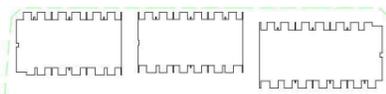
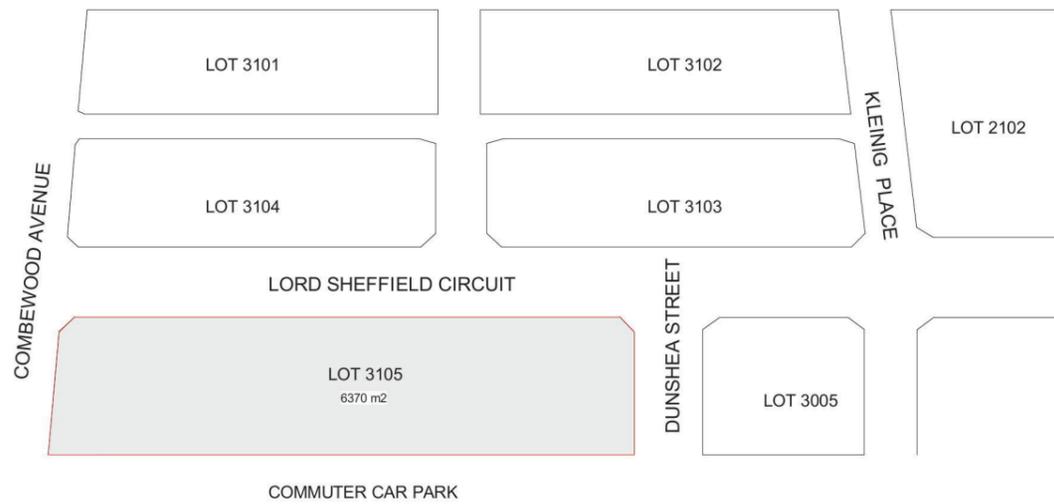


# Proposed Residential Development Lot 3105, Thornton Estate, North Penrith

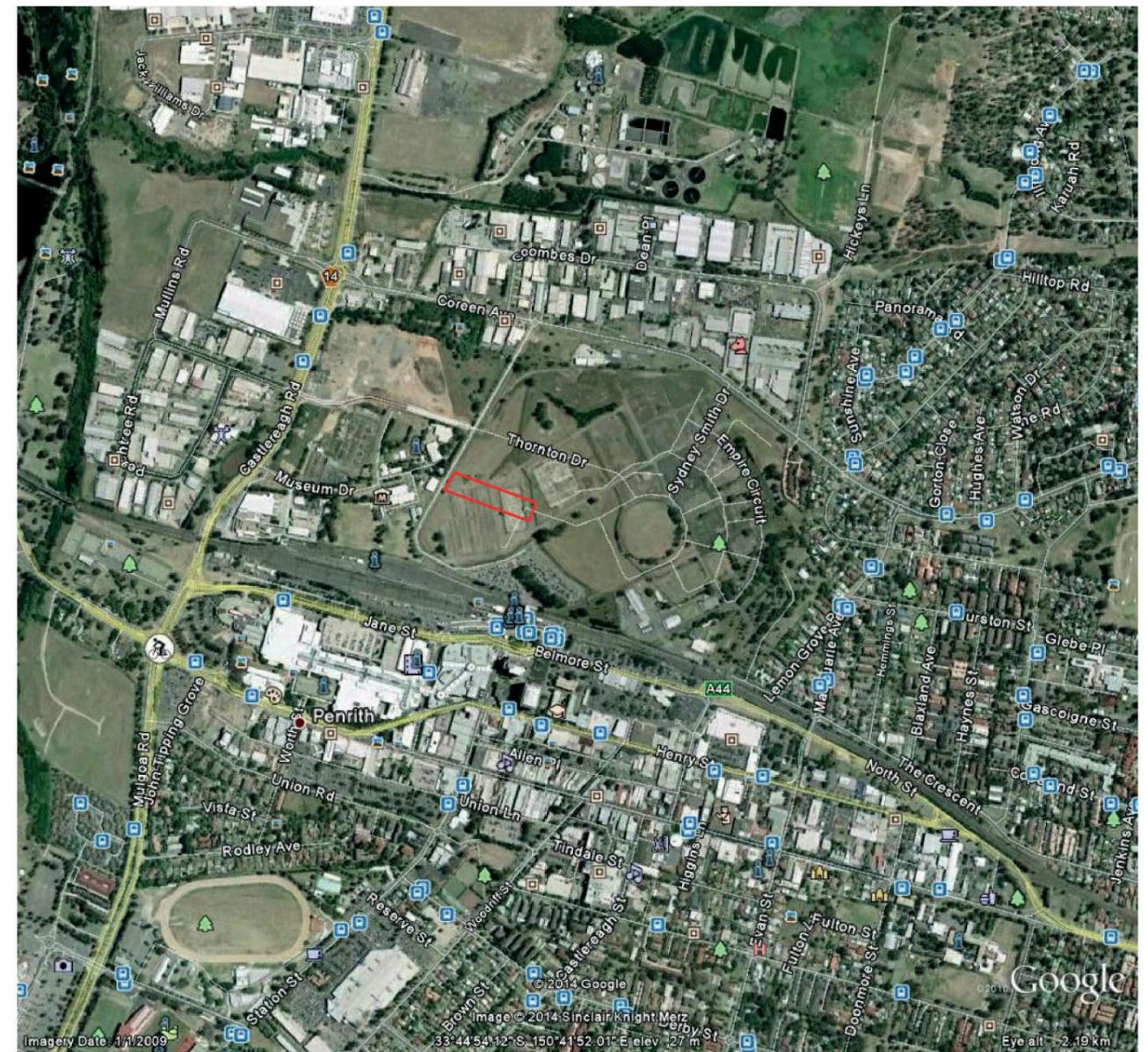
for  
Evolve Housing

Sheet List		Sheet List	
Sheet Number	Sheet Name	Sheet Number	Sheet Name
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A001	Location Plan	A181	Level 08 Plan- BLG A
A002	Project Information	A182	Level 08 Plan- BLG B
A003	Site Analysis Plan	A183	Level 08 Plan- BLG C
A004	Site Information	A190	Roof Plan
A005	Site Analysis Section	A191	Roof Plan- BLG A
A006	Photo Analysis	A192	Roof Plan- BLG B
A100	Ground Floor Plan	A193	Roof Plan- BLG C
A101	Ground Floor Plan- BLG A	A200	Overall Elevations
A102	Ground Floor Plan- BLG B	A211	Building A North Elevation
A103	Ground Floor Plan- BLG C	A212	Building A South Elevation
A110	Level 01 Plan	A213	Building A East and West Elevation
A111	Level 01 Plan- BLG A	A221	Building B North Elevation
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A120	Level 02 Plan	A231	Building C North Elevation
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A122	Level 02 Plan- BLG B	A233	Building C East and West Elevation
A123	Level 02 Plan- BLG C	A301	Building A- Section 01
A130	Level 03 Plan	A302	Building A- Section 02
A131	Level 03 Plan- BLG A	A303	Building B- Section 01
A132	Level 03 Plan- BLG B	A304	Building B- Section 02
A133	Level 03 Plan- BLG C	A305	Building C- Section 01
A140	Level 04 Plan	A306	Building C- Section 02
A141	Level 04 Plan- BLG A	A307	Site Section East West
A142	Level 04 Plan- BLG B	A501	Sun Shadow 9am
A143	Level 04 Plan- BLG C	A502	Sun Shadow 12pm
A150	Level 05 Plan	A503	Sun Shadow 3pm
A151	Level 05 Plan- BLG A	A504	Solar Access Study- North Apts- Typical
A152	Level 05 Plan- BLG B	A505	Materials, Colours and Finishes
A153	Level 05 Plan- BLG C	A506	Precedent Images - Street Level
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Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.	KEY PLAN	Status	<p>HBO EMTB Architects Pty Ltd. ASNSW 095 788 880</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3946 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtb.com</p> <p>Nominated Architect in NSW - Kevin Fitzgerald 5113</p>	<p>HBO+EMTB</p> <p>Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p>	 <p>Community minded, Community driven</p>	<p>Drawing Title</p> <p>Cover Page</p>
DA01	13/01/15	DA SUBMISSION			GA							 <p>Key Plan</p>	<p>All dimensions subject to on site verification prior to execution of work. Figured dimensions shall be taken in preference to scaling. All rights reserved. © COPYRIGHT of Hoadley Butge Ophert &amp; Edwards Madigan Torzillo Briggs and associated companies 2010</p>	<p>Project</p> <p>Lot 3105 Thornton Estate, North Penrith</p>	<p>Client</p> <p>evolve HOUSING</p>	<p>File Ref: V:\S\NANA-004186-000 Lot 3105 Thornton Estate, Penrith\8_Concept_Schematic\Revit\150108-Central - JX.vit</p>	
<p>Document Set ID: 6374711</p> <p>Version: 1, Version Date: 23/01/2015</p>												<p>Scale:</p>	<p>Job No: 004186</p>	<p>Drawing No: A000</p>	<p>Rev:</p>		



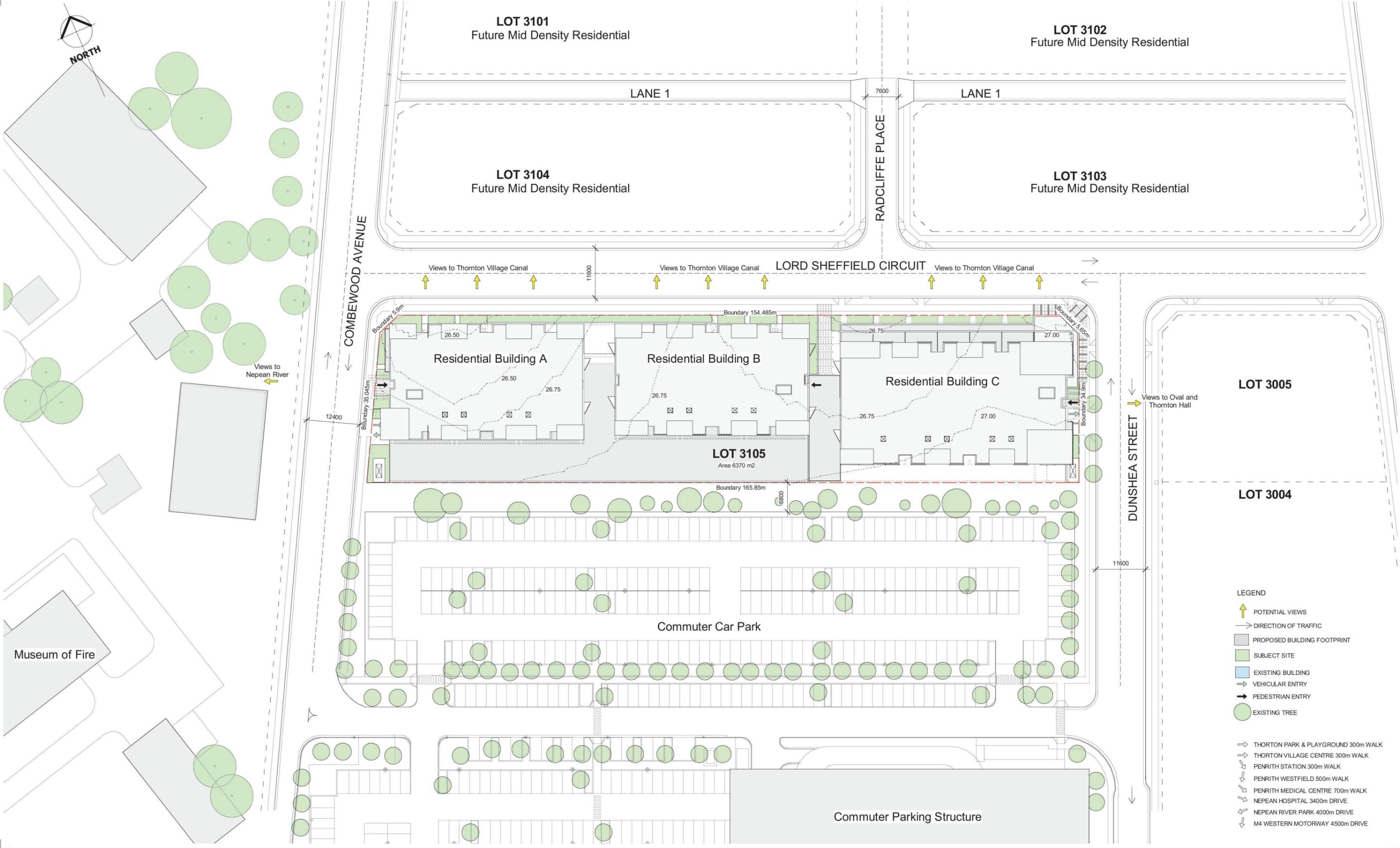
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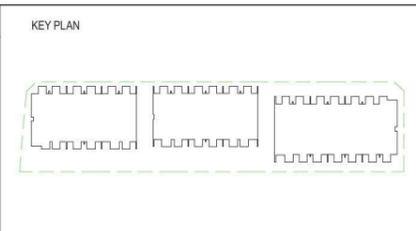
APPROX LOCATION OF SITE

