

14 October 2019

Westfield Penrith DA Access Report

Methodology

This Access Australia (AA) Report accompanies a DA for alterations and additions to Westfield Penrith NSW and relates to instructions and documents received to date from Scentre Group.

AA site inspection was held on 25 May 2018 following notification of Centre Management. Additional details and plans have been provided to date.

AA reports and recommendations relate to the ABCB (Australian Building Codes Board), 2010 DDA Access to Premises Standard (APS) and current NCC / BCA access requirements. The intent of the APS is to harmonise BCA access provisions with the complaints based DDA.

Access provisions are to comply with relevant Australian Standards, including current AS1428.1 - 2009, AS1428.2 - 1992, AS1428.4 - 2009, AS1735.12 - 1999, AS2890.6 - 2007 and Penrith Council access requirements as applicable.

DDA complaints can be lodged in relation to existing and or proposed buildings and services. Accordingly, AA provides a risk management approach, and recommends access modifications / retrofit to existing premises in conjunction with accessible new works and services.

AA directors are members of the ACAA (Association of Consultants in Access Australia).

Scope & Criteria

AA current scope is to provide an access site inspection, review designs and documentation, meetings as required, and prepare draft and completed DA Access Report.

Penrith Council requirements

Penrith DCP 2014 Clause 10.6 Pedestrian Connections *Objectives* include –
To provide a safe, convenient and legible movement network for people with diverse abilities, including those using wheelchairs. Mobility scooters, people with prams, small children, elderly people

Clause 10.6 *Controls* include

To enable comfortable passage for all people with diverse abilities, footpaths must be

- i) Provided on both sides of the road in urban areas*
- ii) A minimum of 1.5m wide along collector and all lower order streets*
- iii) A minimum of 2.5m on approach routes to predictable destinations such as schools, parks and shopping precincts (3m paths or wider preferred)*

A smooth transition from ramps to roads is to be provided for people using wheelchairs or prams

Ramps should be designed in accordance with appropriate design guidelines and be as wide as the pathway or marked crossing point to eliminate squeeze points at transition areas

Existing conditions

Entry

Pedestrian and vehicle access is provided at the High St frontage to the proposed Penrith Mondo area. Kerb ramps and signage generally complies.



High St pedestrian access

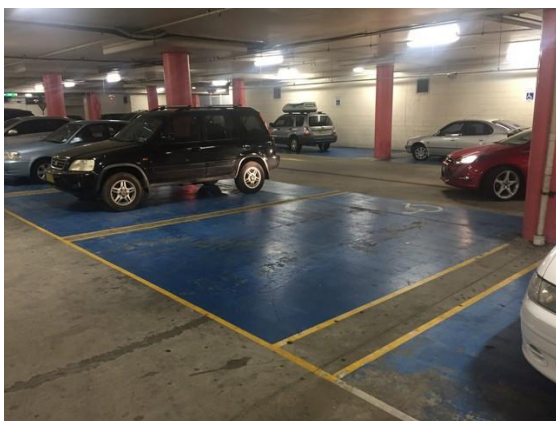


High St vehicle access

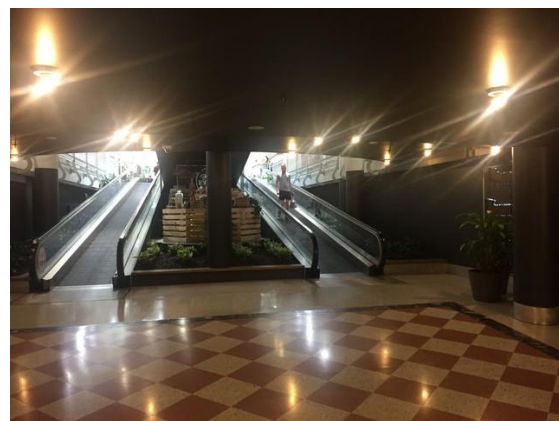
Car Parking

Basement car park provides 13 non-complying 'accessible' car spaces 4000± wide with 2800± ceiling height. There are no adjacent shared spaces.

