

CENTRE BASED CHILDCARE

HomeCo

72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)

BCA REQUIREMENTS: ARCHITECTURAL REQ. FOR CONSTRUCTION CERTIFICATE

C1 FIRE RESISTING CONSTRUCTION: ALL ELEMENTS OF CONSTRUCTION TO COMPLY WITH SPECIFICATION C1.1
C1.1 FIRE HAZARD PROPERTIES: MATERIALS UTILISED TO COMPLY WITH SPECIFICATION C1.1 OR FIRE HAZARD PROPERTIES OF FINISHES
FLOOR MATERIALS: NON-SPRINKLER PROTECTED AREAS: A CRITICAL RADIANT HEAT FLUX ≥ 2.2 W/M² WALLS AND CEILINGS: NON-SPRINKLER PROTECTED AREAS MUST BE A GROUP 1, 2 OR 3 USED IN ACCORDANCE WITH TABLE 2 OF SPEC. C1.15b AND HAVE A SMOKE GROWTH RATE INDEX OF > 100 OR AN AVERAGE SPECIFIC EXTINCTION AREA OF > 0.027
C2.5 VERTICAL SEPARATION OF OPENINGS IN EXTERNAL WALLS: SPANDREL SEPARATION TO BE PROVIDED IN ACCORDANCE WITH CL. 2.6 OF TECH. B.C.A. SPANDRILS WITH FRL OF 60MIN PROJECTING 150mm HORIZONTALLY & 650mm ALONG WALL. BEYOND THE OPENING, OR VERTICALLY 900mm.
C3.4 ACCEPTABLE METHODS OF PROTECTION: OPENINGS LOCATED WITHIN 3m OF A FIRE SOURCE FEATURE ARE TO BE PROTECTED IN ACCORDANCE WITH C3.4
C3.5 OPENINGS FOR SERVICE INSTALLATIONS: SERVICE PENETRATIONS THROUGH FIRE RATED FLOOR STRUCTURES TO COMPLY WITH C.3.5
D.1.2 NUMBER OF EXITS REQUIRED:
(i) ALL BUILDINGS MUST HAVE AT LEAST ONE EXIT FROM EACH STOREY
(ii) BASEMENTS SHALL HAVE NO LESS THAN 2 EXITS IF EGRESS FROM THAT STOREY INVOLVES A VERTICAL RISE WITHIN THE BUILDING OF MORE THAN 1.5m UNLESS:
(i) THE FLOOR AREA OF THE STOREY IS NOT MORE THAN 50m² AND
(ii) THE DISTANCE OF TRAVEL FROM ANY POINT ON THE FLOOR TO A SINGLE EXIT IS NOT MORE THAN 20m
D.1.3 WHEN FIRE ISOLATED STAIRWAYS AND RAMPS ARE REQUIRED:
(i) IN EVERY FIRE ISOLATED STAIR OR RAMP SERVICE AS A REQUIRED EXIT MUST BE FIRE ISOLATED D1.10 DISCHARGE FROM EXITS IF AN EXIT DISCHARGES TO AN OPEN SPACE THAT IS AT A DIFFERENT LEVEL THAN THE BUILDING TO WHICH IS CONNECTED. THE PATH OF TRAVEL TO THE ROAD MUST BE BY OTHER MEANS HAVING A GRADIENT NOT STEEPER THAN 1:4 AS REQUIRED BY D.11
(ii) A RAMP OR OTHER MEANS HAVING A GRADIENT NOT STEEPER THAN 1:4 AS REQUIRED BY D.11
D.2.1 INSTALLATION IN EXITS AND PATHS OF TRAVEL: DISTRIBUTION ON SWITCHBOARDS LOCATED WITHIN PATH OF TRAVEL TO BE ENCLOSED WITH NON-COMBUSTIBLE CONSTRUCTION OR A FIRE PROTECTIVE COVERING AND THE ACCESS DOOR IS TO BE SEALED AGAINST SMOKE SPREAD
D.2.1.3 DOORS AND RISERS: STAIRS AND LANDINGS TO BE CONSTRUCTED IN ACCORDANCE WITH CL D.2.1.3 AND D.2.14
D.2.1.4 RISER TREAD AND RISER CONFIGURATION: LANDING DIM. AND SLOPE: NON-SLIP FINISH OR NON-SKID STRIP NEAR EDGE OF RISERS WITH ADDITIONAL PROVISIONS REGARDING CL. D.2.1.3
D.2.1.5 THRESHOLDS: DOOR THRESHOLDS TO BE CONSTRUCTED IN ACCORDANCE WITH CL. D.2.1.6 INCL. MIN HEIGHT: OPENING DIMENSIONS: HORIZONTAL ELEMENT RESTRICTIONS: PROVIDE BALUSTRADES NEAR PERMANENT FIXTURES ADJACENT TO BALCONY BALUSTRADES TO COMPLY WITH INTENT OF AS 1591 WITH REGARD TO CLIMBABLE ZONES.

GENERAL SPECIFICATION

DO NOT SCALE DRAWINGS: USE WRITTEN DIMENSIONS ONLY
THE BUILDER OR SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK OR THE SOIL, CONSERVATION OF SOIL AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S. CODES (CURRENT EDITIONS) BUILDING REGULATIONS, LOCAL BY-LAWS AND DEVELOPMENT CONSENT REQUIREMENTS. REFER ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION
ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:
A.S. 1289 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
A.S. 1682 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
A.S. 1884 NATIONAL TIMBER FRAMING CODE
A.S. 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION
A.S. 2049 (PT 1) RESIDENTIAL SLABS AND FOOTINGS
A.S. 2044 DAMP-PROOF COURSES AND FLASHINGS
A.S. 3000 CONCRETE STRUCTURES
A.S. 3661 CODE OF PRACTICE FOR PHYSICAL BARRIERS USED IN THE PROTECTION OF BUILDINGS AGAINST SUBTERRANEAN TERMITES
A.S. 3708 MASONRY IN BUILDINGS
A.S. 3740 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
A.S. 3798 SMOKE ALARMS
A.S. 4685 FIBRO CEILING FOR HOUSING
A.S. 4930 STEEL STRUCTURES

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREAS WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

KITCHEN - GENERAL NOTES

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS
ALL TIMBER FRAME MEMBERS TO BE IN ACCORDANCE WITH A.S. 1684 AND RESPONSIBILITY WILL BE TAKEN FOR TRANSCRIBED INFORMATION
WHERE THE BUILDING (OTHER THAN CLASS 10A) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH A.S. 3661 OR CLAUSE 3.1.3 OF THE HOUSING PROVISIONS OF THE BCA FOR CONC. SLAB ON GROUND
WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZES WILL VARY ACCORDING TO MANUFACTURER. EXTERNAL WINDOWS TO BE FLASHED AND SEALED
ALL WINDOW OPENINGS ARE TO BE MEASURED ON SITE PRIOR TO MANUFACTURE
STORMWATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY
SEWER SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES' REQUIREMENTS
FOOTINGS NOT TO ENCRATCH TITLE BOUNDARIES AND EASEMENT LINES
ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES AND STEEL ANTENNAE ETC. THAT ARE IMBEDDED OR FIXED TO MASONRY BE PROTECTED IN ACCORDANCE WITH A.S. 1602 OR A.S. 3700 1988 TABLE 200. NOT DIPPED GALV., STS/STEL OR CADMIUM COATED
ALL WET AREAS TO COMPLY WITH BCA 3.9.1.2 (OF VOL 2) OR A.S. 3740-1988 FINISHES SHALL BE IMPROVED TO A MIN HEIGHT OF 1800MM ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 1500MM ABOVE BATHING, BIDDING SINKS AND TROUGH'S IF WITHIN 25MM OF THE WALL UNLESS NOTED OTHERWISE
PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600MM CRS IN EACH DIRECTION AND WITHIN 300MM OF ARTICULATION JOINTS, SATISFACTORY DETAIL
PROVIDE THERMAL INSULATION AS FOLLOWS:
EXTERNAL WALLS BEING MIN RT 1.5 VALUE INSULATION
CEILING PROVIDED WITH MIN RT 0.3 VALUE INSULATION
REFER BASIX CERTIFICATE
THE BUILDER WILL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW WORKS
ALL BALUSTRADES TO BE DESIGNED AND COMPLY WITH A.S. 1170.1
PROJECT TEAM INFORMATION
THESE DWGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT TEAM INFORMATION INCLUDING STRUCTURAL ENGINEERING, MECHANICAL ENGINEERING, ACOUSTIC ENGINEERING AND LANDSCAPE DESIGN
THE BUILDER SHALL REPORT ALL DISCREPANCIES, INACCURACIES AND OMISSIONS TO THE PRINCIPAL REPRESENTATIVE AND SEEK CLARIFICATION BEFORE PROCEEDING
STARS (PUBLIC)
MAX RISER -190MM, MIN -110MM
MIN TREAD -250MM, MAX 300MM
BALUSTRADE @ 800MM FROM NOSING OF TREAD
STARS (SOLE OCCUPANCY UNIT)
MAX RISER -190MM, MIN -100MM
MIN TREAD -250MM, MAX 300MM
BALUSTRADE @ 800MM FROM NOSING OF TREAD
STAR TREADS AND LANDINGS TO HAVE NON-SLIP FINISH THROUGHOUT OR AN ADEQUATE NON-SKID STRIP NEAR THE EDGE OF THE LANDINGS IN ACCORDANCE WITH BCA TABLE D2.14 WHEN TESTED IN ACCORDANCE WITH A.S. 4586
ALL STAIRS TO HAVE OPAQUE RISERS IN ACCORDANCE WITH AS 1428.1 - 2009 CLAUSE 11.1 (b)
PROVISION FOR THE STAIR TREADS TO HAVE NOSINGS NOT LESS THAN 30MM AND NOT GREATER THAN 75MM DEEP ACROSS THE FULL WIDTH OF THE TREAD AND WITH AN DIFFERENCE IN LEVEL OF NOT MORE THAN 5MM IN A COLOUR WITH 30% CONTRAST TO THE BACKGROUND
ALL SWITCHES AND CONTROLS ON THE ACCESS PATH OF TRAVEL ARE TO BE LOCATED BETWEEN 900-1100MM ABOVE FFL AND NOT LESS THAN 50MM FROM INTERNAL CORNERS AS PER SECTION 14 OF A.S. 1428.1 2009
PROVISION OF BRAILLE AND TACTILE SIGNAGE IN ACCORDANCE WITH SECTION 9 OF A.S. 1428.1 - 2009
PROVISION OF TACTILE GROUND SURFACE INDICATORS IN ACCORDANCE WITH SECTIONS 1.8 & 2 OF A.S. 1428.4 - 2009
PROVISION OF A MINIMUM 30% LUMINANCE CONTRAST TO IDENTIFY THE LOCATION OF ALL DOORWAYS IN ACCORDANCE WITH SECTION 11.1 OF A.S. 1428.1 2009
DOOR SIZES PROVIDED A CLEAR OPENING WIDTH OF AT LEAST 900MM TO ALL DOORS REQUIRED FOR CIRCULATION THROUGHOUT THE LEVEL BY PERSONS WITH AMBULANT DISABILITIES
DOOR HARDWARE TO COMPLY WITH SECTION 13.5.2 OF A.S. 1428.1 2009
ALL SERVICES PENETRATING A BUILDING ELEMENT REQUIRED TO TAKE A FIRE RESISTANCE LEVEL MUST BE PROTECTED IN ACCORDANCE WITH PART C3.13 OF THE BCA. ALL TEST SYSTEMS & DETAILS PROVIDED. TWO HOUR FIRE SEPARATION MUST BE MAINTAINED FOR PENETRATIONS
A POWER OPERATED DOOR TO A PATH OF TRAVEL TO AN EXIT MUST BE CAPABLE OF BEING OPENED MANUALLY WITH A FORCE NOT EXCEEDING 10N IF POWER FAILURE
A 75MM GLAZING MOTTIFDECAL IS TO BE PROVIDED TO ALL CLEAR GLAZED PANELS. THE DECAL MUST BE LOCATED BETWEEN 900 & 1000MM AND EXTEND THE FULL WIDTH REFER TO FINISHES SCHEDULE FOR TYPE
ALL JOINERY DOORS TO HAVE CHILD SAFE LATCHES SIMILAR TO HAFELLE PLASTIC RING 571-2570 WHITE

GENERAL NOTES

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA) AND THE BUILDING CODE OF AUSTRALIA (BCA), AS AMENDED
REMOVAL OF ASBESTOS CEMENT SHEETING MUST BE CARRIED OUT BY A LICENSED CONTRACTOR IN COMPLIANCE WITH THE REQUIREMENTS OF THE NSW ASBESTOS CONTROL ACT AND IN RELATION TO THE CORRECT HANDLING AND DISPOSAL OF ALL MATERIAL CONTAINING ASBESTOS, AND THE WORK SAFE AUSTRALIA ASBESTOS CODE OF PRACTICE AND GUIDANCE NOTES
ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601 - AS CURRENTLY AMENDED
BUILDER SHALL MAKE GOOD ALL DISTURBED AREAS ADJACENT TO THE WORKS ON COUNCIL'S ROADS. FOOTPATHS ARE TO BE RESTORED TO THE SATISFACTION OF THE BCA
ALL CONCRETE FOOTINGS, FLOOR SLABS, COLUMNS AND TIMBER ROOF FRAMING TO STRUCTURAL ENGINEER'S DETAILS
ALL STORMWATER REQUIREMENTS, EXTERNAL AND DRIVEWAY LEVELS TO HYDRAULIC ENGINEER'S DETAILS
ALL LANDSCAPED AREAS, EXISTING TREES, DRIVEWAY, DRYING YARDS AND FENCING TO LANDSCAPE ARCHITECT'S DETAILS
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS
ALL MATERIALS AND COMPONENTS SHALL COMPLY WITH THE EARLY HAZARD INDEX REQUIREMENTS OF BCA SPEC. CLAUSE 1.10
ALL ASPECTS OF THE BUILDING WORK SHALL COMPLY WITH THE RELEVANT CURRENT PROVISIONS OF THE LOCAL GOVERNMENT REGULATIONS AND THE BUILDING CODE OF AUSTRALIA
SITE/SETBACK CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EXCAVATION OR CONSTRUCTION WORK
SAFETY GLASS SHALL BE USED IN EVERY GLASS DOOR OR PANEL ENCLOSING OR PARTLY ENCLOSING A SHOWER OR BATH
ALL BATHROOMS AND WC WINDOWS TO BE INSTALLED WITH OBSCURE GLASS
UNLESS THE DOOR IN A SANITARY COMPARTMENT SWINGS OUTWARD OR IS GREATER THAN 12M AWAY FROM THE TOILET SUITE. THE DOOR MUST BE INSTALLED WITH REMOVABLE LIFT OFF HINGES
THE REFLECTIVITY INDEX OF ALL EXTERNAL GLASS MATERIALS IS NOT TO EXCEED 20%
PROTECTIVE MEASURES ARE REQUIRED FOR EACH TREE BEING RETAINED ON SITE AND SHALL BE ESTABLISHED BEFORE BUILDING WORKS COMMENCE, AND SHALL BE CONSTRUCTED AND MAINTAINED AS PER COUNCIL REQUIREMENTS
PEDESTRIAN TRAFFIC AND USE OF BOUNDING PUBLIC FOOTPATHS, SPACE TO REMAIN UNOBTAINED UNLESS SUBJECT TO SEPARATE COUNCIL APPROVAL INCLUDING PRAM ACCESS. TO BE MAINTAINED IN ACCORDANCE WITH AS1742.3 PART 3 - TRAFFIC CONTROL DEVICES FOR WORKS ON ROADS

STATUTORY REQUIREMENTS

IN ADDITION TO THE REQUIREMENTS AS SET OUT IN THESE SCHEDULES AND DOCUMENTS, ENSURE COMPLIANCE TO THE FOLLOWING:
ALL GLAZING TO MEET THE REQUIREMENTS OF AS1288 AND AS2047
ALL SERVICES PENETRATING A BUILDING ELEMENT REQUIRED TO HAVE A FIRE RESISTANCE LEVEL MUST BE PROTECTED IN ACCORDANCE WITH PART C3.13. TWO HOUR FIRE SEPARATION TO BE MAINTAINED FOR PENETRATIONS THROUGH SLAB. CERTIFICATES TO BE PROVIDED AT BUILDING APPROVAL
ALL NEW DOORS SHALL HAVE A MINIMUM CLEAR OPENING OF 900MM
BUILDER TO ALLOW FOR AND INSTALL BRAILLE AND TACTILE INDICATORS TO ALL WALL FEMALE AND ACCESSIBLE WC DOORS IN ACCORDANCE WITH AS1428.1
INSTALL 75MM GLAZING MOTTIFDECAL TO ALL CLEAR GLAZED PANELS AS PER WINDOW/DOOR SCHEDULE. DECAL TO BE LOCATED 900 TO 1000MM FROM FINISH FLOOR LEVEL AND TO EXTEND FULL WIDTH AND 30% COLOUR CONTRAST REFER TO FINISHES SCHEDULE FOR TYPE
FIRE EXTINGUISHERS TO BE INSTALLED AS PER AS2444 WITH PICTORIAL SIGNAGE 2M AFFL
ANY NEW WATERPROOFING TO NEW AREAS TO COMPLY WITH AS2641 AND TABLE F.17 OF THE BCA
KITCHEN DOOR TO BE INSTALLED WITH CHILD PROOF LATCH ENSURE FLOOR SURFACES MUST BE SUITABLE TO PREVENT SLIPS TRIPS AND FALLS



SHEETS IN SET	
001	COVER SHEET
002	OVERALL SITE PLAN
003	AREA PLAN
100	SITE PLAN (EXISTING)
101	SITE EASEMENT PLAN
102	SITE / SITE ANALYSIS PLAN (PROPOSED)
103	SHADOW STUDY
104	ROOF PLAN
201	PROPOSED FLOOR PLAN
202	LICENSING PLAN
300	ELEVATIONS
301	EXTERNAL FINISHES ELEVATIONS
400	SECTIONS
800	3D PERSPECTIVES

AUSTRALIAN STANDARDS COMPLIANCE

- THE BUILDING WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:
- AS/NZS 1664 ALUMINIUM STRUCTURES
 - AS/NZS 1905 COMPONENTS FOR THE PROTECTION OF OPENINGS IN FIRE RESISTANT WALLS
 - AS 1562.3 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
 - AS 2047 WINDOWS IN BUILDINGS - SELECTION AN INSTALLATION
 - AS 2327 COMPOSITE STRUCTURES
 - AS 2870 RESIDENTIAL SLABS AND FOOTING CONSTRUCTION
 - AS 1680 INTERIOR AND WORKPLACE LIGHTING
 - AS 1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION
 - AS 3700 MASONRY STRUCTURES
 - AS 3013 ELECTRICAL INSTALLATIONS
 - AS 1668 THE USE OF MECHANICAL VENTILATION AND AIR-CONDITIONING IN BUILDINGS
 - AS 2441 INSTALLATION OF HOSE REELS
 - AS 2444 PORTABLE FIRE EXTINGUISHERS AND FIRE BLANKETS - SELECTION AND LOCATION
 - AS 3786 SMOKE ALARMS
 - AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
 - AS 2107 ACOUSTICS - RECOMMENDED DESIGN SOUND LEVELS AND REVERBERATION TIMES FOR BUILDING
 - AS 3661 - 2000 INTERIORS TERMITE MANAGEMENT - NEW BUILDING WORK
 - AS/NZS 3890 - 2004 OFF-STREET PARKING
 - AS 3623 - 1993 DOMESTIC METAL FRAMING

STATUS

S4.55 ISSUE

REV	DESCRIPTION	DATE	BY
T	REVISED EARLY WORK PACKAGE	01.06.2021	KG
U	REVISED MAIN WORK SET	10.06.2021	KG
V	REVISED TENDER ISSUE	24.06.2021	KG
W	REVISED EARLY WORK PACKAGE	14.07.2021	KG
X	REVISED MAIN WORK SET	23.07.2021	KG
Y	REVISED EXTERNAL WALLS	24.08.2021	KG
Z	S4.55 ISSUE	02.09.2021	KG



EDWIN VANEGAS
VBA REGISTRATION NUMBER : DP-AD 67633
BDA REGISTRATION NUMBER : 6246

NORTH	
PROJECT No.	19046

CLIENT	HomeCo
ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)
PROJECT	CENTRE BASED CHILDCARE