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DA01	13/01/15	DA SUBMISSION			GA									Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com	Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning	Project	Lot 3105 Thornton Estate, North Penrith	File Ref:	V:\S\NANA-004186-000_Lot 3105 Thornton Estate_Penrith\8_Concept_Schematic\Rev152108-Central - JAVI					
													All dimensions subject to on site verification prior to execution of work. Figured dimensions shall be taken in preference to scaling. All rights reserved. © COPYRIGHT of Hoadley Budge Ophert & Edwards Madigan Torzillo Briggs and associated companies 2010		green building council australia member		Scale: 1 : 1000		Job No: 004186		Drawing No: A001		Rev:	





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Nominated Architect in NSW - Kevin Fitzgerald 5113

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Client

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Project

Lot 3105 Thornton Estate, North Penrith

Drawing Title

Site Analysis Plan

File Ref: V:\S\NANA-004186-000 Lot 3105 Thornton Estate Penrith Design\8\_3 Concept\_Schematic\Revit\151018-Central - J2.dwg

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Job No: 004186

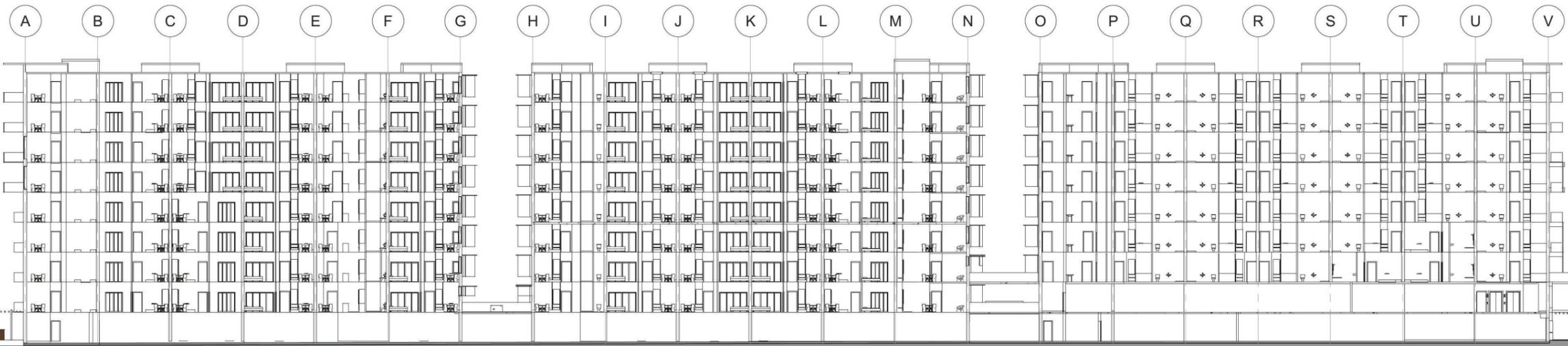
Drawing No: A003

Rev.



COMBEWOOD AVENUE

DUNSHEA STREET



1 Site Analysis Section  
SCALE: 1 : 250

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
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11



10



9



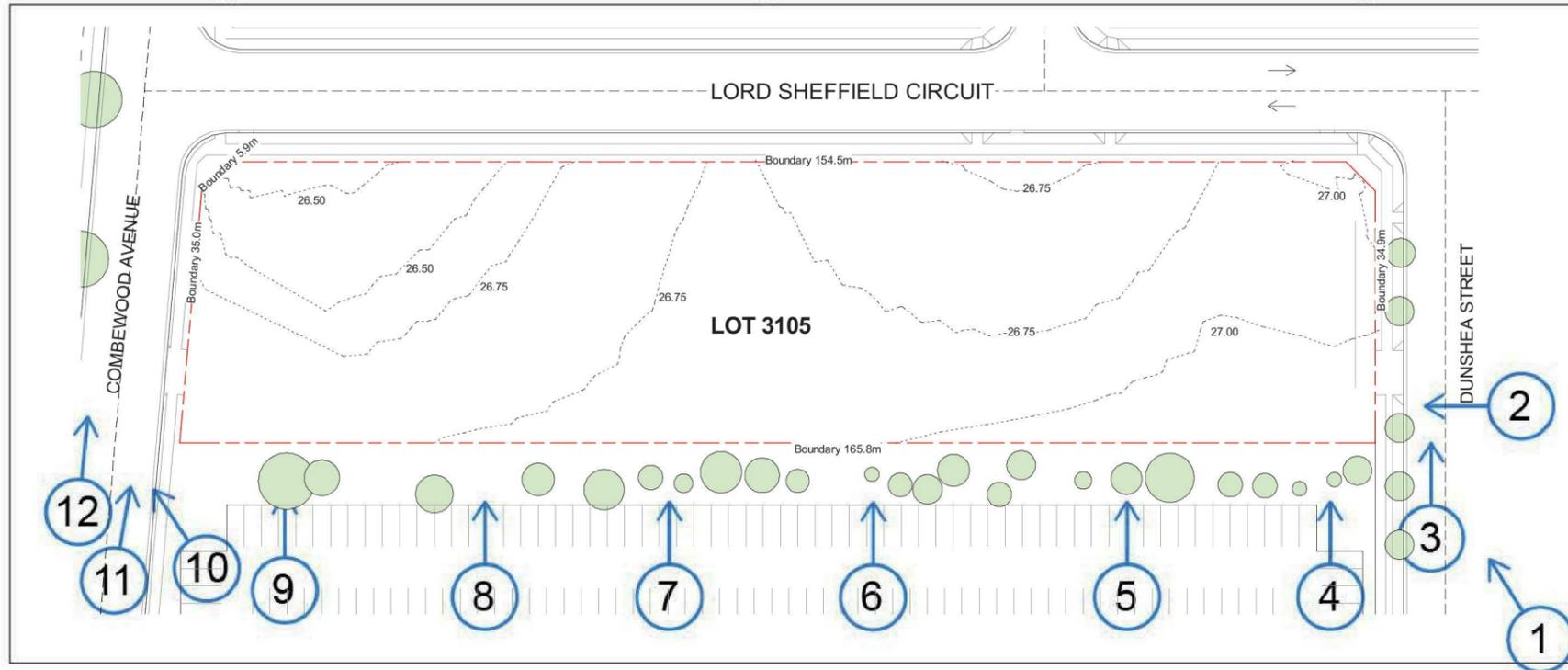
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12



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2



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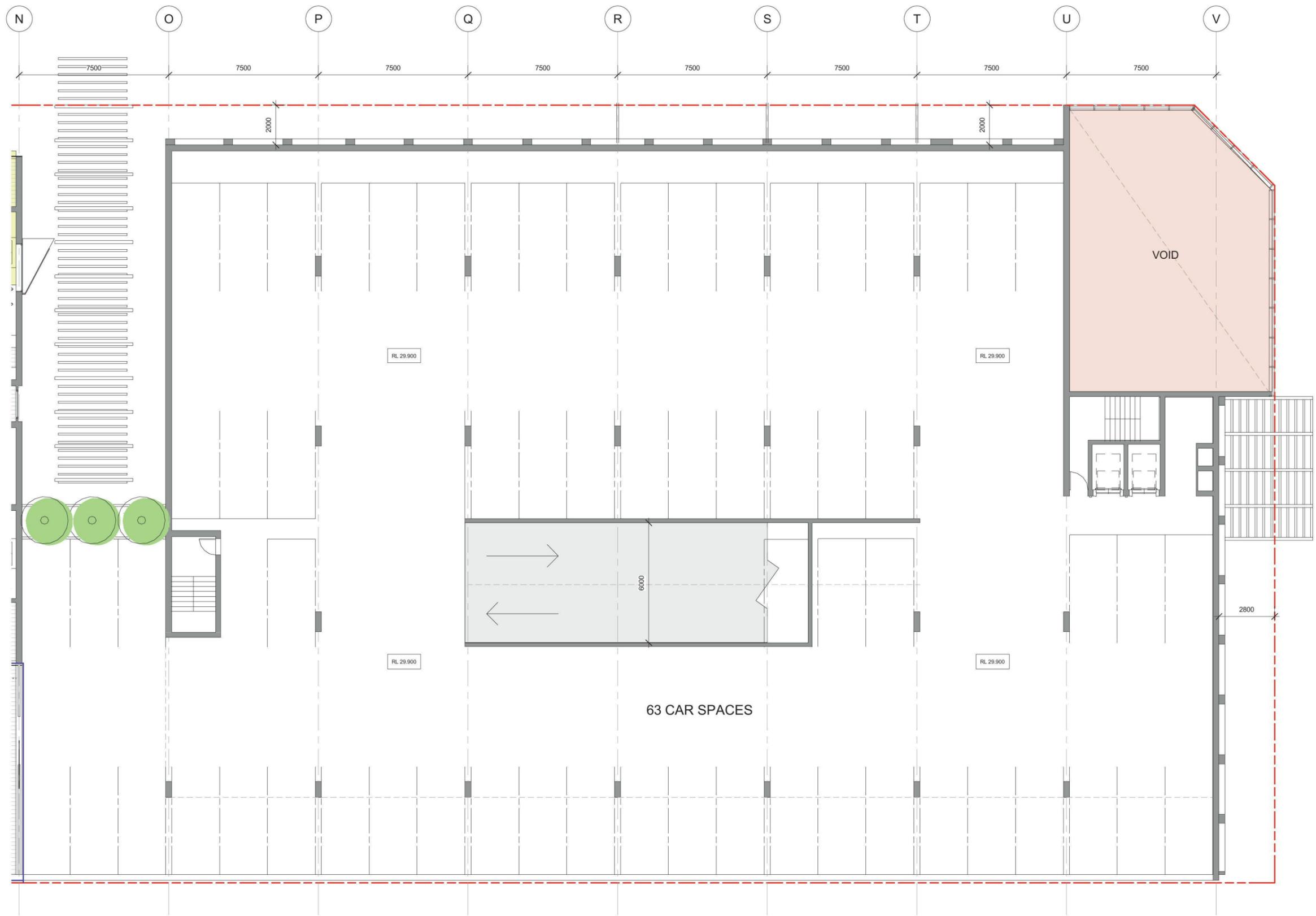


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Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
DA01	13/01/15	DA SUBMISSION			GA						

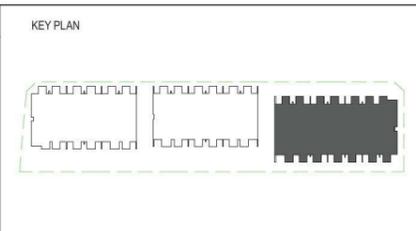
  

KEY PLAN	Status	HBO EMTB Architects Pty Ltd. AS194 099 766 880	HBO+EMTB	Client	
		Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3946 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtb.com	Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning	Project Lot 3105 Thornton Estate, North Penrith	
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Drawing Title: Photo Analysis File Ref: V:\S\NANA-004186-000 Lot 3105 Thornton Estate Penrith Design\8_3 Concept_Schematic\Rev01\151018-Central - JAV.dwg Scale: 1 : 450 Job No: 004186 Drawing No: A006 Rev:					