The accessible car spaces have generally level access to 1700± wide automatic entry doors, with travelators and non-complying ramps to upper levels. Travelators are not part of an accessible path of travel and lift access is not provided.



Basement 'accessible' parking



Basement travelators

Accessible parking is not provided at Level 1 / Ground and five non-complying accessible car spaces are located at Level 2, 3200± wide, with clear ceiling height of 2500 over majority of car space but drop beam restricts height to 2300± at entry to car space.



Upper level parking



Typical parking lobby

Existing Entry & Car parking	Access criteria APS, BCA & Standards
Paths of travel (POT) Entries and signage	Provide continuous accessible POT between property boundaries, main pedestrian entrances and associated areas
	Provide consistent accessible signage
	Comply with Penrith DCP 2014 including minimum 2.5m wide footpaths
Accessible parking	Provide AS4299 and NCC / BCA complying accessible parking including minimum 2.4m wide accessible parking spaces with adjacent 2.4m wide shared spaces, complying with the BCA and AS2890.6-2009
	Provide maximum 1:40 cross fall, minimum 2.2m driveway height, minimum 2.5m parking space height, and install ISA (International Symbol of Access) ground and vertical signage and accessible POT

Level 1 / Ground

Generally level access is provided by a partly covered walkway 2m± wide between the High St frontage, Performing Arts Centre (PAC), and Centre entries 1 and 2.



High St entry



Walkway to Centre

Generally level paths of travel provide access between walkways and car parking.



Covered walkway



Car parking access



Joan Sutherland PAC



Central open area

Automatic opening door, 1700± clear opening provides generally level access into food court and retail mall areas.



Entry 1



Generally level access is provided between the Centre and the PAC, including new south lobby area, and retail entries 1 and 2.



New lobby location



SW garden area



SE access to entry 2



Car parking access

Entry 2 automatic opening door is $2\text{m} \pm$ wide with $8\text{m} \pm$ walkway, $1:20 \pm$ gradient, to car park.



Entry 2



Retail areas



Amenities signage

Amenities

Accessible unisex toilets are non-complying. Entry door is $780 \pm$ wide, circulation space of $1800 \pm \times 1800 \pm$, WC set out of $720 \pm$ from rear wall, distance from WC to basin is $400 \pm$, toilet paper holder is $1000 \pm$ above grabrail, basin is $770 \pm$ high, grabrails $850 \pm$ high, and vertical mirror $1000 \pm$ to $1900 \pm$ above floor level.

Male and female toilets have one cubicle to assist persons with ambulant disabilities (PAD cubicles).

Male PAD cubicle has outward swinging door, complying circulation, signage and grabrails.

Female PAD cubicle has outward swinging door, complying circulation, signage and only one grabrail.



Non-complying 'accessible' toilet



PAD cubicle

Existing Level 1 / Ground	Access criteria APS, BCA & Standards
Paths of travel (POT) Entries and signage	Provide continuous accessible POT between property boundaries, main pedestrian entrances and associated areas and consistent accessible signage Comply with Penrith DCP 2014 including minimum 2.5m wide footpaths and walkways
Accessible parking	Refer Entry & Car parking
Accessible amenities	Provide BCA and AS1428.1 complying accessible amenities including minimum 1400 clear between WC and basin and WC backrest Install second grabrail to female PAD cubicle
Signage	Provide consistent accessible signage

Level 2

Access to Level 2 is provided by travelators, escalators and non-complying ramps within the car parking structure.

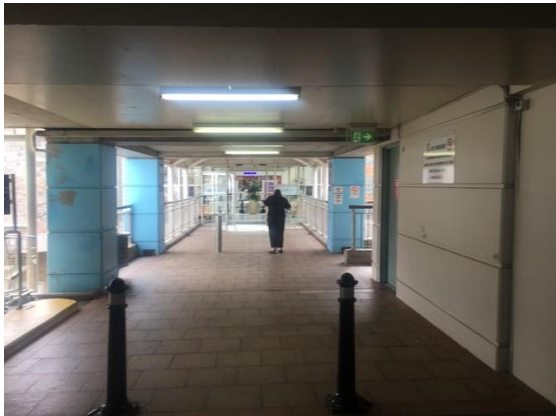


Non-complying car parking ramps



High St car parking and SE area

Generally level pedestrian bridge access is provided between Level 2 retail and car parking areas.



