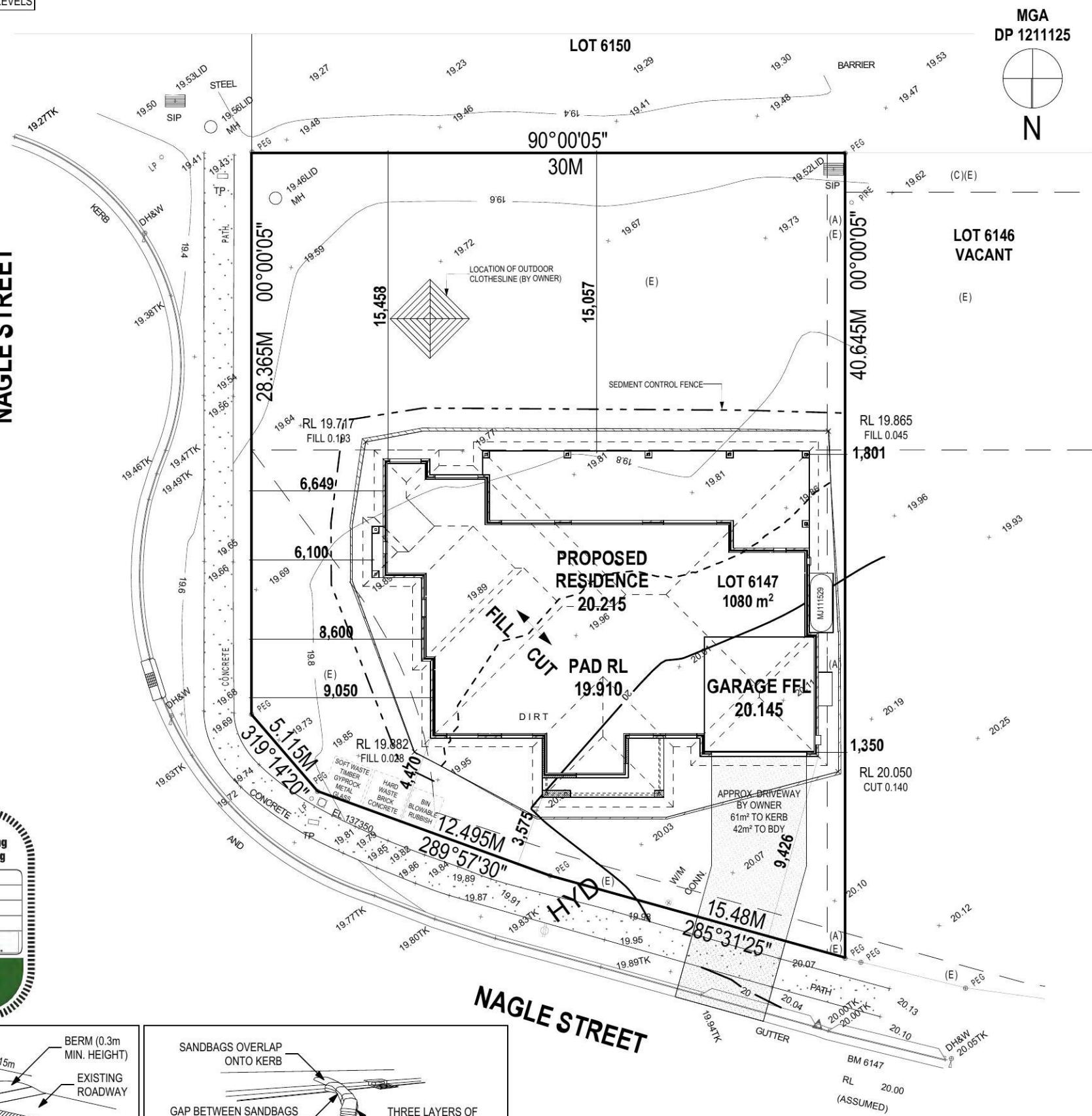
FACADE CODE:
F-LYNCTMP01

SCALES: 1:250	SHEET No: 2 / 12
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WINDOW SCHEDULE

[illegible]

0,3 ASSUME LOOKING FROM OUTSIDE 1,2 ASSUME LOOKING FROM INSIDE

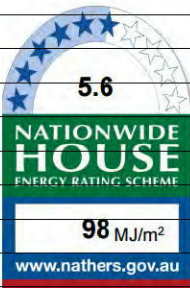
EXTERIOR DOOR SCHEDULE

[illegible]^{0,1} ASSUME LOOKING FROM OUTSIDE

INTERIOR DOOR SCHEDULE

TYPE	CODE	QTY	HEIGHT	WIDTH	ADDITIONAL INFORMATION
SQUARE SET OPENING	1000 SS	4	2,455	1,000	
SQUARE SET OPENING	1155 SS	1	2,455	1,155	
SQUARE SET OPENING	1500 SS	1	2,455	1,500	
SQUARE SET OPENING	800 SS	2	2,455	800	
SWINGING	2 x 720	4	2,340	1,440	
SWINGING	2 x 820	1	2,340	1,640	SELECT
SWINGING	770	3	2,340	770	
SWINGING	820	3	2,340	820	
SWINGING	820	2	2,340	820	SELECT
SWINGING	820	2	2,340	820	LIFT-OFF HINGES

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 Assessment
 Accredited
 Certification
 Dwelling
 46 Nag
 JORDA
 2747
 www.n



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46 Nagel Street	
JORDAN SPRINGS, NSW	
2747	

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- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

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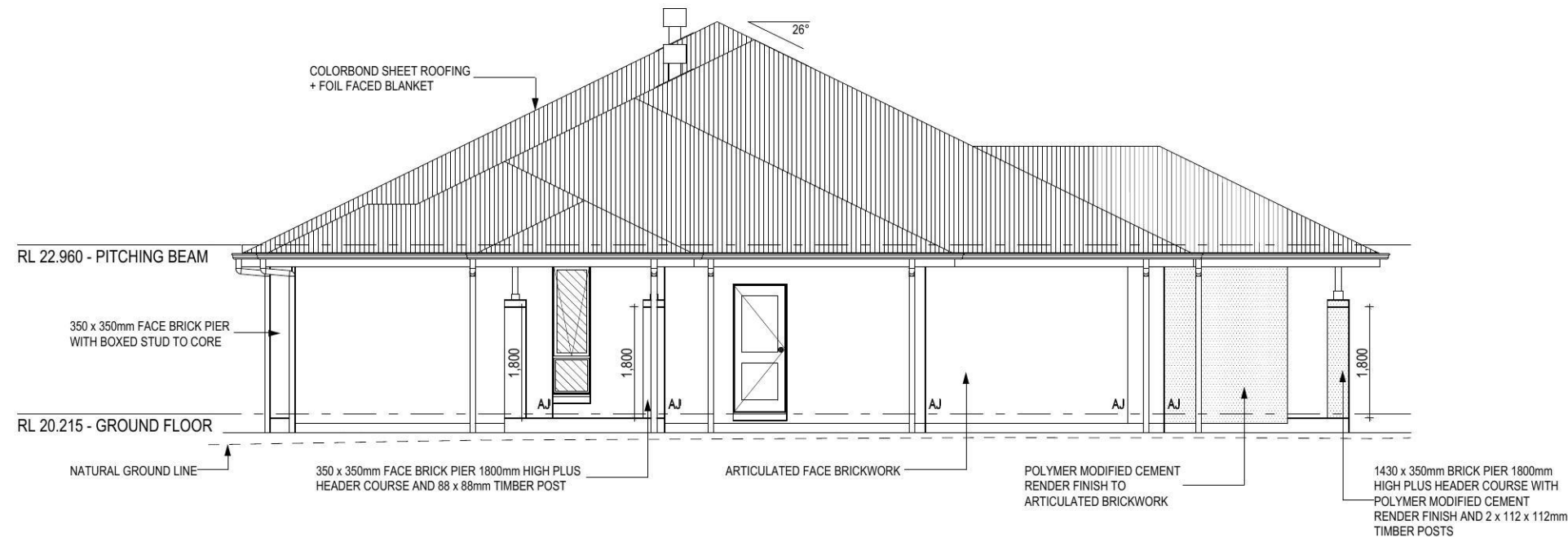
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		2	CONTRACT PLANS	JCR	2016.10.07	ADDRESS:		DP No:		FACADE DESIGN:		FACADE CODE:			
						46 NAGLE STREET		1211125		CONTEMPORARY		F-LYNCTMP01			
							SUBURB:	POSTCODE:	COUNCIL:	SECTION No:	SHEET TITLE:		SCALES:	SHEET No:	
							JORDAN SPRINGS	2747	PENRITH CITY	-	DOOR & WINDOW SCHEDULES			4 / 12	

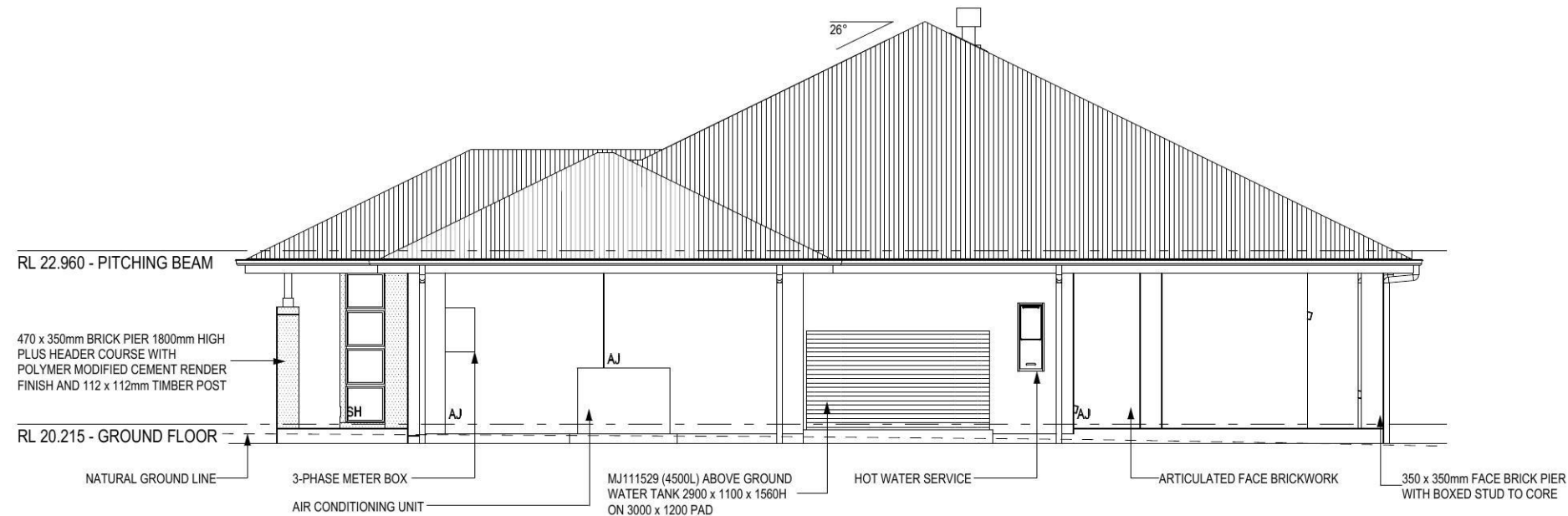
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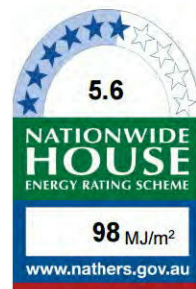
SH = SNAP HEADER SILL



LEFT ELEVATION
Scale: 1:100



RIGHT ELEVATION
Scale: 1:100

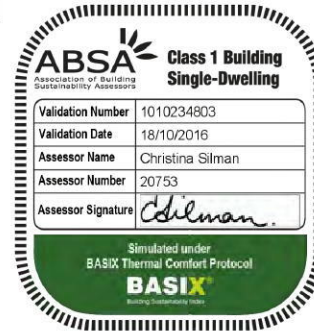


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JORDAN SPRINGS, NSW
2747



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WINDOW TYPE LEGEND				
AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING
GLASS TYPE LEGEND				
CLEAR	OBSCURE	ACOUSTIC	LOW-E	TONED

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SIGNATURE:

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ALL CUT/FILL BATTERS ARE 1:- MAX GRADIENT



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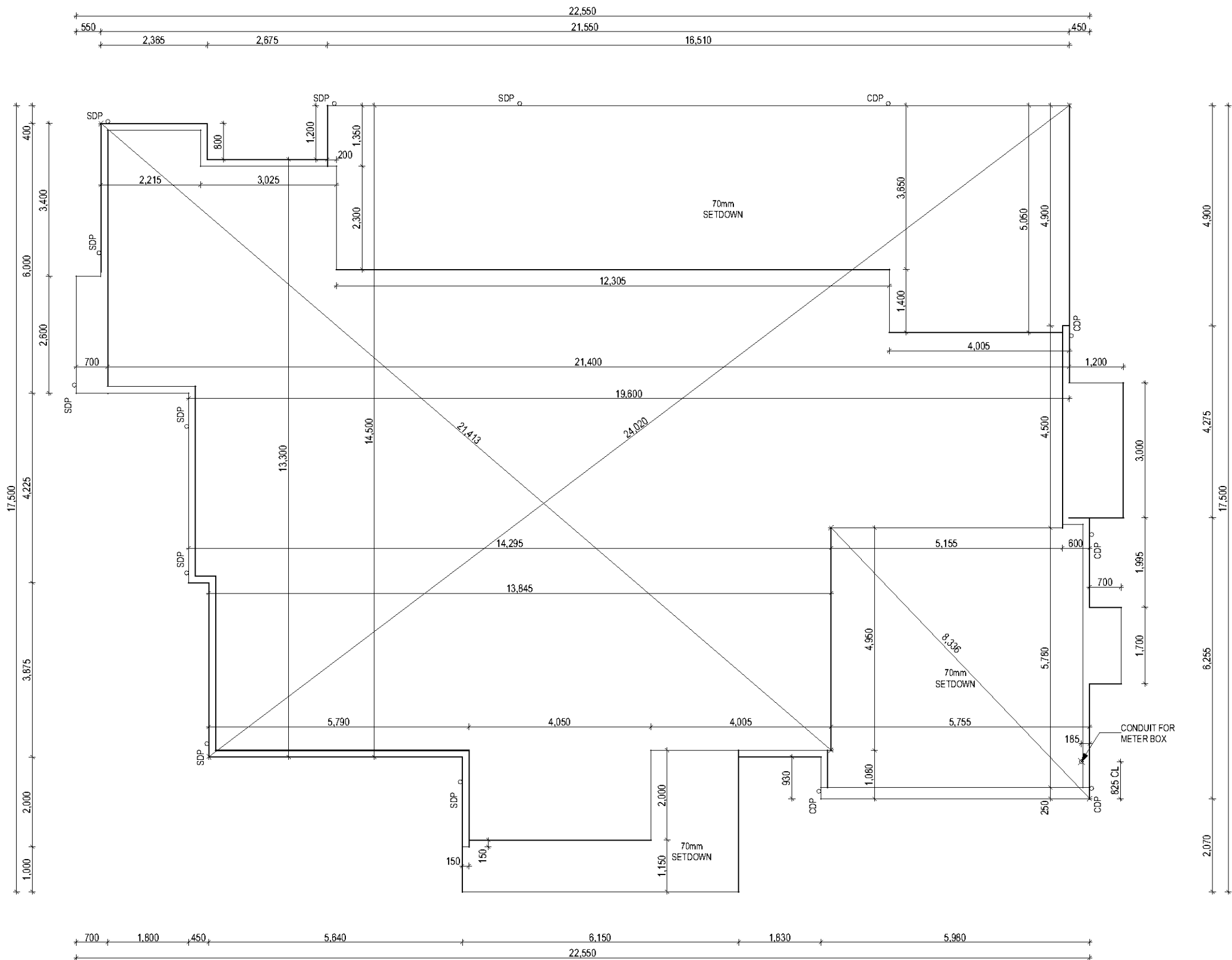
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SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No: -