DRAWING TITLE	COVER SHEET
SCALE (@A1)	1 : 20
DATE ISSUED	02.09.2021
DRAWING No.	S4.55-001
REV	Z

BCA REQUIREMENTS: ARCHITECTURAL REQ. FOR CONSTRUCTION CERTIFICATE

C1.1 FIRE RESISTING CONSTRUCTION: ALL ELEMENTS OF CONSTRUCTION TO COMPLY WITH SPECIFICATION 1.1
C1.10 FIRE HAZARD PROPERTIES: MATERIALS UTILISED TO COMPLY WITH SPECIFICATION C1.10 FOR FIRE HAZARD PROPERTIES OF FINISHES
FLOOR MATERIALS: NON-SPRINKLER PROTECTED AREAS: A CRITICAL RADIANT HEAT FLUX > 2.2 SPRINKLER PROTECTED AREAS: A CRITICAL HEAT FLUX > 1.2
WALLS AND CEILING: NON-SPRINKLER PROTECTED AREAS MUST BE A GROUP 1, 2 OR 3 USED IN ACCORDANCE WITH TABLE 3 OF SPEC. C1.10 AND HAVE A SMOKE GROWTH RATE INDEX OF < 100 OR AN AVERAGE SPECIFIC EXTINCTION AREA OF < 0.20m²/mg
C2 VERTICAL SEPARATION OF OPENINGS IN EXTERNAL WALLS: SPANDREL SEPARATION TO BE PROVIDED IN ACCORDANCE WITH CL. 2.4 OF TEN/BCA SPANDREL WITH FRL OF 60MIN/3 PROTECTING 100mm HORIZONTALLY & 650mm ALONG WALL BEYOND THE OPENING OR VERTICALLY 800mm
C3 ACCEPTABLE METHODS OF PROTECTION: OPENINGS LOCATED WITHIN 3m OF A FIRE SOURCE FEATURE ARE TO BE PROTECTED IN ACCORDANCE WITH C3.4
C3.15 OPENINGS FOR SERVICE INSTALLATIONS: SERVICE PENETRATIONS THROUGH FIRE RATED FLOOR STRUCTURES TO COMPLY WITH CL.3.15
D.1.2 NUMBER OF EXITS REQUIRED:
(a) ALL BUILDINGS MUST HAVE AT LEAST ONE EXIT FROM EACH STOREY
(b) BASEMENTS SHALL HAVE NO LESS THAN 2 EXITS IF EGRESS FROM THAT STOREY INVOLVES A VERTICAL RISE WITHIN THE BUILDING OF MORE THAN 1.5m UNLESS:
(i) THE FLOOR AREA OF THE STOREY IS NOT MORE THAN 50m² AND
(ii) THE DISTANCE OF TRAVEL FROM ANY POINT ON THE FLOOR TO A SINGLE EXIT IS NOT MORE THAN 20m
D.1.3 WHEN FIRE ISOLATED STAIRWAYS AND RAMPS ARE REQUIRED:
(a) EVERY FIRE ISOLATED STAIR OR RAMP SERVING AS A REQUIRED EXIT MUST BE FIRE ISOLATED
D.1.10 DISCHARGE FROM EXITS: IF AN EXIT DISCHARGES TO AN OPEN SPACE THAT IS AT A DIFFERENT LEVEL THAN THE PUBLIC ROAD TO WHICH IT IS CONNECTED, THE PATH OF TRAVEL TO THE ROAD MUST BE:
(i) A RAMP OR OTHER INCLINE HAVING A GRADIENT NOT STEEPER THAN 1:14 AS REQUIRED BY TEN
D.2.1 INSTALLATION IN EXITS AND PATHS OF TRAVEL: DISTRIBUTION OR SWITCHBOARDS LOCATED WITHIN A PATH OF TRAVEL TO BE ENCLOSED WITHIN NON-COMBUSTIBLE CONSTRUCTION OR FIRE PROTECTIVE COVERING AND THE ACCESS DOOR IS TO BE SEALED AGAINST SMOKE SPREAD
D.2.13 CONINGS AND RISERS: STAIRS AND LANDINGS TO BE CONSTRUCTED IN ACCORDANCE WITH CL. D2.13 AND D2.14 INC. TREAD AND RISER CONFIGURATION, LANDING DIM. AND SLOPE, NON-SLIP FINISH OR NON-SKID SSPIP NEAR EDGE
OF NOISING: NOTE ADDITIONAL PROVISIONS REG UNDER CL. D.3.3
D.3.15 FINISHES: DASH TRISHOLDERS TO BE CONSTRUCTED TO ACCORDANCE WITH CL. D.15
D.2.16 BALUSTRADES AND OTHER BARRIERS: BALUSTRADES TO BE PROVIDED IN ACCORDANCE WITH CL. D.2.16 BALUSTRADES AND OTHER BARRIERS: BALUSTRADES TO BE PROVIDED IN ACCORDANCE WITH CL. D.2.16 INC. MIN HEIGHT, OPENING DIMENSIONS, HORIZONTAL ELEMENT RESTRICTIONS, WIRE BALUSTRADE REG. PERMANENT FIXTURES ADJACENT TO BALCONY BALUSTRADES TO COMPLY WITH INTENT OF AS 1926.1 WITH REGARD TO CLIMBABLE ZONES.

GENERAL SPECIFICATION

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THE BUILDER SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S. CODES (CURRENT EDITIONS) BUILDING REGULATIONS, LOCAL BY LAWS AND DEVELOPMENT CONSENT REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.
ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:
A.S. 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
A.S. 1902 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
A.S. 1984 NATIONAL TIMBER FRAMING CODE
A.S. 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION
A.S. 2019 PT 11 RESIDENTIAL GLASS AND FOOTING
A.S. 2044 DAMP PROOF COURSES AND FLASHINGS
A.S. 3600 CONCRETE STRUCTURES
A.S. 3601 CODE OF PRACTICE FOR PHYSICAL BARRIERS USED IN THE PROTECTION OF BUILDINGS AGAINST SUBTERRANEAN TERMITES
A.S. 3700 MASONRY IN BUILDINGS
A.S. 3740 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
A.S. 3786 SMOKE ALARMS
A.S. 4055 WIND LOADINGS FOR HOUSING
A.S. 4100 STEEL STRUCTURES
THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS.
ALL TIMBER FRAME MEMBERS TO BE IN ACCORDANCE WITH AS 1984 NO RESPONSIBILITY WILL BE TAKEN FOR TRANSCORBED INFORMATION.
WHERE THE BUILDING (OTHER THAN CLASS 10A) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH AS 3600.1 OR CLAUSE 1.3.3 OF THE HOUSING PROVISIONS OF THE BCA FOR CONC. SLAB ON GROUND.
WINDOW SIZES ARE NOMINAL ONLY ACTUAL SIZES WILL VARY FROM THE MANUFACTURERS EXTERNAL WINDOW TO BE FLASHED AROUND.
ALL WINDOW OPENINGS ARE TO BE MEASURED ON SITE PRIOR TO MANUFACTURE.
STORMWATERS SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.
SEWER SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY REQUIREMENTS.
FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASMENT LINES.
ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES AND STEEL LUTELTS ETC. THAT ARE EMBEDDED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH AS 1902.0/A.S. 3700.1/98 TABLE 302, HOT DIPPED GALV., STEEL OR CADMIUM COATED.
ALL WET AREAS TO COMPLY WITH BCA 3.8.1.2 OF VOL. 2 OR A.S. 3740-1/94 WALL FINISHES SHALL BE IMPERVIOUS TO A MIN. HEIGHT OF 1800MM ABOVE FLOOR LEVEL TO DRESSER ENCLOSURES AND 1500MM ABOVE BATHS, BASINS SINKS AND TROUGH'S WITHIN 750MM OF THE WALL UNLESS NOTED OTHERWISE.
PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600MM CRS IN EACH DIRECTION AND WITHIN 300MM OF ARTICULATION JOINTS OF ALL NEW WORKS.
PROVIDE THERMAL INSULATION AS FOLLOWS:
EXTERNAL WALLS: CEILING INSULATION
CEILING PROVIDED WITH MIN R 3.0 VALUE INSULATION
REFER BASIX CERTIFICATE
THE BUILDER WILL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW WORKS.
ALL BALUSTRADES TO BE DESIGNED AND COMPLY WITH AS. 1970.1
PROJECT TEAM INFORMATION:
THESE DWGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT TEAM INFORMATION INCLUDING STRUCTURAL, ELECTRICAL, ENGINEERING, SERVICES ENGINEERING, ACOUSTIC ENGINEERING AND LANDSCAPE DESIGN.
THE BUILDER SHALL REPORT ALL DISCREPANCIES, INACCURACIES AND OMISSIONS TO THE PRINCIPAL REPRESENTATIVE AND SEEK CLARIFICATION BEFORE PROCEEDING.
STAIRS (PUBLIC)
MAX RISER +190MM, MIN -150MM
MIN TREAD +450MM, MAX 300MM
BALUSTRADE @ 860MM FROM NOSING OF TREAD
STAIRS (SOLE OCCUPANCY UNIT)
MAX RISER +190MM, MIN -150MM
MIN TREAD +450MM, MAX 300MM
BALUSTRADE @ 860MM FROM NOSING OF TREAD
STAR TREADS AND LANDINGS TO HAVE NON-SLIP FINISH THROUGHOUT OR AN ADEQUATELY NON-SKID STRIP WITH THE EDGE OF THE LANDING IN ACCORDANCE WITH BCA TABLE D2.14 WHEN TESTED IN ACCORDANCE WITH A.S. 4586
ALL STAIRS TO HAVE OPTIC RESETS IN ACCORDANCE WITH AS 1428.1 - 2009 CLAUSE 11.1(2).
PROVISION FOR THE STAIR TREADS TO HAVE NOSINGS NOT LESS THAN 50MM AND NOT GREATER THAN 25MM DEEP ACROSS THE FULL WIDTH OF THE TREAD AND WITH A DIFFERENCE IN LEVEL OF NOT MORE THAN 5MM IN A COLOUR WITH 30% CONTRAST TO THE BACKGROUND.
ALL SWITCHES AND CONTROLS ON THE ACCESS PATH OF TRAVEL ARE TO BE LOCATED BETWEEN 900-1000MM ABOVE FFL AND NOT LESS THAN 500MM FROM INTERNAL CORNERS AS PER SECTION 14 OF A.S. 1428.1:2009
PROVISION OF BRAILLE AND TACTILE SIGNAGE IN ACCORDANCE WITH SECTION 6 OF A.S. 1428.1 - 2009
PROVISION OF TACTILE GROUND SURFACE INDICATORS IN ACCORDANCE WITH SECTIONS 1 & 2 OF A.S. 1428.4 - 2009
PROVISION OF A MINIMUM 30% LUMINANCE CONTRAST TO IDENTIFY THE LOCATION OF ALL DOORWAYS IN ACCORDANCE WITH SECTION 13.1 OF A.S. 1428.1:2009
DOOR SIZES PROVIDING A CLEAR OPENING WIDTH OF AT LEAST 800MM TO ALL DOORS REQUIRED FOR CIRCULATION THROUGHOUT THE LEVEL BY PERSONS WITH AMBILANT DISABILITIES.
DOOR HARDWARE TO COMPLY WITH SECTION 13.5.2 OF A.S. 1428.1:2009
ALL SERVICES PENETRATING A BUILDING ELEMENT REQUIRED TO TAKE A FIRE RESISTANCE LEVEL MUST BE PROTECTED IN ACCORDANCE WITH PART C3.15 OF THE BAL TEST SYSTEMS & DETAILS PROVIDED. TWO HOUR FIRE SEPARATION MUST BE MAINTAINED FOR PENETRATIONS
A POWER OPERATED DOOR TO A PATH OF TRAVEL TO AN EXIT MUST BE CAPABLE OF BEING OPENED MANUALLY WITH A FORCE NOT EXCEEDING 110N IF POWER FAILURE
A 75MM GLAZING MOTIF/DECAL IS TO BE PROVIDED TO ALL CLEAR GLAZED PARTS OF THE DECAL MUST BE LOCATED BETWEEN 900 & 1000MM AND EXTEND THE FULL WIDTH-REFER TO FINISHES SCHEDULE FOR TYPE
ALL JENERY DOORS TO HAVE CHILD SAFE LATCHES SIMILAR TO HAFLEE PLASTIC RNR0125.701 WHITE.

SEDIMENT CONTROL NOTES

- 1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING PROTECTION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND SPECIFIED ONLY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL PILE TIPS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FLEES FABRIC PROTECTA OR APPROVED EQUIVALENT BETWEEN POST AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

KITCHEN - GENERAL NOTES

FITOUT OF KITCHEN TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARD 4674-2004 DESIGN CONSTRUCTION AND FITOUT OF FOOD PREMISES.
GENERAL REQUIREMENTS:
PROOF AGAINST PESTS/HEATED WATER IN ACCORDANCE WITH AS 3600.4.2 FLOORS
CERAMIC FLOOR TILES SHALL BE CLEANABLE, NON-ABSORBENT, EPOXY GROUTED AND LAD IN ACCORDANCE WITH AS 3958.1
THE INTERSECTION OF FLOORS WITH WALLS SHALL MEET THE COVERING REQUIREMENT
COVERING THE MINIMUM RADIIUS TO BE 20MM. REFER TO FINISHES SCHEDULE FOR DETAILS LEGS TO ANY FIXTURES SHALL BE MINIMUM 150MM
WALLS AND CEILING SHALL BE OF SOLID CONSTRUCTION
CEILING SHALL BE NON-PERFORATED AND FINISHED FREE OF OPEN JOINTS, CRACKS AND CREVICES.
WALLS AND CEILING SHALL BE TIGHT JOINTED, SEALED AND DUST PROOF.
SEALANTS USED SHALL BE WASHABLE AND IMPERVIOUS MATERIAL
WALLS AND CEILING ARE TO BE OF LIGHT COLOUR. REFER TO FINISHES SCHEDULE FOR DETAILS
ALL SHELVING TO BE 25MM OFF WALL
SERVICES:
SERVICE PIPES CONDITS AND WIRING SHALL BE CONCEALED IN/FLOOR PLINTHS WALLS AND CEILING
SHALL BE FIXED ON BRACKETS WITH 25MM CLEARANCE BETWEEN PIPE AND WALL SURFACE
ALL PENETRATIONS SHOULD BE SEALED
FIXTURES SHALL BE MOVABLE FOR CLEANING
REFER TO MECHANICAL CONSULTANTS DWGS FOR ALL VENTILATION DETAILS
REFER TO HYDRAULIC CONSULTANT DWGS FOR ALL HYDRAULIC DETAILS AND DISPOSAL OF WASTE WATER
REFER TO ELECTRICAL CONSULTANTS DWGS FOR ALL ELECTRICAL DETAILS
HANDWASHING:
HANDBASINS ARE TO BE PROVIDED WITH A SINGLE OUTLET FOR WARM CLEAN POTABLE WATER.
PROVIDE A TOWEL AND SOAP DISPENSER
A RECEPTACLE FOR USED TOWELS SHALL BE PROVIDED

AUSTRALIAN STANDARDS COMPLIANCE

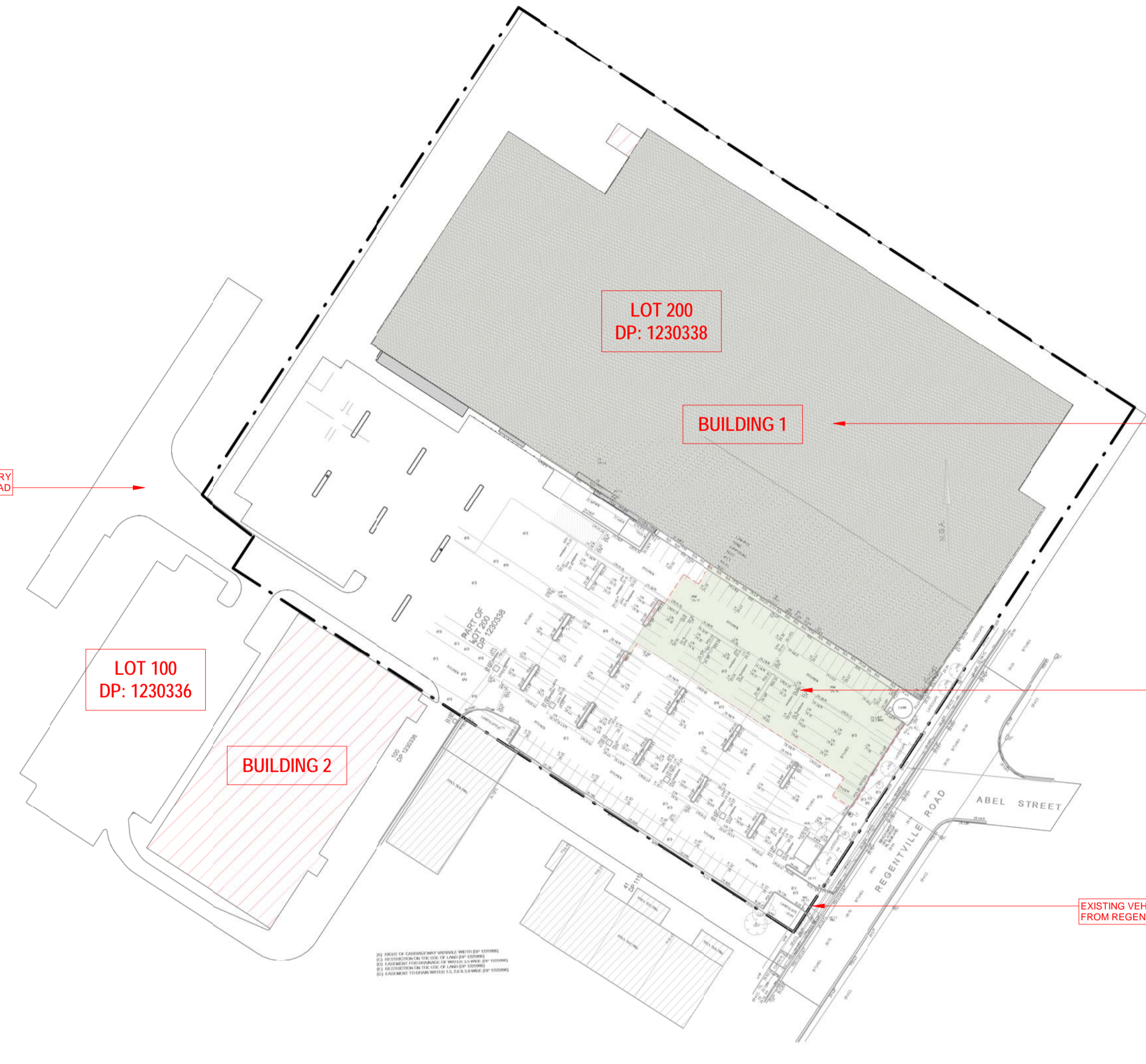
Table listing Australian Standards (AS/NZS) and their corresponding components for the building, such as AS/NZS 1684 for Aluminum Structures, AS 1562.3 for Design and Installation of Sheet Roof and Wall Cladding, and AS 2047 for Windows in Buildings.