Level 2 car parking access



Generally level access is provided along mall areas to retail areas and amenities.



Level 2 retail areas



Existing Level 2	Access criteria APS, BCA & Standards
Paths of travel (POT) Entries and signage	Refer Level 1 / Ground requirements
Accessible parking	Refer Entry & Car parking
Signage	Provide consistent accessible signage

Proposed Westfield Penrith

The following section provides an access design review of the proposed alterations and additions to Westfield Penrith. The review analyses the development against the accessible design provisions and makes recommendations to ensure the design complies with the 2010 Access to Premises Standard (APS) as amended, current NCC / BCA access requirements, relevant Australian Standards and Penrith Council access requirements as applicable.

Please note the following works apply to the site identified in the accompanying Statement of Environmental Effects.

NCC / BCA 2019 extracts

A6.6 Class 6 buildings

A Class 6 building is a shop or other building used for the sale of goods by retail or the supply of services direct to the public, including—

- (1) an eating room, café, restaurant, milk or soft-drink bar; or
- (2) a dining room, bar area that is not an *assembly building*, shop or kiosk part of a hotel or motel; or
- (3) a hairdresser's or barber's shop, public laundry, or undertaker's establishment; or
- (4) a market or sale room, showroom, or *service station*.

Class 6

- | | |
|--|---|
| (a) Up to 1000 carparking spaces; and | 1 space for every 50 carparking spaces or part thereof. |
| (b) for each additional 100 carparking spaces or part thereof in excess of 1000 carparking spaces. | 1 space. |

Colston Budd Rogers & Kafes Pty Ltd report

17 August, 2017

We have reviewed the modified access arrangements in accordance with the Australian Standard for Parking facilities Part 1: Off-street car parking (AS2890.1-2004). Our review found that the modifications are in accordance with AS2890.1-2004 and are appropriate.

Total parking, following completion of current scope is 3,538 spaces.

Level 1 & Mezzanine Proposed works & assessment

Dwg 1.01, 1.02, 1.04 & 1.05, 2.01 & 2.03

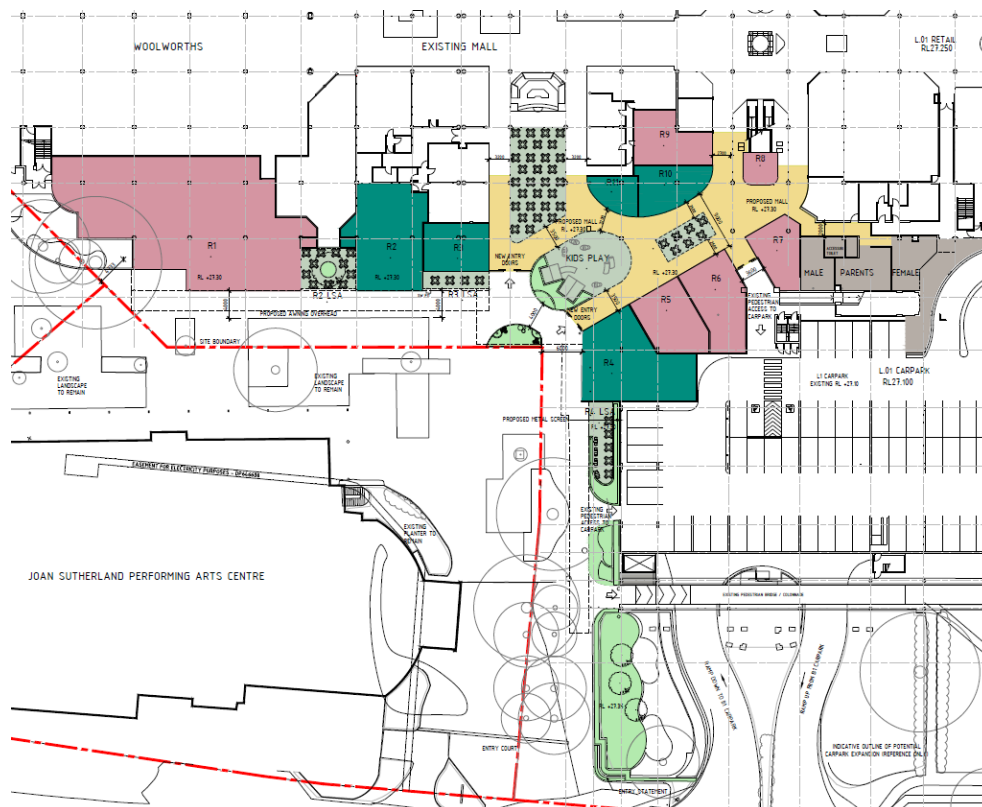
Existing amenities to be decommissioned, existing entry to be demolished and existing shop fronts opposite JSPAC to be removed. Part of existing L01 carpark to be demolished.