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS14400
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP01
SHEET TITLE: ELEVATIONS	SCALES: 1:100
	SHEET No: 6 / 12

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SLAB PLAN
Scale: 1:100



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1211125

SUBURB:

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COUNCIL:

PENRITH CITY

SECTION No:

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SLAB PLAN

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FACADE CODE:

F-LYNCTMP01

SCALES:

1:100

SHEET No:

11 / 12

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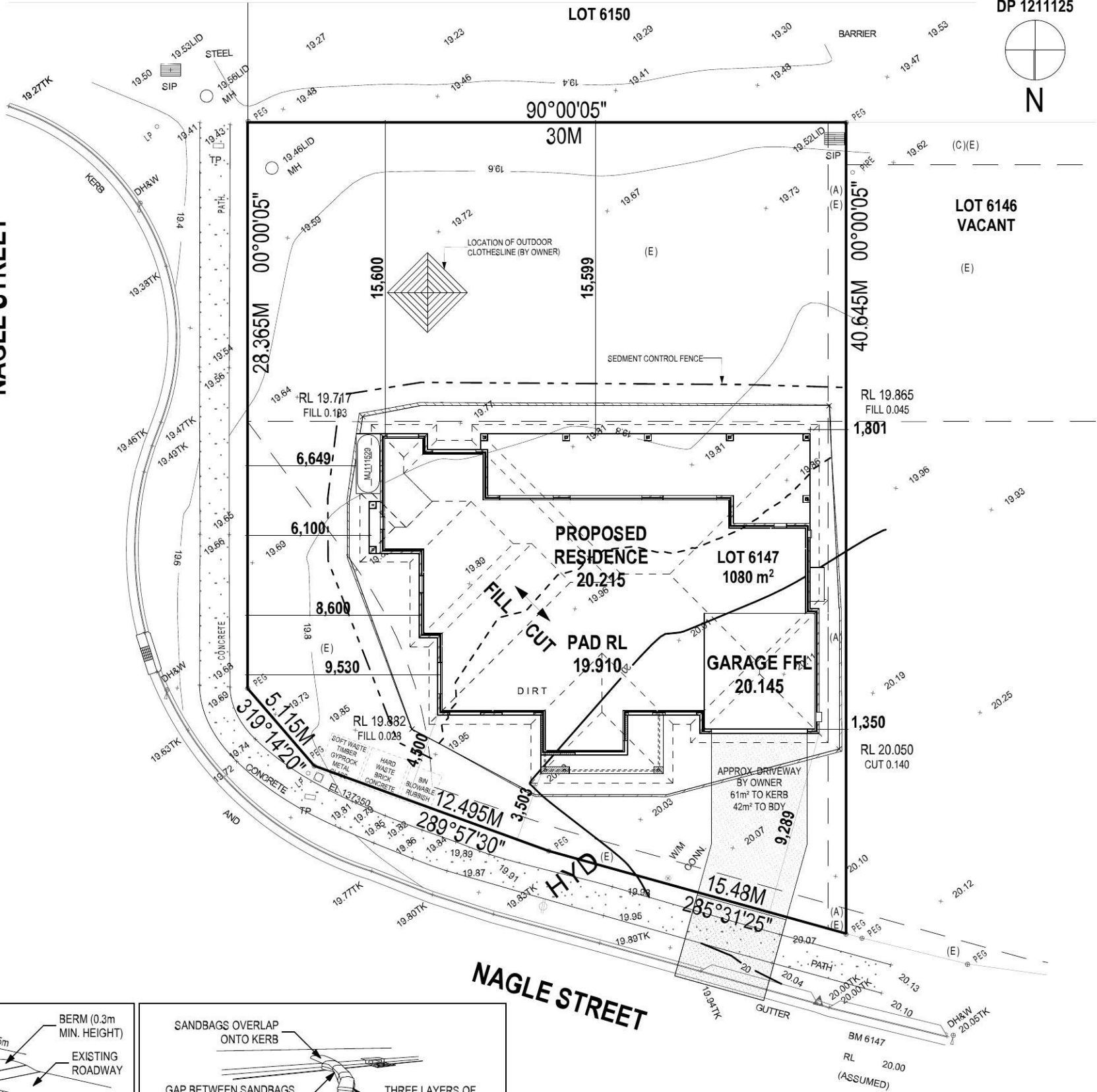
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WIND CLASSIFICATION	N1
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.
SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

SITE CO-ORDINATES	
LATITUDE	LONGITUDE
33° 42' 55"S	150° 44' 18" E

NAGLE STREET

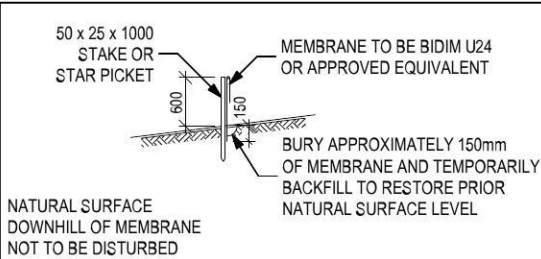


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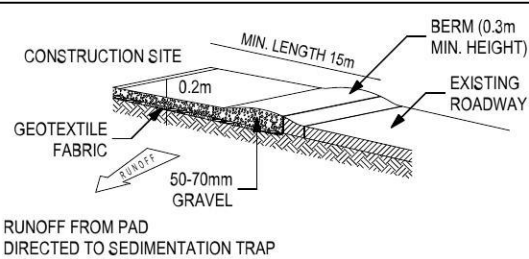
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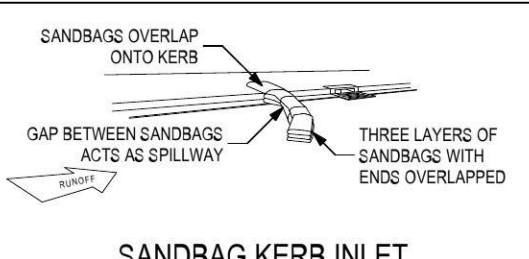
DATE:



SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT



SANDBAG KERB INLET
SEDIMENTATION TRAP

(A) - EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
(C) - EASEMENT TO DRAIN WATER 2 WIDE
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3	AMENDED AS PER PCV007	VP 2016.11.08

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SHEET TITLE: SITE PLAN		SCALES: 1:250
		SHEET No: 2 / 12

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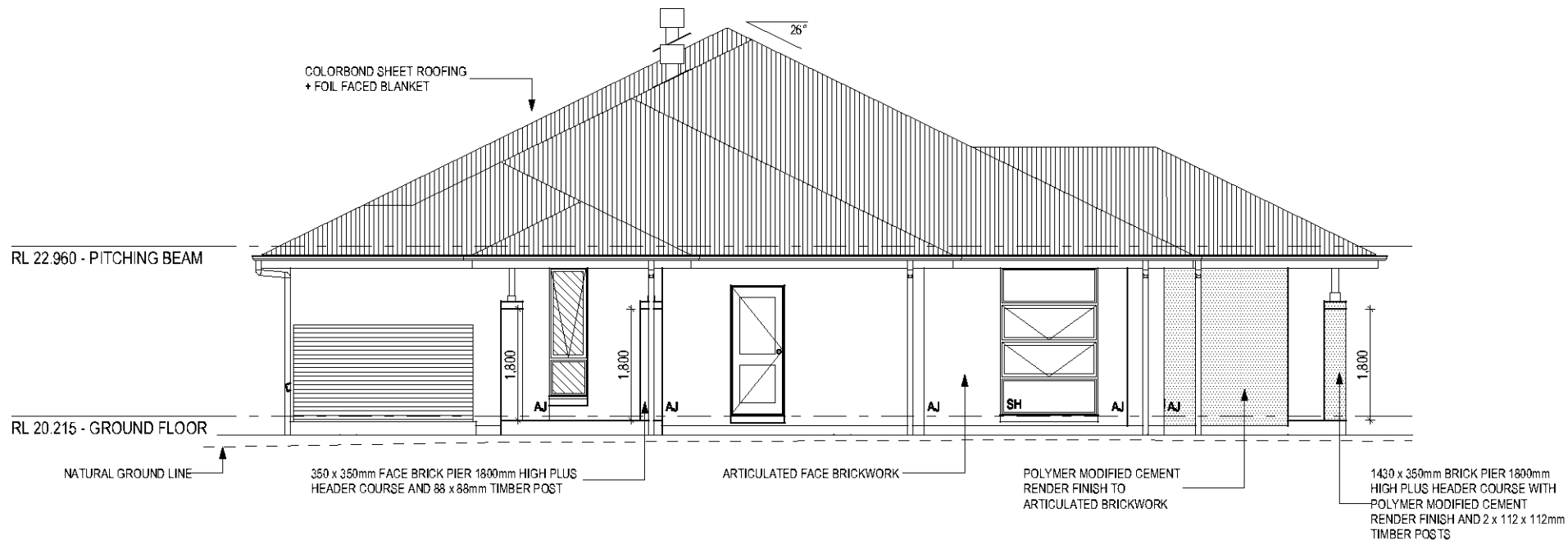
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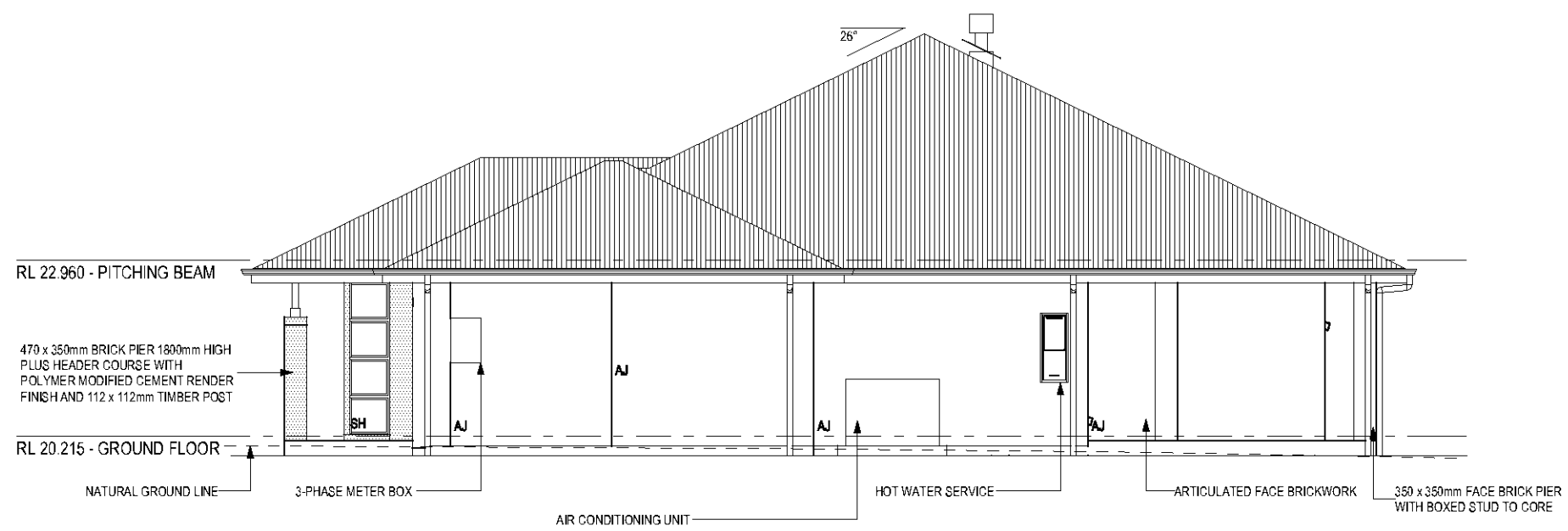
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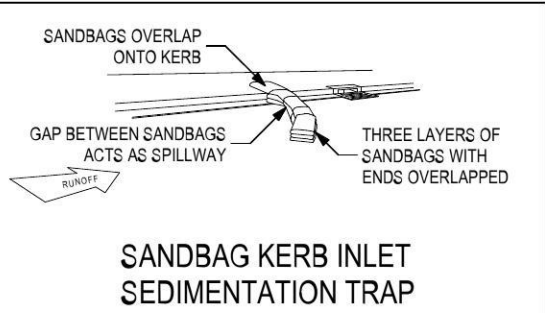
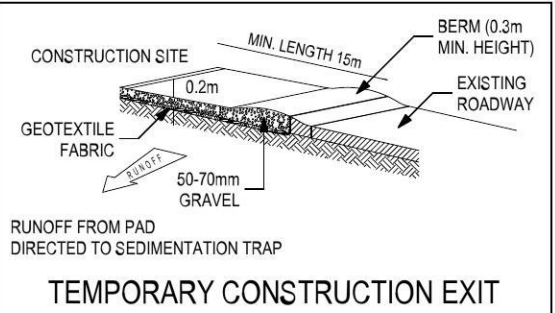
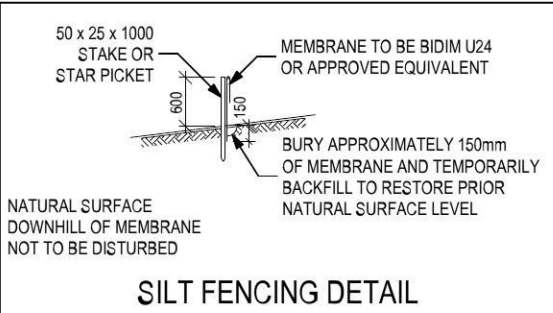
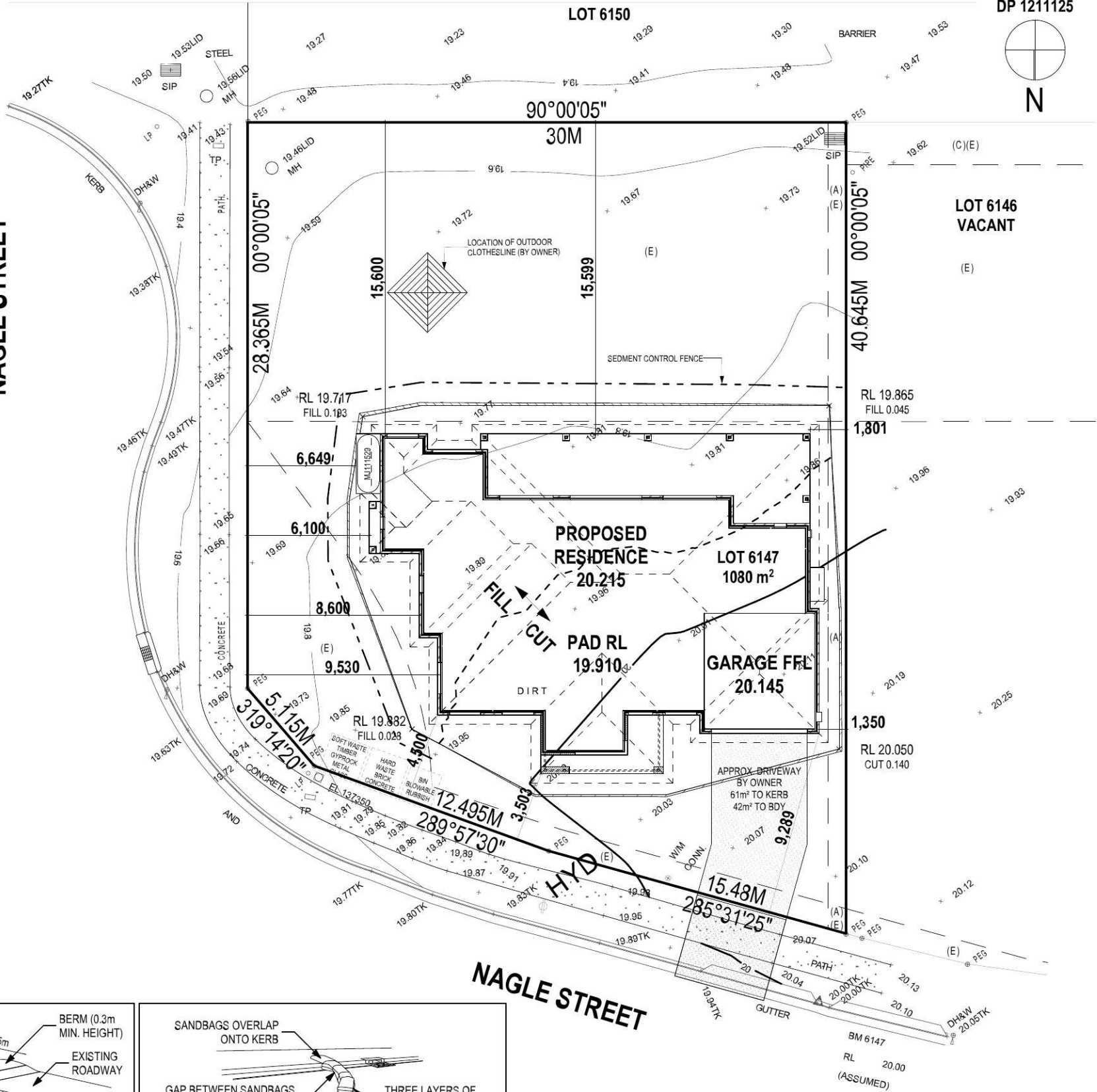
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YOUR HOME. YOUR DREAM