GENERAL NOTES

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA) AND AUSTRALIA (BCA) AS AMENDED.
REMOVAL OF ASBESTOS CEMENT SHEETING MUST BE CARRIED OUT BY A LICENSED CONTRACTOR IN COMPLIANCE WITH THE REQUIREMENTS OF THE NSW WORKCOVER AUTHORITY IN RELATION TO THE REMOVAL, HANDLING AND DISPOSAL OF ALL MATERIAL CONTAINING ASBESTOS AND THE WORKSAFE AUSTRALIA ASBESTOS CODE OF PRACTICE AND GUIDANCE NOTES.
ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601 - AS CURRENTLY AMENDED.
BUILDER SHALL MAKE GOOD ALL DISTURBED AREAS ADJACENT TO THE WORKS ON COUNCIL'S ROADS. FOOTPATHS ARE TO BE RESTORED TO THE SATISFACTION OF THE BCA.
ALL CONCRETE FOOTINGS, FLOOR SLABS, COLLARNS AND TRIMMER ROOF FRAMING TO BE STRUCTURALLY ENGINEERED TO ALLS.
ALL STORMWATER REQUIREMENTS, EXTERNAL AND INTERNAL LEVELS TO HYDRAULIC ENGINEERS DETAILS.
ALL LANDSCAPED AREAS, EXISTING TREES, DRIVEWAY, DRYING YARDS AND FENCING TO LANDSCAPE ARCHITECT'S DETAILS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.
ALL MATERIALS AND COMPONENTS SHALL COMPLY WITH THE EARLY HAZARD INDICES REQUIREMENTS OF BCA SPEC. CLAUSE 1.10.
ALL ASPECTS OF THE BUILDING WORK SHALL COMPLY WITH THE RELEVANT CURRENT PROVISIONS OF THE LOCAL GOVERNMENT REGULATIONS AND THE BUILDING CODE OF AUSTRALIA.
SILT/SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EXCAVATION OR CONSTRUCTION WORK.
SAFETY GLASS SHALL BE USED IN EVERY GLASS DOOR OR PANEL ENCLOSED PARTS ENCLOSURE, SHOWERS OR BATHS.
ALL BATHROOMS AND WC WINDOWS TO BE INSTALLED WITH OBSCURE GLASS UNLESS THE DOOR IN A SANITARY COMPARTMENT SWINGS OUTWARD OR IS GREATER THAN 1.2M AWAY FROM THE TOILET SUITE, THE DOOR MUST BE INSTALLED WITH REMOVABLE LIFT-OFF HINGES.
THE REFLECTIVITY INDEX OF ALL EXTERNAL GLASS MATERIALS IS NOT TO EXCEED 20%.
PROTECTIVE MEASURES ARE REQUIRED FOR EACH TREE BEING RETAINED ON SITE AND SHALL BE ESTABLISHED BEFORE BUILDING WORKS COMMENCE, AND SHALL BE CONSTRUCTED AND MAINTAINED AS PER COUNCIL REQUIREMENTS.
PEDESTRIAN TRAFFIC AND USE OF SOLID/NOISE PUBLIC FOOTPATHS: SPACE TO REMAIN UNCONSTRUCTED UNLESS SUBJECT TO SEPARATE COUNCIL APPROVAL, INCLUDING PRAM ACCESS, TO BE MAINTAINED IN ACCORDANCE WITH AS 1742.1 - 2009 PART 3 - TRAFFIC CONTROL DEVICES FOR WORKS ON ROAD.

STATUTORY REQUIREMENTS

IN ADDITION TO THE REQUIREMENTS AS SETOUT IN DWGS, SCHEDULES AND DOCUMENTS, ENSURE COMPLIANCE TO THE FOLLOWING:
ALL GLAZING TO MEET THE REQUIREMENTS OF AS 1288 AND AS247
ALL SERVICES PENETRATING A BUILDING ELEMENT REQUIRED TO TAKE A FIRE RESISTANCE LEVEL MUST BE PROTECTED IN ACCORDANCE WITH PART C3.15. TWO HOUR FIRE SEPARATION TO BE MAINTAINED FOR PENETRATIONS THROUGHOUT THE LEVEL. CERTIFICATES TO BE PROVIDED AT BUILDING APPROVAL.
ALL NEW DOORS SHALL HAVE A MINIMUM CLEAR OPENING OF 850MM
BUILDER TO ALLOW FOR AND INSTALL BRAILLE AND TACTILE INDICATORS TO ALL MALE FEMALE AND ACCESSIBLE WC DOORS IN ACCORDANCE WITH AS 1428.1
INSTALL 75MM GLAZING MOTIF/DECAL TO ALL CLEAR GLAZED PANELS AS PER WINDOW/DOOR SCHEDULE. DECAL TO BE LOCATED 900 TO 1000MM FROM FINISH FLOOR LEVEL AND TO EXTEND FULL WIDTH AND 30% COLOUR CONTRAST REFER TO FINISHES SCHEDULE FOR TYPE
FIRE EXTINGUISHERS TO BE INSTALLED AS PER AS244 WITH PHOTOGRAPH, SIGNAGE AND LABELS
ANY NEW WATERPROOFING TO NEW AREAS TO COMPLY WITH AS3740.4 AND TABLE F1.1 OF THE BCA.
KITCHEN DOOR TO BE INSTALLED WITH CHILD PROOF LATCH
ENSURE FLOOR SURFACES MUST BE SUITABLE TO PREVENT SLIPS TRIPS AND FALLS



1 OVERALL SITE PLAN 1:1000

Table with columns: REV, DESCRIPTION, DATE, BY, KG. Contains revision history for 'REVISED EARLY WORK PACKAGE', 'REVISED MAIN WORK SET', 'REVISED TENDER ISSUE', 'REVISED EARLY WORK PACKAGE', 'REVISED MAIN WORK SET', 'REVISED EXTERNAL WALLS', and 'S4.55 ISSUE'.



EDWIN VANEGAS
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BDA REGISTRATION NUMBER : 6246

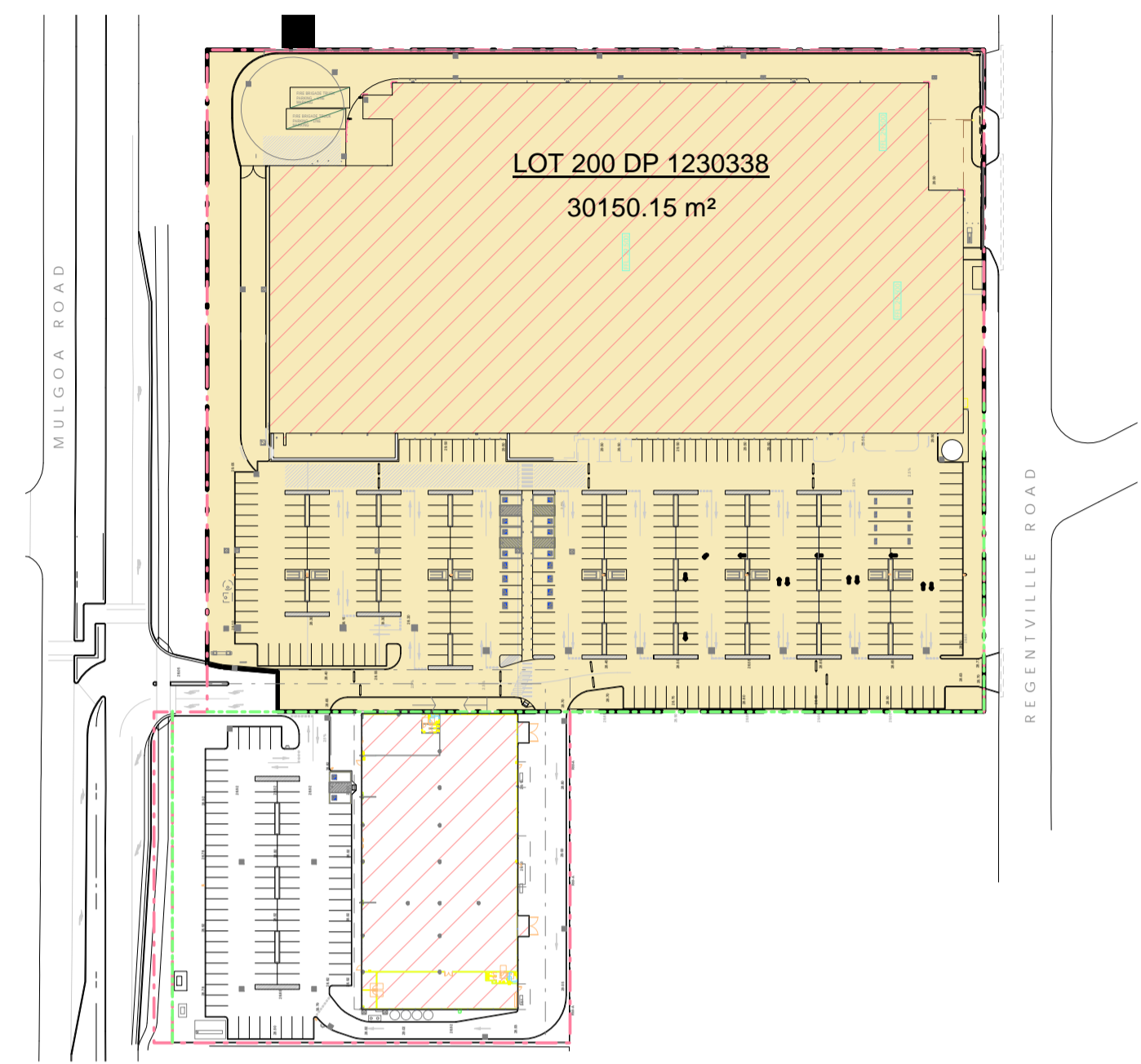
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Overall Site Plan drawing title block with drawing title, scale, date issued, drawing number, and revision Z.

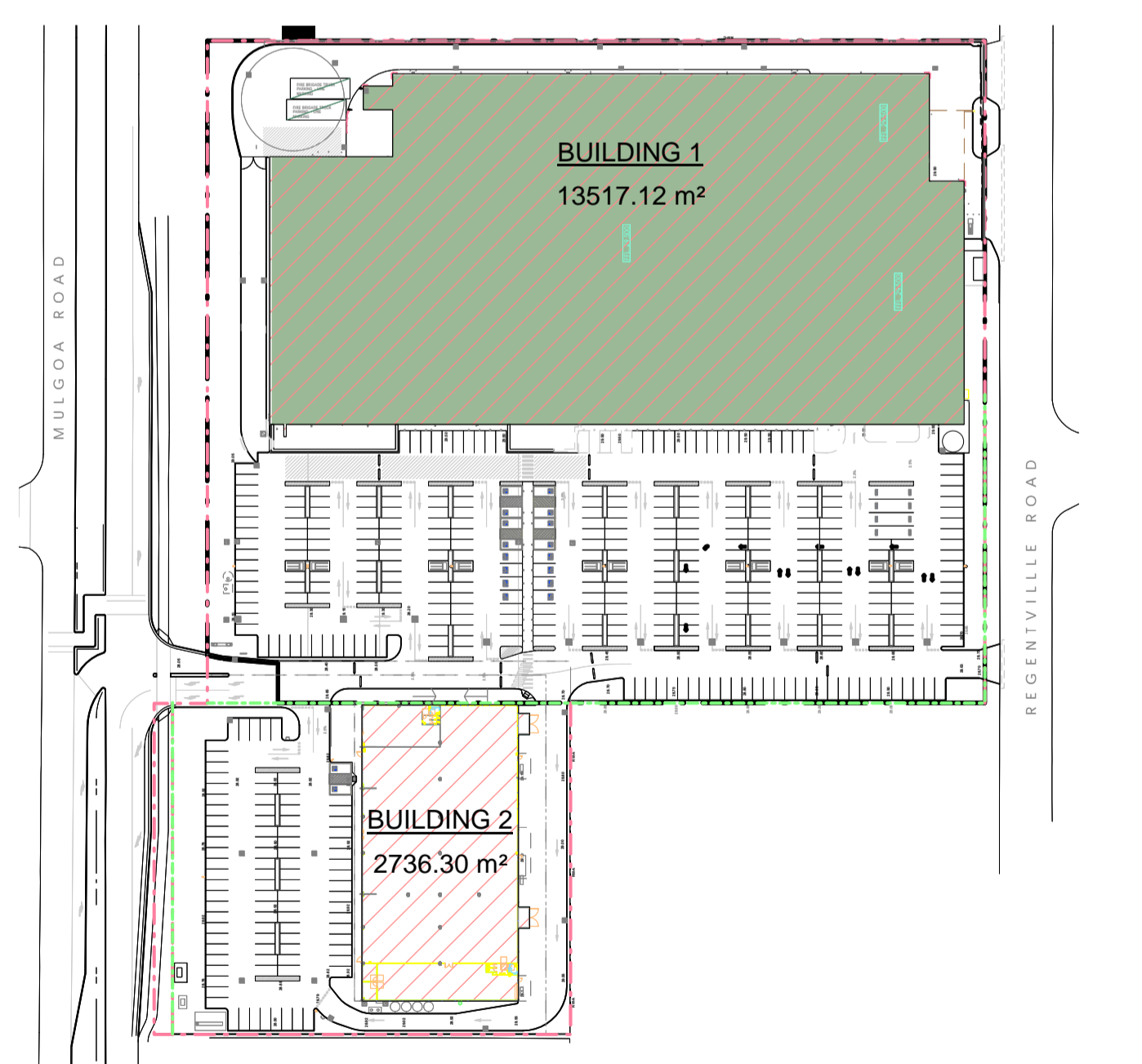
P: 02 8310 8300
A: Attarum, NSW 2064
E: info@fivecanons.com.au
www.fivecanons.com.au

FIVE CANONS ARCHITECTURE
Enm Pty Ltd Tras Five Canons ABN:86 609 881 761

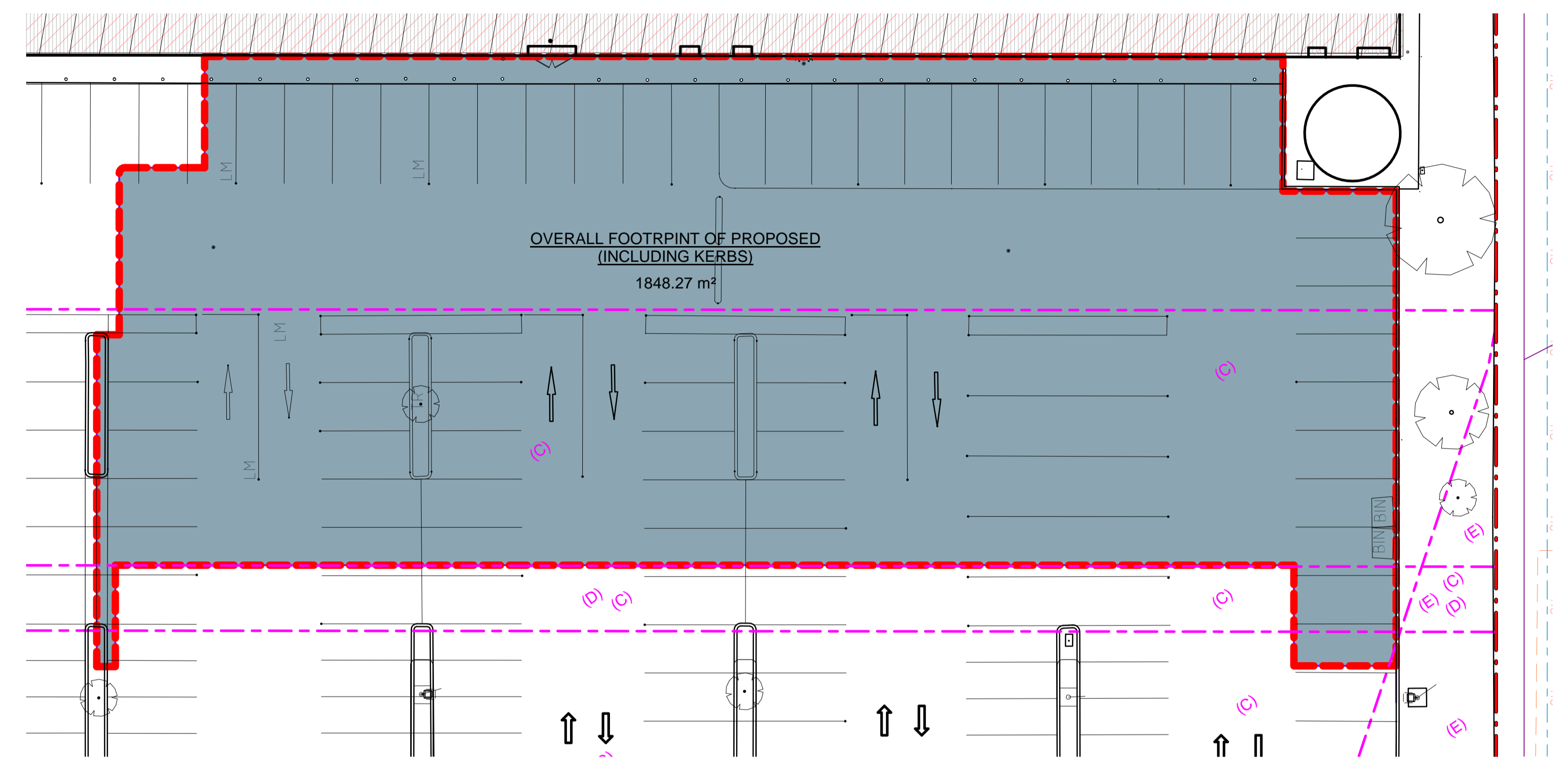
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LOT NUMBER:	LOT 200
DP NUMBER:	DP 1230338
COUNCIL:	PENRITH CITY COUNCIL
ZONING:	B5 - BUSINESS DEVELOPMENT
OVERALL SITE AREA:	30150.15 m ²
PROPOSAL	
110 PLACE CENTRE BASED CHILDCARE FACILITY EXTERNAL TO EXISTING / BULKY GOODS PREMISES	
LEGEND	
	EASEMENT LINES
	EXISTING TO BE REMOVED OR MODIFIED
	EXISTING KERB / LINE MARKING MODIFICATION
	INDICATIVE LOCATION OF ENCAPSULATED CONTAMINATION FILL



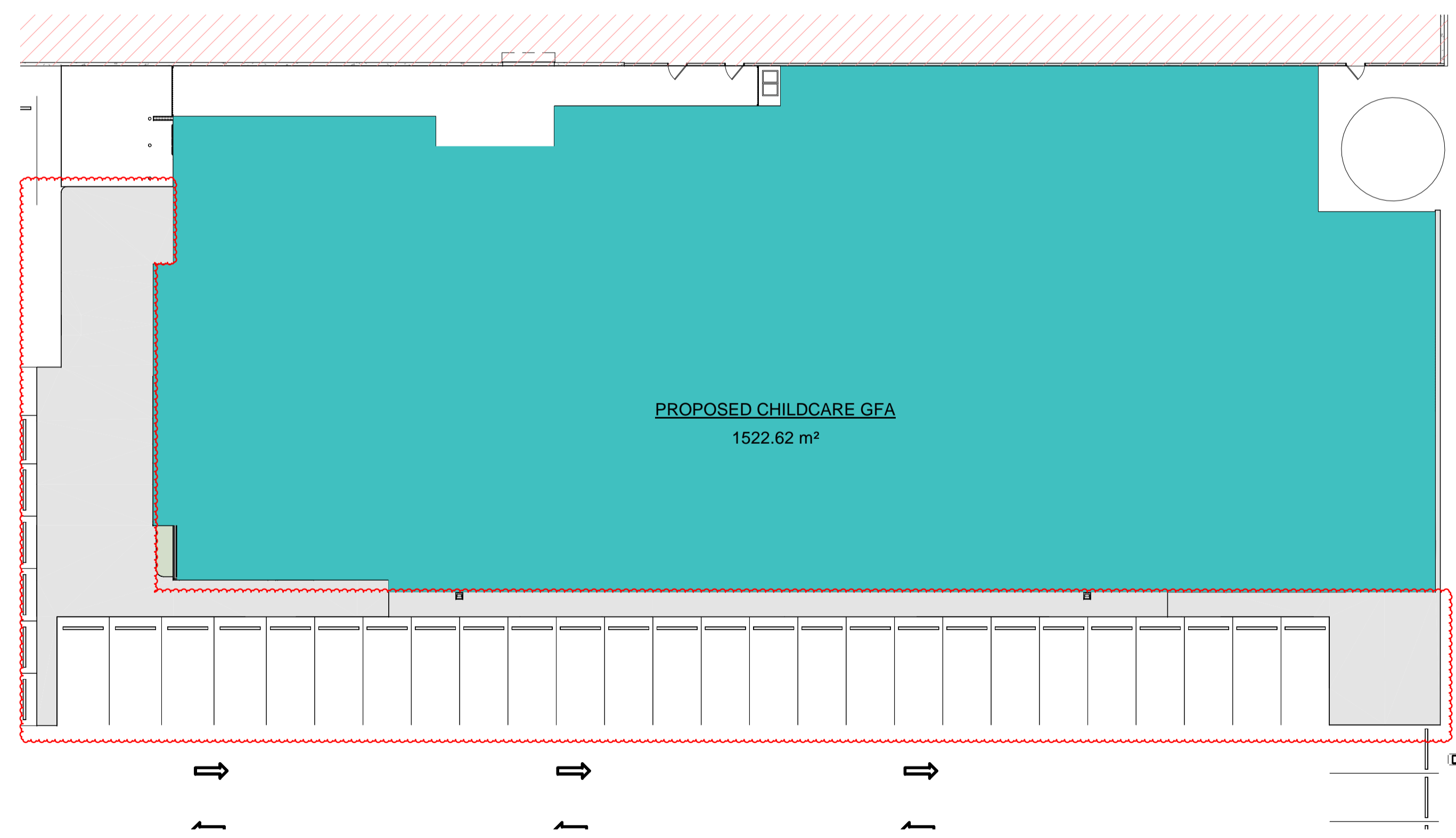
1 OVERALL SITE
1:1500



2 BUILDING 1 / BUILDING 2 GFA
1:1500



3 OVERALL FOOTPRINT (INCLUDING KERBS)
1:200



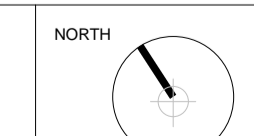
4 CHILDCARE GFA
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STATUS
S4.55 ISSUE

