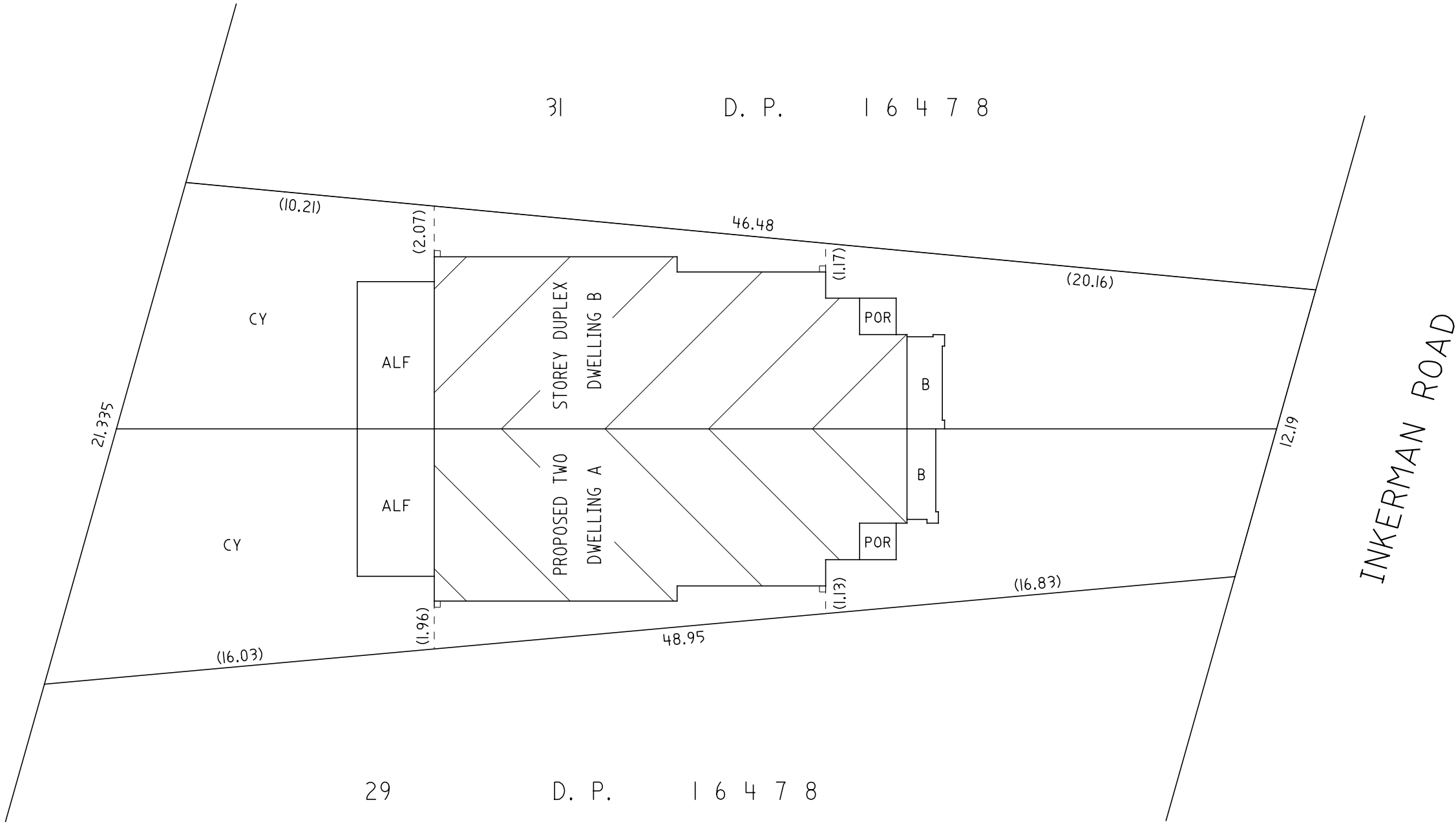


THIS PLAN IS FOR PROPOSED SUBDIVISION PURPOSES ONLY  
AND THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE  
NOT BEEN INVESTIGATED.  
AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY,  
APPROVAL FROM PENRITH COUNCIL AND REGISTRATION  
OF THE FINAL PLAN AT NSW LRS.