SPECIFICATION:



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	DRAWING	DRAWN
1	CONSOLIDATED TENDER	SVO 2016.09.13
2	CONTRACT PLANS	JCR 2016.10.07
3	AMENDED AS PER PCV007	VP 2016.11.08

CLIENT: Mr. GREG HASTINGS & Mrs. KERRIE HASTINGS		LOT No: 6147
ADDRESS: 46 NAGLE STREET		DP No: 1211125
SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY
		SECTION No: -

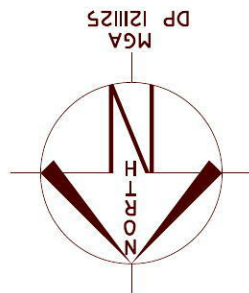
HOUSE DESIGN: LYNDHURST		HOUSE CODE: H-LYNCLAS14400
FACADE DESIGN: CONTEMPORARY		FACADE CODE: F-LYNCTMP01
SHEET TITLE: SITE PLAN		SCALES: 1:250
		SHEET No: 2 / 12

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603287

Template Version: 19.003

N
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H



LOCALITY SKETCH

UBD AREA: SYD REVISION: 49

MAP: 144 REF: H9 Appr

S 33° 42' 55"

GPS E 150° 44' 18"

HOW TO PROTECT SURVEY MARKS BEFORE WORKS COMMENCE

For Details refer to <http://www.lpnsw.gov.au/data/assets/pdf/file/0007169522/19608%20Mark%20Preservation%20Flyer.pdf>
Find out if there are survey marks located in the area of interest by:
1. Viewing the survey mark layer in the Spatial Information Exchange. Six Life web page www.six.nsw.gov.au
2. Contacting Survey Services, LPJ, 1300 052 637 who will advise the location and status of survey marks in the area.
3. Inspecting the site, paying particular attention to survey marks located in the footpath/kerb and gutter.

IF NO SURVEY MARKS ARE AFFECTED COMMENCE WORKS

IF SURVEY MARKS ARE IN THE AREA

The locality sketch plan (Survey Mark Sketches) should be downloaded from the LPJ online Shop <http://shop.lands.nsw.gov.au> see **Specialised Searches**

IF SURVEY MARKS ARE LIKELY TO BE DISTURBED OR DESTROYED

Avoid disturbing or destroying survey marks by:
1. Diverting works to avoid disturbing the marks or
2. Contacting a Registered Surveyor to place and survey a mark at a more suitable site nearby to maintain survey integrity.
Any survey necessary to recover the position of survey marks proposed to be destroyed may only be undertaken by a surveyor registered under the Surveying and Spatial Information Act 2002 or by survey staff authorised by the Surveyor General.

REPORT SURVEY MARKS AT RISK OF BEING DESTROYED

Look for the Survey Mark Status report at http://soms.lpnsw.gov.au/status_report_frames.htm

(A) - EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE

(C) - EASEMENT TO DRAIN WATER 2 WIDE

(E) - POSITIVE COVENANT - ASSET PROTECTION ZONE (APZ)

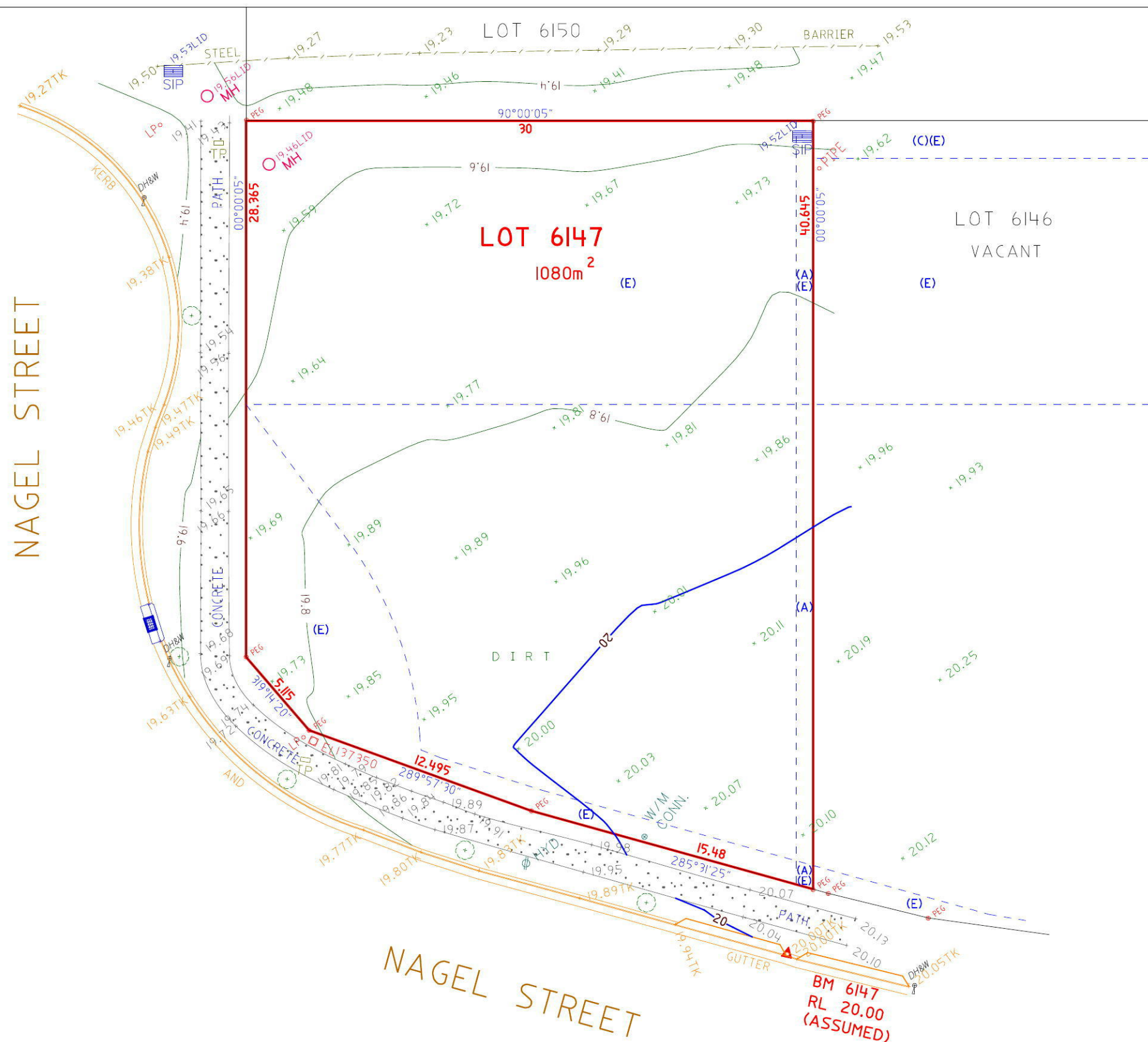


THE BOUNDARY POSITION IS APPROXIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION WORKS.



NAGEL STREET

NAGEL STREET



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COPYRIGHT OF THIS PLAN AND IN THE ACCOMPANYING CAD FILE(S) WHERE APPLICABLE VESTS WITH ASPECT DEVELOPMENT & SURVEY PTY LTD.

THE PLAN AND CAD FILE SHALL ONLY BE USED BY THE ADDRESSED CLIENT FOR THE PURPOSE FOR WHICH THE SURVEY WAS CARRIED OUT.

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES.
- C) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

SYMBOLS & ABBREVIATIONS:

GP	GULLY PIT	-E-	OVERHEAD ELEC LINE
HYD	HYDRANT	-S-	SEWER LINE
SIP	SURFACE INLET PIT	D	GM GAS METER
SIC	SEWER INSPECTION COVER	LP	LIGHT POLE
SMH	SEWER MANHOLE	EC	ELECTRICITY CONDUIT
W/M	WATER METER	ECT	ELEC & TELE CONDUIT
EL	ELECTRICITY BOX	TC	TELECOM CONDUIT
TP	TELECOM PIT	WC	WATER CONDUIT
VC	VEHICLE CROSSING	INV	INVERT
SV	STOP VALVE	KO	KERB OUTLET
SMH	STORMWATER MANHOLE	TK	TOP OF KERB

ASPECT DEVELOPMENT & SURVEY PTY LTD

CONSULTING REGISTERED SURVEYORS

ABN 60 078 649 000

SUITE 1
103 VANESSA STREET
KINGSGROVE NSW 2208
PHONE (02) 9554 8388
FAX (02) 9554 8588

PO BOX 161
KINGSGROVE NSW 1480
DX 11392
HURSTVILLE

PROJECT

OUR REFERENCE	3/1035158/194642
LOT	6147
DATUM ASSUMED	SOURCE
ORIGIN OF LEVELS	BM 6147
SURVEYED VG	DATE 14.06.2016
DRAWN AB	DATE 20.06.2016
SCALE 1: 250	A3 SHEET

CLIENT: McDONALD JONES HOMES

REF: HASTINGS

REF: 603287

ADDRESS: NAGLE STREET

SUBURB JORDAN SPRINGS

SHEET INDEX

No.	NAME
1	COVER SHEET
2	SITE PLAN
3	GROUND FLOOR PLAN
4	DOOR & WINDOW SCHEDULES
5	ELEVATIONS / SECTION
6	ELEVATIONS
7	KITCHEN DETAILS
8	BATHROOM / WC1 DETAILS
9	ENSUITE / WC2 / LAUNDRY DETAILS
10	RECYCLED WATER / FLOOR COVERINGS
11	SLAB PLAN
12	DRAINAGE PLAN



LOCATION MAP



SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS
4 STAR TOILET SUITES
3 STAR KITCHEN TAPS
3 STAR BATHROOM TAPS

357.53 m² TOTAL ROOF AREA

4500 L WATER TANK(S) MINIMUM CAPACITY
322.56 m² MINIMUM ROOF AREA TO TANK(S)

RAINWATER TANK(S) TO BE CONNECTED TO:
- AT LEAST ONE OUTDOOR TAP
- ALL TOILETS
- WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

240 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM
- GAS CONTINUOUS FLOW - 5.5 STAR

HEATING SYSTEM
- 3-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.5 - 4.0

COOLING SYSTEM
- 3-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.0 - 3.5

VENTILATION (EXHAUST FANS)
- AT LEAST ONE BATHROOM:
INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- KITCHEN RANGEHOOD:
INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER
- N/A

NATURAL LIGHTING TO
- KITCHEN
- 3 BATHROOM(S)/TOILET(S)

ALTERNATIVE ENERGY
- N/A

OTHER
- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY OWNER

BUILDING INFORMATION

GROUND FLOOR CEILING HEIGHT(S): 2700mm
FRAMES AND TRUSSES: STEEL
ROOF PITCH (U.N.O.): 26°
ELECTRICITY SUPPLY: 3-PHASE
GAS SUPPLY: RETICULATED NATURAL

ROOF MATERIAL: SHEET METAL
ROOF COLOUR: DARK
ROOF INSULATION: R3.0 BATTS
50mm FOIL FACED BLANKET
WHIRLYBIRDS: 2

WALL MATERIAL: BRICK VENEER
WALL COLOUR: N/A
WALL INSULATION: R2.0 BATTS

FLOOR INSULATION: N/A

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2005

DESIGN CRITERIA

WIND RATING: N2

SITE CLASSIFICATION

SITE CLASSIFICATION IS: M

SLAB CLASSIFICATION

SLAB CLASSIFICATION IS: M

BASIX AREAS

CONDITIONED 172.34
UNCONDITIONED 14.45

TOTAL FLOOR AREAS

ALFRESCO 62.38
GARAGE 35.01
LIVING (GROUND FLOOR) 210.05
PATIO 10.78
318.22 m²

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Reviewed by LENDLEASE
COVENANT MANAGER