1 Level 1 - BLG C  
A211 SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
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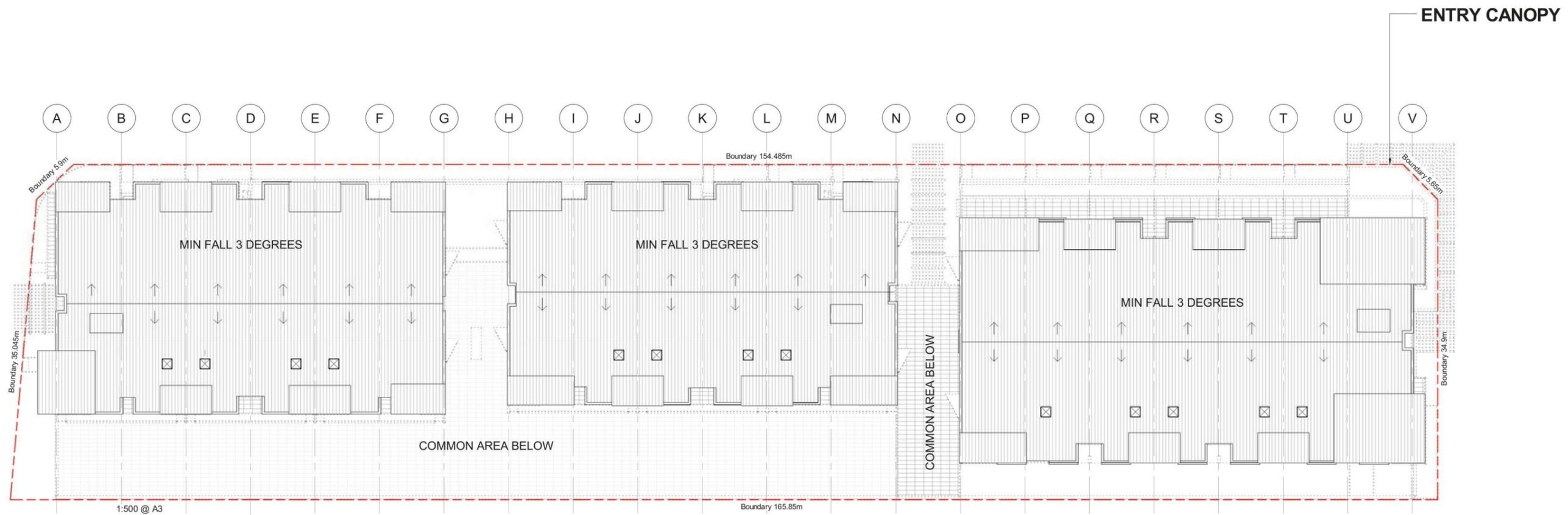
Client

Community minded, Community driven

Project

Lot 3105 Thornton Estate, North Penrith

Drawing Title	Level 01 Plan- BLG C
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Job No:	004186
Drawing No:	A113
Rev:	

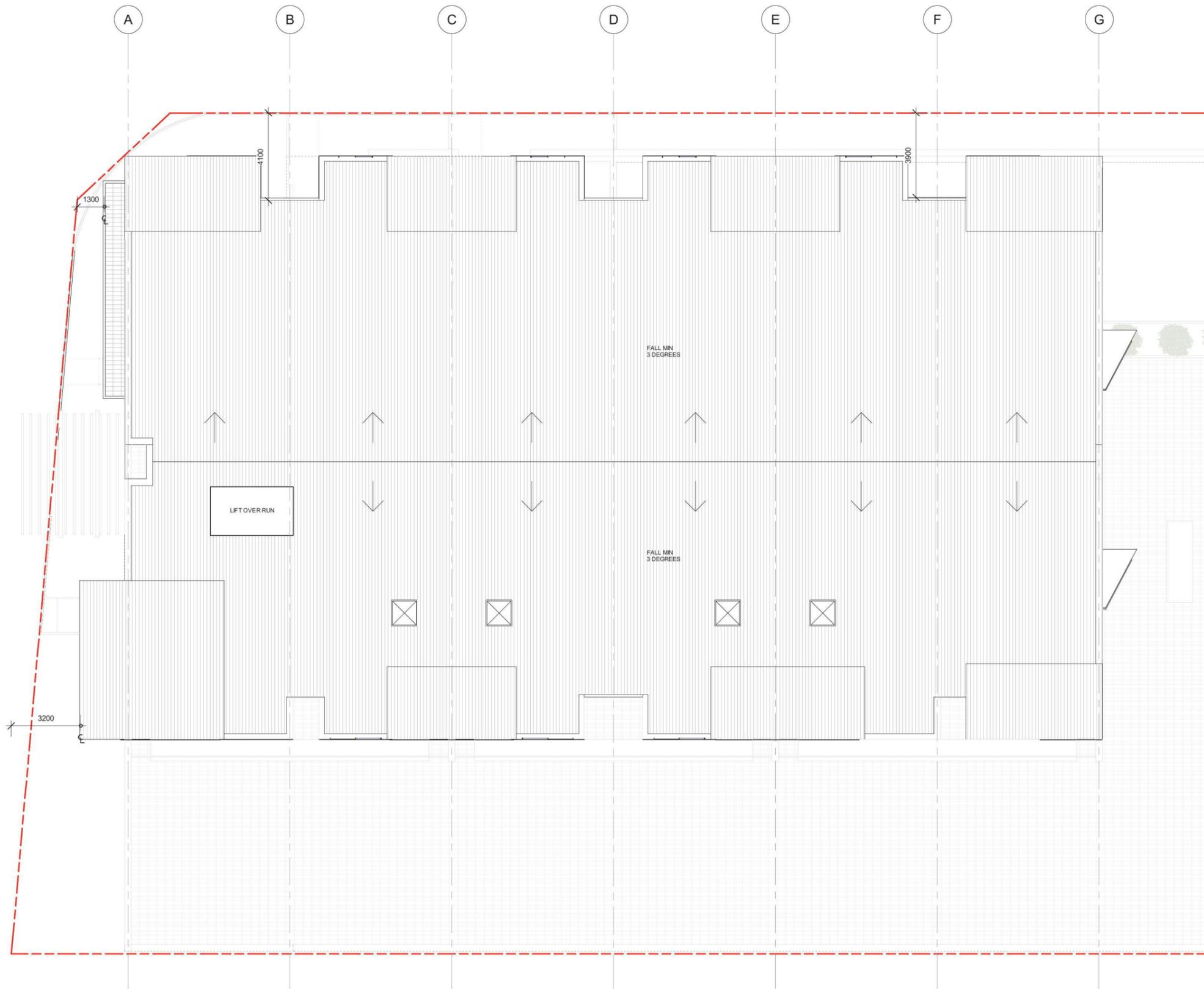


1 Roof Plan  
A211 SCALE: 1 : 250

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
DA01	13/01/15	DA SUBMISSION			GA						

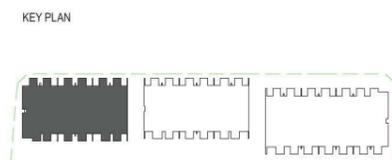
  

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		Key Plan	Nominated Architect in NSW - Kevin Fitzgerald 5113	Project Lot 3105 Thornton Estate, North Penrith	File Ref: V:\S\NANA-004186-000 Lot 3105 Thornton Estate Penrith Design\3_Concept_Schematic\Revit\150708-Central - JX.vit
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					Job No: 004186
					Drawing No: A190
					Rev.



1 Roof Plan- BLG A  
A211 SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
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mail@hboemtbt.com

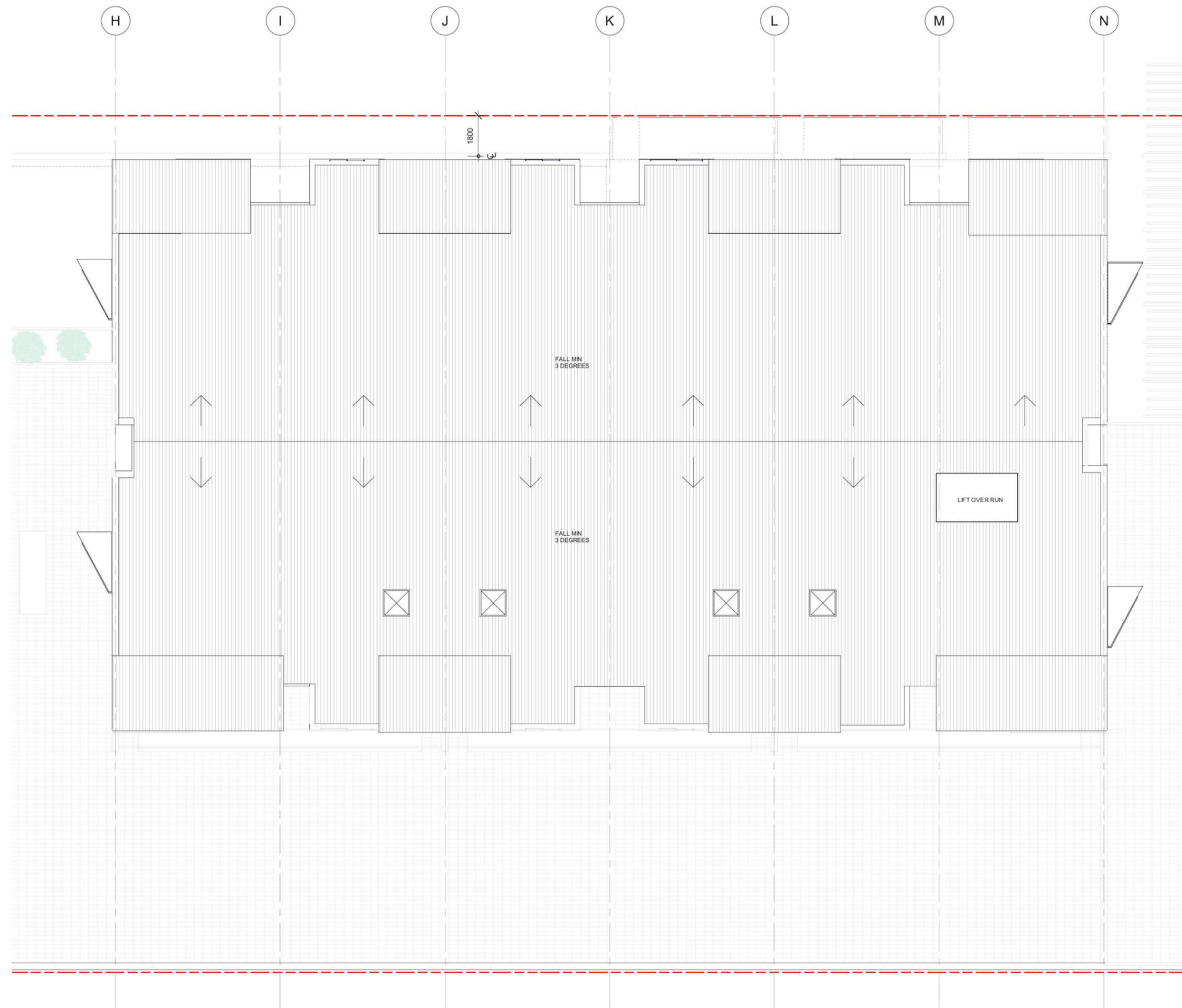
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Community minded, Community driven

Project  
Lot 3105 Thornton Estate, North Penrith

Drawing Title	Roof Plan- BLG A
File Ref:	V:\S\NANA-004186-000 Lot 3105 Thornton Estate Penrith Design\8_3 Concept_Schematic\Revit\150708-Central - JX.vit
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Job No:	004186
Drawing No:	A191
Rev:	