REV	DESCRIPTION	DATE	BY
T	REVISED EARLY WORK PACKAGE	01.06.2021	KG
U	REVISED MAIN WORK SET	10.06.2021	KG
V	REVISED TENDER ISSUE	24.06.2021	KG
W	REVISED EARLY WORK PACKAGE	14.07.2021	KG
X	REVISED MAIN WORK SET	23.07.2021	KG
Y	REVISED EXTERNAL WALLS	24.08.2021	KG
Z	S4.55 ISSUE	02.09.2021	KG



EDWIN VANEGAS
VBA REGISTRATION NUMBER : DP-AD 67633
BDAA REGISTRATION NUMBER : 6246



CLIENT	HomeCo
ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)

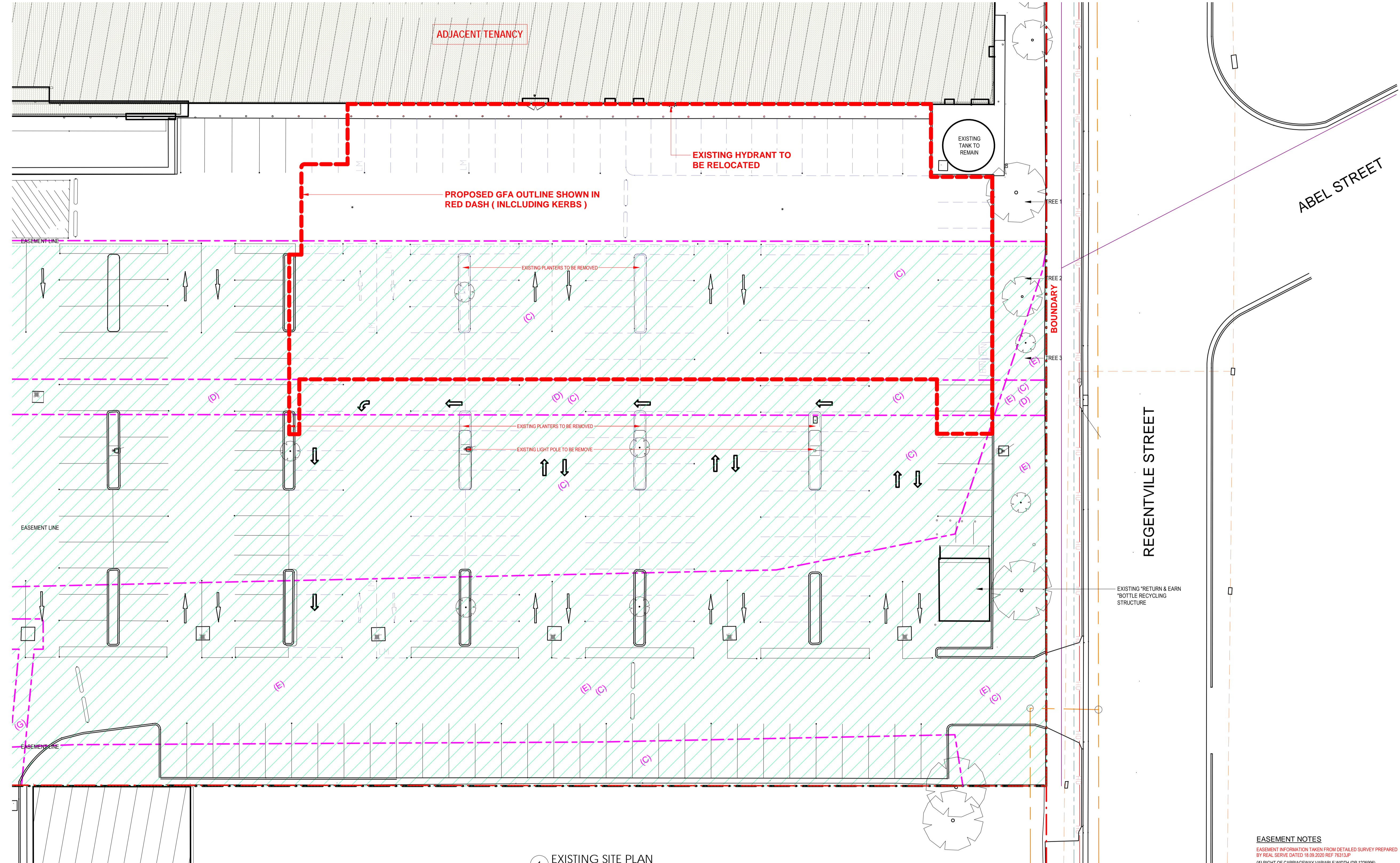
PROJECT No.	19046
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PROJECT	CENTRE BASED CHILDCARE
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DRAWING TITLE	AREA PLAN
SCALE (@A1)	As indicated
DATE ISSUED	02.09.2021
DRAWING No.	S4.55-003
REV	Z

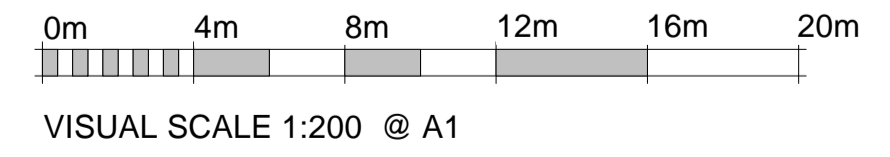
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SITE PARTICULARS	
LOT NUMBER:	LOT 200
DP NUMBER:	DP 1230338
COUNCIL:	PENRITH CITY COUNCIL
ZONING:	B5 - BUSINESS DEVELOPMENT
OVERALL SITE AREA:	2.015 Ha
PROPOSAL	
110 PLACE CENTRE BASED CHILDCARE FACILITY EXTERNAL TO EXISTING / BULKY GOODS PREMISES	
LEGEND	
	EASEMENT LINES
	EXISTING TO BE REMOVED OR MODIFIED
	EXISTING KERBS / LINEMARKING MODIFICATION
	INDICATIVE LOCATION OF ENCAPSULATED CONTAMINATION FILL



1 EXISTING SITE PLAN
1:200

EASEMENT NOTES
 EASEMENT INFORMATION TAKEN FROM DETAILED SURVEY PREPARED BY REAL SERVE DATED 18.09.2020 REF 78313JP
 (A) RIGHT OF CARRIAGEWAY VARIABLE WIDTH (DP 1225996)
 (B) RESTRICTION ON THE USE OF LAND (DP 1225996)
 (C) RESTRICTION ON THE USE OF LAND (DP 1225996)
 (D) EASEMENT FOR DRAINAGE OF WATER 3.5 WIDE (DP 1225996)
 (E) RESTRICTION ON THE USE OF LAND (DP 1225996)
 (F) RESTRICTION ON THE USE OF LAND (DP 1225996)
 (G) EASEMENT TO DRAIN WATER 1.5, 2.1 & 3.0 WIDE (DP 1225996)

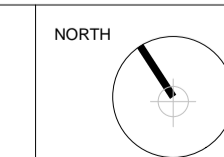


STATUS
S4.55 ISSUE

REV	DESCRIPTION	DATE	BY
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U	REVISED MAIN WORK SET	10.06.2021	KG
V	REVISED TENDER ISSUE	24.06.2021	KG
W	REVISED EARLY WORK PACKAGE	14.07.2021	KG
X	REVISED MAIN WORK SET	23.07.2021	KG
Y	REVISED EXTERNAL WALLS	24.08.2021	KG
Z	S4.55 ISSUE	02.09.2021	KG



EDWIN VANEGAS
 VBA REGISTRATION NUMBER : DP-AD 67633
 BDA REGISTRATION NUMBER : 6246

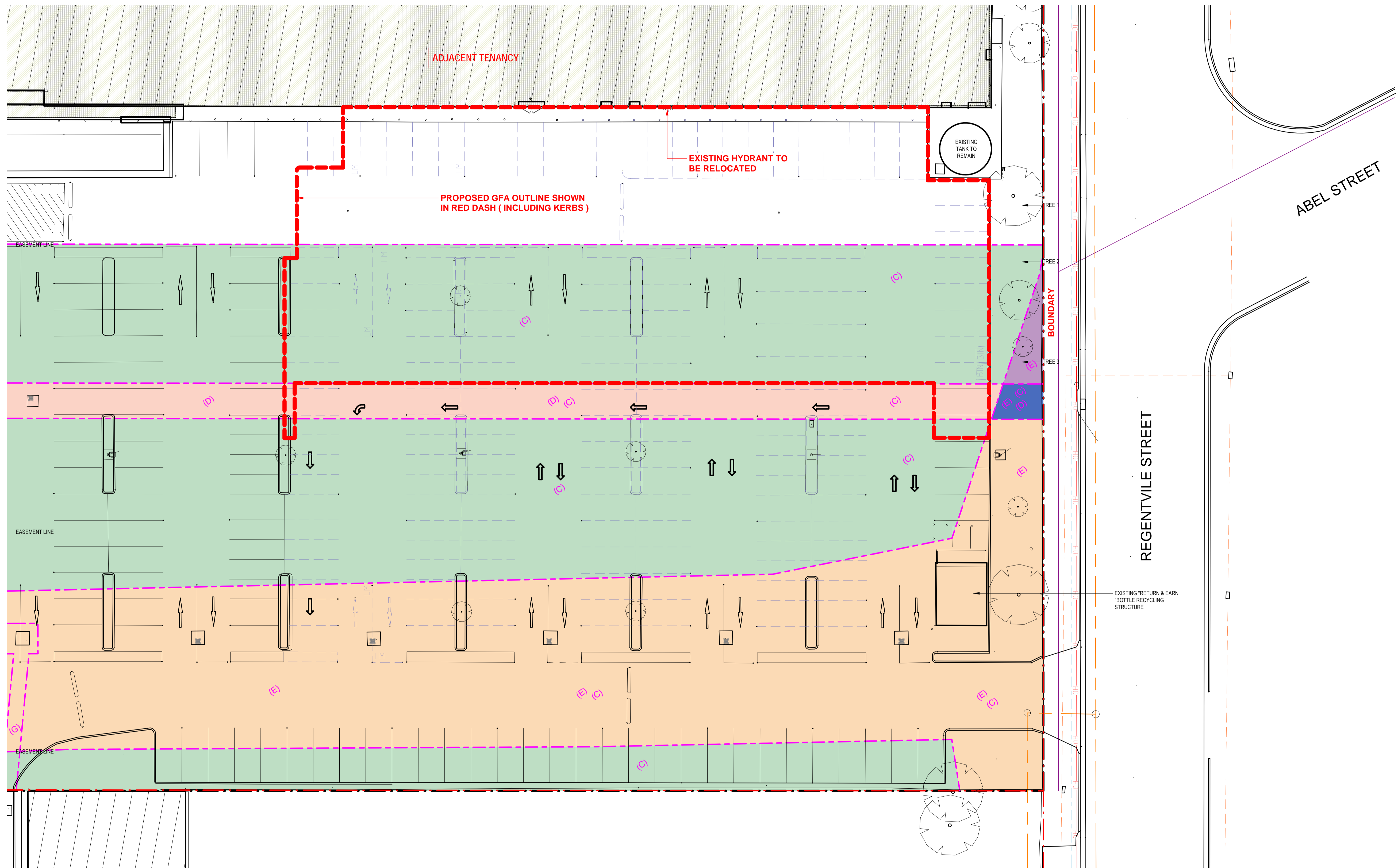


CLIENT	HomeCo
ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)
PROJECT No.	19046
PROJECT	CENTRE BASED CHILDCARE

DRAWING TITLE	SITE PLAN (EXISTING)	
SCALE (@A1)	As indicated	DATE ISSUED 02.09.2021
DRAWING No.	S4.55-100	REV Z

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SITE PARTICULARS	
LOT NUMBER:	LOT 200
DP NUMBER:	DP 1230338
COUNCIL:	PENRITH CITY COUNCIL
ZONING:	B5 - BUSINESS DEVELOPMENT
OVERALL SITE AREA:	3,015 Sq
PROPOSAL	
110 PLACE CENTRE BASED CHILDCARE FACILITY EXTERNAL TO EXISTING / BULKY GOODS PREMISES	
LEGEND	
	EASEMENT LINES
	EXISTING TO BE REMOVED OR MODIFIED
	EXISTING KERB / LINE MARKING MODIFICATION
	INDICATIVE LOCATION OF ENCAPSULATED CONTAMINATION FILL



1 SITE EASEMENT PLAN
 1: 200

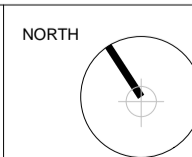
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 (B) RESTRICTION ON THE USE OF LAND (DP 1225996)
 (C) EASEMENT FOR DRAINAGE OF WATER 3.5 WIDE (DP 1225996)
 (D) RESTRICTION ON THE USE OF LAND (DP 1225996)
 (E) EASEMENT TO DRAIN WATER 1.5, 2.0 & 3.0 WIDE (DP 1225996)

STATUS
S4.55 ISSUE

REV	DESCRIPTION	DATE	BY
T	REVISED EARLY WORK PACKAGE	01.06.2021	KG
U	REVISED MAIN WORK SET	10.06.2021	KG
V	REVISED TENDER ISSUE	24.06.2021	KG
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X	REVISED MAIN WORK SET	23.07.2021	KG
Y	REVISED EXTERNAL WALLS	24.08.2021	KG
Z	S4.55 ISSUE	02.09.2021	KG



EDWIN VANEGAS
 VBA REGISTRATION NUMBER : DP-AD 67633
 BDA REGISTRATION NUMBER : 6246

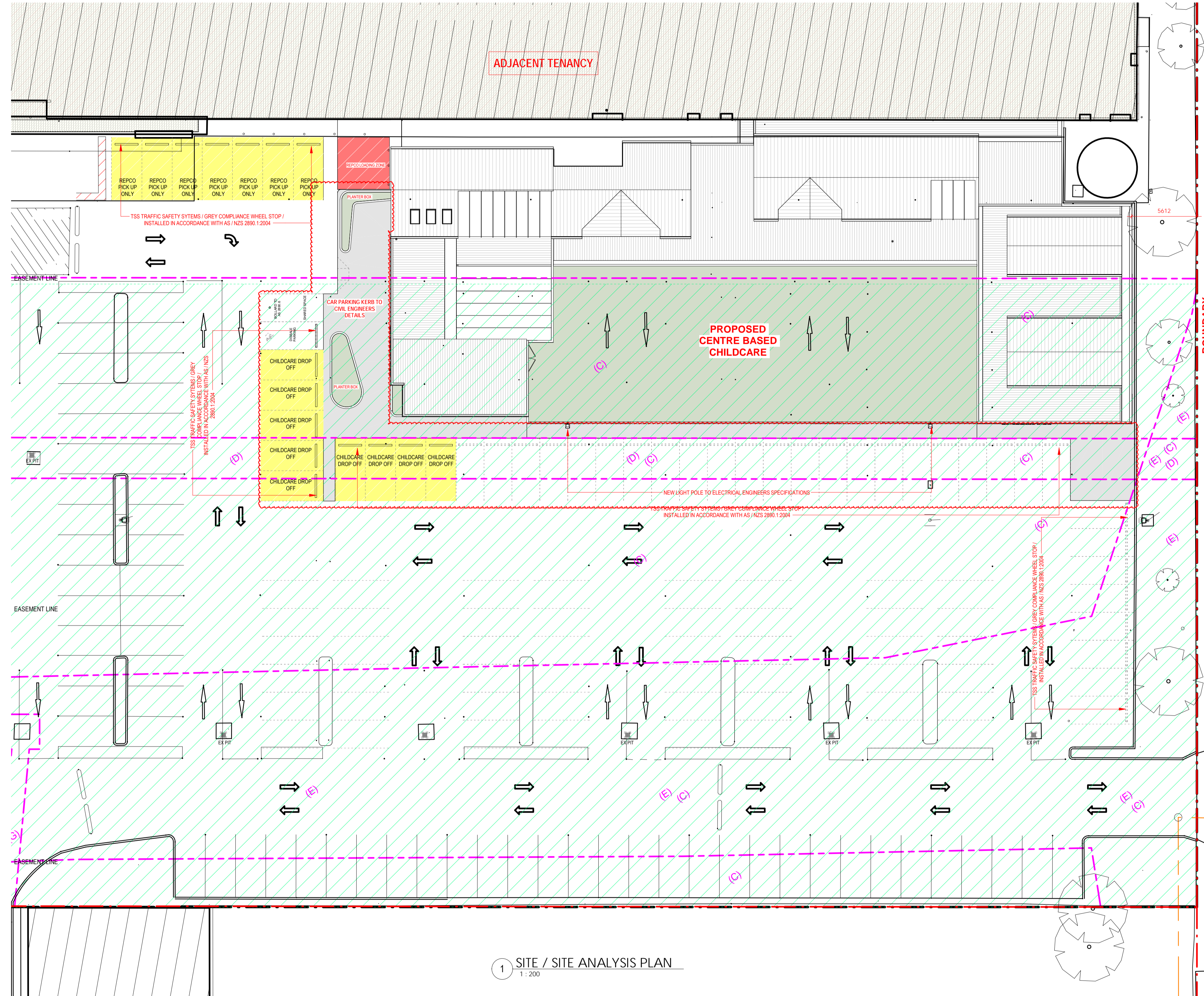


CLIENT	HomeCo
ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)
PROJECT No.	19046
PROJECT	CENTRE BASED CHILDCARE

DRAWING TITLE	SITE EASEMENT PLAN	
SCALE (@A1)	As indicated	DATE ISSUED 02.09.2021
DRAWING No.	S4.55-101	REV Z

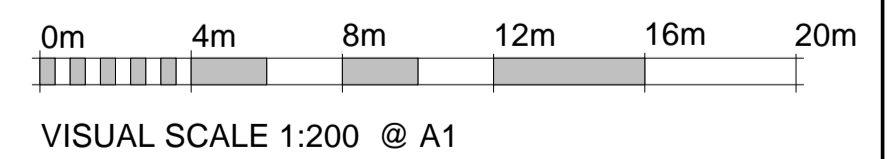
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SITE PARTICULARS	
LOT NUMBER:	LOT 200
DP NUMBER:	DP 1230338
COUNCIL:	PENRITH CITY COUNCIL
ZONING:	B5 - BUSINESS DEVELOPMENT
OVERALL SITE AREA:	3.015 Ha
PROPOSAL	
110 PLACE CENTRE BASED CHILDCARE FACILITY EXTERNAL TO EXISTING / BULKY GOODS PREMISES	
LEGEND	
	EASEMENT LINES
	EXISTING TO BE REMOVED OR MODIFIED
	EXISTING KERB / LINES MARKING MODIFICATION
	INDICATIVE LOCATION OF ENCAPSULATED CONTAMINATION FILL



1 SITE / SITE ANALYSIS PLAN
1:200

EASEMENT NOTES
EASEMENT INFORMATION TAKEN FROM DETAILED SURVEY PREPARED BY REAL SERVE DATED 18.09.2020 REF 78313P
(A) RIGHT OF CARRIAGEWAY VARIABLE WIDTH (DP 1225996)
(C) RESTRICTION ON THE USE OF LAND (DP 1225996)
(D) EASEMENT FOR DRAINAGE OF WATER 3.5 WIDE (DP 1225996)
(E) RESTRICTION ON THE USE OF LAND (DP 1225996)
(G) EASEMENT TO DRAIN WATER 1.5, 2.1 & 3.0 WIDE (DP 1225996)

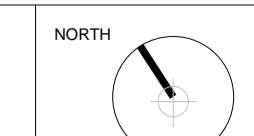


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REV	DESCRIPTION	DATE	BY
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Y	REVISED EXTERNAL WALLS	24.08.2021	KG
Z	S4.55 ISSUE	02.09.2021	KG