Handwritten signature



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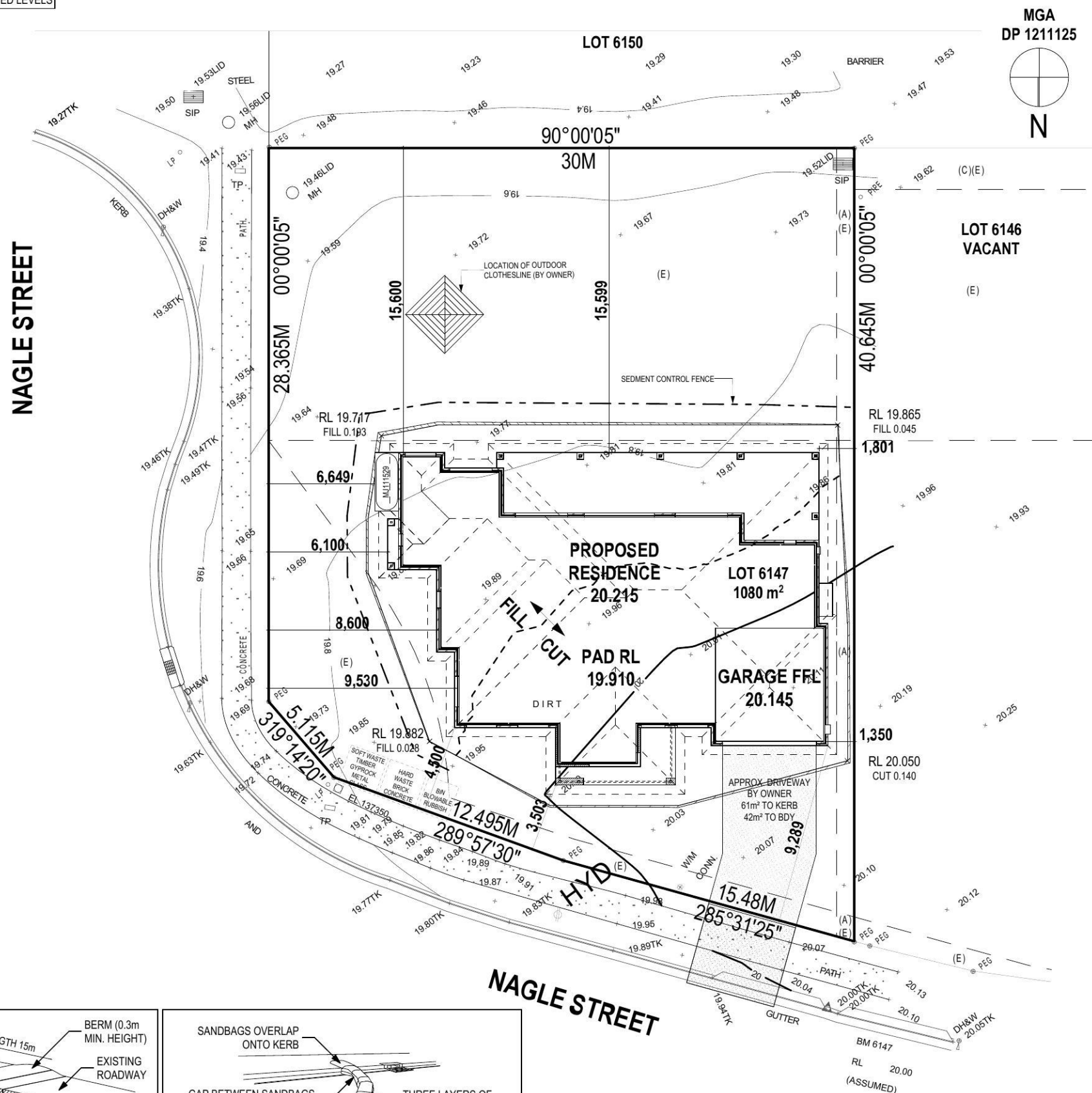
+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.
SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

SITE CO-ORDINATES	
LATITUDE	LONGITUDE
33° 42' 55"S	150° 44' 18" E

STORMWATER LAYOUT IS DIAGRAMMATIC
ONLY AND SUBJECT TO CONTRACTORS
RECOMMENDATIONS AND/OR ANY
CONSTRUCTION CONSTRAINTS. ALL
SURFACE WATER DRAINAGE BY OWNER.

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

WIND CLASSIFICATION	N1
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO

Reviewed by LENDLEASE
COVENANT MANAGER

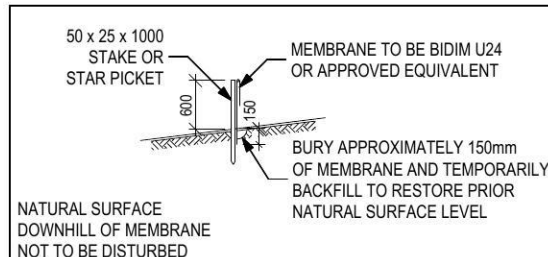
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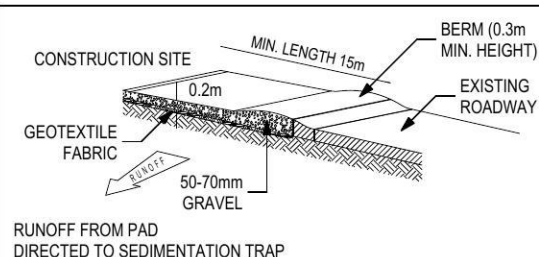
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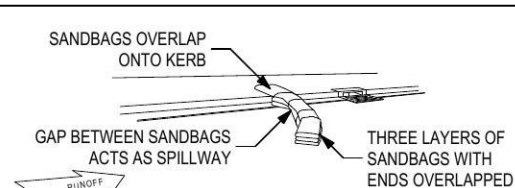
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SILT FENCING DETAIL



TEMPORARY CONSTRUCTION EXIT



SANDBAG KERB INLET SEDIMENTATION TRAP

(A) - EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
(C) - EASEMENT TO DRAIN WATER 2 WIDE
(E) - POSITIVE COVENANT - ASSET PROTECTION ZONE (APZ)



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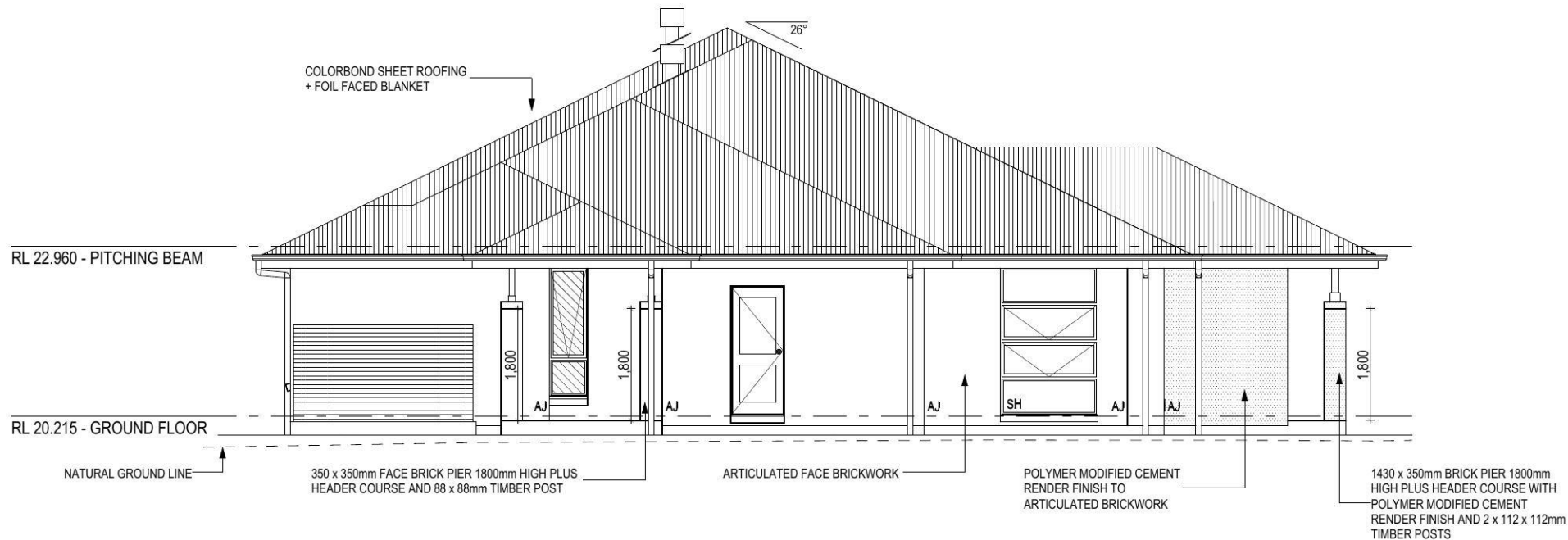
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Version: 1. Version Date: 29/11/2016

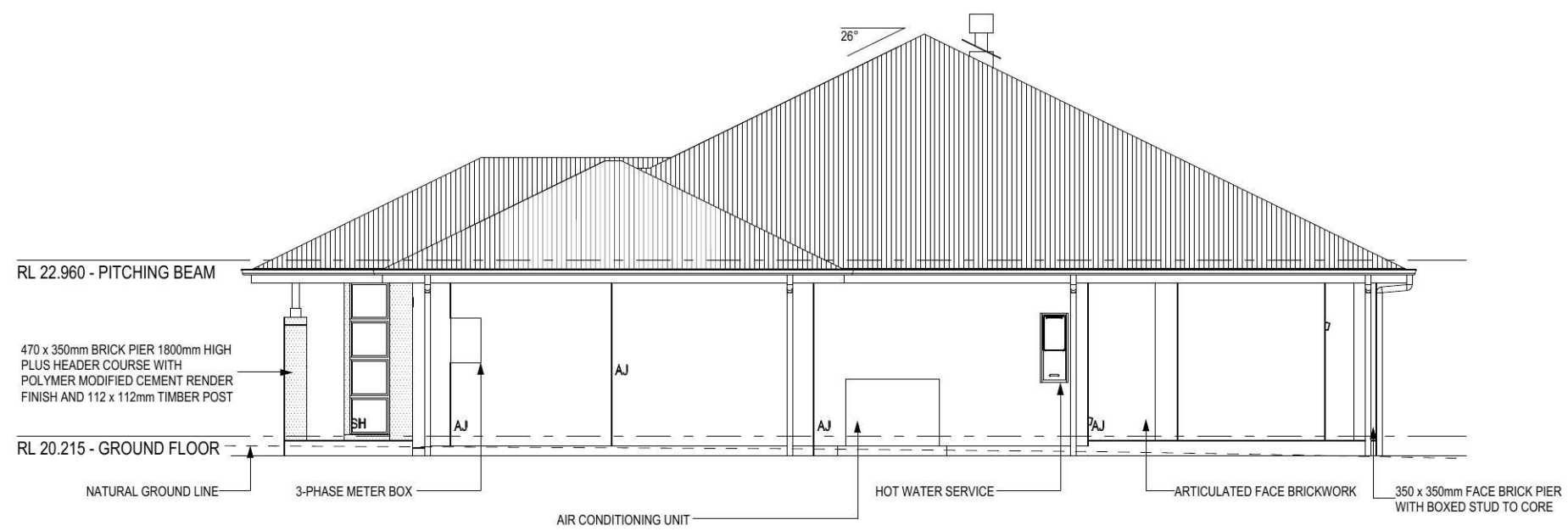
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- BASIS/ABSA REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

SH = SNAP HEADER SILL



LEFT ELEVATION
Scale: 1:100



RIGHT ELEVATION
Scale: 1:100

Reviewed by LENDLEASE
COVENANT MANAGER

WINDOW TYPE LEGEND

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

GLASS TYPE LEGEND

CLEAR	OBSCURE	ACOUSTIC	LOW-E	TONED

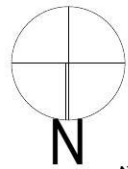
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ALL CUT/FILL BATTERS ARE 1:- MAX GRADIENT



NAGLE STREET



LANDSCAPE SPECIFICATION

SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPEED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANANAGEMENT FACILITY.

TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVTION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINEDWHERE APPLICABLE.

WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER.ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANANAGEMENT FACILITY.

GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVELANT.

LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGARDE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 80MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER' BUFFALO TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. FEFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEESE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SUFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETNETION. WATER THOROUGHLY AFTER PLANTING.

PLANT LIST

TYPE	SYMBOL	BOTANIC NAME	COMMON NAME	MATURE HEIGHT X WIDTH	QTY	POT SIZE
TREES						
	Er	ELAEOCARPUS RETICULATUS	BLUEBERRY ASH	9M X 4M	1	25ltr
	Lsr	JACARANDA MIMOSIFOLIA	JACARANDA	13M X 7M	1	25ltr
SHRUBS						
	Lbr	LEUCOPHYTA BROWNII	CUSHION PLANT	1M X 1M	12	200MM
GROUNDCOVERS & PERENNIALS						
	Hpl	HELICHRYSUM PETIOLARE 'LIMELIGHT'	EVERLASTING	0.45 X 1M	77	200MM
	Zae	ZANTHEDESCHIA AETHIOPICA	ARUM LILY	0.9M X 0.9M	6	200MM
GRASSES & STRAP LEAF PLANTS						
	Lmrp	LIRIOPE MUSCARI 'ROYAL PURPLE'	LILY TURF	0.4M X 0.4M	36	150MM
HEDGES						
	Asam	ACMENA SMITHII 'ALLYN MAGIC'	DWARF LILY PILLY	TRIMMED UP TO 1M	31	300MM
	Saoz	SYZYGIVM AUSTRALE 'ASUSSIE SOUTHERN'	SCRUB CHERRY	TRIMMED UP TO 3M	25	300MM

* 78% Australian natives have been used and meet the minimum required by the developer. A minimum of 50% Australian native plants shall be chosen as well as at least one Australian native tree

STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

GARDEN EDGING

USE EITHER 'HAVEN' BRICK EDGING OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR TREATED TIMBER EDGING SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

RETAINING WALLS


REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY.

COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

Revision Schedule

Issue:	Description:	By:	Date:
A	DA APPROVAL	JS	10/10/15

Drafted: JS	Scale: 1:200 
Sheet: 2 of 4	Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
3. All relevant australian standards are to be adhered to.
4. Any structural items are to be installed as per the manufacturer/engineers specifications.
5. This plan is indicative only and not for construction purposes.

SITE CALCULATIONS		
LOT AREA	1080 sq m	
PAVED AREA TOTAL	49.9 sq m	4.623%
LANDSCAPED AREA TOTAL	706.1 sq m	65.381%



Client: **Mr & Mrs Hastings**

Client Signatures:
1.
2.

Job No. **0297**

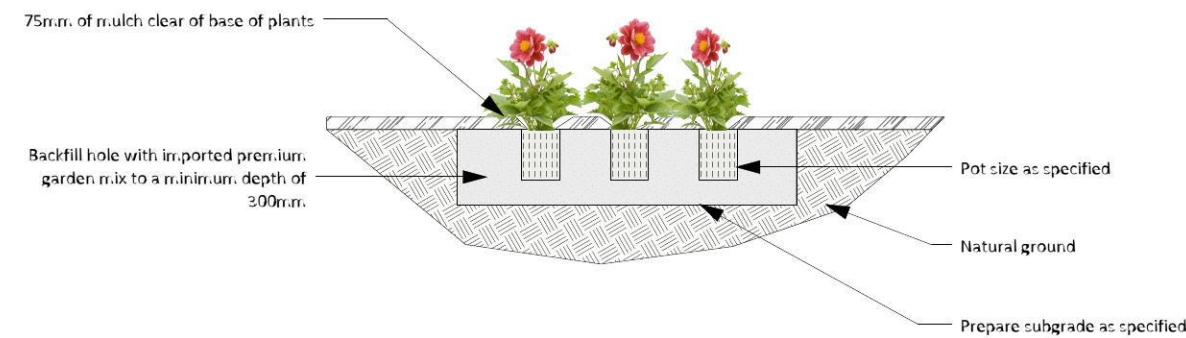
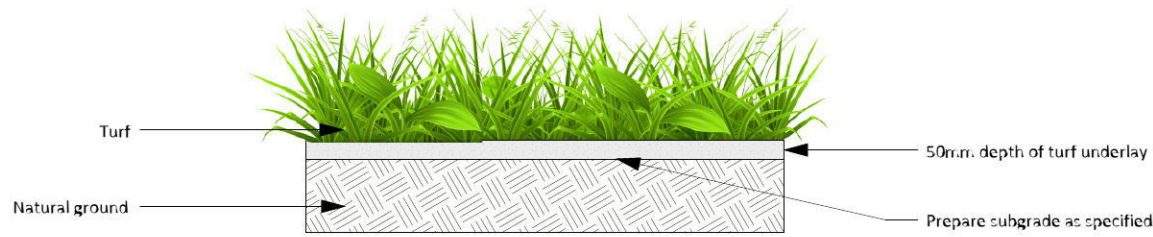
Drawing: **Plant List/Specification**