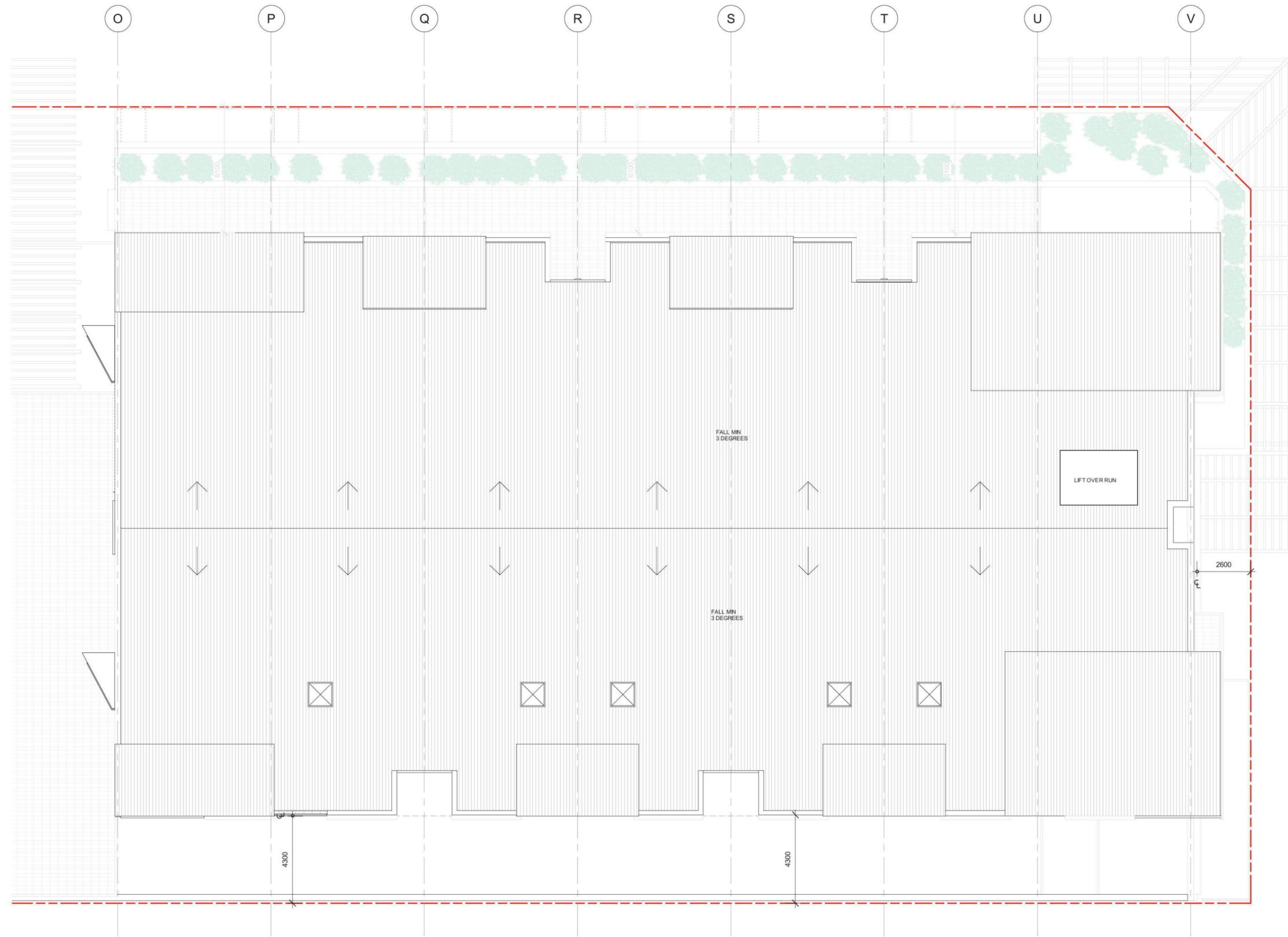


1 Roof Plan - BLG B  
A211 SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
DA01	13/01/15	DA SUBMISSION									

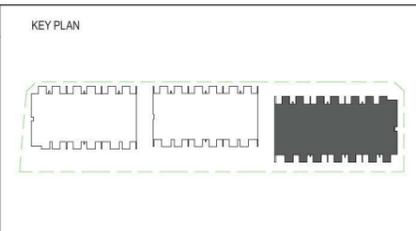
  

KEY PLAN	Status	HBO+EMTB Architects Pty Ltd. AS/NZS 4843:2002	HBO+EMTB Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning	Client <b>evolve HOUSING</b> Community minded, Community driven	Drawing Title <b>Roof Plan- BLG B</b>
		Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com	Nominated Architect in NSW - Kevin Fitzgerald 5113	Project <b>Lot 3105 Thornton Estate, North Penrith</b>	File Ref: V387ANA-004186-000_Lot 3105 Thornton Estate_Penrith Design_3_Concept_SchematicRevit1507108-Central - JX.v4
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1 Roof Plan - BLG C  
A211 SCALE: 1 : 100

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Client

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Project

Lot 3105 Thornton Estate, North Penrith

Drawing Title

Roof Plan- BLG C

File Ref: V:\S\NANA-004186-000 Lot 3105 Thornton Estate Penrith Design\3\_Concept\_Schematic\Rev01\1507108-Central - JX.vit

Scale: 1 : 100 1:200 @ A3

Job No: 004186 Drawing No: A193 Rev:

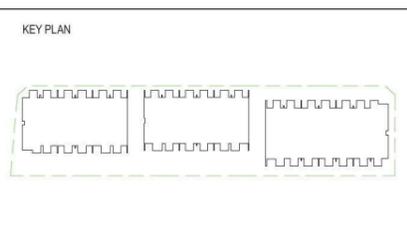


1 BUILDINGS ALL- NORTH 1 to 250  
SCALE: 1 : 250 1:500 @ A3



2 BUILDINGS ALL- SOUTH 1 to 250  
SCALE: 1 : 250 1:500 @ A3

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
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Lot 3105 Thornton Estate, North Penrith

Nominated Architect in NSW - Kevin Fitzgerald 5113

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Drawing Title		Overall Elevations	
File Ref: V:\S\NANA-004186-000 Lot 3105 Thornton Estate Penrith Design\3_Concept_Schematic\Rev01\1507108-Central - J201			
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Job No:	004186	Drawing No:	A200
Rev.		Rev.	

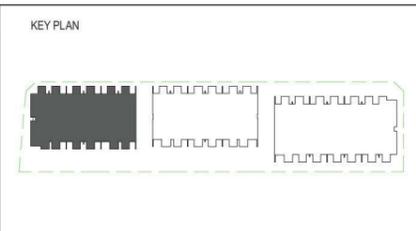
- EXTERNAL MATERIALS**
- 1- CONCRETE PANEL- FINISH (GREY)
  - 2- CONCRETE PANEL- FINISH (WHITE)
  - 3- BALUSTRADE/ HANDRAIL- PERFORATED METAL (GREY)
  - 4- BLOCKWORK- PAINT RENDER FINISH (GREY)
  - 5- TIMBER LOOK COMPOSITE PANEL
  - 6- BALUSTRADE/ HANDRAIL- PERFORATED METAL (WHITE)
  - 7- CONCRETE PANEL- FINISH (ORANGE)
  - 8- BALUSTRADE - CLEAR LAMINATED GLASS
  - 9 - POWDER COATED ALUMINIUM WINDOW/DOOR FRAME (DARK GREY)

ALL LEVELS TO AHD



1 BUILDING A - NORTH  
SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
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Landscape Design  
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Planning

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Client  
Project  
Lot 3105 Thornton Estate, North Penrith

Drawing Title Building A North Elevation	
File Ref: V:\BANKA\04186-000\Lot 3105 Thornton Estate\Penrith\B Design\B_3 Concept_Schematic\Rev01\50108-General - M.rvt	
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Job No: 004186	Drawing No: A211
Rev:	

ALL LEVELS TO AHD

- EXTERNAL MATERIALS**
- 1- CONCRETE PANEL- FINISH (GREY)
  - 2- CONCRETE PANEL- FINISH (WHITE)
  - 3- BALUSTRADE/ HANDRAIL- PERFORATED METAL (GREY)
  - 4- BLOCKWORK- PAINT RENDER FINISH (GREY)
  - 5- TIMBER LOOK COMPOSITE PANEL
  - 6- BALUSTRADE/ HANDRAIL- PERFORATED METAL (WHITE)
  - 7- CONCRETE PANEL- FINISH (ORANGE)
  - 8- BALUSTRADE - CLEAR LAMINATED GLASS
  - 9 - POWDER COATED ALUMINIUM WINDOW/DOOR FRAME (DARK GREY)



1 BUILDING A- SOUTH  
SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
DA01	13/01/15	DA SUBMISSION			GA						

KEY PLAN	Status	HBO EMTB Architects Pty Ltd. ASNSW 001 766 880	HBO+EMTB	Client		Building A South Elevation
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File Ref:	V387ANA-004186-000 Lot 3105 Thornton Estate, Penrith Design, 3 Concept_SchematicRevit151018-Central - JXV4	
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Job No:	004186	Rev.
Drawing No:	A212	

- EXTERNAL MATERIALS**
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  - 2- CONCRETE PANEL- FINISH (WHITE)
  - 3- BALUSTRADE/ HANDRAIL- PERFORATED METAL (GREY)
  - 4- BLOCKWORK- PAINT RENDER FINISH (GREY)
  - 5- TIMBER LOOK COMPOSITE PANEL
  - 6- BALUSTRADE/ HANDRAIL- PERFORATED METAL (WHITE)
  - 7- CONCRETE PANEL- FINISH (ORANGE)
  - 8- BALUSTRADE - CLEAR LAMINATED GLASS
  - 9 - POWDER COATED ALUMINIUM WINDOW/DOOR FRAME (DARK GREY)

LIFT OVERRUN WITH ARCHITECTURAL SCREEN/ LOUVRE



1 BUILDING A- WEST  
SCALE: 1 : 100

2 BUILDING A- EAST  
SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
DA01	13/01/15	DA SUBMISSION			GA						

<p>KEY PLAN</p>	<p>Status</p>	<p>HBO EMTB Architects Pty Ltd. AS/NZS 4843:2001</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com</p>	<p>HBO+EMTB</p> <p>Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p>	<p>Client</p> <p>Community minded, Community driven</p>	<p>Drawing Title</p> <p>Building A East and West Elevation</p>
		<p>Key Plan</p> <p>All dimensions subject to on site verification prior to execution of work. Figured dimensions shall be taken in preference to scaling. All rights reserved. © COPYRIGHT of Hoadley Budge Ophert &amp; Edwards Meligan Torzillo Briggs and associated companies 2010</p>	<p>Project</p> <p>Lot 3105 Thornton Estate, North Penrith</p>	<p>File Ref:</p> <p>V:\01\ANA-001\156-000\Lot 3105 Thornton Estate\Penrith\156-000\Design\3_Concept_Schematic\Rev1\150108-General - ML.rvt</p>	

<p>Scale:</p> <p>1 : 100</p>	<p>Job No:</p> <p>004186</p>	<p>Drawing No:</p> <p>A213</p>	<p>Rev:</p>
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- EXTERNAL MATERIALS**
- 1- CONCRETE PANEL- FINISH (GREY)
  - 2- CONCRETE PANEL- FINISH (WHITE)
  - 3- BALUSTRADE/ HANDRAIL- PERFORATED METAL (GREY)
  - 4- BLOCKWORK- PAINT RENDER FINISH (GREY)
  - 5- TIMBER LOOK COMPOSITE PANEL
  - 6- BALUSTRADE/ HANDRAIL- PERFORATED METAL (WHITE)
  - 7- CONCRETE PANEL- FINISH (ORANGE)
  - 8- BALUSTRADE - CLEAR LAMINATED GLASS
  - 9 - POWDER COATED ALUMINIUM WINDOW/DOOR FRAME (DARK GREY)



1 BUILDING B- NORTH  
SCALE: 1 : 100

<table border="1"> <thead> <tr> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>Dr.</th> <th>Chk.</th> <th>Dir.</th> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>Dr.</th> <th>Chk.</th> <th>Dir.</th> </tr> </thead> <tbody> <tr> <td>DA01</td> <td>13/01/15</td> <td>DA SUBMISSION</td> <td></td> <td></td> <td>GA</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Date	Description	Dr.	Chk.	Dir.	Rev.	Date	Description	Dr.	Chk.	Dir.	DA01	13/01/15	DA SUBMISSION			GA							<p>KEY PLAN</p>	<p>Status</p>	<p>HBO+EMTB Architects Pty Ltd. Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com</p>	<p>HBO+EMTB Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p>	<p>Community minded. Community driven.</p>	<p>Client Project Lot 3105 Thornton Estate, North Penrith</p>	<p>Drawing Title Building B North Elevation</p> <p>File Ref: V:\3105\3105-001\3105-001-Lot 3105 Thornton Estate Revit\3105-001-3105-001-Central - M.rvt</p> <p>Scale: 1 : 100</p> <p>Job No: 004186 Drawing No: A221</p>
Rev.	Date	Description	Dr.	Chk.	Dir.	Rev.	Date	Description	Dr.	Chk.	Dir.																				
DA01	13/01/15	DA SUBMISSION			GA																										

- EXTERNAL MATERIALS**
- 1- CONCRETE PANEL- FINISH (GREY)
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  - 4- BLOCKWORK- PAINT RENDER FINISH (GREY)
  - 5- TIMBER LOOK COMPOSITE PANEL
  - 6- BALUSTRADE/ HANDRAIL- PERFORATED METAL (WHITE)
  - 7- CONCRETE PANEL- FINISH (ORANGE)
  - 8- BALUSTRADE - CLEAR LAMINATED GLASS
  - 9 - POWDER COATED ALUMINIUM WINDOW/DOOR FRAME (DARK GREY)



**1 BUILDING B- SOUTH**  
SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
DA01	13/01/15	DA SUBMISSION			GA						

<p>KEY PLAN</p>	<p>Status</p>	<p>HBO EMTB Architects Pty Ltd. ASNSW 095 766 880</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com</p>	<p>HBO+EMTB</p> <p>Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p>	<p>Community minded, Community driven</p>	<p>Client</p>
		<p>Key Plan</p> <p>All dimensions subject to on site verification prior to execution of work. Figured dimensions shall be taken in preference to scaling. All rights reserved © COPYRIGHT of Hoadley Budge Ophert &amp; Edwards Madigan Torzillo Briggs and associated companies 2010</p>	<p>Nominated Architect in NSW - Kevin Fitzgerald 5113</p> <p>green building council australia member</p>	<p>Project</p> <p>Lot 3105 Thornton Estate, North Penrith</p>	<p>Drawing Title</p> <p>Building B South Elevation</p>