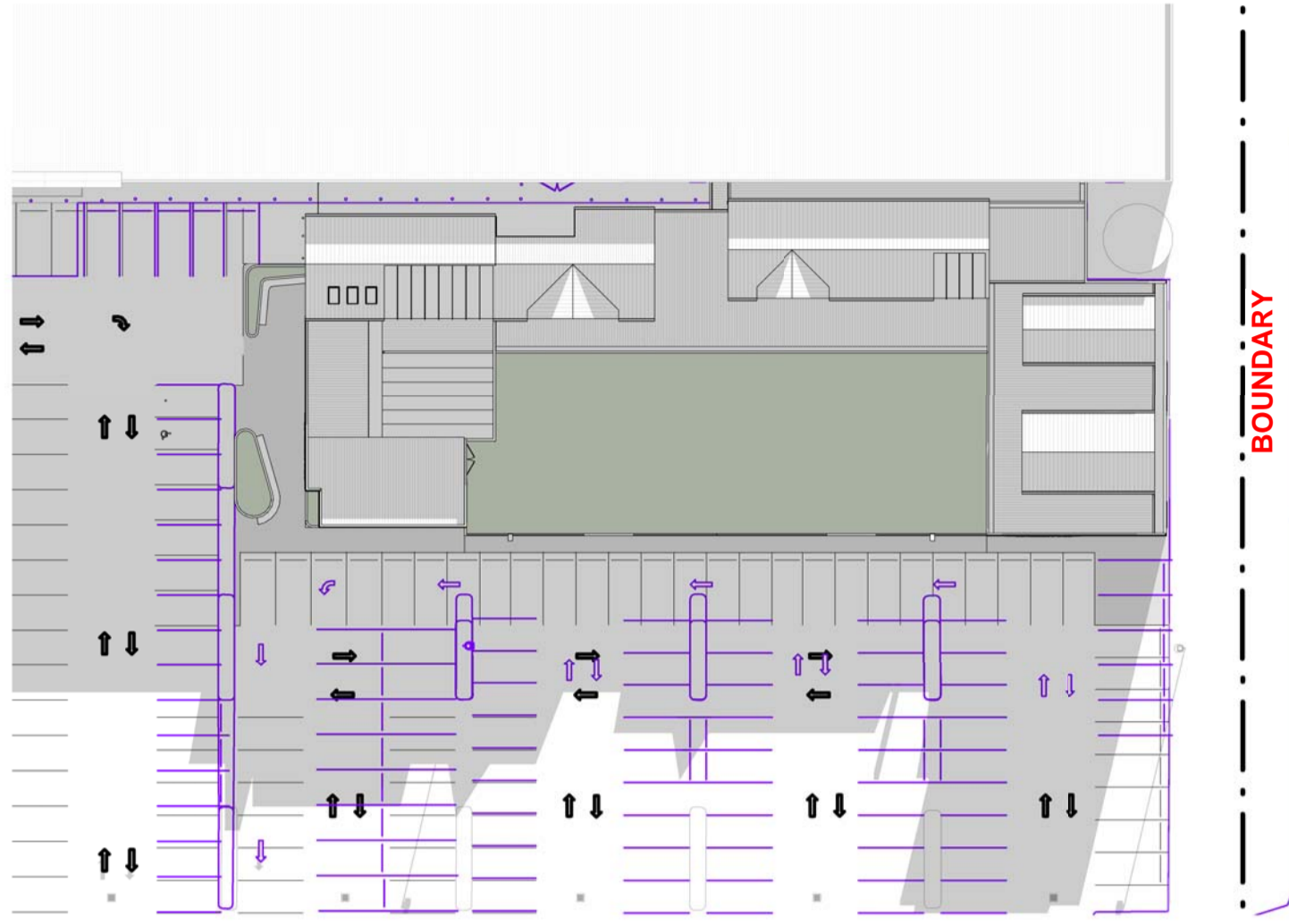
EDWIN VANEGAS
VBA REGISTRATION NUMBER : DP-AD 67633
BDA REGISTRATION NUMBER : 6246



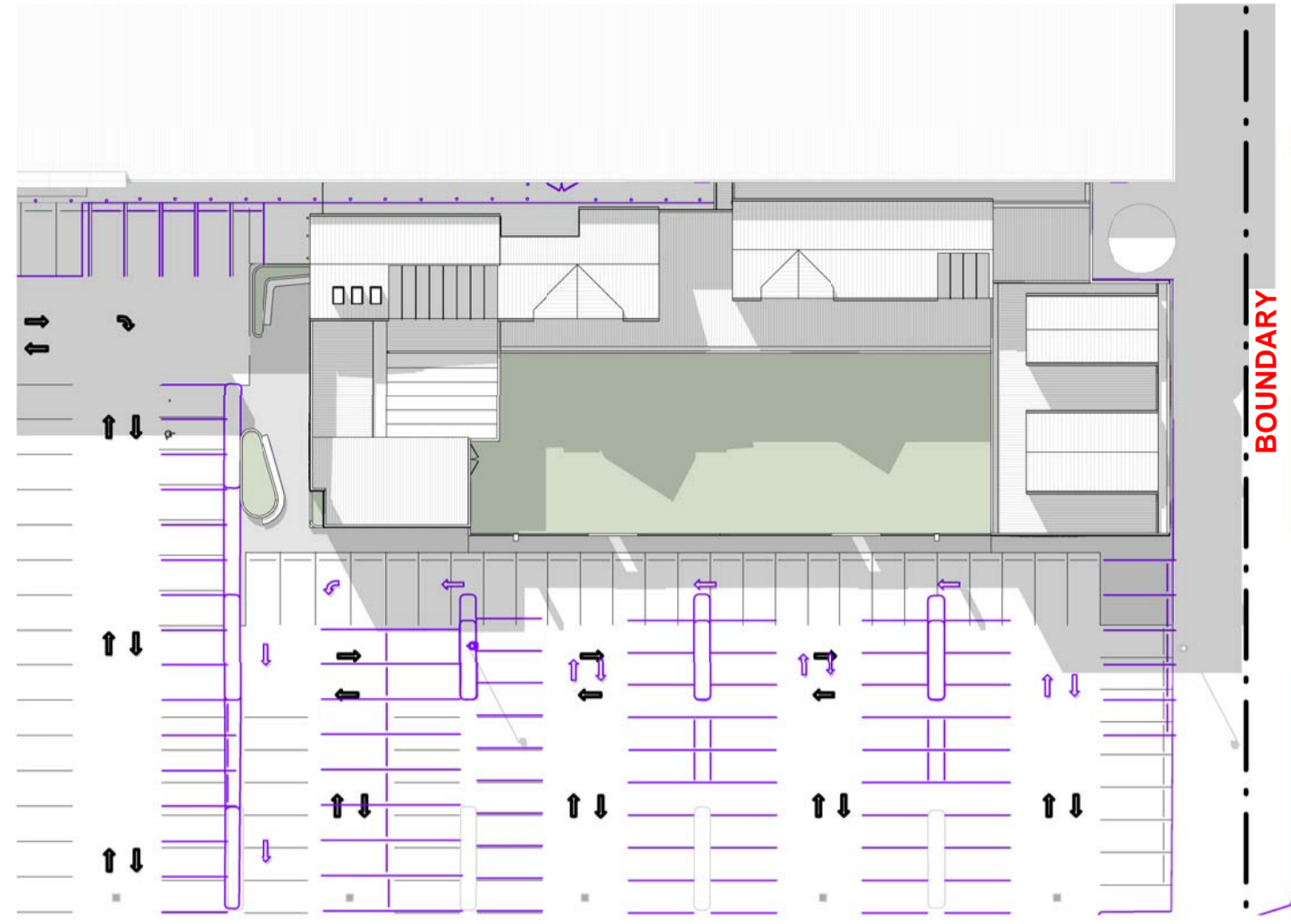
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ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)
PROJECT No.	19046
PROJECT	CENTRE BASED CHILDCARE

DRAWING TITLE	SITE / SITE ANALYSIS PLAN (PROPOSED)	
SCALE (@A1)	As indicated	DATE ISSUED 02.09.2021
DRAWING No.	S4.55-102	REV Z

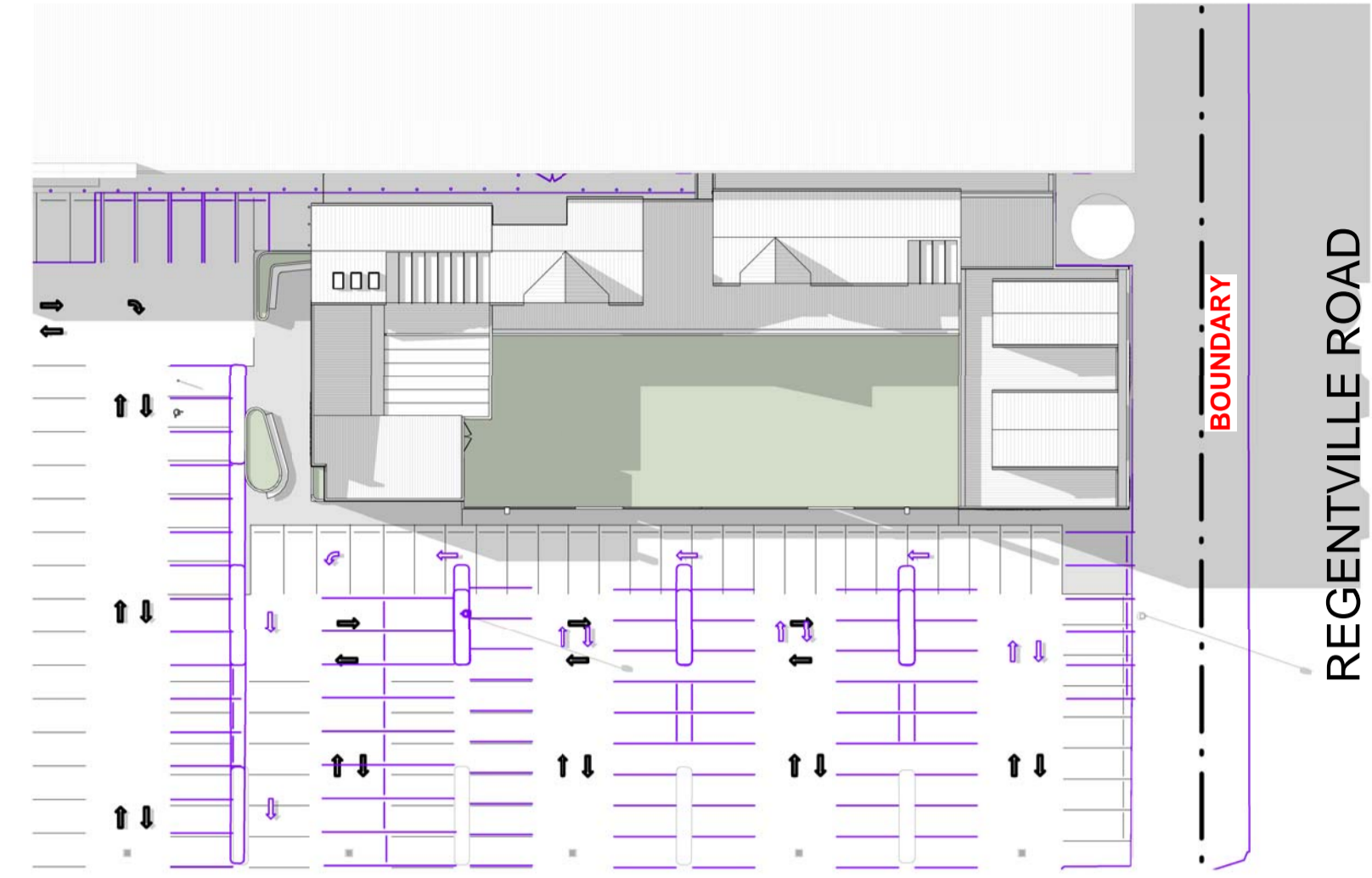
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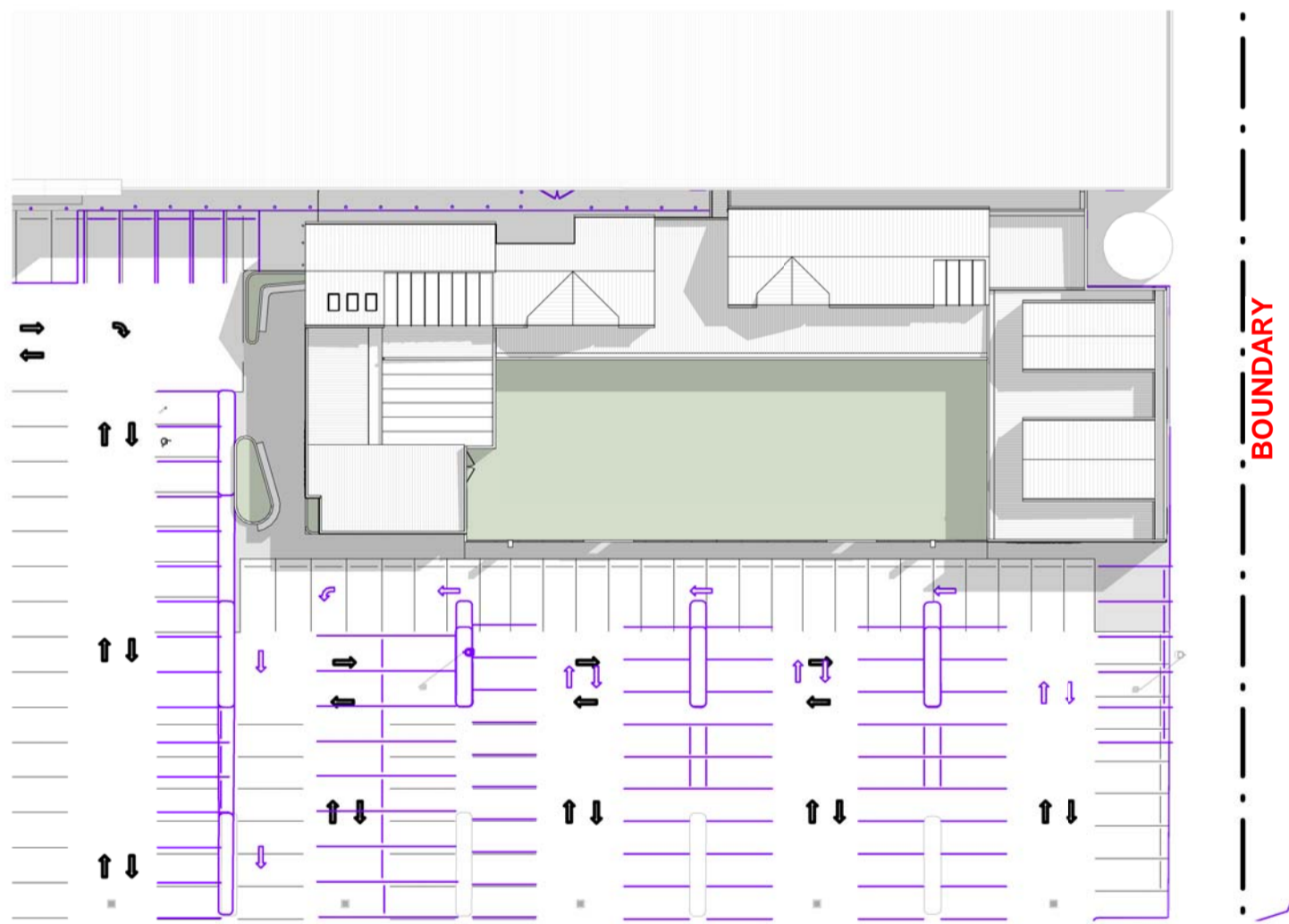
1 WINTER SOLSTICE 9am
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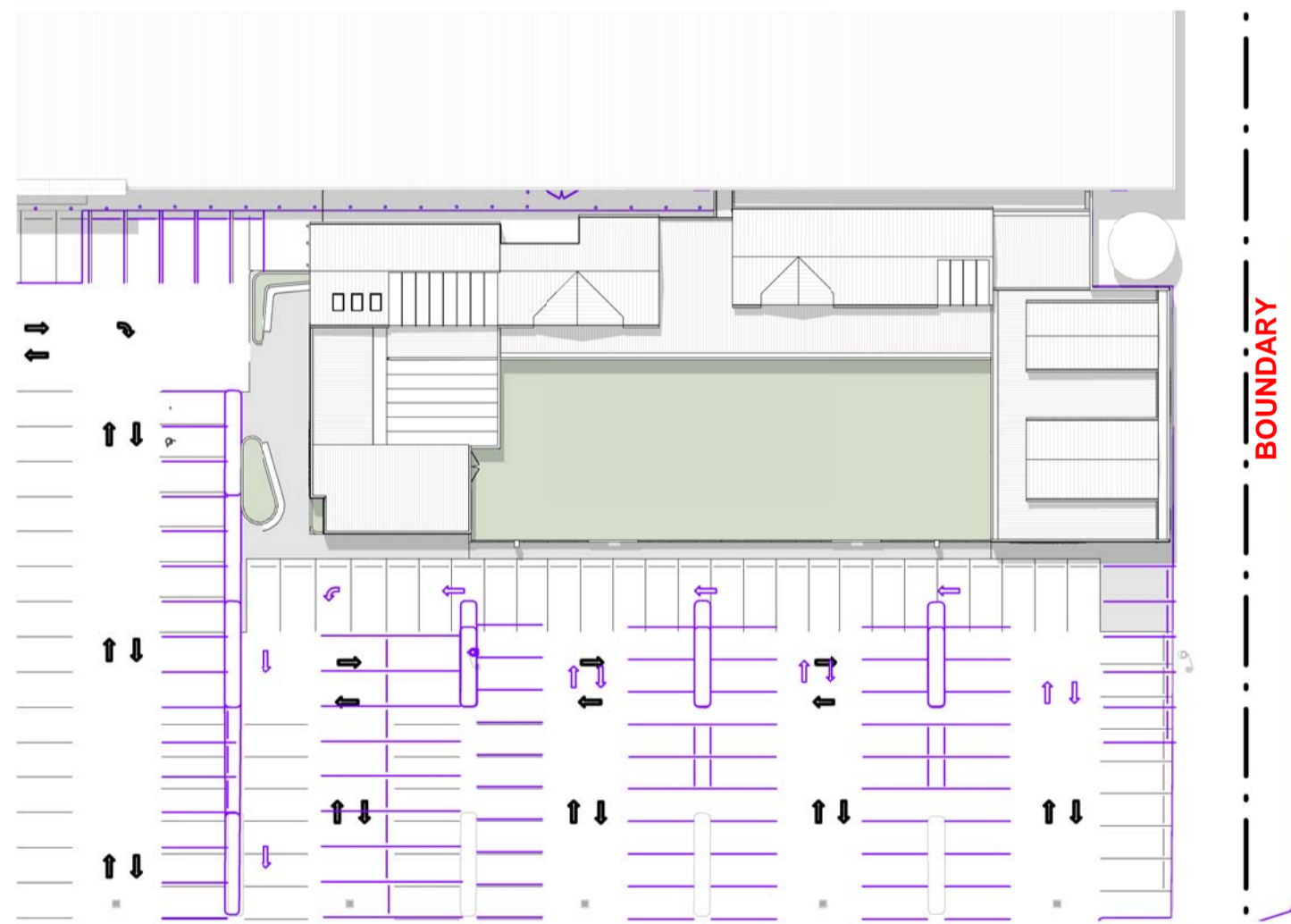
2 WINTER SOLSTICE 12pm
1:500