Address: **46 Nagle Street**
Jordan Springs

Council: **Penrith**



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- DETAILS
1. TURF ROLLS ARE TO BE IN GOOD HEALTH, FREE FROM PESTS AND DISEASES AND WITHOUT HOLES
 2. APPLY WATER SAVING CRYSTALS TO THE GROUND PRIOR TO LAYING
 3. BUT ROLLS CLOSELY TOGETHER TO AVOID GAPS AND DIEBACK
 4. WATER THOROUGHLY AFTER PLANTING AND REGULARLY UNTIL ESTABLISHED

- DETAILS
1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
 2. GENTLY LOOSEN ROOTS IF REQUIRED, PRIOR TO PLANTING
 3. WATER THOROUGHLY AFTER PLANTING
 4. REFER TO PLAN FOR QUANTITIES AND SPACING

TURF LAYING DETAIL

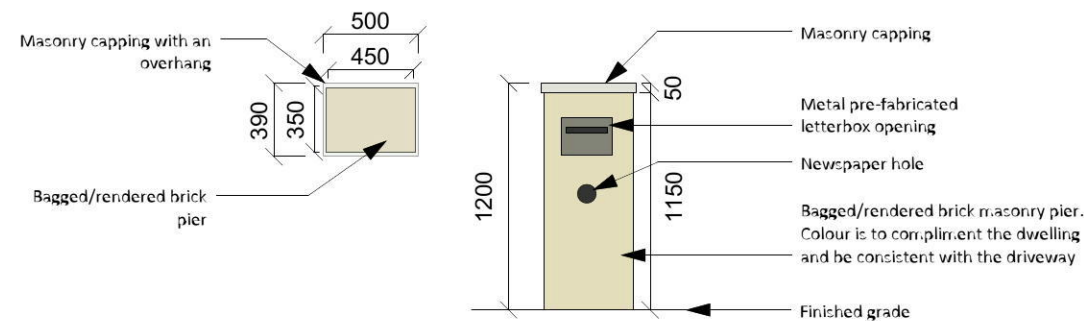
SCALE 1:20

SHRUB & GROUNDCOVER PLANTING DETAIL

SCALE 1:30

TOP VIEW

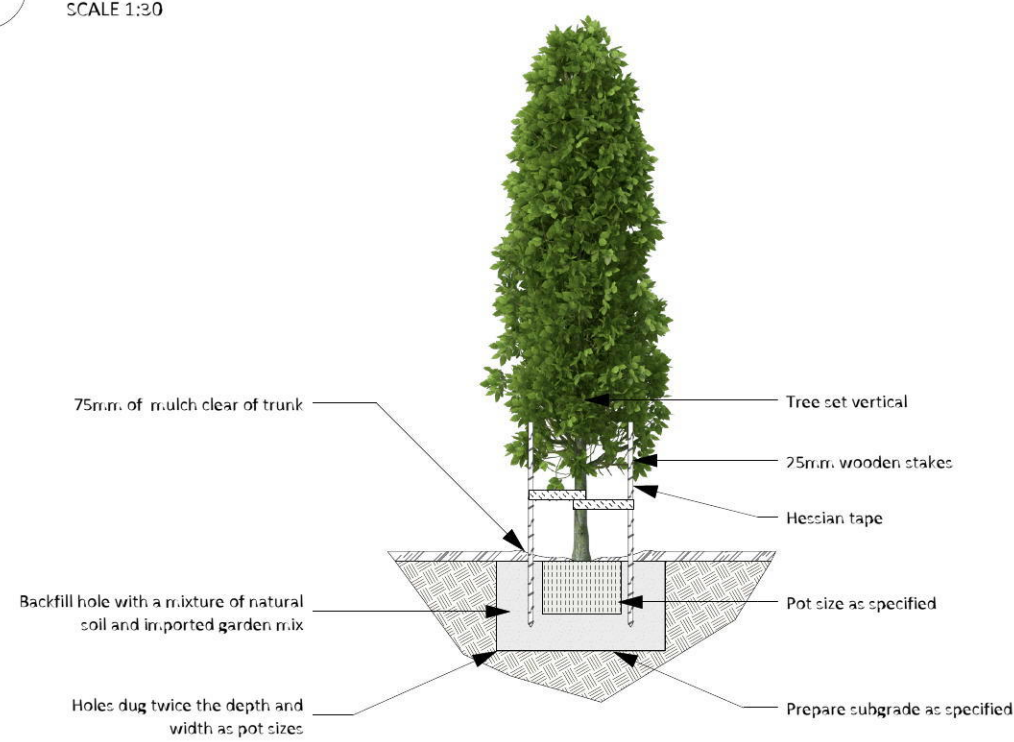
FRONT VIEW



- DETAILS
1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
 2. ENSURE THAT NO CEMENT OR RENDER IS LEFT ON THE BRICKWORK OR LETTERBOX OPENING
 3. BRICK PIER IS TO LEVEL AND STRAIGHT

LETTERBOX DETAIL

SCALE 1:40



- DETAILS
1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
 2. WATER THOROUGHLY AFTER PLANTING

TREE PLANTING DETAIL

SCALE 1:40

Revision Schedule

Issue:	Description:	By:	Date:
A	DA APPROVAL	JS	10/10/16

Drafted: JS

Scale: 1:200

Sheet: 3 of 4

Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

- General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
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 4. Any structural items are to be installed as per the manufacturer/engineers specifications.
 5. This plan is indicative only and not for construction purposes.

SITE CALCULATIONS		
LOT AREA	1080 sq m	
PAVED AREA TOTAL	49.9 sq m	4.623%
LANDSCAPED AREA TOTAL	706.1 sq m	65.381%

Reviewed by LENDLEASE
COVENANT MANAGER

Client: **Mr & Mrs Hastings**

Client Signatures:

- 1.
- 2.

Job No. **0297**

Drawing: **Construction Details**

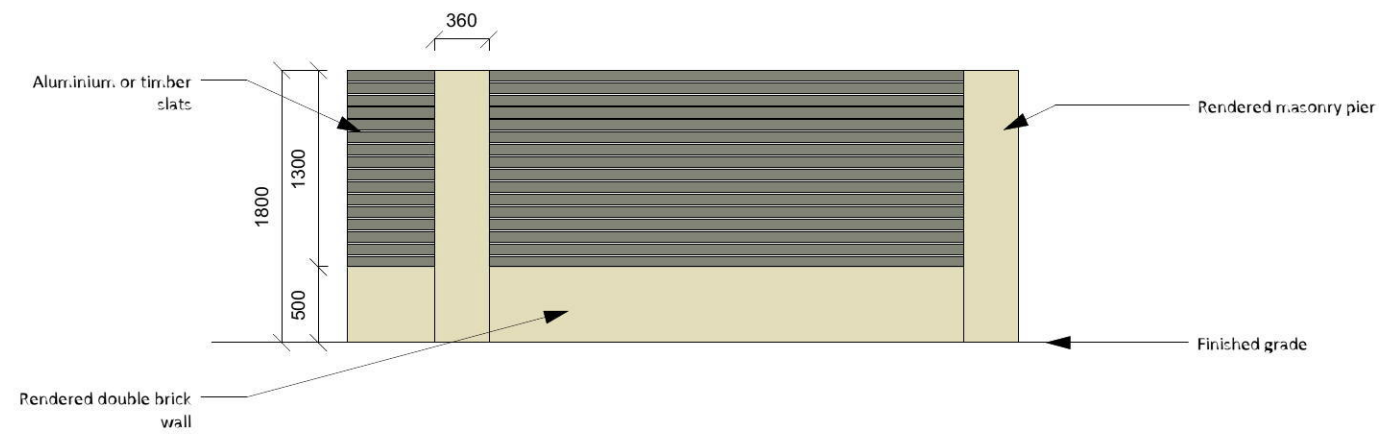
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Jordan Springs

Council: **Penrith**

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Ph: 0437 043 112
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FRONT VIEW



DETAILS

1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
2. RENDER COLOUR IS TO MATCH THE HOUSE RENDERING



SECONDARY STREET FENCING DETAIL

SCALE 1:50

Revision Schedule

Issue:	Description:	By:	Date:
A	DA APPROVAL	JS	10/10/15

Drafted: JS	Scale: 1:200
Sheet:	Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:
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Job No. **0297**

Drawing: **Construction Details**

Address: **46 Nagle Street
Jordan Springs**

Council: **Penrith**

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EXTERNAL COLOUR PALETTE



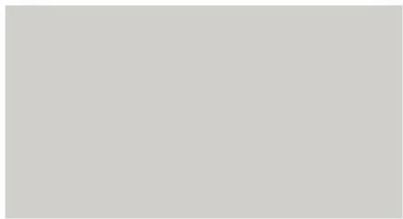
BRICK
Austral Metallix Platinum



ROOF
Colorbond Shale Grev



603287 – Lot 6147 Nagle Street Jordan Springs



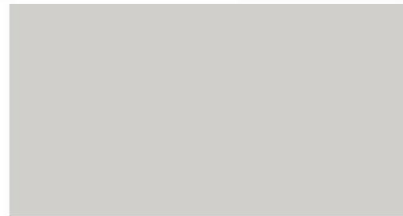
FASCIA
Colorbond Surfmist



GUTTER
Shale Grev



WINDOW
Bradnams



GARAGE
Dynamic Flatline Surfmist

External Colour Photo

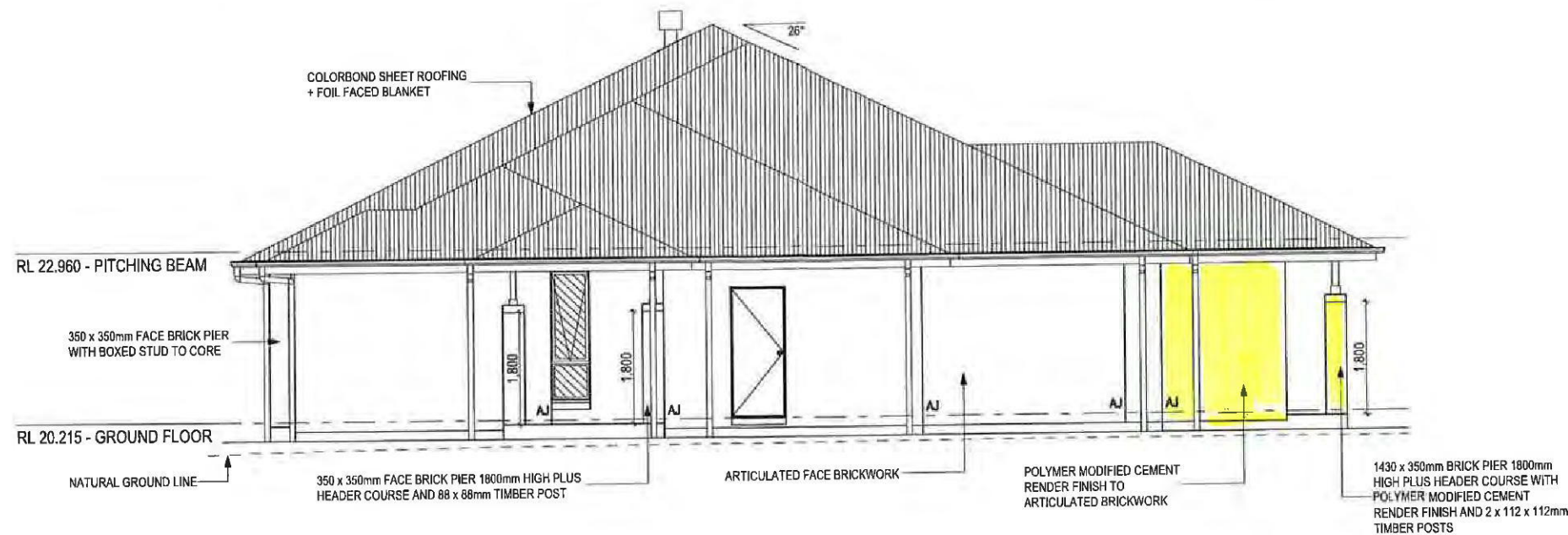
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COVENANT MANAGER

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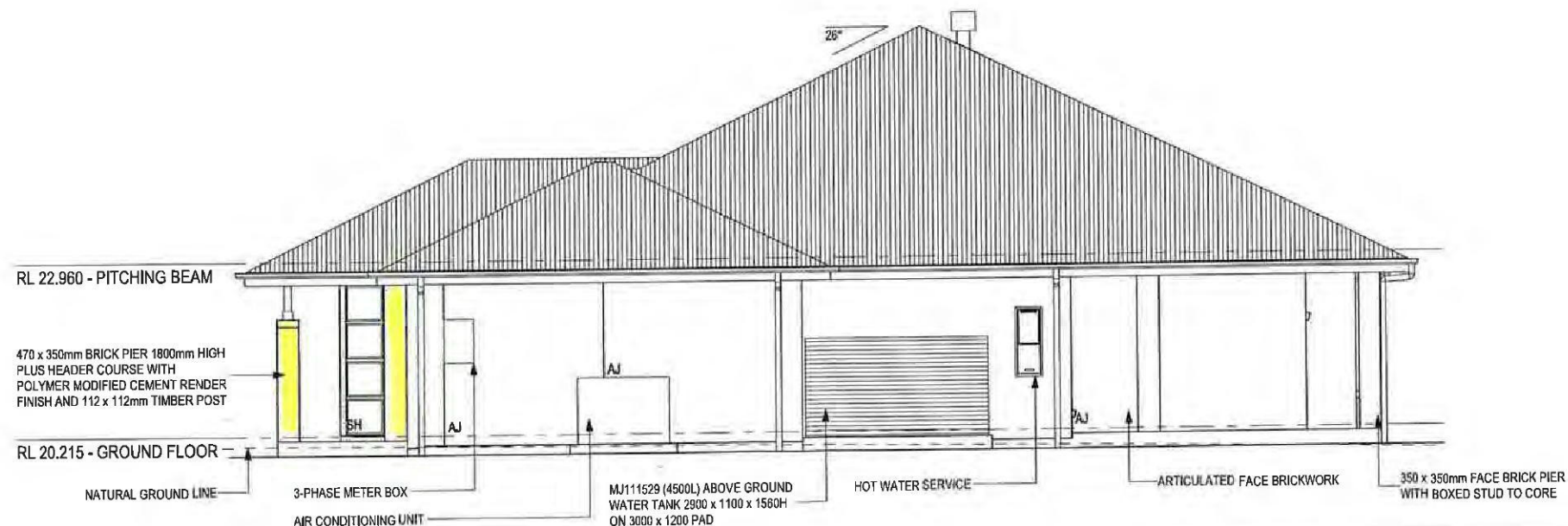
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

SH = SNAP HEADER SILL



LEFT ELEVATION
Scale: 1:100



RIGHT ELEVATION
Scale: 1:100

Reviewed by LENDLEASE
COVENANT MANAGER

Handwritten signature

WINDOW TYPE LEGEND

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

GLASS TYPE LEGEND

CLEAR	OBSCURE	ACOUSTIC	LOW-E	TONED

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE
ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

ALL CUT/FILL BATTERS ARE 1:- MAX GRADIENT



SPECIFICATION:

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DRAWING	DRAWN
1 CONSOLIDATED TENDER	SVO 2016.08.13

CLIENT: Mr. GREG HASTINGS & Mrs. KERRIE HASTINGS	LOT No: 6147
ADDRESS: 46 NAGLE STREET	DP No: 1211125
SUBURB: JORDAN SPRINGS	SECTION No: -
POSTCODE: 2747	COUNCIL: PENRITH CITY