<p>File Ref: V:\8\NANA-004186-000 Lot 3105 Thornton Estate Penrith Design\8_3 Concept_Schematic\Revit\151018-Central - JAV</p>
<p>Scale: 1 : 100</p>
<p>Job No: 004186</p>
<p>Drawing No: A222</p>
<p>Rev.</p>

- EXTERNAL MATERIALS**
- 1- CONCRETE PANEL- FINISH (GREY)
  - 2- CONCRETE PANEL- FINISH (WHITE)
  - 3- BALUSTRADE/ HANDRAIL- PERFORATED METAL (GREY)
  - 4- BLOCKWORK- PAINT RENDER FINISH (GREY)
  - 5- TIMBER LOOK COMPOSITE PANEL
  - 6- BALUSTRADE/ HANDRAIL- PERFORATED METAL (WHITE)
  - 7- CONCRETE PANEL- FINISH (ORANGE)
  - 8- BALUSTRADE - CLEAR LAMINATED GLASS
  - 9 - POWDER COATED ALUMINIUM WINDOW/DOOR FRAME (DARK GREY)



**2 BUILDING B- EAST**  
SCALE: 1 : 100

**1 BUILDING B- WEST**  
SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
DA01	13/01/15	DA SUBMISSION				GA					

KEY PLAN	Status	<p>HBO EMTB Architects Pty Ltd. ABN 64 098 788 889</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com</p>	<p>HBO+EMTB</p> <p>Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p>	<p>Community minded, Community driven</p>
	<p>All dimensions subject to on site verification prior to execution of work. Figured dimensions shall be taken in preference to scaling. All rights reserved © COPYRIGHT of Hoadley Buttle Ophert &amp; Edwards Medigan Torzillo Briggs and associated companies 2010</p>	<p>green building council australia member</p>	<p>Client: Lot 3105 Thornton Estate, North Penrith</p>	<p>Building B East and West Elevation</p> <p>File Ref: V:\04\ANA-004186-000\Lot 3105 Thornton Estate\Penrith Design\3_Concept_Schematic\Rev1\50108-General - M.rvt</p> <p>Scale: 1 : 100</p> <p>Job No: 004186</p> <p>Drawing No: A223</p>

- EXTERNAL MATERIALS**
- 1- CONCRETE PANEL- FINISH (GREY)
  - 2- CONCRETE PANEL- FINISH (WHITE)
  - 3- BALUSTRADE/ HANDRAIL- PERFORATED METAL (GREY)
  - 4- BLOCKWORK- PAINT RENDER FINISH (GREY)
  - 5- TIMBER LOOK COMPOSITE PANEL
  - 6- BALUSTRADE/ HANDRAIL- PERFORATED METAL (WHITE)
  - 7- CONCRETE PANEL- FINISH (ORANGE)
  - 8- BALUSTRADE - CLEAR LAMINATED GLASS
  - 9 - POWDER COATED ALUMINIUM WINDOW/DOOR FRAME (DARK GREY)



1 BUILDING C - NORTH  
SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
DA01	13/01/15	DA SUBMISSION			GA						

KEY PLAN	Status	<p>HBO+EMTB Architects Pty Ltd. ABN 64 095 789 889</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com</p> <p>Nominated Architect in NSW - Kevin Fitzgerald 5113</p>	<p>HBO+EMTB</p> <p>Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p>	<p>Community minded, Community driven</p>	<p>Client</p> <p>Project</p> <p>Lot 3105 Thornton Estate, North Penrith</p>	<p>Drawing Title</p> <p>Building C North Elevation</p> <p>File Ref: V:\3105\04\100-000\Lot 3105 Thornton Estate\Penrith\3_Concept_Schematic\Revit\1501008-General - J2.rvt</p> <p>Scale: 1 : 100</p> <p>Job No: 004186</p> <p>Drawing No: A231</p>
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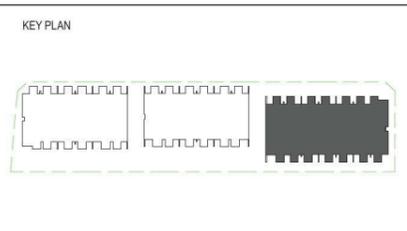
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- EXTERNAL MATERIALS**
- 1- CONCRETE PANEL- FINISH (GREY)
  - 2- CONCRETE PANEL- FINISH (WHITE)
  - 3- BALUSTRADE/ HANDRAIL- PERFORATED METAL (GREY)
  - 4- BLOCKWORK- PAINT RENDER FINISH (GREY)
  - 5- TIMBER LOOK COMPOSITE PANEL
  - 6- BALUSTRADE/ HANDRAIL- PERFORATED METAL (WHITE)
  - 7- CONCRETE PANEL- FINISH (ORANGE)
  - 8- BALUSTRADE - CLEAR LAMINATED GLASS
  - 9 - POWDER COATED ALUMINIUM WINDOW/DOOR FRAME (DARK GREY)



1 BUILDING C- SOUTH  
SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
DA01	13/01/15	DA SUBMISSION			GA						



Status

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Architects Pty Ltd.  
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Architecture  
Interior Design  
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Client  
Project  
Lot 3105 Thornton Estate, North Penrith

Drawing Title	Building C South Elevation
File Ref:	V:\S\NANA-004186-000 Lot 3105 Thornton Estate Penrith Design\3_Concept_Schematic\Revit\151018-Central - JAV.dwg
Scale:	1 : 100
Job No:	004186
Drawing No:	A232
Rev.	

- EXTERNAL MATERIALS**
- 1- CONCRETE PANEL- FINISH (GREY)
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  - 3- BALUSTRADE/ HANDRAIL- PERFORATED METAL (GREY)
  - 4- BLOCKWORK- PAINT RENDER FINISH (GREY)
  - 5- TIMBER LOOK COMPOSITE PANEL
  - 6- BALUSTRADE/ HANDRAIL- PERFORATED METAL (WHITE)
  - 7- CONCRETE PANEL- FINISH (ORANGE)
  - 8- BALUSTRADE - CLEAR LAMINATED GLASS
  - 9 - POWDER COATED ALUMINIUM WINDOW/DOOR FRAME (DARK GREY)



1 BUILDING C - EAST  
SCALE: 1 : 100



2 BUILDING C - WEST  
SCALE: 1 : 100

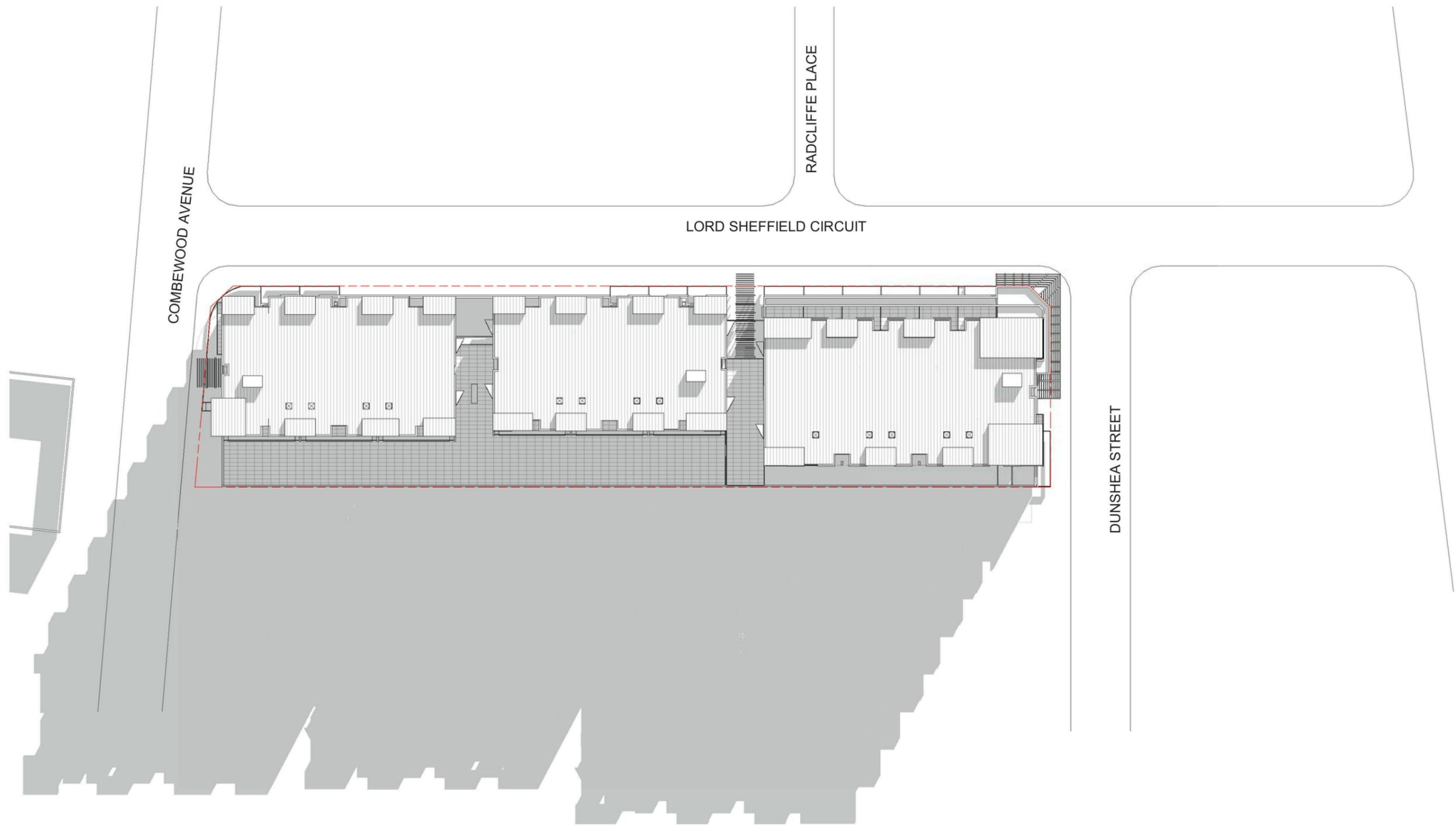
Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
DA01	13/01/15	DA SUBMISSION				GA					