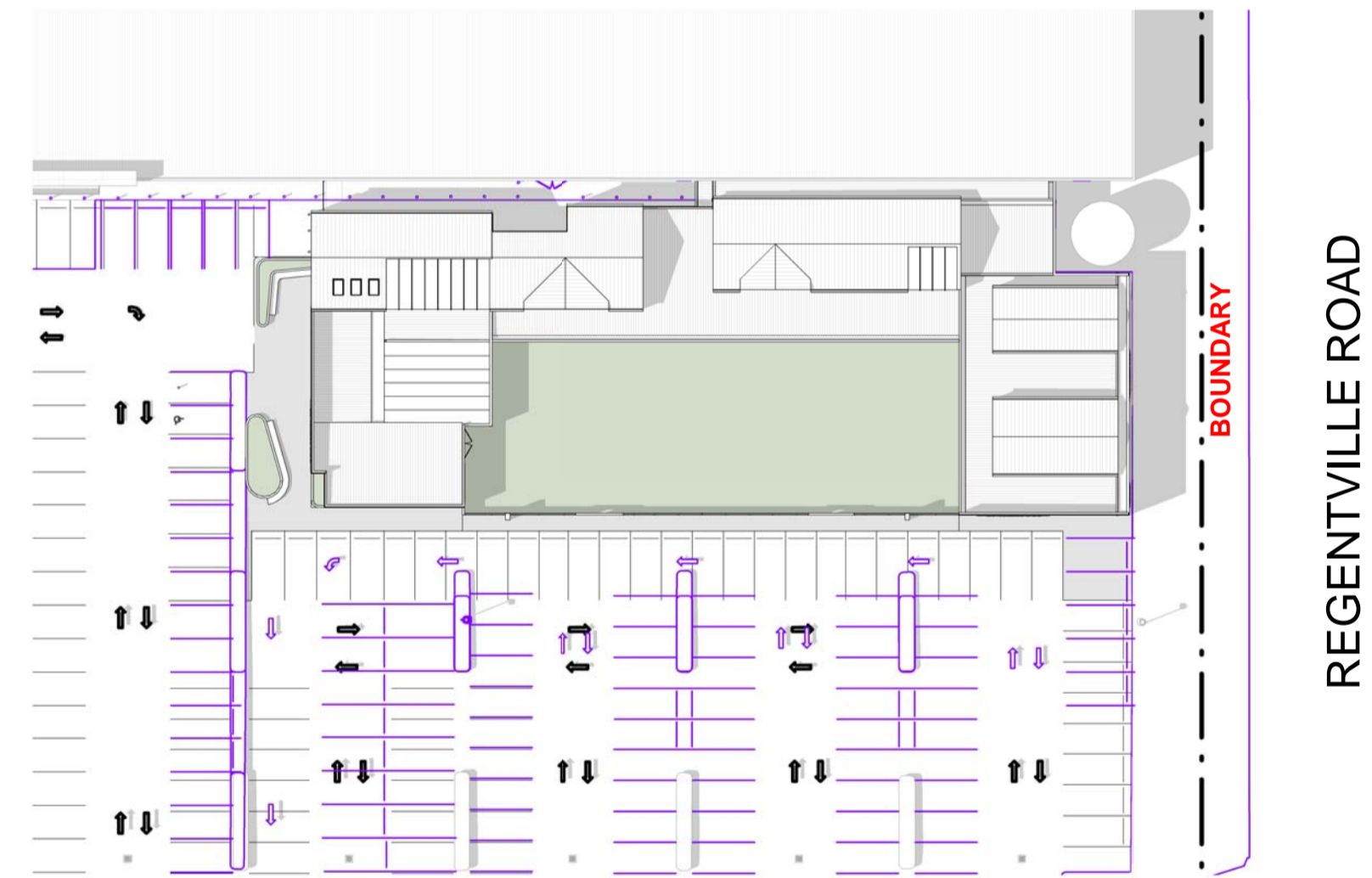
3 WINTER SOLSTICE 3pm
1:500



4 SUMMER SOLSTICE 9am
1:500



5 SUMMER SOLSTICE 12pm
1:500



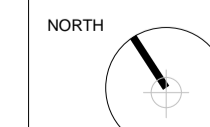
6 SUMMER SOLSTICE 3pm
1:500

STATUS
S4.55 ISSUE

REV	DESCRIPTION	DATE	BY
T	REVISED EARLY WORK PACKAGE	01.06.2021	KG
U	REVISED MAIN WORK SET	10.06.2021	KG
V	REVISED TENDER ISSUE	24.06.2021	KG
W	REVISED EARLY WORK PACKAGE	14.07.2021	KG
X	REVISED MAIN WORK SET	23.07.2021	KG
Y	REVISED EXTERNAL WALLS	24.08.2021	KG
Z	S4.55 ISSUE	02.09.2021	KG



EDWIN VANEGAS
VBA REGISTRATION NUMBER : DP-AD 67633
BDAA REGISTRATION NUMBER : 6246



CLIENT HomeCo
ADDRESS 72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)

PROJECT No. 19046
PROJECT CENTRE BASED CHILDCARE

SCALE (@A1) 1:500
DATE ISSUED 02.09.2021

DRAWING TITLE SHADOW STUDY

DRAWING No. S4.55-103

REV Z

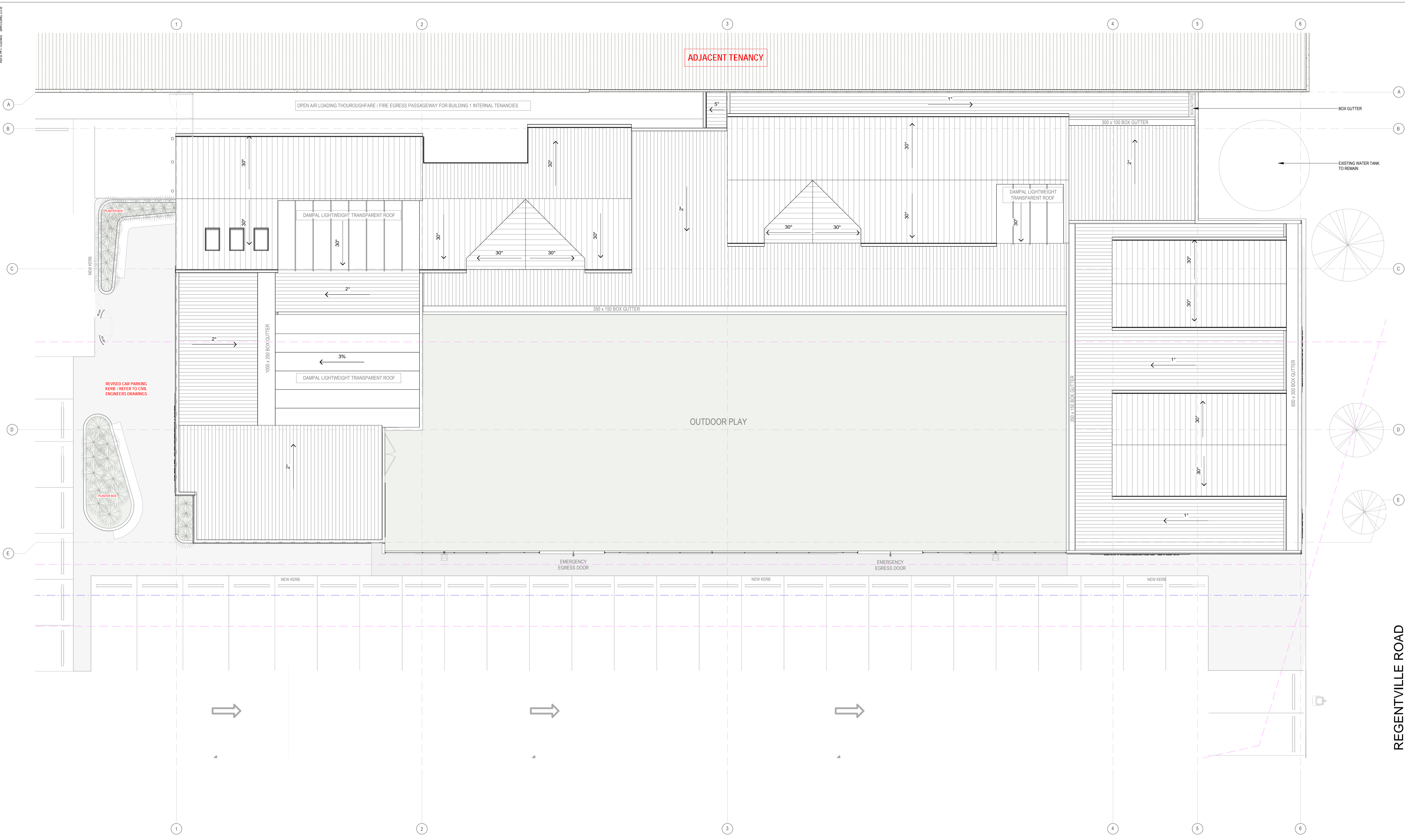
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Unit 14, 401 Pacific Highway
Aurthurton, NSW 2064
Sub 15, 688 The Horsley Drive
Smithfield, NSW 2164
P: 02 8310 8300
E: info@fivecanons.com.au
www.fivecanons.com.au

Five Canons Architecture
Evnr Pty Ltd Tras Five Canons ABN:86 609 881 761

DRAWING No. S4.55-103



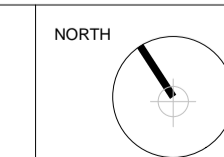
1 ROOF PLAN (PROPOSED)
 1:100

STATUS
S4.55 ISSUE

REV	DESCRIPTION	DATE	BY
T	REVISED EARLY WORK PACKAGE	01.06.2021	KG
U	REVISED MAIN WORK SET	10.06.2021	KG
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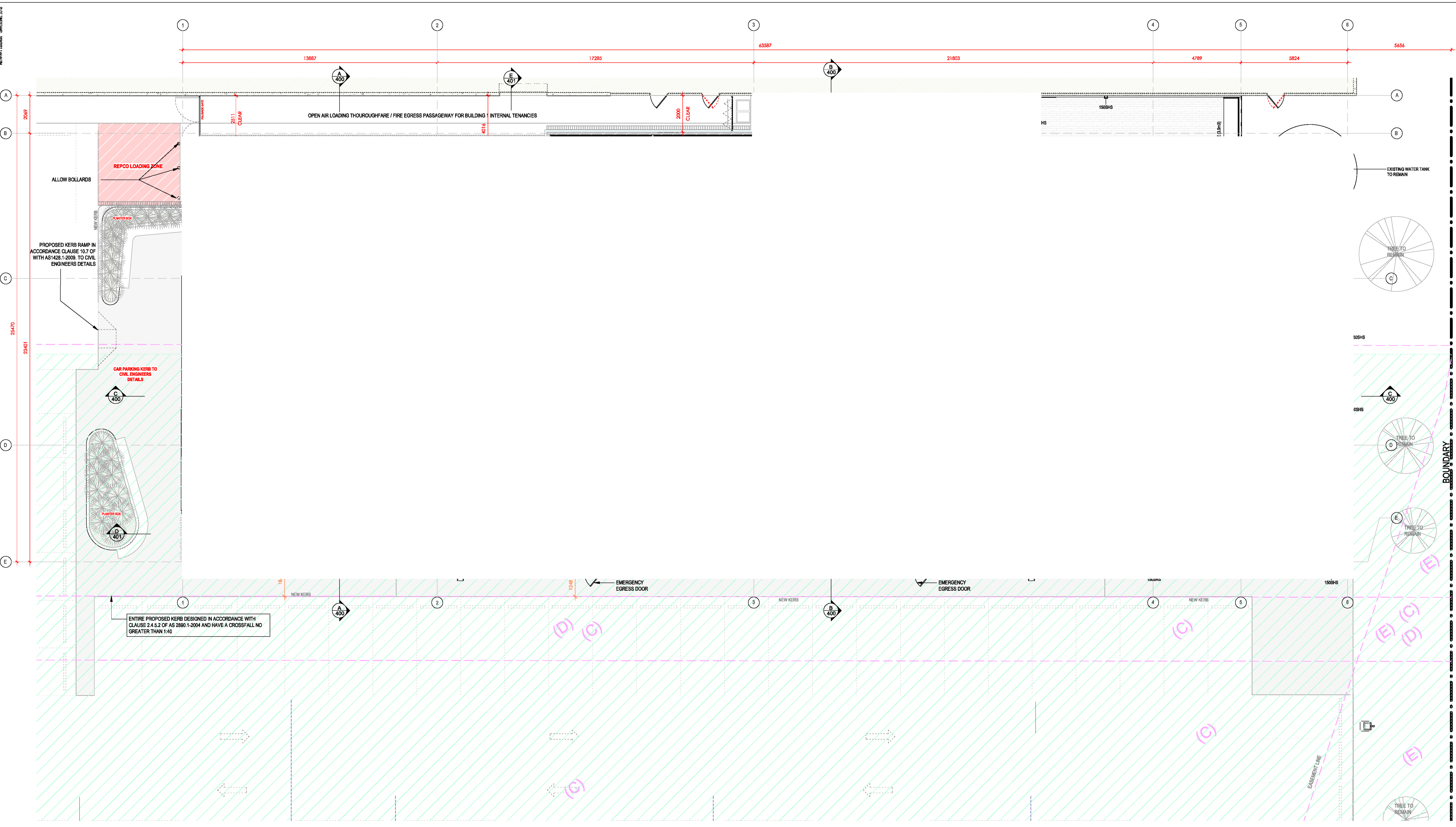
EDWIN VANEGAS
 VBA REGISTRATION NUMBER : DP-AD 67633
 BDA REGISTRATION NUMBER : 6246



CLIENT	HomeCo
ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)
PROJECT No.	19046
PROJECT	CENTRE BASED CHILDCARE

DRAWING TITLE	ROOF PLAN
SCALE (@A1)	1 : 100
DATE ISSUED	02.09.2021
DRAWING No.	S4.55-104
REV	Z

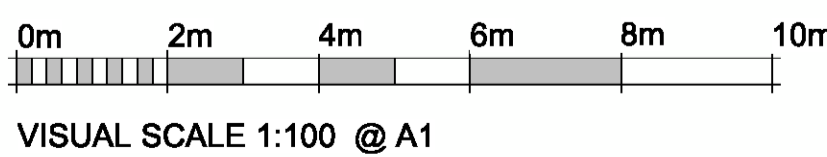
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LEGEND

- EASEMENT LINES
- EXISTING TO BE REMOVED OR MODIFIED
- EXISTING KERB (LINE MARKING) MODIFICATION
- INDICATIVE LOCATION OF ENCAPSULATED CONTAMINATION FILL

EASEMENT NOTES
EASEMENT INFORMATION TAKEN FROM DETAILED SURVEY PREPARED BY REAL SURVEY DATED 18.09.2020 REF 76131/P
(A) RIGHT OF CARRIAGEWAY VARIABLE WIDTH (DP 1225996)
(B) RESTRICTION ON THE USE OF LAND (DP 1225996)
(C) RESTRICTION ON THE USE OF LAND (DP 1225996)
(D) EASEMENT FOR DRAINAGE OF WATER 3.6 WIDE (DP 1225996)
(E) EASEMENT TO DRAIN WATER 1.5, 2.0 & 3.0 WIDE (DP 1225996)



STATUS
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EDWIN VANEGAS
VBA REGISTRATION NUMBER : DP-AD 67633
BDAA REGISTRATION NUMBER : 6246

PROJECT No.
19046

CLIENT
HomeCo
ADDRESS
72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)

PROJECT
CENTRE BASED CHILDCARE

DRAWING TITLE
PROPOSED FLOOR PLAN

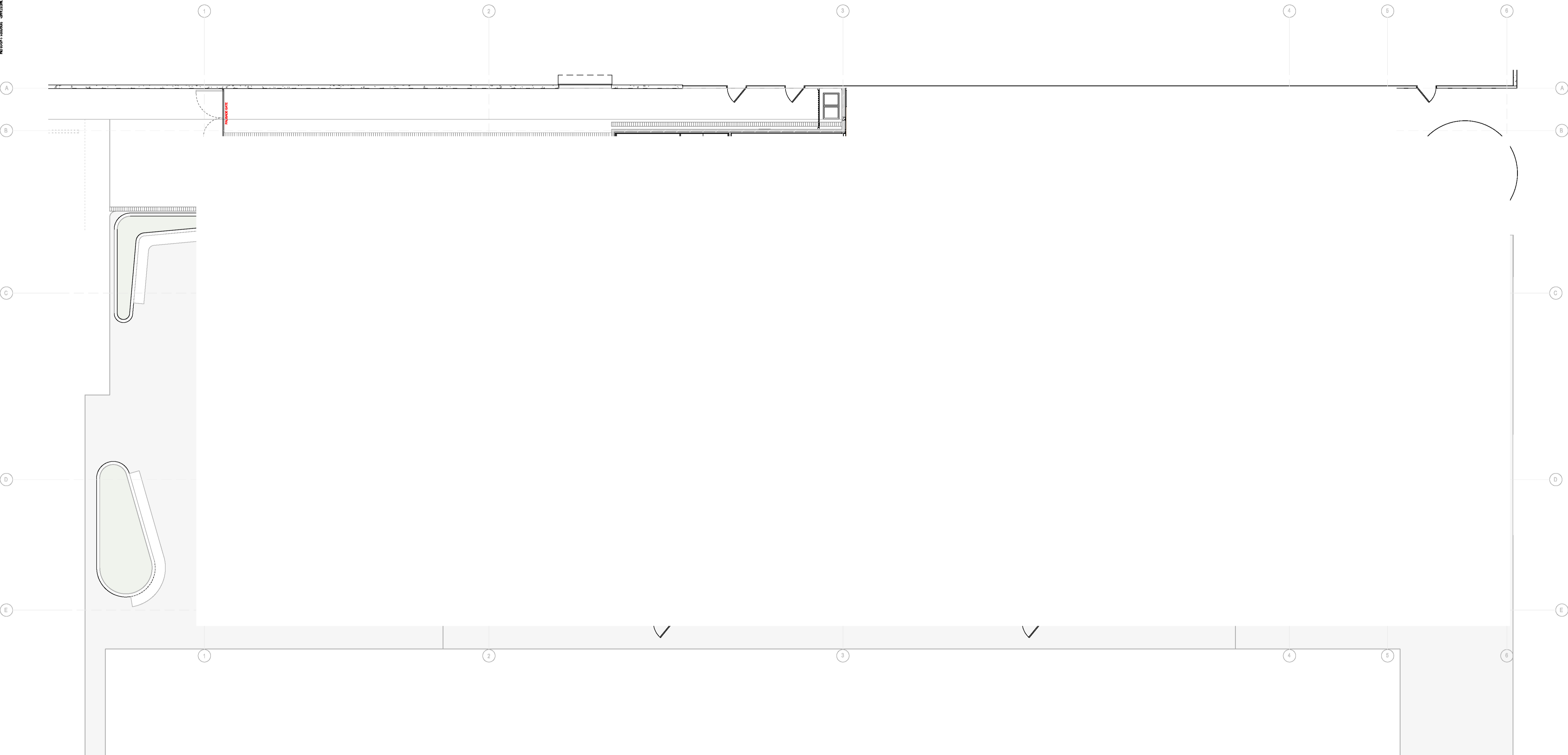
SCALE (@A1)
As indicated

DATE ISSUED
02.09.2021

DRAWING No.
S4.55-201

REV Z

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UNENCUMBERED INDOOR SPACE
 UNENCUMBERED NATURAL OUTDOOR SPACE

BUILDING PRACTITIONER DETAILS	
NAME	EDWIN VANEGAS
BDA AUST. ACCREDITATION NO	6246

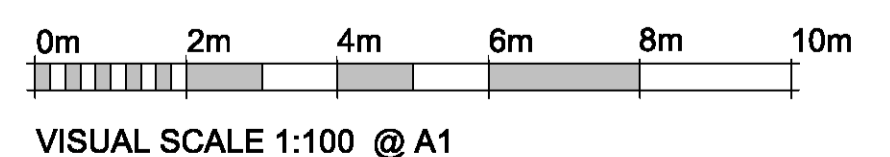
INDOOR AREA CALCULATIONS				
INDOOR PLAY	NUMBER OF CHILDREN	REQUIRED INDOOR AREA	PROVIDED INDOOR AREA	NUMBER OF STAFF
0-1 NURSERY	16	52.00 m ²	52.90 m ²	4 (1:4)
1-2 NURSERY	16	52.00 m ²	52.24 m ²	4 (1:4)
2-3 TODDLERS	30	97.50 m ²	97.59 m ²	6 (1:5)
3-4 PRE-SCHOOL	20	65.00 m ²	66.59 m ²	2 (1:10)
4-5 PRE-SCHOOL	28	91.00 m ²	92.56 m ²	3 (1:10)
TOTAL	110	357.50 m²	361.87 m²	19

OUTDOOR AREA CALCULATIONS			
OUTDOOR PLAY	NUMBER OF CHILDREN	REQUIRED OUTDOOR AREA	PROVIDED OUTDOOR AREA
0-1 NURSERY	16	112.00 m ²	112.02 m ²
1-2 NURSERY	16	112.00 m ²	112.02 m ²
2-3 TODDLERS	30	210.00 m ²	210.03 m ²
3-4 PRE-SCHOOL	20	140.00 m ²	140.02 m ²
4-5 PRE-SCHOOL	28	196.00 m ²	196.03 m ²
TOTAL	110	770.00 m²	770.11 m²