HOUSE DESIGN: LYNDHURST	HOUSE CODE: H-LYNCLAS14400
FACADE DESIGN: CONTEMPORARY	FACADE CODE: F-LYNCTMP01
SHEET TITLE: ELEVATIONS	SCALES: 1:100
	SHEET No: 6 / 12

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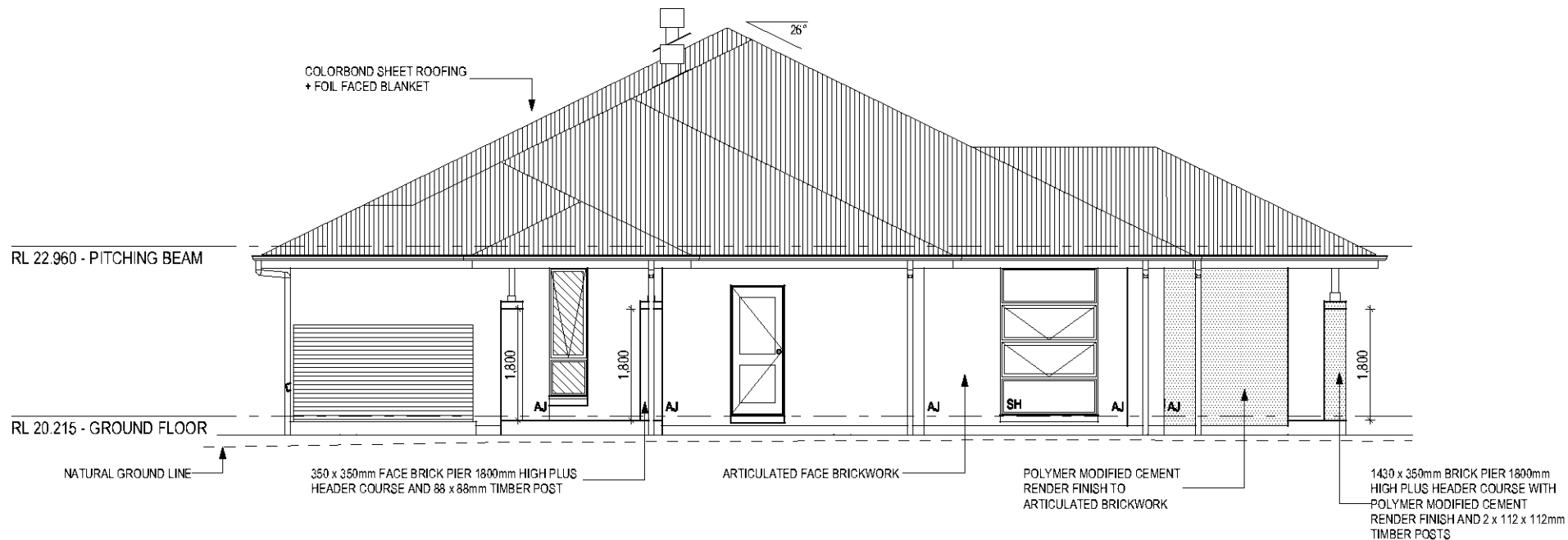
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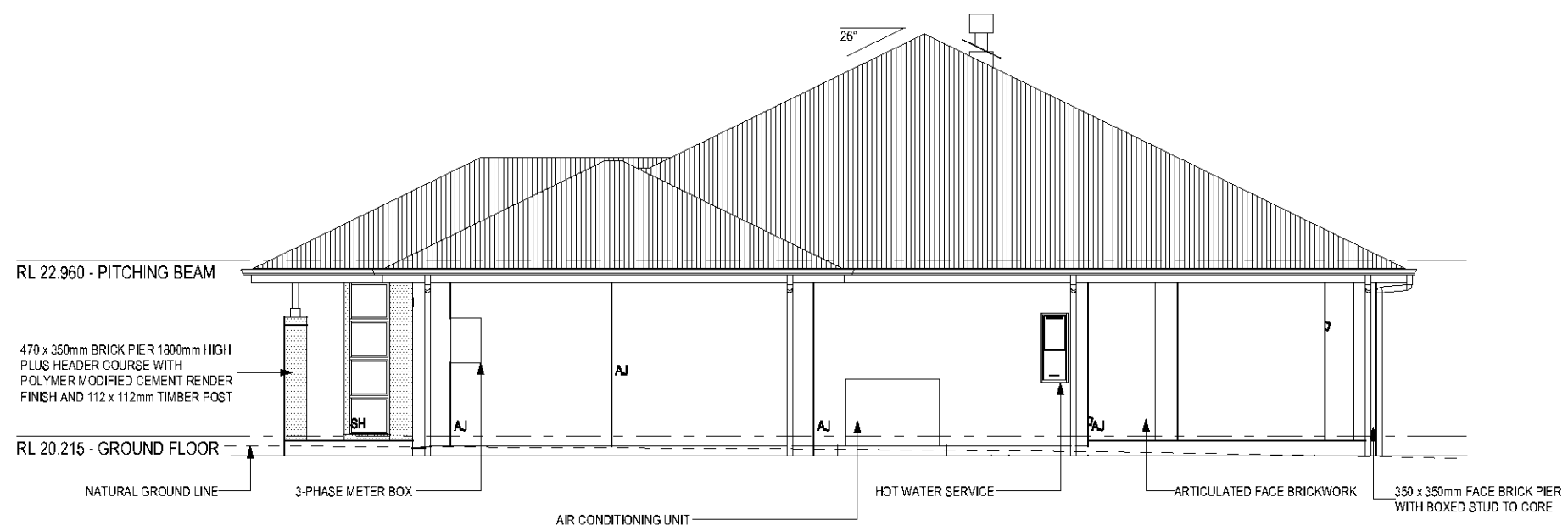
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

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LEFT ELEVATION
Scale: 1:100



RIGHT ELEVATION
Scale: 1:100

WINDOW TYPE LEGEND

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

GLASS TYPE LEGEND

CLEAR	OBSCURE	ACOUSTIC	LOW-E	TONED

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DATE: _____

ALL CUT/FILL BATTERS ARE 1:- MAX GRADIENT

 McDonald Jones YOUR HOME. YOUR DREAM	<p>SPECIFICATION:</p> www.mcdonaldjoneshomes.com.au © 2016	<table border="1"><thead><tr><th>DRAWING</th><th>DRAWN</th></tr></thead><tbody><tr><td>1 CONSOLIDATED TENDER</td><td>SVO 2016.09.13</td></tr><tr><td>2 CONTRACT PLANS</td><td>JCR 2016.10.07</td></tr><tr><td>3 AMENDED AS PER PCV007</td><td>VP 2016.11.08</td></tr></tbody></table>	DRAWING	DRAWN	1 CONSOLIDATED TENDER	SVO 2016.09.13	2 CONTRACT PLANS	JCR 2016.10.07	3 AMENDED AS PER PCV007	VP 2016.11.08	<table border="1"><tr><td colspan="2">CLIENT: Mr. GREG HASTINGS & Mrs. KERRIE HASTINGS</td><td>LOT No: 6147</td></tr><tr><td colspan="2">ADDRESS: 46 NAGLE STREET</td><td>DP No: 1211125</td></tr><tr><td>SUBURB: JORDAN SPRINGS</td><td>POSTCODE: 2747</td><td>COUNCIL: PENRITH CITY</td></tr></table>	CLIENT: Mr. GREG HASTINGS & Mrs. KERRIE HASTINGS		LOT No: 6147	ADDRESS: 46 NAGLE STREET		DP No: 1211125	SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	<table border="1"><tr><td colspan="2">HOUSE DESIGN: LYNDHURST</td><td>HOUSE CODE: H-LYNCLAS14400</td></tr><tr><td colspan="2">FACADE DESIGN: CONTEMPORARY</td><td>FACADE CODE: F-LYNCTMP01</td></tr><tr><td colspan="2">SHEET TITLE: ELEVATIONS</td><td>SCALES: 1:100</td></tr><tr><td colspan="2"></td><td>SHEET No: 6 / 12</td></tr></table>	HOUSE DESIGN: LYNDHURST		HOUSE CODE: H-LYNCLAS14400	FACADE DESIGN: CONTEMPORARY		FACADE CODE: F-LYNCTMP01	SHEET TITLE: ELEVATIONS		SCALES: 1:100			SHEET No: 6 / 12	<p>DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.</p> <p>603287</p>
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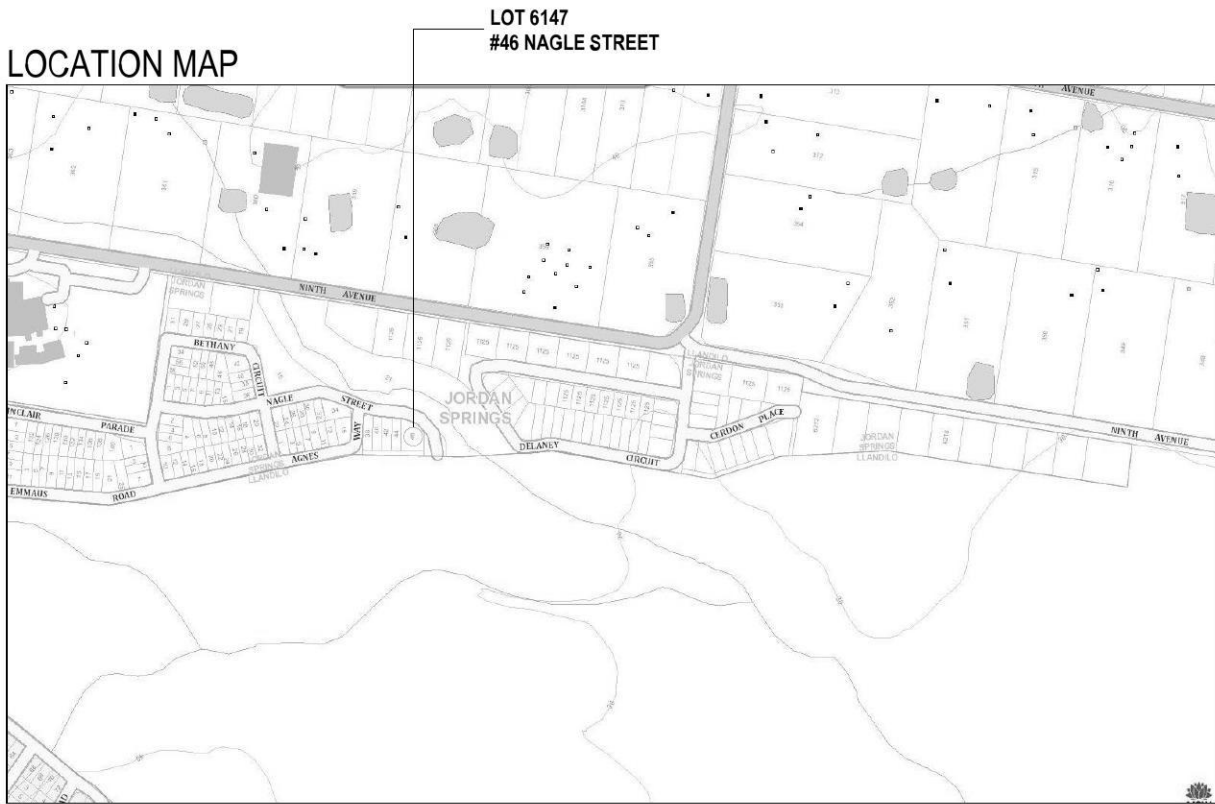
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Version: 1, Version Date: 29/11/2016

SHEET INDEX

No.	NAME
1	COVER SHEET
2	SITE PLAN
3	GROUND FLOOR PLAN
4	DOOR & WINDOW SCHEDULES
5	ELEVATIONS / SECTION
6	ELEVATIONS
7	KITCHEN DETAILS
8	BATHROOM / WC1 DETAILS
9	ENSUITE / WC2 / LAUNDRY DETAILS
10	RECYCLED WATER / FLOOR COVERINGS
11	SLAB PLAN
12	DRAINAGE PLAN



LOCATION MAP



SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS
4 STAR TOILET SUITES
3 STAR KITCHEN TAPS
3 STAR BATHROOM TAPS

357.53 m² TOTAL ROOF AREA

4500 L WATER TANK(S) MINIMUM CAPACITY
322.56 m² MINIMUM ROOF AREA TO TANK(S)

RAINWATER TANK(S) TO BE CONNECTED TO:
- AT LEAST ONE OUTDOOR TAP
- ALL TOILETS
- WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

240 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM
- GAS CONTINUOUS FLOW - 5.5 STAR

HEATING SYSTEM
- 3-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.5 - 4.0

COOLING SYSTEM
- 3-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.0 - 3.5

VENTILATION (EXHAUST FANS)
- AT LEAST ONE BATHROOM:
INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- KITCHEN RANGEHOOD:
INDIVIDUAL FAN - DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER
- N/A

NATURAL LIGHTING TO
- KITCHEN
- 3 BATHROOM(S)/TOILET(S)

ALTERNATIVE ENERGY
- N/A

OTHER
- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY OWNER

BUILDING INFORMATION

GROUND FLOOR CEILING HEIGHT(S): 2700mm
FRAMES AND TRUSSES: STEEL
ROOF PITCH (U.N.O.): 26°
ELECTRICITY SUPPLY: 3-PHASE
GAS SUPPLY: RETICULATED NATURAL

ROOF MATERIAL: SHEET METAL
ROOF COLOUR: DARK
ROOF INSULATION: R3.0 BATTS
50mm FOIL FACED BLANKET
WHIRLYBIRDS: 2

WALL MATERIAL: BRICK VENEER
WALL COLOUR: N/A
WALL INSULATION: R2.0 BATTS

FLOOR INSULATION: N/A

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2005

DESIGN CRITERIA

WIND RATING: N2

SITE CLASSIFICATION

SITE CLASSIFICATION IS: M

SLAB CLASSIFICATION

SLAB CLASSIFICATION IS: M

BASIX AREAS

CONDITIONED 172.34
UNCONDITIONED 14.45

TOTAL FLOOR AREAS

ALFRESCO 62.38
GARAGE 35.01
LIVING (GROUND FLOOR) 210.05
PATIO 10.78
318.22 m²

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1	CONSOLIDATED TENDER	SVO 2016.09.13
2	CONTRACT PLANS	JCR 2016.10.07
3	AMENDED AS PER PCV007	VP 2016.11.08

CLIENT: Mr. GREG HASTINGS & Mrs. KERRIE HASTINGS			LOT No: 6147
ADDRESS: 46 NAGLE STREET			DP No: 1211125
SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH CITY	SECTION No: -

HOUSE DESIGN: LYNDHURST		HOUSE CODE: H-LYNCLAS14400	
FACADE DESIGN: CONTEMPORARY		FACADE CODE: F-LYNCTMP01	
SHEET TITLE: COVER SHEET		SCALES:	SHEET No: 1 / 12