New entry and mall areas, new food, retail, kids play, seating and mall areas on south side of existing mall, entry via JSPAC public areas. New male, female, parent toilets – accessible and PAD toilets to be provided.

Provide minimum 20% indoor and outdoor seating with complying backs and armrests.

The proposed DA involves modifications to 2 levels of the existing High Street carpark. Two new accessible car spaces provided at L.01 adjacent to mall entry with shared space. Parking to comply with NCC / BCA required accessible parking as attached extracts. Refer Colston Budd 2017 reports.

Ramp access provided to parking upper levels – ramp compliance to be reviewed. Two new complying car spaces at Mezzanine level with generally accessible path of travel (POT) to mall.



Level 1 proposed works



Level 1 / Ground & Mezzanine	Access criteria APS, BCA & Standards	Compliance
Paths of travel (POT) and entries	Provide accessible POTs between main entrance, lift lobby and carparking, and minimum 850 doors with complying nibs and circulation, and complying decals to glazed entry doors	Complies subject to detailed design
	Provide complying stairs, ramps and tactile indicators	Subject to detailed design
	Comply with Penrith DCP 2014 including minimum 2.5m wide footpaths	Complies
	Provide complying lift or ramp access to retail areas	Pending

Recommendations (cont)

Level 1 / Ground & Mezzanine	Access criteria APS, BCA & Standards	Compliance
Accessible parking	Provide minimum 2.4m wide accessible parking spaces with adjacent 2.4m wide shared spaces, complying with the BCA and AS2890.6-2009	Complies subject to detailed design
	Provide maximum 1:40 cross fall, minimum 2.2m driveway height, minimum 2.5m parking space height, and install ISA (International Symbol of Access) ground and vertical signage and accessible POT	Subject to detailed design
Passenger lift	Provide complying circulation space, minimum 900 wide door and minimum 1100 x 1400 car size, Braille & tactile controls 900 to 1200 high, handrails adjacent to controls and audio announcements	Subject to detailed design
Fixtures, fittings and equipment (FF&E)	Provide an equitable range of accessible FF&E including minimum 1m wide section of accessible counters	Subject to detailed design
Amenities	Install NCC / BCA complying accessible facilities where gender specific amenities are provided	Subject to detailed design
Public domain	Provide accessible paths of travel	Complies
	Install minimum 20% of seating to comply with AS1428.2 including seat backs and armrests	Subject to detailed design
Signage	Install consistent and accessible identifying signage with minimum 30% luminance contrast between signage and background	Subject to detailed design

Dwg 1.03, 1.06

Generally level access is provided between parking and mall, with new retail, mall entry, licensed seating and mall access to existing L.02 car park. New awning over south side of mall façade

New glass awning over pedestrian POT to existing colonnade with travelators and stairs – complying handrails, nosings and tactiles to be provided.

Ramp access is provided subject to compliance review, and accessible parking is not provided at L.02. Lift access is recommended.