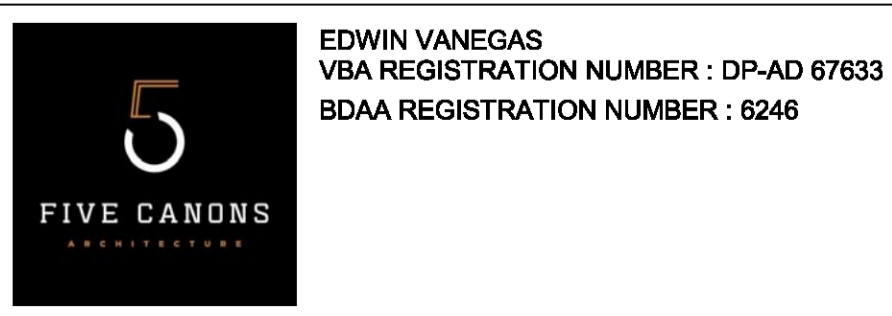
TOTALS SUMMARY				
RATIO	NUMBER OF CHILDREN	AREA REQUIRED	PROVIDED AREA	M ² PER CHILD
INTERNAL	110	357.50 m ²	361.87 m ²	3.29 m ²
EXTERNAL	110	770.00 m ²	770.11 m ²	7.00 m ²

INTERNAL / EXTERNAL STORAGE SCHEDULE			
LOCATION	# CHILDREN	AREA REQUIRED	AREA PROVIDED
INTERNAL	110	22m ³	25.0m ³
EXTERNAL	110	33m ³	33.37m ³

GROSS INTERNAL / EXTERNAL AREA SCHEDULE	
NAME	AREA
GROSS INTERNAL AREA	857.44m ²
GROSS EXTERNAL AREA	1522.62m ²



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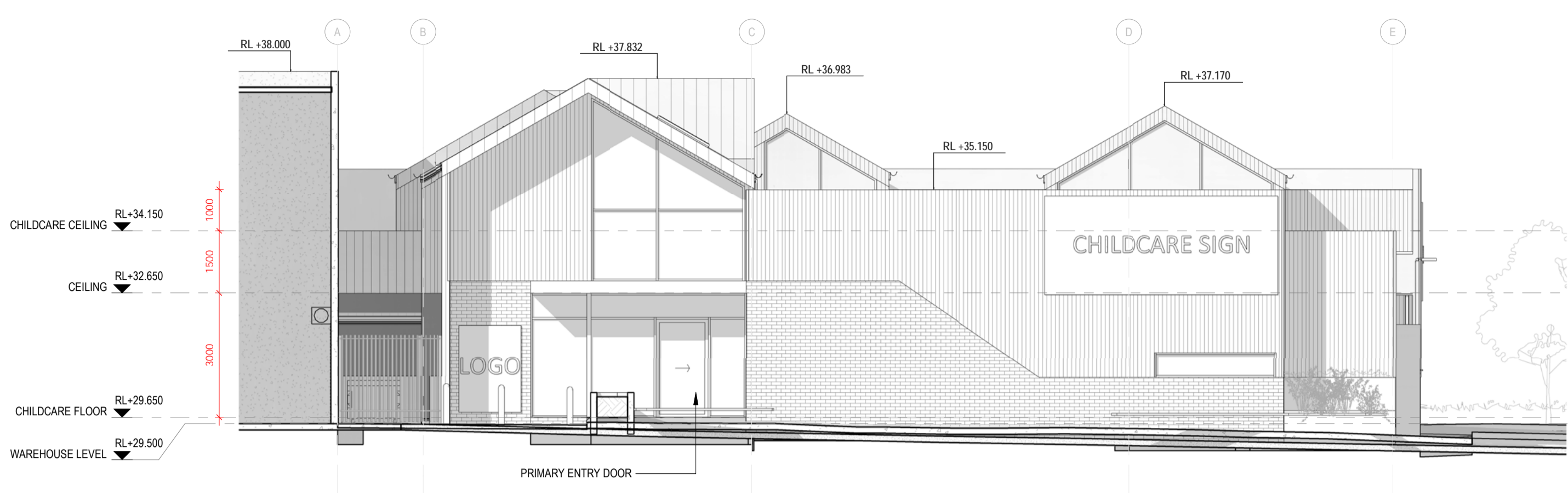


EDWIN VANEGAS
 VBA REGISTRATION NUMBER : DP-AD 67633
 BDA REGISTRATION NUMBER : 6246

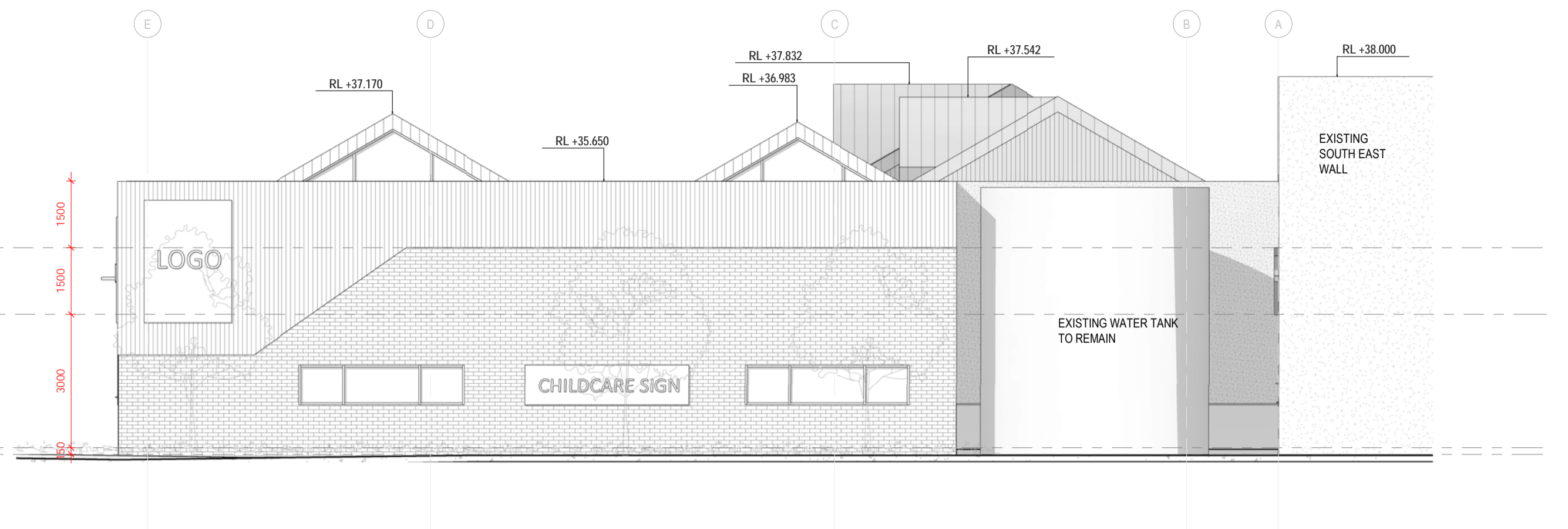
PROJECT No. 19046	CLIENT	HomeCo
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)
PROJECT	PROJECT	CENTRE BASED CHILDCARE
	SCALE (@A1)	As indicated
DRAWING No.	S4.55-202	DATE ISSUED 02.09.2021
		REV Z

DRAWING TITLE	LICENSING PLAN
DRAWING No.	S4.55-202

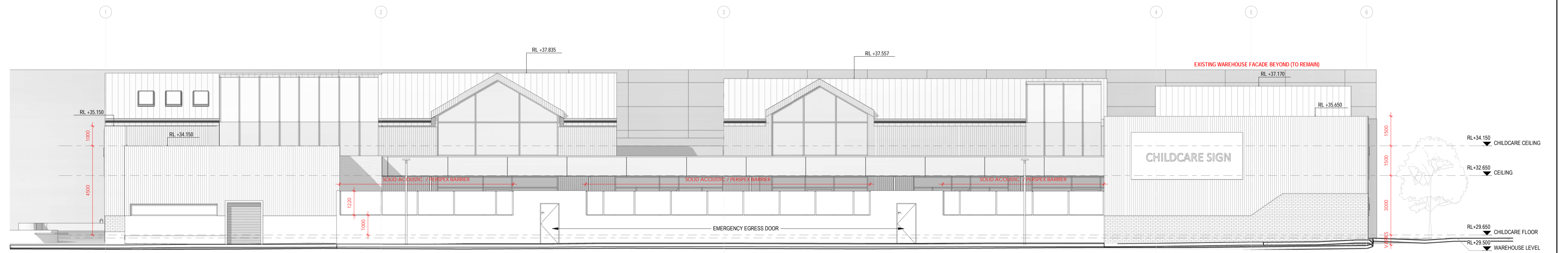
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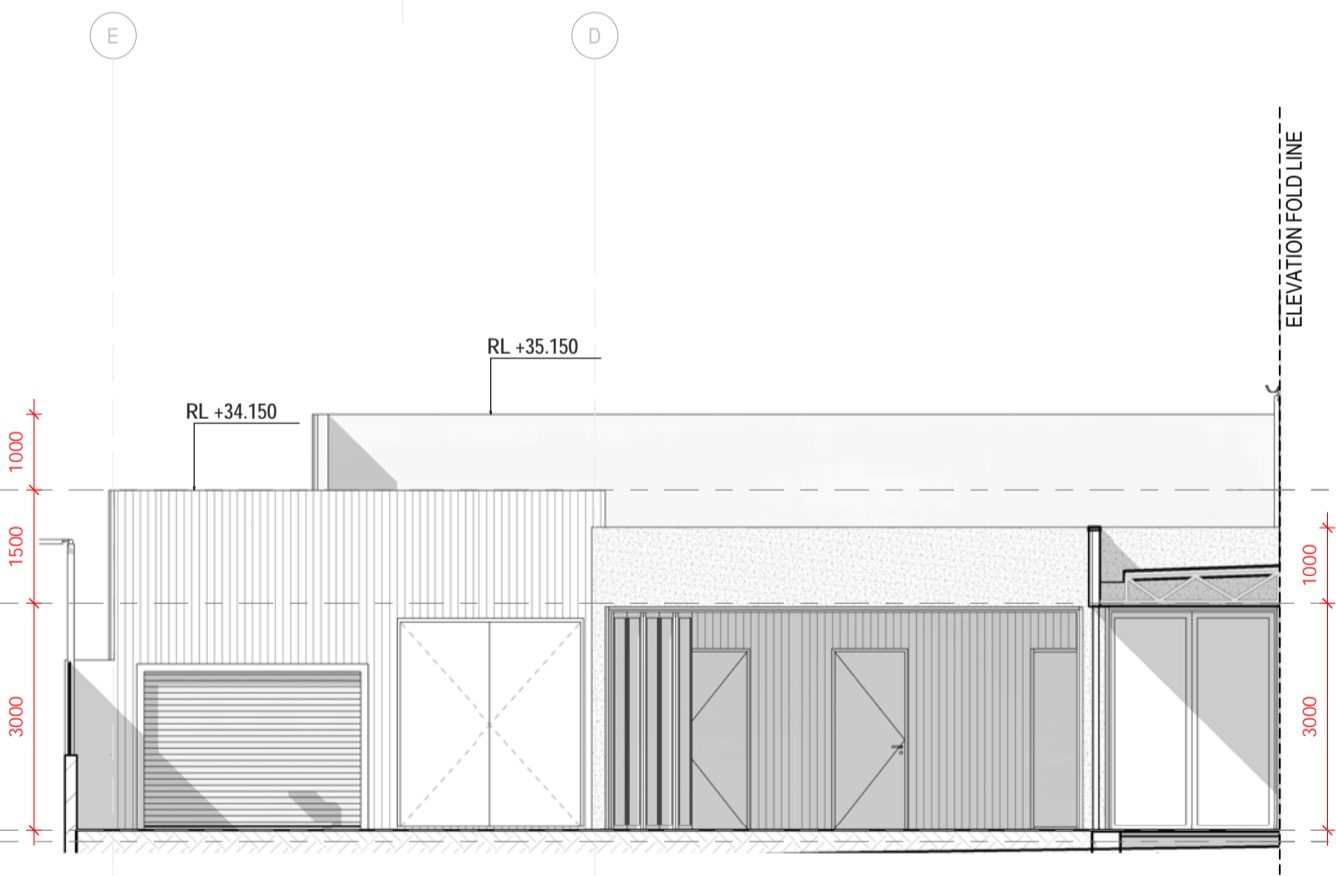
1 NORTH WEST ELEVATION
1:100



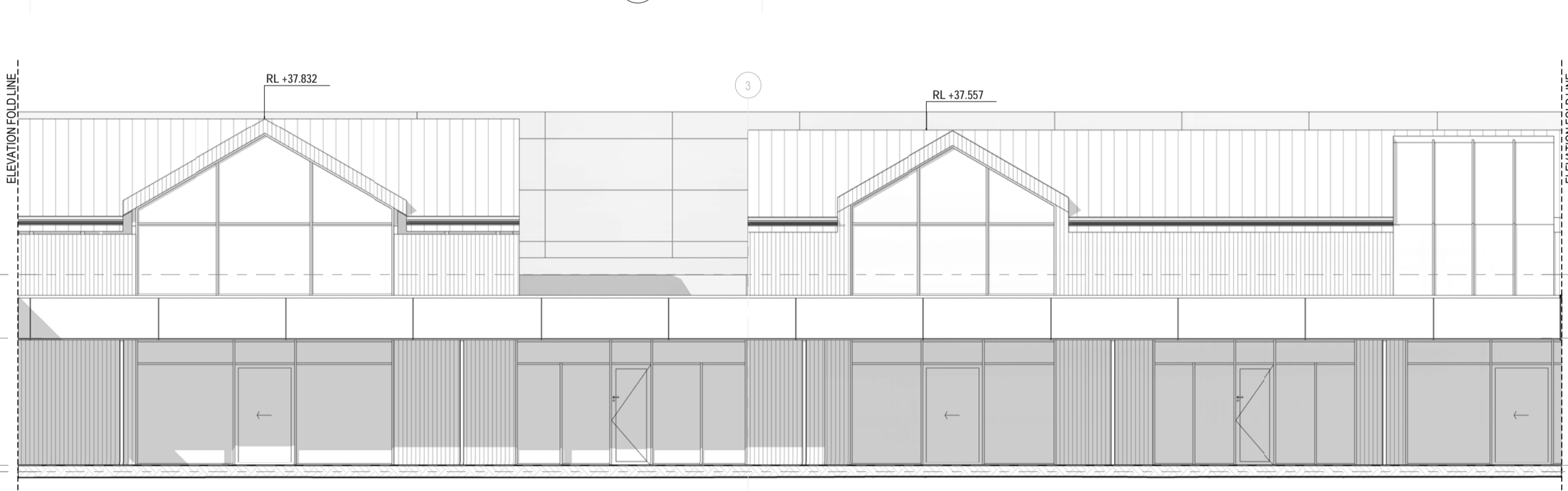
2 02 SOUTH EAST ELEVATION
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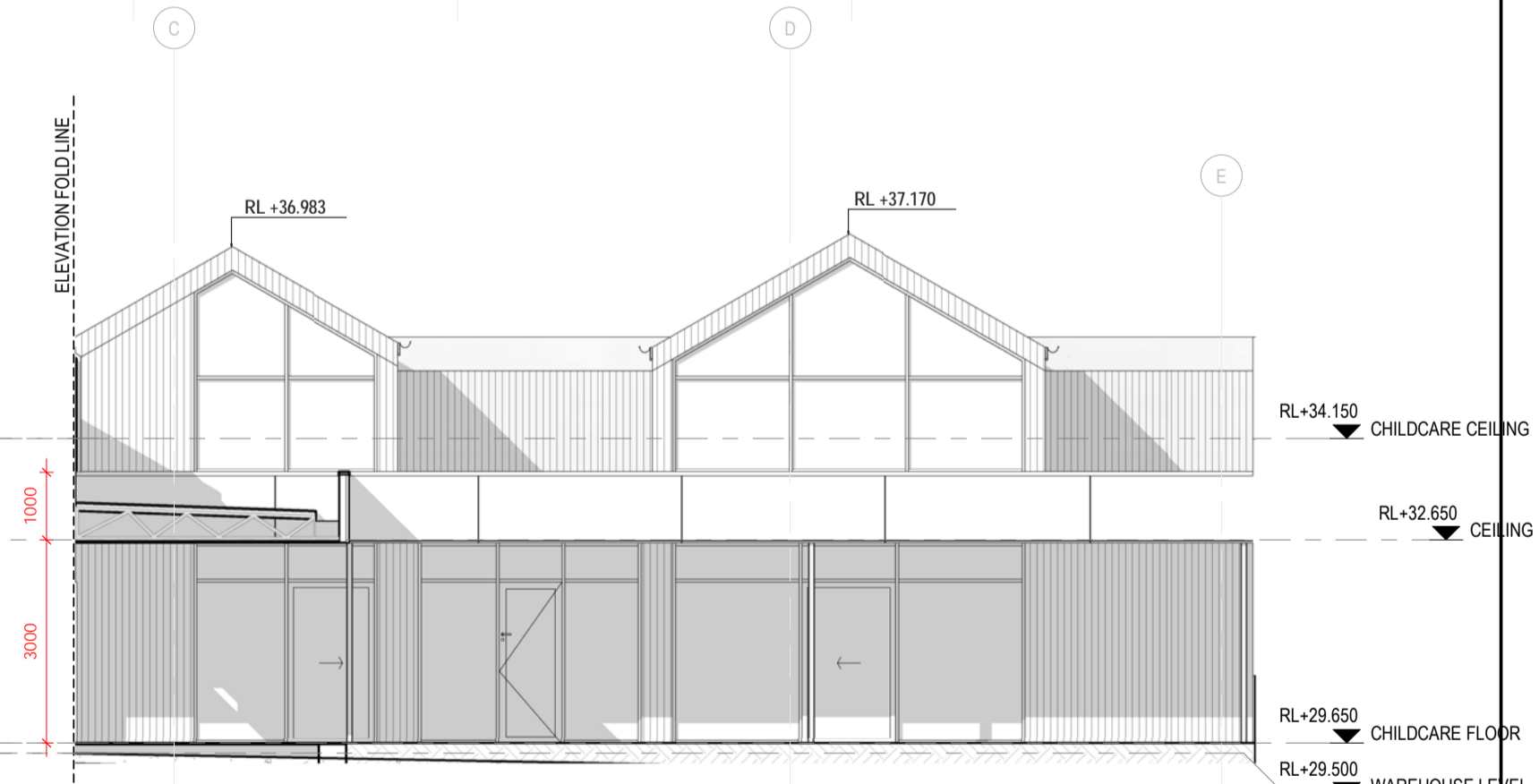
3 03 SOUTH WEST ELEVATION
1:100



5 SOUTH EAST INTERNAL
1:100



6 SOUTH WEST INTERNAL
1:100



4 NORTH WEST INTERNAL
1:100

STATUS
S4.55 ISSUE

REV	DESCRIPTION	DATE	BY
T	REVISED EARLY WORK PACKAGE	01.06.2021	KG
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Z	S4.55 ISSUE	02.09.2021	KG



EDWIN VANEGAS
VBA REGISTRATION NUMBER : DP-AD 67633
BDA REGISTRATION NUMBER : 6246

PROJECT No. 19046	CLIENT	HomeCo	DRAWING TITLE ELEVATIONS
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)	
PROJECT	CENTRE BASED CHILDCARE	SCALE (@A1)	1 : 100
		DATE ISSUED	02.09.2021
		DRAWING No.	S4.55-300
		REV	Z

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P: 02 8310 8300
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www.fivecanons.com.au

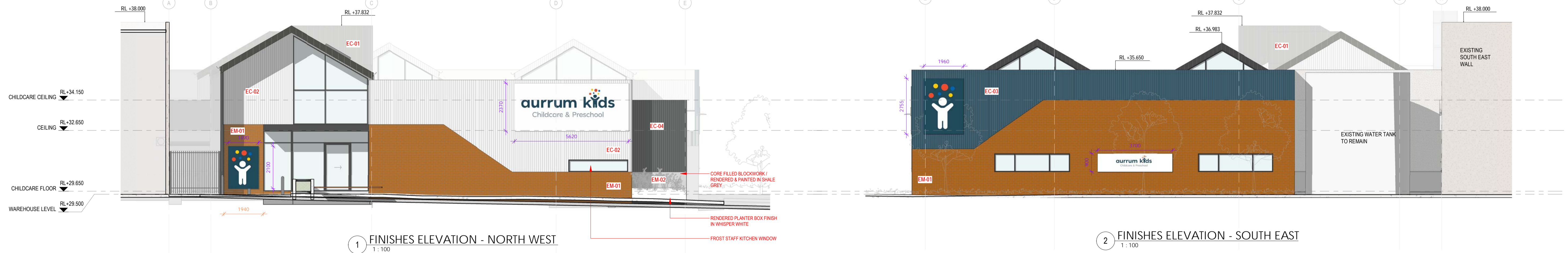
Suite 14, 401 Pacific Highway
Aurton, NSW 2064
Suite 15, 687 The Horsley Drive
Smithfield, NSW 2164