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

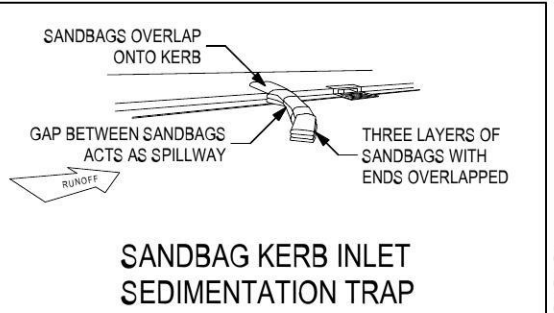
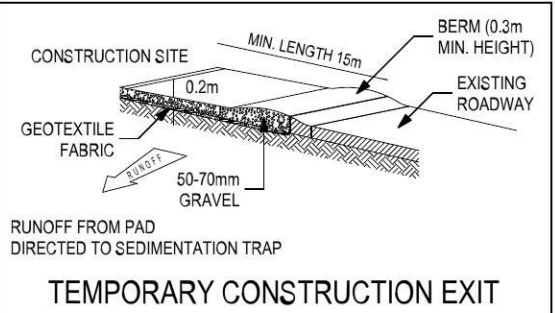
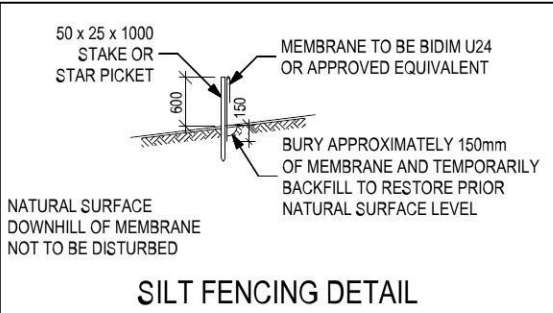
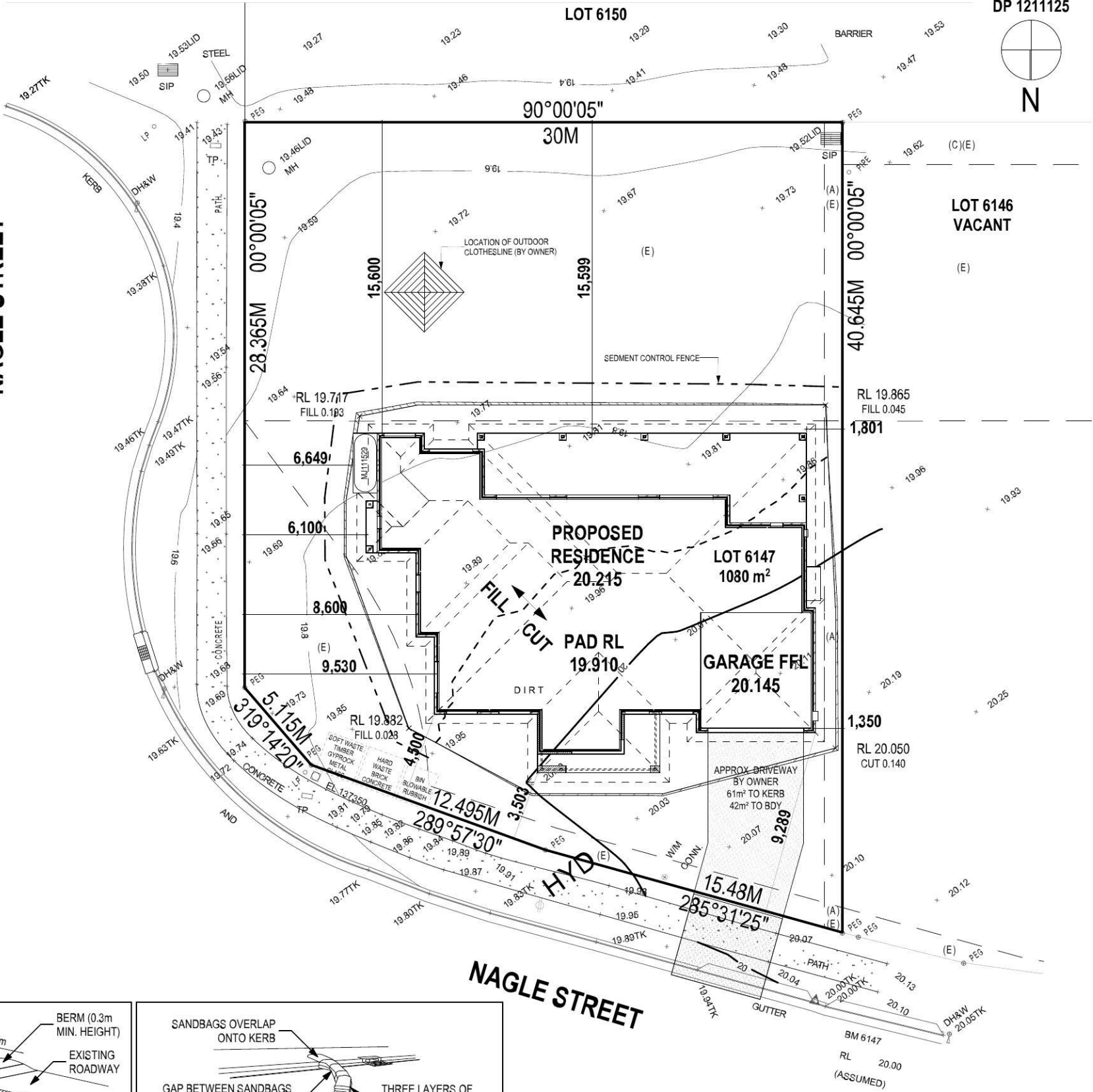
CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

WIND CLASSIFICATION	N1
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	NO

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.
SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

SITE CO-ORDINATES	
LATITUDE	LONGITUDE
33° 42' 55"S	150° 44' 18" E

NAGLE STREET



(A) - EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
(C) - EASEMENT TO DRAIN WATER 2 WIDE
(E) - POSITIVE COVENANT - ASSET PROTECTION ZONE (APZ)

THIS PLAN ACCEPTED BY:

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SIGNATURE:

DATE:



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3	AMENDED AS PER PCV007	VP 2016.11.08

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ADDRESS:		DP No:	
46 NAGLE STREET		1211125	
SUBURB:		SECTION No:	
JORDAN SPRINGS		-	
POSTCODE:	2747	COUNCIL:	PENRITH CITY

HOUSE DESIGN:		HOUSE CODE:	
LYNDHURST		H-LYNCLAS14400	
FACADE DESIGN:		FACADE CODE:	
CONTEMPORARY		F-LYNCTMP01	
SHEET TITLE:		SCALES:	SHEET No:
SITE PLAN		1:250	2 / 12

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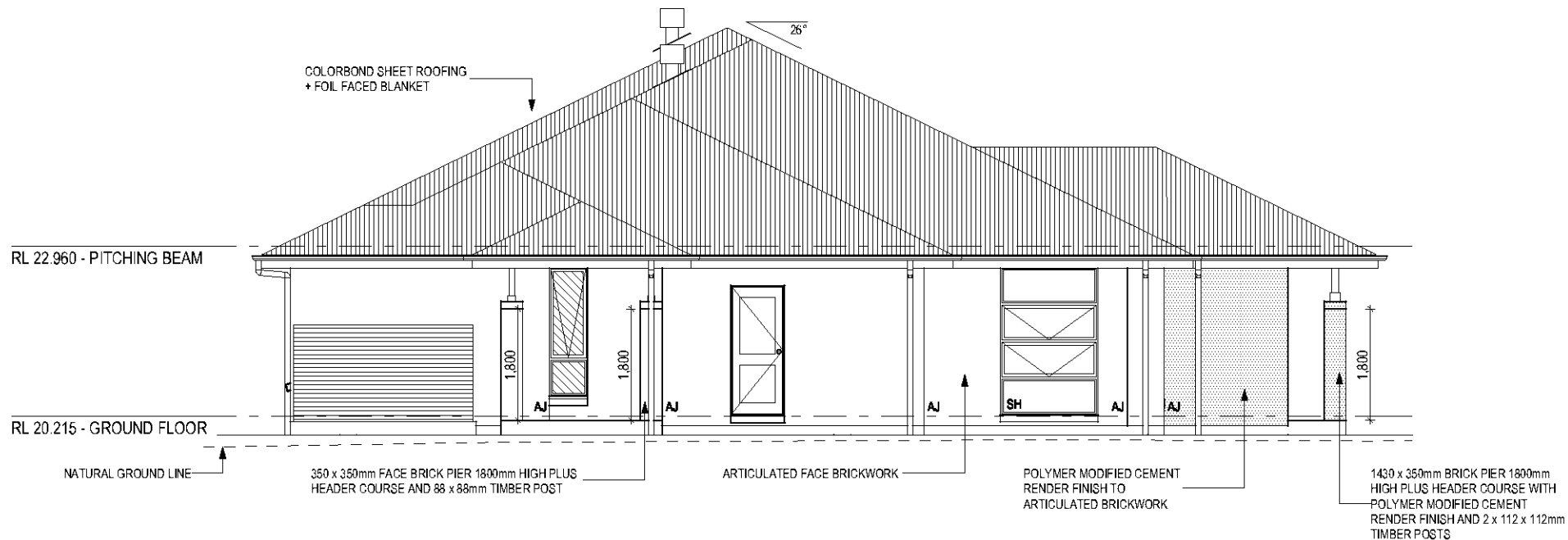
WINDOW SCHEDULE

IDENTIFICATION			SIZE						ORIENT.	REVEAL & REVEAL COVERPLATE (CPL)				ADDITIONAL INFORMATION
ID	CODE	ROOM	HEIGHT	WIDTH	AREA (m)	FRAME	SILL TYPE	GLAZING		HEAD	SILL	LEFT	RIGHT	
W01	F/W/W/F2380x1570	BED 3	2,380	1,570	3.74	ALUMINIUM	SNAP HEADER	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595
W01	F/W/W/F2380x1570	BED 3	2,380	1,570	3.74	ALUMINIUM	SNAP HEADER	CLEAR	E	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595
W02	F/W/W/F2380x1570	BED 2	2,380	1,570	3.74	ALUMINIUM	SNAP HEADER	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595
W03	FF/WF/WF/FF2380x2630	HOME THEATRE	2,380	2,630	6.26	ALUMINIUM	SNAP HEADER	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595, MP 1315/1315/1315/1315, CORNER JOINING, BLADE OVER
W04	F/F/F/F2380x710	HOME THEATRE	2,380	710	1.69	ALUMINIUM	SNAP HEADER	CLEAR	W	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595, CORNER JOINING, BLADE OVER
W05	F/W/W/F2380x1570	STUDY	2,380	1,570	3.74	ALUMINIUM	SNAP HEADER	CLEAR	N	SINGLE	SINGLE	SINGLE	SINGLE	BP 595/595/595
W06	W/F2080x610	WC2	2,080	610	1.27	ALUMINIUM	ANGLED	OBSURE, TOUGHENED	S	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
W07	XO0622	BED 4	600	2,170	1.30	ALUMINIUM	ANGLED	CLEAR	S	SINGLE	SINGLE	SINGLE	SINGLE	
W08	XO1516	BATH	1,460	1,570	2.29	ALUMINIUM	ANGLED	OBSURE, TOUGHENED	S	SINGLE	SINGLE	SINGLE	SINGLE	
W09	W/F2080x610	WC1	2,080	610	1.27	ALUMINIUM	ANGLED	OBSURE, TOUGHENED	E	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
			29.03											
									</					

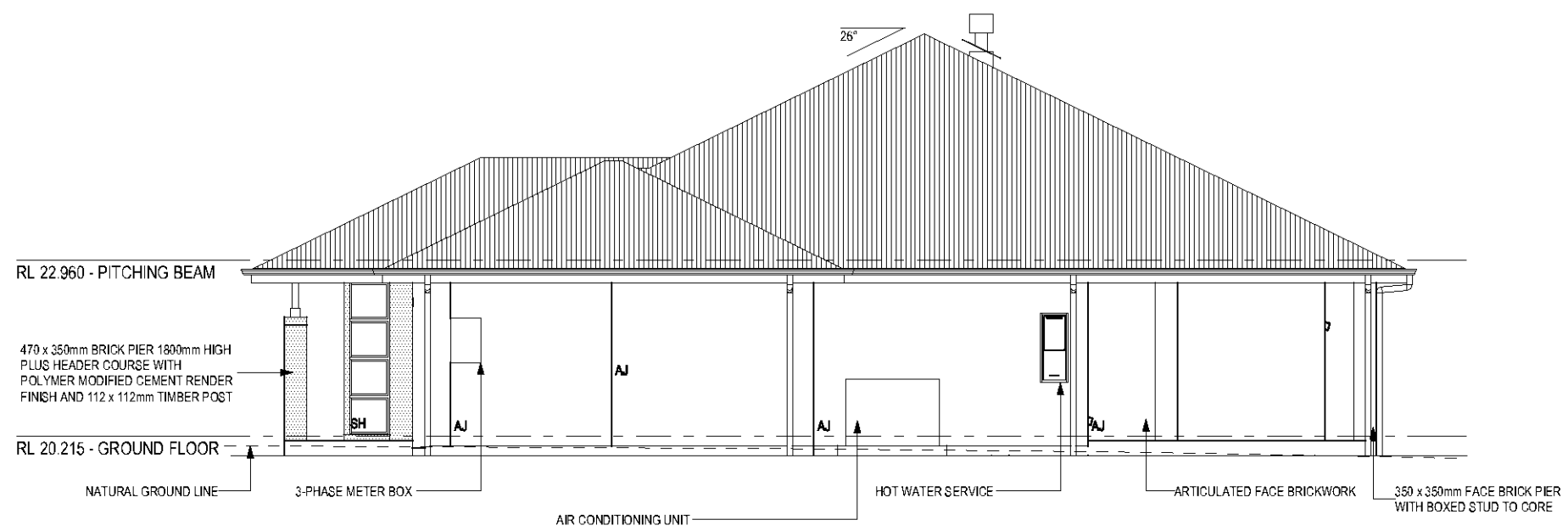
REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

SH = SNAP HEADER SILL



LEFT ELEVATION
Scale: 1:100



RIGHT ELEVATION
Scale: 1:100

WINDOW TYPE LEGEND

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

GLASS TYPE LEGEND

CLEAR	OBSCURE	ACOUSTIC	LOW-E	TONED

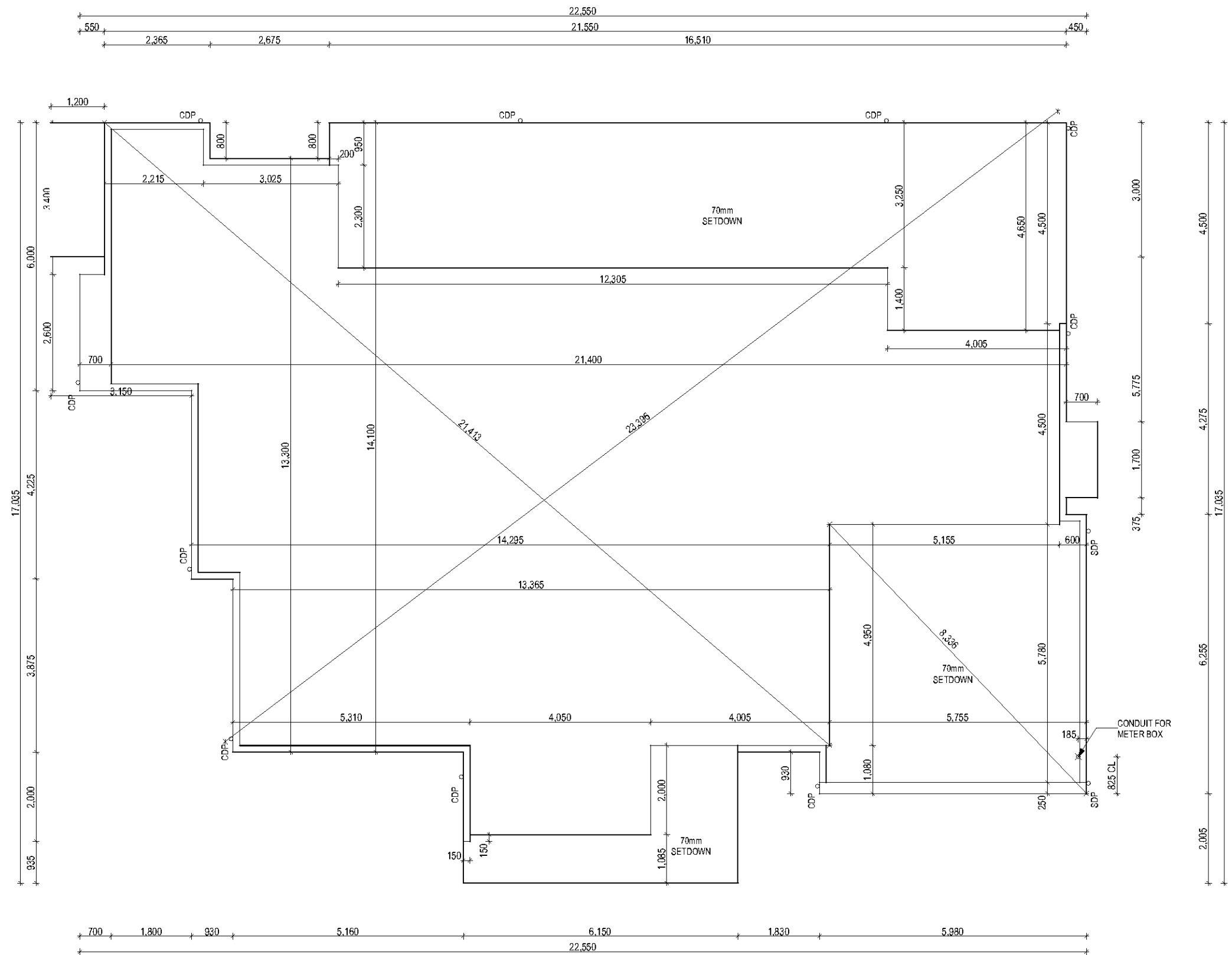
THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