KEY PLAN	Status	<p>HBO+EMTB Architects Pty Ltd. ABN 64 096 708 880</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3348 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtba.com</p> <p>Key Plan</p> <p>Nominated Architect in NSW: Kevin Fitzgerald 5113</p>	<p><b>HBO+EMTB</b></p> <p>Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p>	<p>Community minded. Community driven.</p>	<p>Client</p> <p>Project</p> <p>Lot 3105 Thornton Estate, North Penrith</p>	<p>Drawing Title</p> <p>Building C East and West Elevation</p> <p>File Ref: V:\8\NWA-004186-000\Lot 3105 Thornton Estate Penrith Design\3 Concept_Schematic\Revit\50106-Central - J204</p> <p>Scale: 1 : 100</p> <p>Job No: 004186</p> <p>Drawing No: A233</p> <p>Rev:</p>
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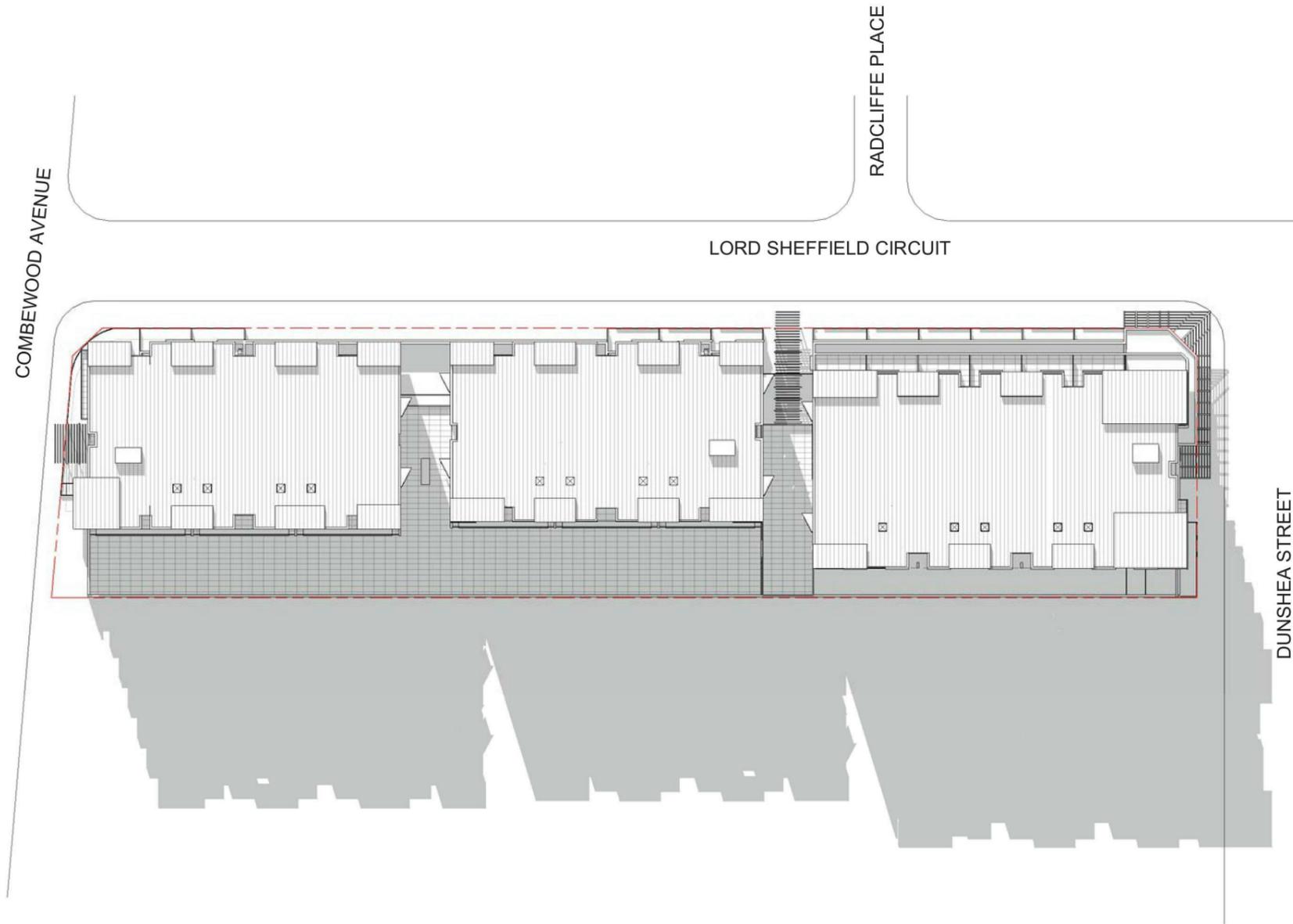
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A211 SCALE: 1 : 400

SUN SHADOW CAST WINTER SOLSTICE

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
DA01	13/01/15	DA SUBMISSION			GA						

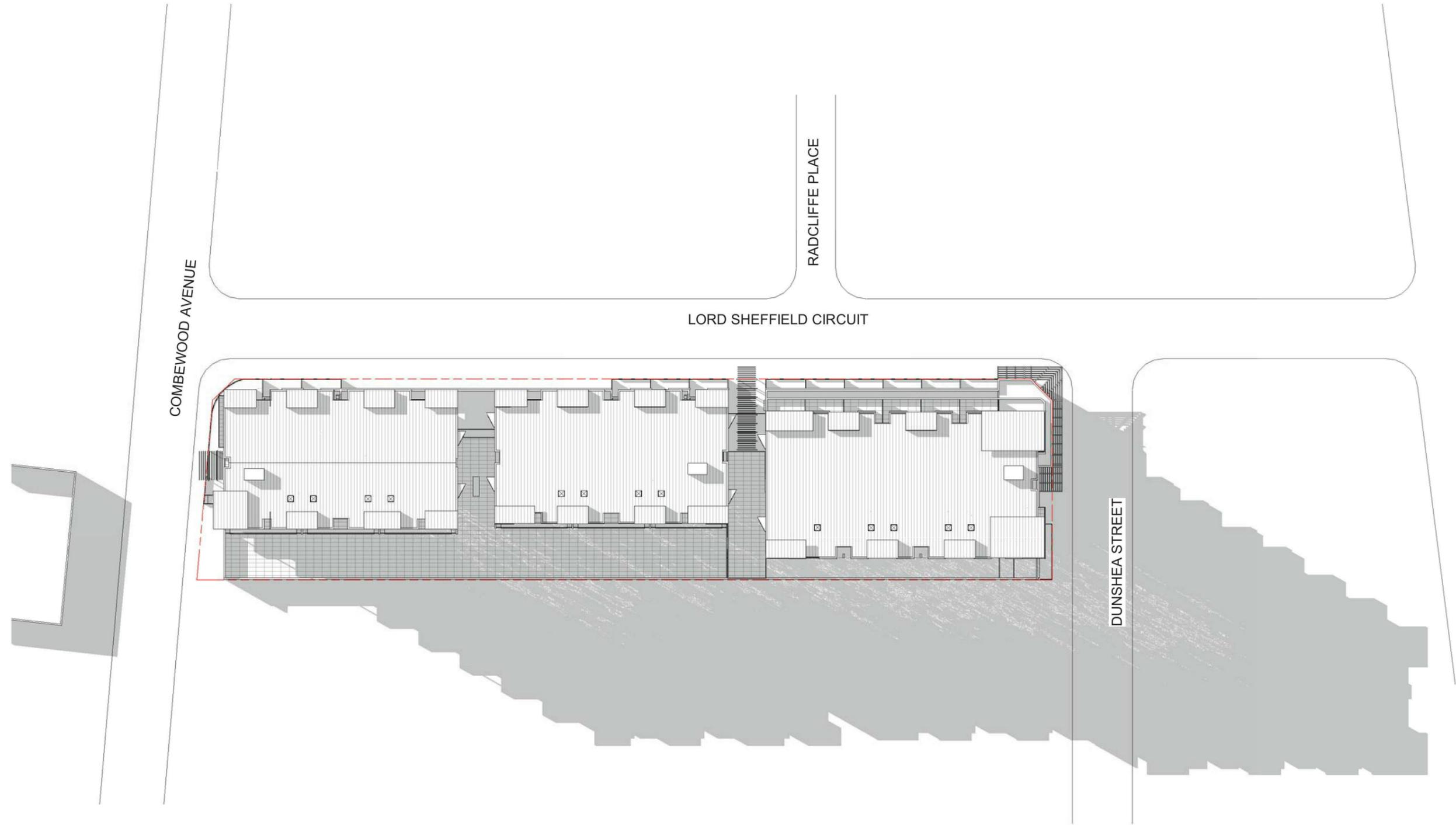
KEY PLAN	Status	<p><b>HBO+EMTB</b></p> <p>HBO EMTB Architects Pty Ltd. ABN/64 091 788 892</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com</p> <p>Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p> <p>Nominated Architect in NSW - Kevin Fitzgerald 5113</p> <p>green building council australia member</p>	<p><b>evolve HOUSING</b> Community minded, Community driven</p> <p>Client Project Lot 3105 Thornton Estate, North Penrith</p>	<p>Drawing Title Sun Shadow 9am</p> <p>File Ref: V:\8\NANA-004186-000_Lot 3105 Thornton Estate_Penrith\8_Concept_Schematic\Revit\150108-Central - J20.rvt</p> <p>Scale: 1 : 400 1:800 @ A3</p> <p>Job No: 004186 Drawing No: A501</p>
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1 Sun Shadow 12pm  
A211 SCALE: 1 : 400

SUN SHADOW CAST WINTER SOLSTICE

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.	KEY PLAN	Status	HBO EMTB Architects Pty Ltd. ABN 64 091 768 892	HBO+EMTB	Client	evolve HOUSING Community minded, Community driven	Drawing Title	Sun Shadow 12pm					
DA01	13/01/15	DA SUBMISSION			GA									Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com	Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning	Project	Lot 3105 Thornton Estate, North Penrith	File Ref: V387ANA-004186-000 Lot 3105 Thornton Estate, Penrith Design, 3_Concept_Schematic/Revit/1510108-Central - J2014						
													Nominated Architect in NSW - Kevin Fitzgerald 5113		green building council australia member		Scale: 1 : 400 1:800 @ A3		Job No: 004186		Drawing No: A502		Rev.	



1 Sun Shadow 3pm  
A211 SCALE: 1 : 400

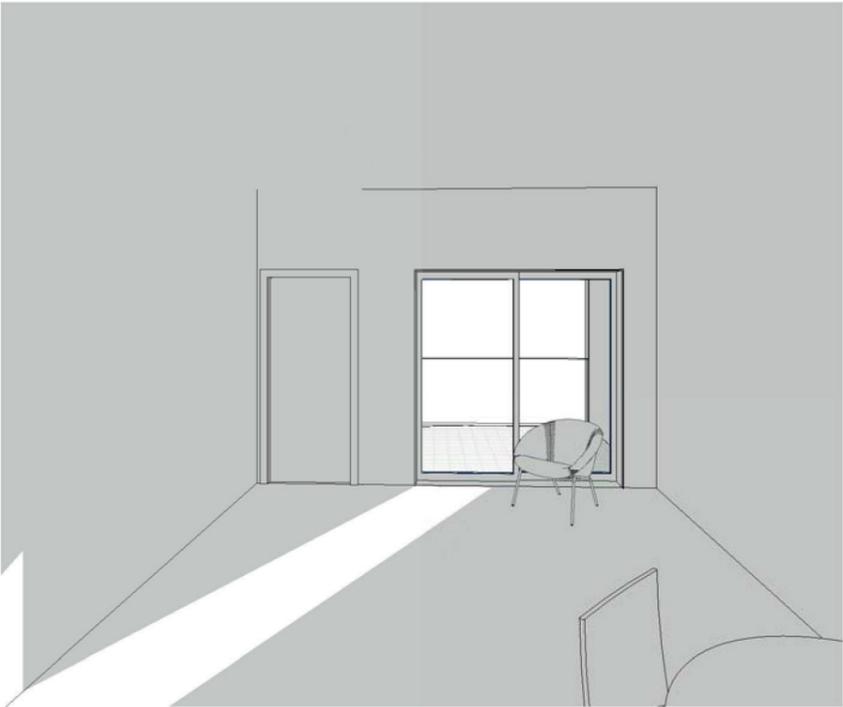
SUN SHADOW CAST WINTER SOLSTICE

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
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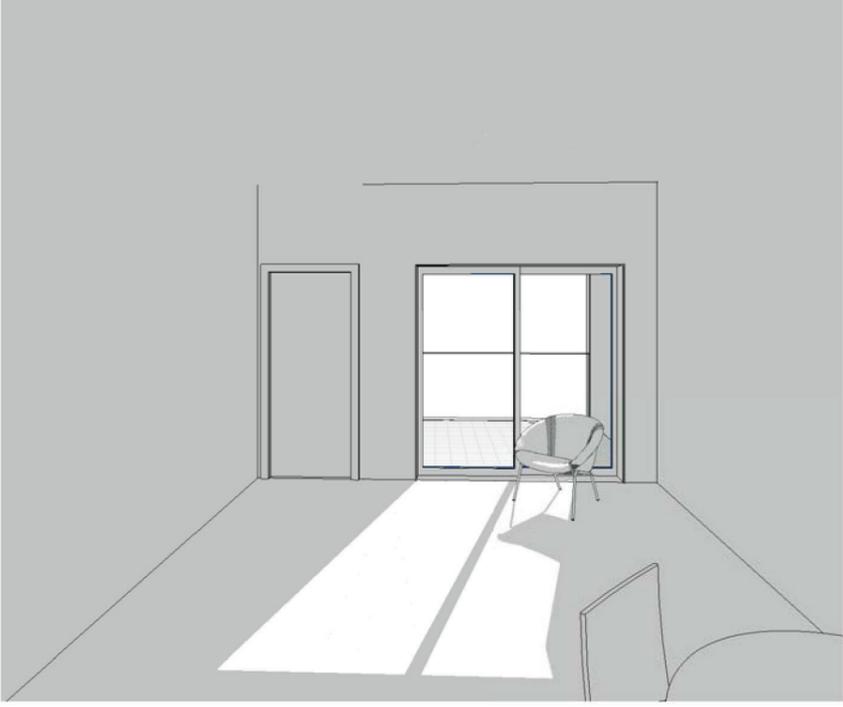
  

KEY PLAN	Status	<p><b>HBO+EMTB</b> Architects Pty Ltd. ABN/64 091 768 892</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com</p> <p>Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p> <p>Nominated Architect in NSW - Kevin Fitzgerald 5113</p>	<p><b>evolve HOUSING</b> Community minded, Community driven</p>
		<p>Client <b>evolve HOUSING</b></p> <p>Project Lot 3105 Thornton Estate, North Penrith</p>	<p>Drawing Title Sun Shadow 3pm</p> <p>File Ref: V:\8\NANA-004186-000_Lot 3105 Thornton Estate_Penrith\8_Concept_Schematic\Revit\150108-Central - J20.rvt</p> <p>Scale: 1 : 400 1:800 @ A3</p> <p>Job No: 004186 Drawing No: A503</p>