Evnr Pty Ltd Tras Five Canons ABN:86 609 881 761

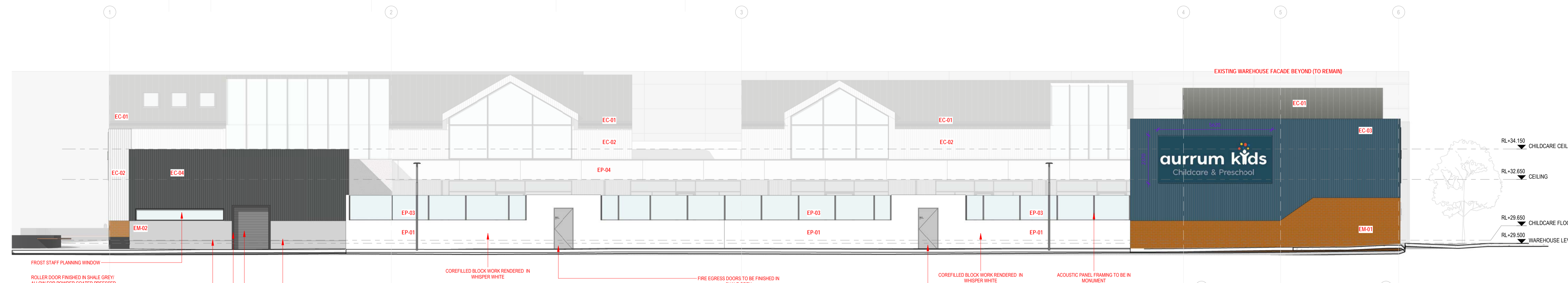
LEGEND

ZZZ EWI - EXTENT OF BLOCKWORK

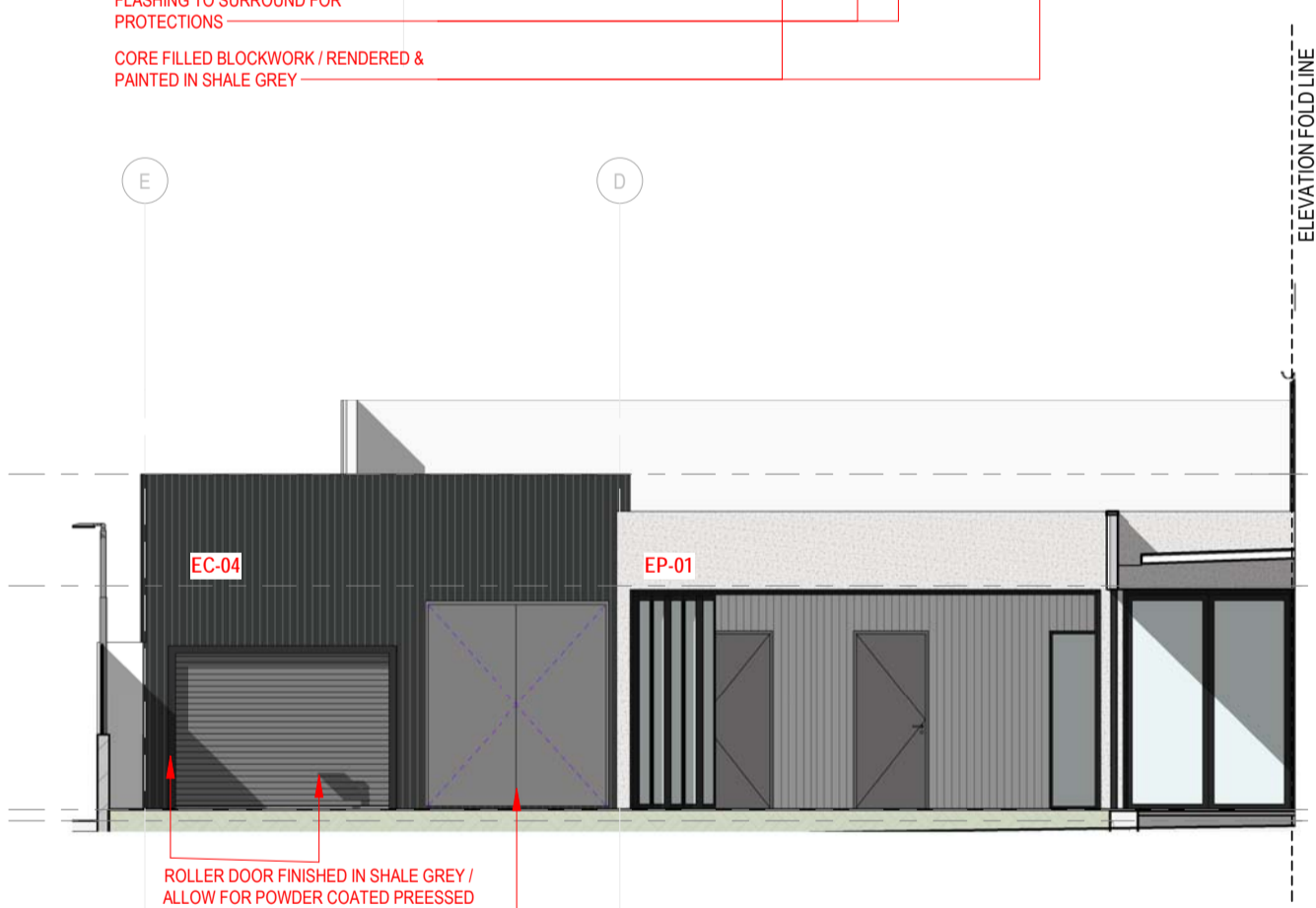


1 FINISHES ELEVATION - NORTH WEST
1:100

2 FINISHES ELEVATION - SOUTH EAST
1:100



3 FINISHES ELEVATION - SOUTH WEST
1:100



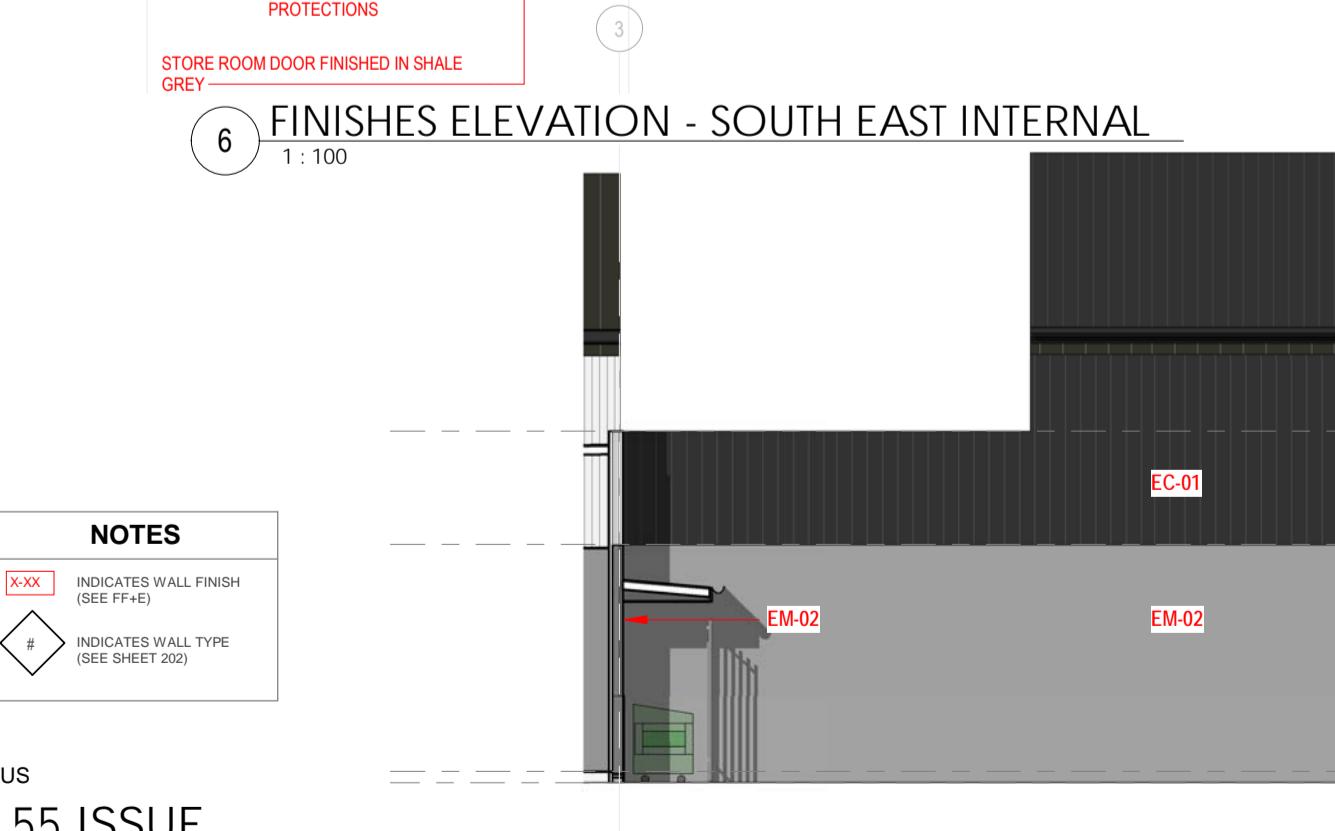
6 FINISHES ELEVATION - SOUTH EAST INTERNAL
1:100



5 FINISHES ELEVATION - SOUTH WEST INTERNAL
1:100



4 FINISHES ELEVATION - NORTH WEST INTERNAL
1:100



7 REPCO CORRIDOR
1:100

NOTES

INDICATES WALL FINISH (SEE FF4E)

INDICATES WALL TYPE (SEE SHEET 303)

No.	SPECIFICATION	SAMPLE
EC-01	LYSAGHT ZENITH 'ENSEAM' EXTERNAL ROOFING COLOUR: COLORBOND 'SHALE GREY'	
EC-02	JAMES HARDIE SCYCON AXON CLADDING 133mm SMOOTH VERTICAL (ON 35mm TOP HATS) COLOUR: DULUX VIVID WHITE OR SIMILAR	
EC-03	JAMES HARDIE SCYCON AXON CLADDING 133mm SMOOTH VERTICAL COLOUR: 'SLATE' / PAINTER TO MATCH AS SPECIFIED	
EC-04	JAMES HARDIE SCYCON AXON CLADDING 133mm SMOOTH VERTICAL COLOUR: DULUX 'MONUMENT'	

No.	SPECIFICATION	SAMPLE
EM-01	AUSTRAL 150 SERIES CORE FILLED MASONRY UNITS TYPE: AUSTRALITE OR SIMILAR / WITH RECLAIMED RED BRICKFACE TILING OR SIMILAR TO FUTURE DETAIL	
EM-02	AUSTRAL 150 SERIES CORE FILLED MASONRY UNITS & 200 SERIES CORE FILLED MASONRY UNITS ONLY AS INDICATED TYPE: AUSTRALITE OR SIMILAR / RENDERED & PAINTED IN DULUX 'SHALE GREY'	
EP-01	ACRYLIC RENDER COLOUR: DULUX WHISPER WHITE	
EP-02	WINDOORS FRAMING/ COLOUR: DULUX 'MONUMENT'	

No.	SPECIFICATION	SAMPLE
EP-03	PEXIGLASS ACRYLIC ACOUSTIC PANELING COLOUR: CLEAR	
EP-04	FC SHEET TO FASCIA COLOUR: WHISPER WHITE	
R-01	LYSAGHT 'KLIIP-LOK' ROOF SHEETING COLOUR: COLORBOND 'SHALE GREY'	
	GUTTERS/DOWNPIPES/ FLASHING COLOUR: COLORBOND SHALE GREY	

STATUS
S4.55 ISSUE

REV	DESCRIPTION	DATE	BY	KG
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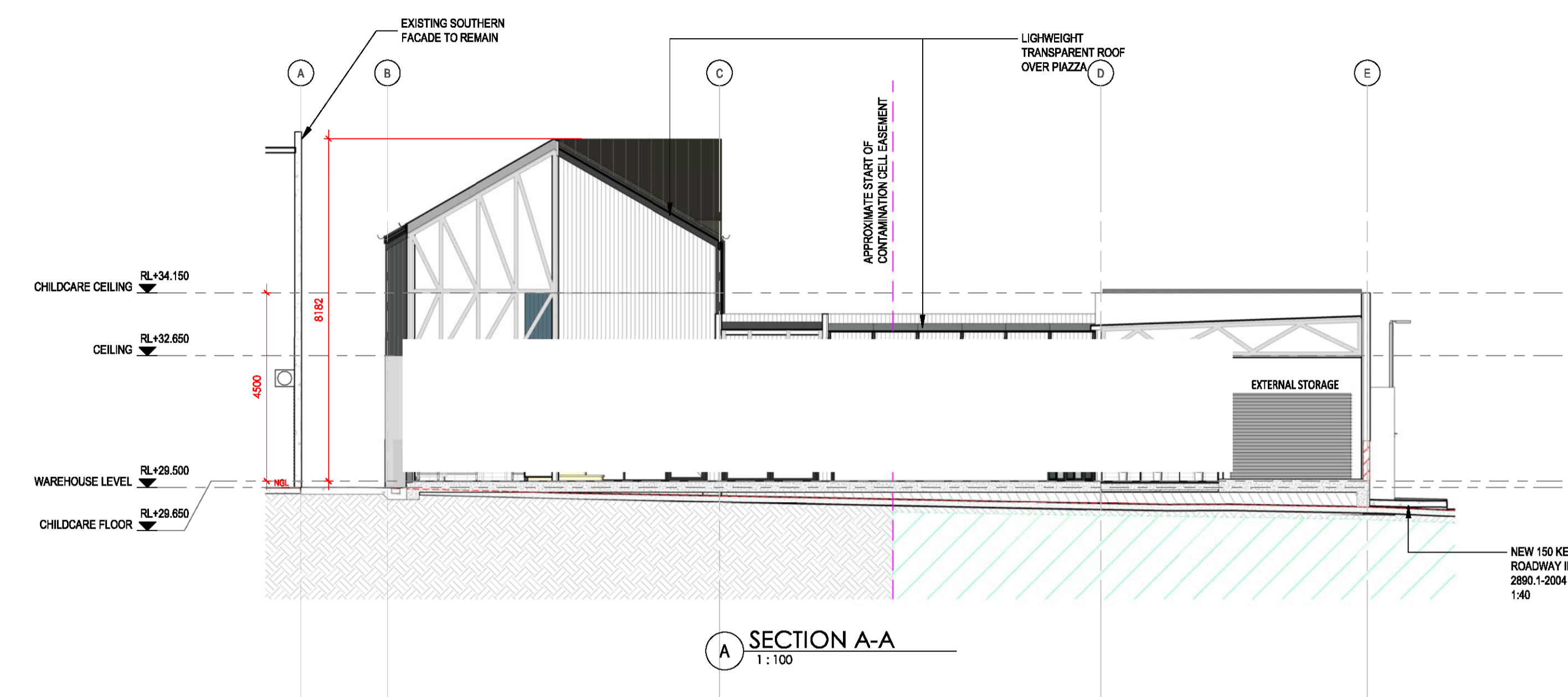


EDWIN VANEGAS
VBA REGISTRATION NUMBER : DP-AD 67633
BDA REGISTRATION NUMBER : 6246

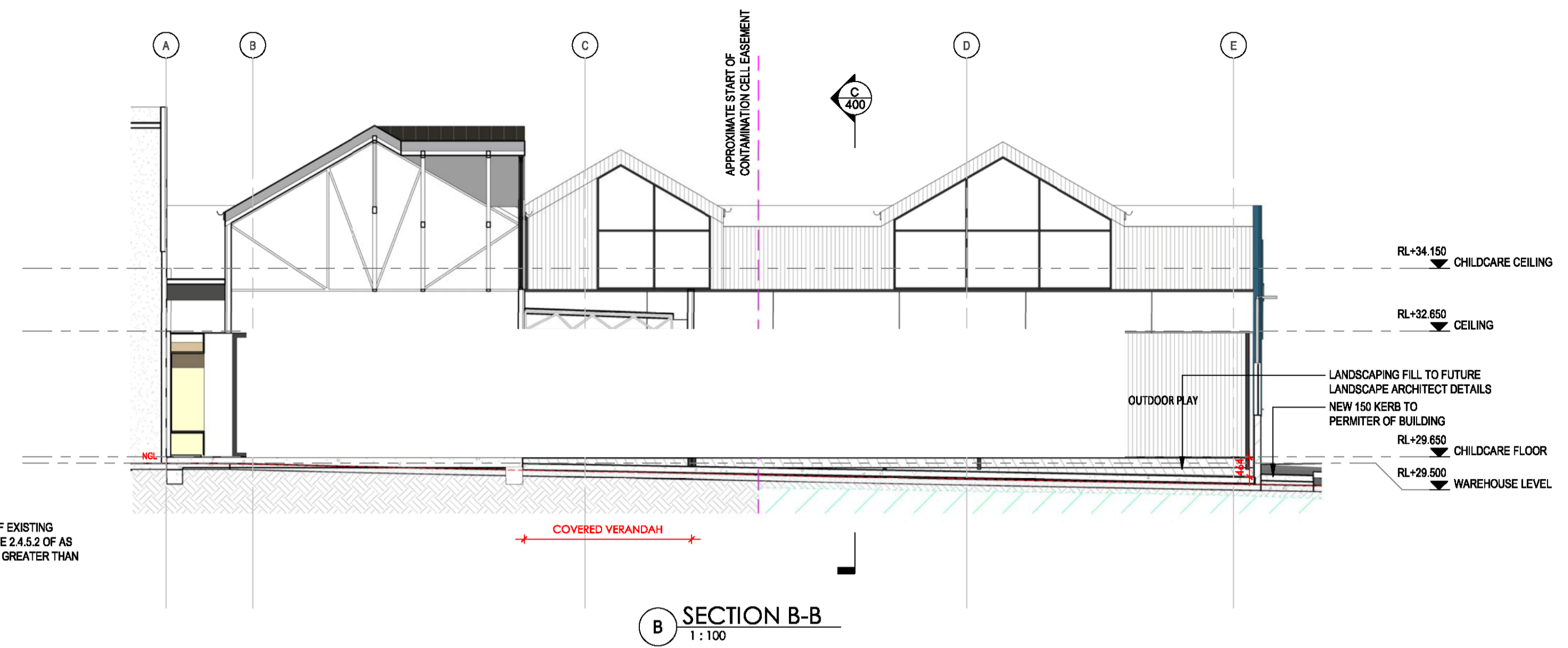
PROJECT No. 19046	CLIENT	HomeCo
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)
PROJECT	CENTRE BASED CHILDCARE	

DRAWING TITLE	EXTERNAL FINISHES ELEVATIONS	
SCALE (@A1)	As indicated	DATE ISSUED 02.09.2021
DRAWING No.	S4.55-301	REV Z

LEGEND
 EWT - EXTENT OF BLOCKWORK



A SECTION A-A
1:100



B SECTION B-B
1:100



C SECTION C-C
1:100

LEGEND
 EASEMENT LINES
 EXISTING TO BE REMOVED OR MODIFIED
 EXISTING KERB / LINEMARKING MODIFICATION
 INDICATIVE LOCATION OF DISPERSED CONTAMINATION FILL

STATUS
S4.55 ISSUE

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Z	S4.55 ISSUE	02.09.2021	KG



EDWIN VANEGAS
 VBA REGISTRATION NUMBER : DP-AD 67633
 BDAA REGISTRATION NUMBER : 6246

PROJECT No. 19046	CLIENT	HomeCo	DRAWING TITLE SECTIONS
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)	
PROJECT	PROJECT	CENTRE BASED CHILDCARE	SCALE (@A1) As indicated
	DATE ISSUED	02.09.2021	DRAWING No. S4.55-400
			REV Z

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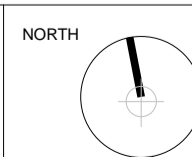


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 BDA REGISTRATION NUMBER : 6246



CLIENT	HomeCo
ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)
PROJECT No.	19046
PROJECT	CENTRE BASED CHILDCARE

DRAWING TITLE	3D PERSPECTIVES
SCALE (@A1)	
DATE ISSUED	02.09.2021
DRAWING No.	S4.55-800
REV	Z

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