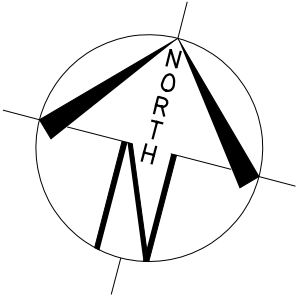
LOCATION PLAN



- └─ DENOTES 90°
- CY DENOTES COURTYARD
- PDR DENOTES PORCH
- ALF DENOTES ALFRESCO
- B DENOTES BALCONY

LOT AND PARCEL BOUNDARIES ARE COINCIDENT

<div>SURVEYOR:</div> <div>Name: PETER NEDELKOVSKI</div> <div>Date: 16 SEPTEMBER 2021</div> <div>Reference: 1056257</div>	<div>PLAN OF PROPOSED SUBDIVISION OF LOT 30 DP 16478</div>	<div>LGA: PENRITH</div> <div>Locality: EMU HEIGHTS</div> <div>Reduction Ratio: 1:200</div> <div>Lengths are in metres.</div>	<div>REGISTERED</div>	
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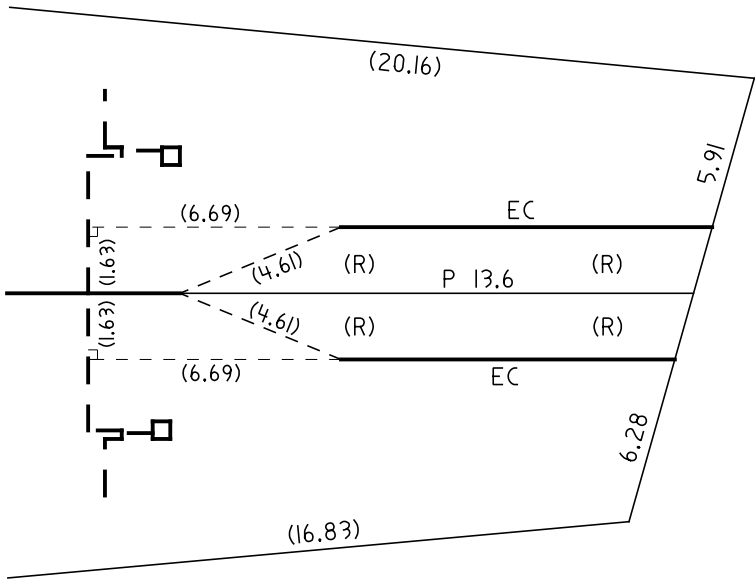
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FLOOR PLAN