NOTE: SUN SHADOW CAST WINTER SOLSTICE



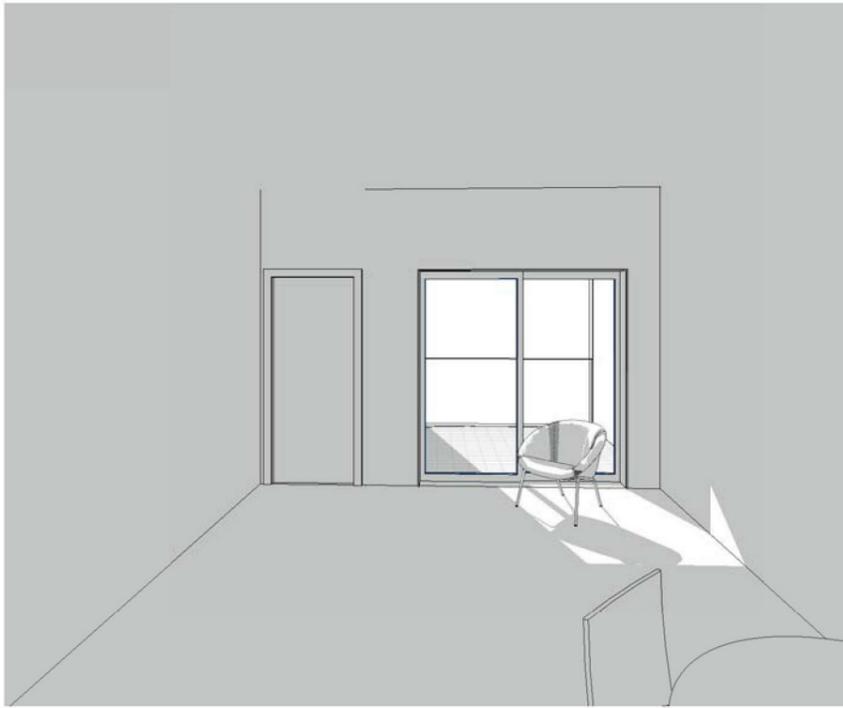
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SCALE:



4 Shadow Study- Internal 10am  
SCALE:

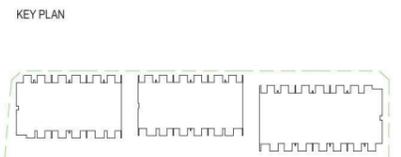


2 Shadow Study- Internal 11am  
SCALE:



3 Shadow Study- Internal 12am  
SCALE:

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
DA01	13/01/15	DA SUBMISSION			GA						



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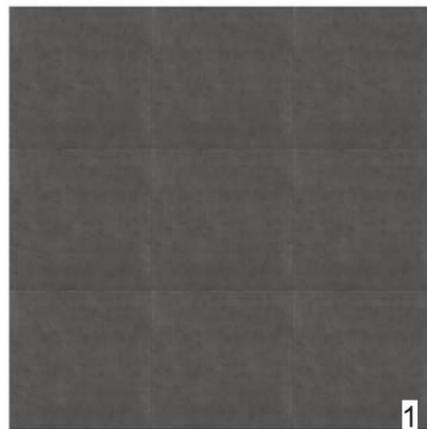


Project: Lot 3105 Thornton Estate, North Penrith

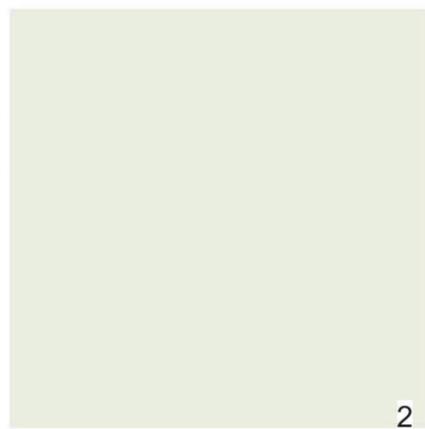
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Job No:	004186	Rev.
Drawing No:	A504	

**EXTERNAL MATERIALS**

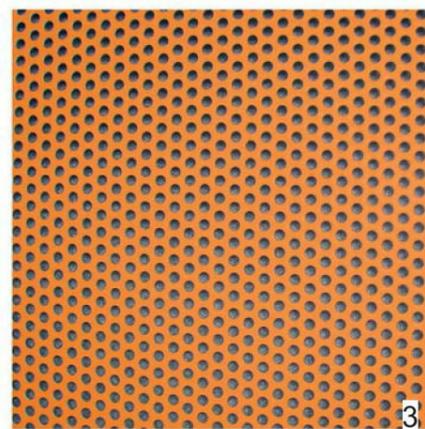
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- 2- CONCRETE PANEL- FINISH (WHITE)
- 3- BALUSTRADE/ HANDRAIL- PERFORATED METAL (GREY)
- 4- BLOCKWORK- PAINT RENDER FINISH (GREY)
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- 6- BALUSTRADE/ HANDRAIL- PERFORATED METAL (WHITE)
- 7- CONCRETE PANEL- FINISH (ORANGE)
- 8- BALUSTRADE - CLEAR LAMINATED GLASS
- 9 - POWDER COATED ALUMINIUM WINDOW/DOOR FRAME (DARK GREY)



1



2



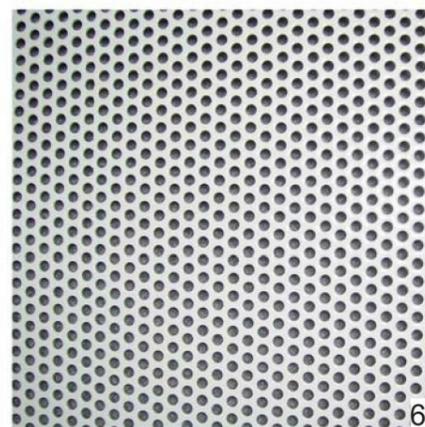
3



4



5



6



7



8



9

Rev.	Date	Description	Dr.	Chk.	Dir.	Rev.	Date	Description	Dr.	Chk.	Dir.	Status	HBO EMTB Architects Pty Ltd. ABN 64 096 768 880 Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemb.com <small>Nominated Architect in NSW - Kevin Fitzgerald 5113</small>	HBO+EMTB Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning	Client Evolve Housing Project Lot 3105 Thornton Estate, North Penrith	Drawing Title Materials, Colours and Finishes File Ref: V:\SYA\NAA-004186-000 Lot 3105 Thornton Estate, Penrith\8 Design\8_3 Scale: Concept_Schematic\Revit\150108-Central - ML.rvt As indicated Job No: 004186 Drawing No: A505 Rev.
												Key Plan	All dimensions subject to on site verification prior to execution of work. Figured dimensions shall be taken in preference to scaling. All rights reserved © COPYRIGHT of Hadley Budge Oplert & Edwards Madigan Torzillo Briggs and associated companies 2010	green building council australia member		



ALUMINIUM ENTRY CANOPY/ AWNING



ALUMINIUM BATTEN FENCING



COMMON AREA PRECEDENT



STREET INTERFACE PRECEDENT



ARCHITECTURAL SCREEN AS URBAN ART



Rev.	Date	Description	Dr.	Chk.	Dir.	Rev.	Date	Description	Dr.	Chk.	Dir.

Status	<p>HBO EMTB Architects Pty Ltd. ABN 64 056 768 880</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemt.com</p> <p>Nominated Architect in NSW - Kevin Fitzgerald 5113</p>	<p><b>HBO+EMTB</b></p> <p>Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p>	<p>Client <b>Evolve Housing</b></p>	<p>Drawing Title <b>Precedent Images - Street Level</b></p>
<p>All dimensions subject to on site verification prior to execution of work. Figured dimensions shall be taken in preference to scaling. All rights reserved © COPYRIGHT of Hadley Budge Oplert &amp; Edwards Madigan Torzillo Briggs and associated companies 2010</p>	<p>green building council australia member</p>	<p>Project <b>Lot 3105 Thornton Estate, North Penrith</b></p>	<p>File Ref: V:\SYAWAA-004186-000 Lot 3105 Thornton Estate, Penrith\8 Design\8_3 Concept_Schematic\Revit\150108-Central-ML.rvt</p> <p>Scale: 1 : 100</p> <p>Job No: <b>004186</b></p> <p>Drawing No: <b>A506</b></p> <p>Rev.</p>	

LOT 3104

LOT 3103

**STAGE 01**

LORD SHEFFIELD CIRCUIT

**STAGE 02**

COMBEWOOD AVENUE

DUNSHEA STREET

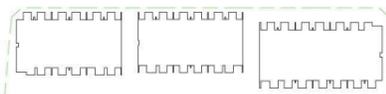
**LOT 3105**

Area 6370 m2

1 Stage Plan  
A211 SCALE: 1 : 250 1:500 @ A3

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
DA01	13/01/15	DA SUBMISSION			GA						

KEY PLAN	Status	HBO EMTB Architects Pty Ltd. ASNSW 095 768 880	HBO+EMTB	Client	 Community minded, Community driven
		Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtb.com	Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning	Project Lot 3105 Thornton Estate, North Penrith	
All dimensions subject to on site verification prior to execution of work. Figured dimensions shall be taken in preference to scaling. All rights reserved © COPYRIGHT of Hoadley Butge Ophert & Edwards Madigan Torzillo Briggs and associated companies 2010		Nominated Architect in NSW - Kevin Fitzgerald 5113	green building council australia member	Drawing Title Stage Plan	File Ref: V:\S\NANA-004186-000 Lot 3105 Thornton Estate Penrith Design\3_Concept_Schematic\Revit\150108-Central - J2014
				Scale: 1 : 250	
				Job No: 004186	Drawing No: A507
				Rev.	



VIEW FROM LORD SHEFFIELD CIRCUIT LOOKING SOUTH EAST TO BUILDING C, & THE INTERSECTION WITH DUNSHEA STREET

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
DA01	13/01/15	DA SUBMISSION	MURRIS	GA							

KEY PLAN	Status	<p>HBO EMTB Architects Pty Ltd. ABN 64 096 788 880</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemt.com</p> <p>Nominated Architect in NSW - Kevin Fitzgerald 5113</p>	<p>HBO+EMTB</p> <p>Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p>	<p>Community minded, Community driven</p>	<p>Drawing Title</p> <p>Street View</p>
<p>Key Plan</p>	<p>All dimensions subject to on site verification prior to execution of work. Figured dimensions shall be taken in preference to scaling. All rights reserved © COPYRIGHT of Hoadley Budge Olphert &amp; Edwards Madigan Torrallo Briggs and associated companies 2010</p>	<p>Client</p> <p>Lot 3105 Thornton Estate, North Penrith</p>	<p>Project</p>	<p>File Ref: V:\B\AAA\04186-000\Lot 3105 Thornton Estate\Penrith_3 Concept_Schematic\Revit\101108-Central - ML.rvt</p> <p>Scale:</p>	<p>Job No: 004186</p> <p>Drawing No: A508</p> <p>Rev:</p>



VIEW OF ENTRY TO BUILDING A, FROM COMBEWOOD AVENUE



VIEW OF ENTRY TO BUILDING C, FROM DUNSHEA STREET

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
DA01	13/01/15	DA SUBMISSION		MURIA		GA					

KEY PLAN	Status	HBO+EMTB Architects Pty Ltd. ABN 64 095 768 880 Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3946 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com	HBO+EMTB Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning	<p>Key Plan</p>	<p>All dimensions subject to on site verification prior to execution of work. Figured dimensions shall be taken in preference to scaling. All rights reserved © COPYRIGHT of Hadley Budge Ophert &amp; Edwards Madigan Torzillo Briggs and associated companies 2010</p>	<p>green building council australia member</p>	<p>Community minded, Community driven</p>	<p>Client Project Lot 3105 Thornton Estate, North Penrith</p>	<p>Drawing Title Street View</p>
<p>File Ref: Y:\B\NAA\04186-000\Lot 3105 Thornton Estate Penrith\04 Design\3 Concept_Schematics\Rev01\02108-General - ML.rvt</p>								<p>Scale:</p>	
							<p>Job No: 004186</p>	<p>Drawing No: A509</p>	<p>Rev:</p>

**EXTERNAL MATERIALS**

RG- CONCRETE PANEL- RENDER FINISH (SUNBOUND YELLOW)

RW- CONCRETE PANEL- RENDER FINISH (WHITE)

RO- CONCRETE PANEL- RENDER FINISH (ORANGE)