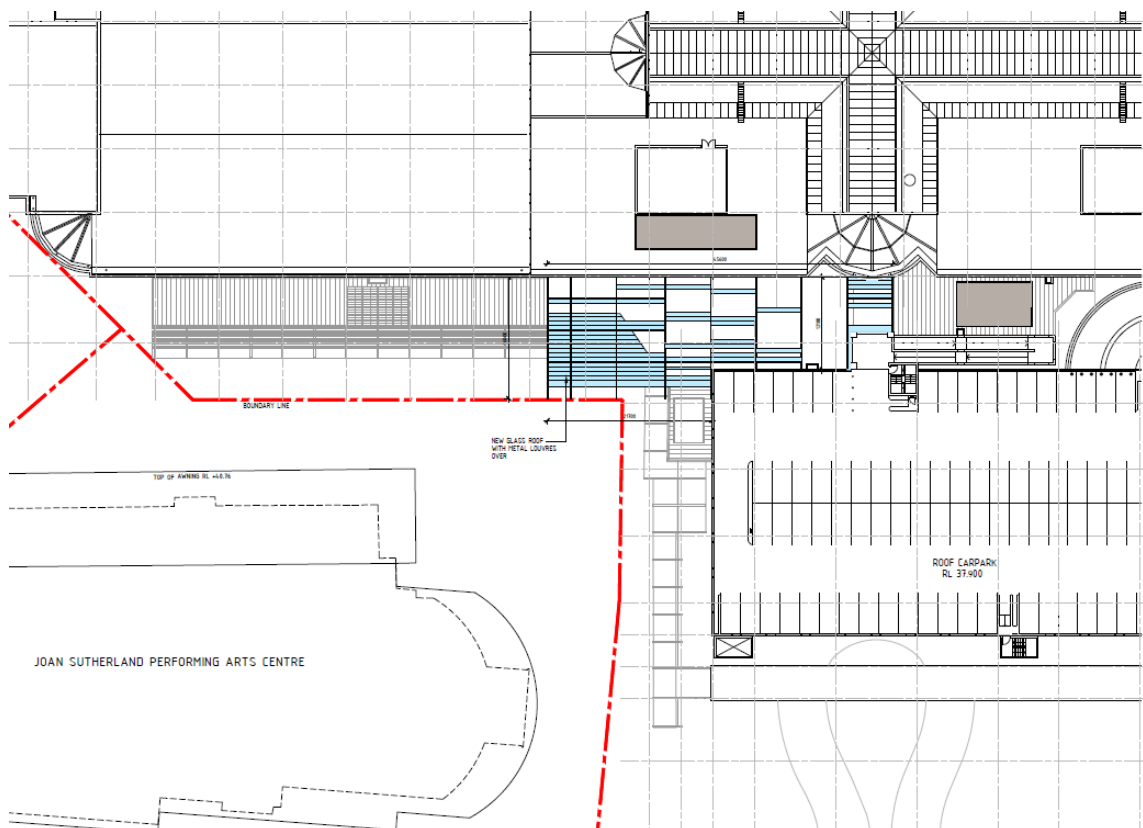
Recommendations

Level 2	Access criteria APS, BCA & Standards	Compliance
Paths of travel (POT) entries, passenger lifts, amenities and FF&E	Comply with Level 1 / Ground requirements	Complies subject to detailed design
Accessible parking	Comply with Level 1 / Ground requirements	Subject to detailed design
Stairs	Install complying nosings, tactile indicators and handrails both sides	Subject to detailed design
Signage	Comply with Level 1 / Ground requirements	Subject to detailed design

Level 3 Proposed works & assessment

Dwg 1.07

Roof car park with no accessible car spaces.



Level 3 proposed works

Recommendations

Level 3	Access criteria APS, BCA & Standards	Compliance
Paths of travel (POT) entries, passenger lifts, amenities and FF&E	Comply with Level 1 / Ground requirements	Complies subject to detailed design
Accessible parking, stairs signage	Comply with Level 1 / Ground requirements	Subject to detailed design

Access Compliance

Based on information provided to date, AA considers the current planning and design meets applicable access codes and legislation, consistent with the DDA – subject to compliance with this AA Access Report and recommendations.

Access compliance requires access inspections during construction, to review, assess and report on access compliance or non-compliance.

Access Certification and sign-off can be provided on satisfactory resolution and completion of all access related issues.

Access Australia

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Director*