DIAGRAM

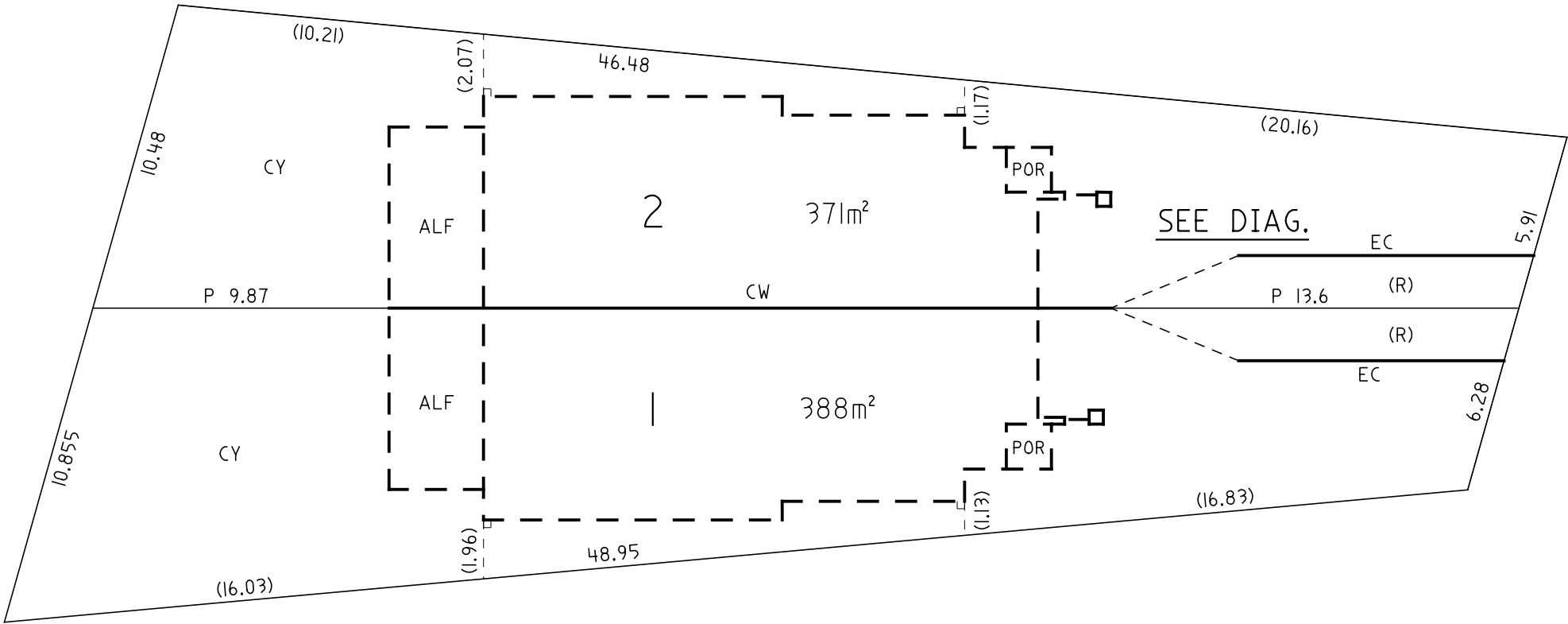
EASEMENT DETAILS

(R) RIGHT OF CARRIAGEWAY VARIABLE WIDTH



- DENOTES 90°
- CY DENOTES COURTYARD
- POR DENOTES PORCH
- ALF DENOTES ALFRESCO
- CW DENOTES COMMON WALL IS COMMON PROPERTY
- P DENOTES PROLONGATION OF CENTRE LINE OF COMMON WALL
- EC DENOTES EDGE OF CONCRETE

- NOTES:
- THE WHOLE OF THE STRUCTURE OF THE BUILDING STANDING ON EACH LOT, INCLUDING WALLS, FLOORS, CEILINGS AND ROOFS, EAVE & GUTTERING, GARAGE DOORS, PORCHES AND ALFRESCO AREAS FORMS PART OF THAT LOT AND IS NOT COMMON PROPERTY EXCLUDING THE COMMON WALL AND ANY COMMON SERVICE LINES
  - EACH LOT IS LIMITED IN STRATUM FROM 10 METRES BELOW TO 20 METRES ABOVE THE UPPER SURFACE OF THE GARAGE FLOOR SLAB OF THEIR RESPECTIVE DWELLINGS
  - ANY SERVICE LINE WITHIN ONE LOT SERVICING ANOTHER LOT IS COMMON PROPERTY
  - ALL AREAS ARE APPROXIMATE ONLY



SURVEYOR: Name: PETER NEDELKOVSKI Date: 16 SEPTEMBER 2021 Reference: I056257	PLAN OF PROPOSED SUBDIVISION OF LOT 30 DP 16478	LGA: PENRITH Locality: EMU HEIGHTS Reduction Ratio: 1:200 Lengths are in metres.	REGISTERED	
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