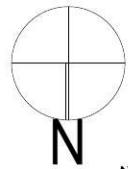
SIGNATURE: _____

DATE: _____

ALL CUT/FILL BATTERS ARE 1:- MAX GRADIENT



SLAB PLAN
Scale: 1:100



NAGLE STREET



Legend

- Colour / Stencil Concrete
- Pebbles / Decorative Gravel Areas
- Planting Areas
- Lawn Areas
- Fencing
- 600mm x 300mm Stepping Stones

1800mm high Lysaght
Smartscreen in Woodland
Grey or equivalent fences to
side and rear boundaries.

Revision Schedule

Issue:	Description:	By:	Date:
A	DA APPROVAL	JS	10/10/16

Drafted: JS	Scale: 1:200
Sheet: 1 of 4	Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
3. All relevant Australian standards are to be adhered to.
4. Any structural items are to be installed as per the manufacturer/engineers specifications.
5. This plan is indicative only and not for construction purposes.

SITE CALCULATIONS			
LOT AREA	1090 sq m		
PAVED AREA TOTAL	49.9 sq m	4.523%	
LANDSCAPED AREA TOTAL	705.1 sq m	65.381%	

Client: **Mr & Mrs Hastings**

Client Signatures:
1.
2.

Job No. **0297**

Drawing: **Landscape Plan**

Address: **46 Nagle Street
Jordan Springs**

Council: **Penrith**

DappleDesigns

Ph: 0437 043 112
www.dappledesigns.com.au

Any existing trees are to be protected
in accordance with councils Tree
Protection Detail

LANDSCAPE SPECIFICATION

SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPEED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANANAGEMENT FACILITY.

TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVTION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINEDWHERE APPLICABLE.

WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER.ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANANAGEMENT FACILITY.

GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVELANT.

LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGARDE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 80MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER' BUFFALO TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. FEFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEESE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SUFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETNETION. WATER THOROUGHLY AFTER PLANTING.

PLANT LIST

TYPE	SYMBOL	BOTANIC NAME	COMMON NAME	MATURE HEIGHT X WIDTH	QTY	POT SIZE
TREES						
	Er	ELAEOCARPUS RETICULATUS	BLUEBERRY ASH	9M X 4M	1	25ltr
	Lsr	JACARANDA MIMOSIFOLIA	JACARANDA	13M X 7M	1	25ltr
SHRUBS						
	Lbr	LEUCOPHYTA BROWNIII	CUSHION PLANT	1M X 1M	12	200M/M
GROUNDCOVERS & PERENNIALS						
	Hpl	HELICHRYSUM PETIOLARE 'LIMELIGHT'	EVERLASTING	0.45 X 1M	77	200M/M
	Zae	ZANTHEDESCHIA AETHIOPICA	AKUM LILY	0.9M X 0.9M	6	200M/M
GRASSES & STRAP LEAF PLANTS						
	Lmrp	LIRIOPE MUSCARI 'ROYAL PURPLE'	LILY TURF	0.4M X 0.4M	36	150M/M
HEDGES						
	Asam	ACMENA SMITHII 'ALLYH MAGIC'	DIWAKE LILY BILLY	TRIMMED UP TO 1M	31	300M/M
	Saaz	SYZYGIUM AUSTRALE 'ASUSSIE SOUTHERN'	SCRUB CHERRY	TRIMMED UP TO 3M	25	300M/M

* 78% Australian natives have been used and meet the minimum required by the developer. A minimum of 50% Australian native plants shall be chosen as well as at least one Australian native tree

STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

GARDEN EDGING

USE EITHER '**HAVEN' BRICK EDGING** OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR '**TREATED TIMBER EDGING** SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

RETAINING WALLS

REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY.

COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

Revision Schedule

Issue:	Description:	By:	Date:
A	DA APPROVAL	JS	10/10/16

Drafted: JS	Scale: 1:200
Sheet: 2 of 4	Reference: LP 01

Designed by:
Julian Saw
Diploma of Horticulture
(Landscape Design)

General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
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SITE CALCULATIONS		
LOT AREA	1090 sq m	
PAVED AREA TOTAL	49.9 sq m	4.523%
LANDSCAPED AREA TOTAL	706.1 sq m	65.381%

Client: **Mr & Mrs Hastings**

Client Signatures:
1.
2.

Job No. **0297**

Drawing: **Plant List/Specification**

Address: **46 Nagle Street**
Jordan Springs

Council: **Penrith**

Ph: 0437 043 112
www.dappledesigns.com.au

Revision Schedule			
Issue:	Description:	By:	Date:
A	DA APPROVAL	JS	10/10/16
Drafted:		Scale: 1:200	
JS			
Sheet:		Reference:	
3 of 4		LP 01	

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SITE CALCULATIONS			
LOT AREA	1080 sq m		
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Client: **Mr & Mrs Hastings**

Client Signatures:
1.
2.

Job No. **0297**

Drawing: **Construction Details**

Address: **46 Nagle Street**
Jordan Springs

Council: **Penrith**

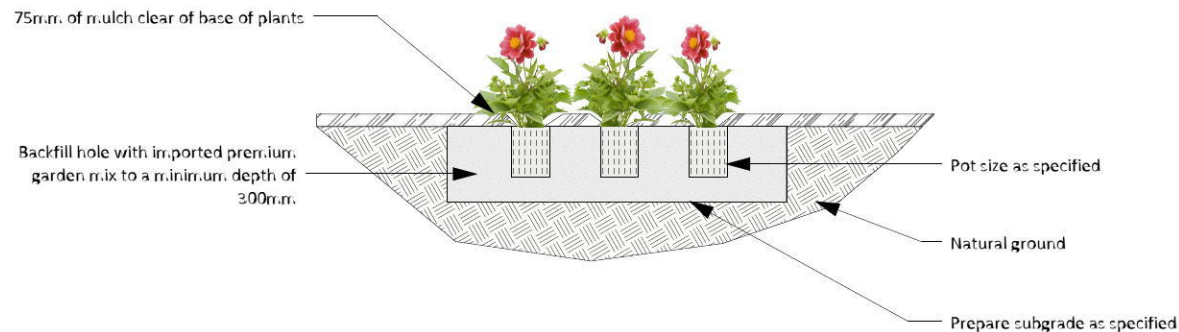
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- DETAILS
1. TURF ROLLS ARE TO BE IN GOOD HEALTH, FREE FROM PESTS AND DISEASES AND WITHOUT HOLES
 2. APPLY WATER SAVING CRYSTALS TO THE GROUND PRIOR TO LAYING
 3. BUT ROLLS CLOSELY TOGETHER TO AVOID GAPS AND DIEBACK
 4. WATER THOROUGHLY AFTER PLANTING AND REGULARLY UNTIL ESTABLISHED

TURF LAYING DETAIL

SCALE 1:20



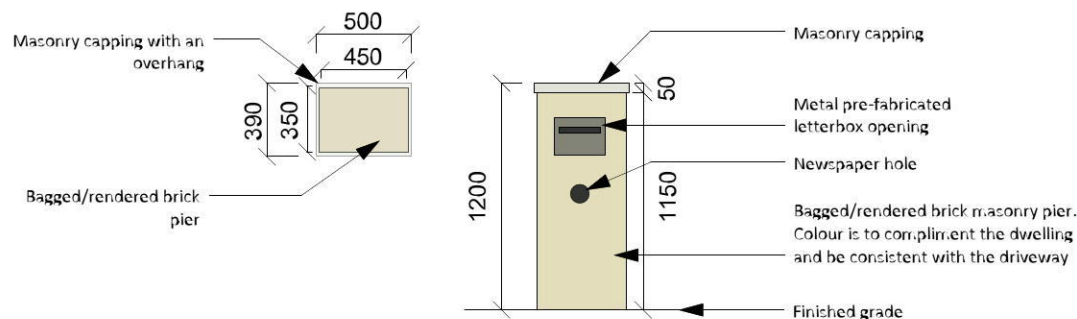
- DETAILS
1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
 2. GENTLY LOOSEN ROOTS IF REQUIRED, PRIOR TO PLANTING
 3. WATER THOROUGHLY AFTER PLANTING
 4. REFER TO PLAN FOR QUANTITIES AND SPACING

SHRUB & GROUNDCOVER PLANTING DETAIL

SCALE 1:30

TOP VIEW

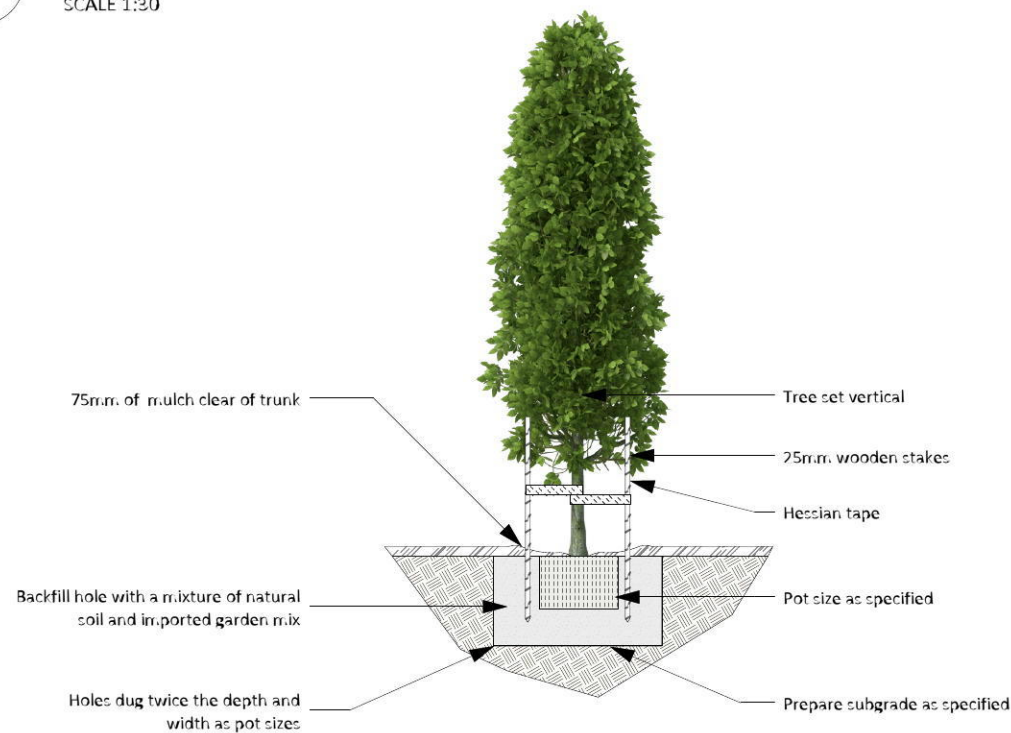
FRONT VIEW



- DETAILS
1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
 2. ENSURE THAT NO CEMENT OR RENDER IS LEFT ON THE BRICKWORK OR LETTERBOX OPENING
 3. BRICK PIER IS TO LEVEL AND STRAIGHT

LETTERBOX DETAIL

SCALE 1:40

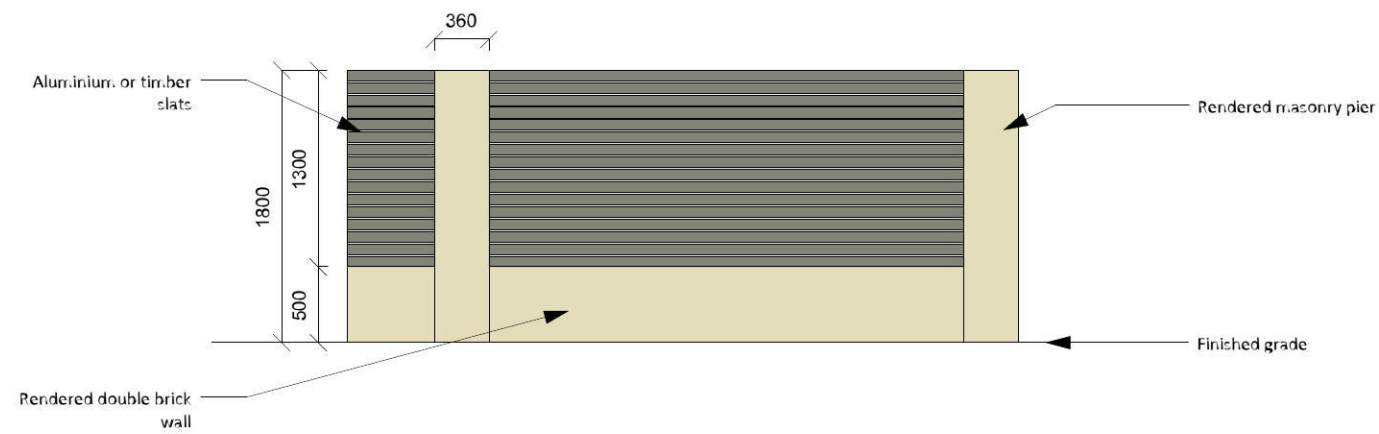


- DETAILS
1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
 2. WATER THOROUGHLY AFTER PLANTING

TREE PLANTING DETAIL

SCALE 1:40

FRONT VIEW



DETAILS

1. COLOUR CHOSEN IS TO COMPLIMENT THE DWELLING
2. RENDER COLOUR IS TO MATCH THE HOUSE RENDERING



SECONDARY STREET FENCING DETAIL

SCALE 1:50

Revision Schedule

Issue:	Description:	By:	Date:
A	DA APPROVAL	JS	10/10/15

Drafted: JS	Scale: 1:200
Sheet:	Reference: LP 01

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