RB- CONCRETE PANEL- RENDER FINISH (SOFT FERN)

BW- BLOCKWORK- PAINT RENDER FINISH (GREY)



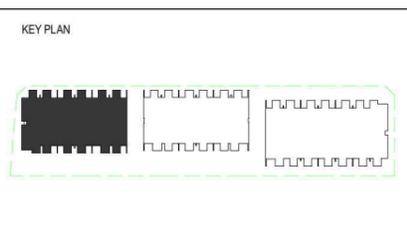
# DA SUBMISSION

ALL LEVELS TO AHD



**1 BUILDING A- NORTH**  
SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
A01	19/12/14	DA SUBMISSION			GA						



Status

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**HBO+EMTB**  
Architects Pty Ltd.  
ASB4 092 788 889

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Sydney NSW 2001 Australia  
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Fax: (02) 8226 2001  
mail@hboemtbt.com

Architecture  
Interior Design  
Urban Design  
Landscape Design  
Workspace Solutions  
Heritage  
Planning

Client

Project

Nominated Architect in NSW - Kevin Fitzgerald 5113

green building council australia member

**evolve HOUSING**  
Community minded, Community driven

Lot 3105 Thornton Estate, North Penrith

Drawing Title: **Building A North Elevation**

File Ref: V:\9\ANNA\04186-000\Lot 3105 Thornton Estate\Rev08 Design\8\_3\_Consort\_Schematic\Rev141205-General - rvt

Scale: 1 : 100

Job No: 004186

Drawing No: A211

Rev:

**EXTERNAL MATERIALS**

- RG- CONCRETE PANEL- RENDER FINISH (SUNBOUND YELLOW)
- RW- CONCRETE PANEL- RENDER FINISH (WHITE)
- RO- CONCRETE PANEL- RENDER FINISH (ORANGE)
- RB- CONCRETE PANEL- RENDER FINISH (SOFT FERN)
- BW- BLOCKWORK- PAINT RENDER FINISH (GREY)

**ABS A Class 2 Building Project Certification**  
 Association of Building Sustainability Assessors

Certification Number	1007225392
Certification Date	19/12/2014
Assessor Name	Bridgett Glasson
Assessor Number	100016
Assessor Signature	<i>B. Glasson</i>

Averaged Simulated Energy: HEATING: 33.3 MJ/m<sup>2</sup> pa  
 Averaged Simulated Energy: COOLING: 21.2 MJ/m<sup>2</sup> pa  
 Rated with Downlights: No  
 Averaged NABERS Rating: 5.4 MJ/m<sup>2</sup> pa  
**7.5/10**

**DA SUBMISSION**

ALL LEVELS TO AHD



**1 BUILDING A- SOUTH**  
 SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
A01	19/12/14	DA SUBMISSION			GA						

KEY PLAN	Status	HBO EMTB Architects Pty Ltd. ABN 64 092 788 992 Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbs.com	HBO+EMTB Architecture Interior Design Urban Design Landscape Design Workplace Solutions Heritage Planning	Community minded, Community driven	Building A South Elevation File Ref: V:\9\ANNA\04186-000\Lot 3105 Thornton Estate\Penrith\Design\3_Concept_Schematic\Rev1\141205-General - rvt.rvt Scale: 1 : 100 Job No: 004186 Drawing No: A212
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**EXTERNAL MATERIALS**

- RG- CONCRETE PANEL- RENDER FINISH (SUNBOUND YELLOW)
- RW- CONCRETE PANEL- RENDER FINISH (WHITE)
- RO- CONCRETE PANEL- RENDER FINISH (ORANGE)
- RB- CONCRETE PANEL- RENDER FINISH (SOFT FERN)
- BW- BLOCKWORK- PAINT RENDER FINISH (GREY)



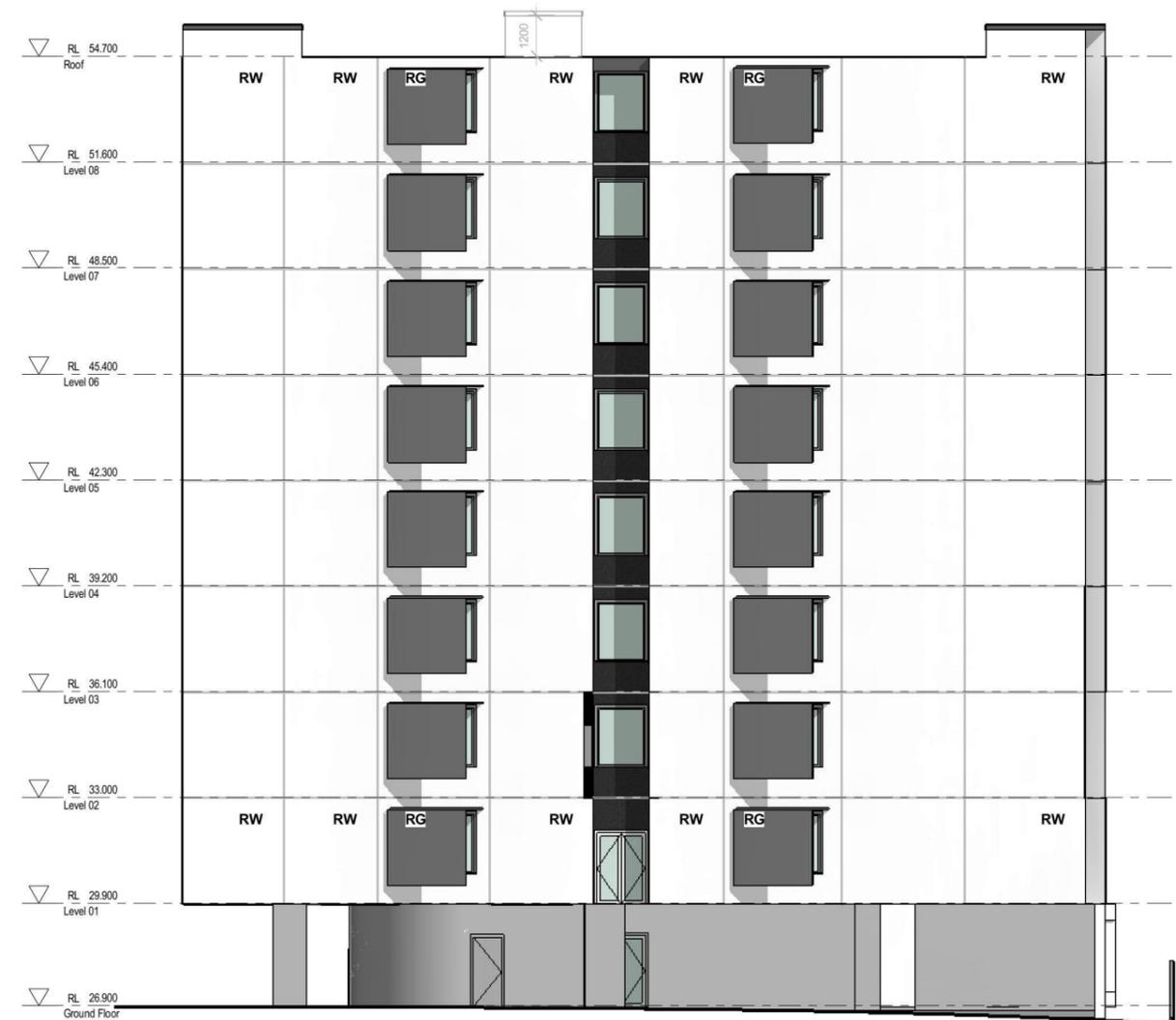
**DA SUBMISSION**

ALL LEVELS TO AHD

LIFT OVERRUN



LIFT OVERRUN



1 BUILDING A- WEST  
SCALE: 1 : 100

2 BUILDING A- EAST  
SCALE: 1 : 100

<table border="1"> <thead> <tr> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>Dr.</th> <th>Chk.</th> <th>Dr.</th> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>Dr.</th> <th>Chk.</th> <th>Dr.</th> </tr> </thead> <tbody> <tr> <td>A01</td> <td>19/12/14</td> <td>DA SUBMISSION</td> <td></td> <td></td> <td>GA</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.	A01	19/12/14	DA SUBMISSION			GA							<p>KEY PLAN</p>	<p>Status</p>	<p>HBO EMTB Architects Pty Ltd. ASB4 092 788 889</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com</p> <p>Nominated Architect in NSW - Kevin Fitzgerald 5113</p>	<p>HBO+EMTB</p> <p>Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p>	<p>Community minded, Community driven</p>	<p>Client</p> <p>Project</p> <p>Lot 3105 Thornton Estate, North Penrith</p>	<p>Drawing Title</p> <p>Building A East and West Elevation</p> <p>File Ref: V:\9\ANNA-004186-000\Lot 3105 Thornton Estate\Penrith\3_Concept_Schematic\Rev1\41205-General - hb.rvt</p> <p>Scale: 1 : 100</p> <p>Job No: 004186</p> <p>Drawing No: A213</p> <p>Rev:</p>
Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.																				
A01	19/12/14	DA SUBMISSION			GA																										

**EXTERNAL MATERIALS**

- RG- CONCRETE PANEL- RENDER FINISH (SUNBOUND YELLOW)
- RW- CONCRETE PANEL- RENDER FINISH (WHITE)
- RO- CONCRETE PANEL- RENDER FINISH (ORANGE)
- RB- CONCRETE PANEL- RENDER FINISH (SOFT FERN)
- BW- BLOCKWORK- PAINT RENDER FINISH (GREY)

**ABSA** Class 2 Building Project Certification  
Association of Building Sustainability Assessors

Certification Number	1007225392
Certification Date	19/12/2014
Assessor Name	Bridgett Glasson
Assessor Number	100016
Assessor Signature	<i>Bridgett Glasson</i>

Averaged Simulated Energy: HEATING: 33.3 MJ/m<sup>2</sup> pa  
Averaged Simulated Energy: COOLING: 21.2 MJ/m<sup>2</sup> pa  
Rated with Downlights: No

7.5/10

# DA SUBMISSION

ALL LEVELS TO AHD



1 BUILDING B - NORTH  
SCALE: 1 : 100

<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>Dr.</th> <th>Chk.</th> <th>Dr.</th> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>Dr.</th> <th>Chk.</th> <th>Dr.</th> </tr> </thead> <tbody> <tr> <td>A01</td> <td>19/12/14</td> <td>DA SUBMISSION</td> <td></td> <td></td> <td>GA</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.	A01	19/12/14	DA SUBMISSION			GA							<p>KEY PLAN</p>	<p>Status</p>	<p>HBO EMTB Architects Pty Ltd. ASB 64 092 788 889</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com</p> <p>Nominated Architect in NSW - Kevin Fitzgerald 5113</p>	<p>HBO+EMTB</p> <p>Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p>	<p>Community minded, Community driven</p>	<p>Client</p> <p>Project</p> <p>Lot 3105 Thornton Estate, North Penrith</p>	<p>Drawing Title</p> <p>Building B North Elevation</p> <p>File Ref: V:\9\ANNA\04186-000\Lot 3105 Thornton Estate\Penrith\8_Design\8_3_Concept_Schematic\Rev1\141205-General - rvt.rvt</p> <p>Scale: 1 : 100</p> <p>Job No: 004186</p> <p>Drawing No: A221</p>
Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.																				
A01	19/12/14	DA SUBMISSION			GA																										

**EXTERNAL MATERIALS**

- RG- CONCRETE PANEL- RENDER FINISH (SUNBOUND YELLOW)
- RW- CONCRETE PANEL- RENDER FINISH (WHITE)
- RO- CONCRETE PANEL- RENDER FINISH (ORANGE)
- RB- CONCRETE PANEL- RENDER FINISH (SOFT FERN)
- BW- BLOCKWORK- PAINT RENDER FINISH (GREY)

**ABSA** Class 2 Building Project Certification  
 Association of Building Sustainability Assessors

Certification Number	1007225392
Certification Date	19/12/2014
Assessor Name	Bridgett Glasson
Assessor Number	100016
Assessor Signature	<i>B. Glasson</i>

Averaged Simulated Energy: HEATING: 33.3 MJ/m<sup>2</sup> pa  
 Averaged Simulated Energy: COOLING: 21.2 MJ/m<sup>2</sup> pa  
 Rated with Downlights: No  
 Averaged NatHERS Rating 54.4 MJ/m<sup>2</sup> pa  
**7.5/10**

**DA SUBMISSION**

ALL LEVELS TO AHD



**1 BUILDING B- SOUTH**  
 SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
A01	19/12/14	DA SUBMISSION			GA						

<p><b>KEY PLAN</b></p>	<p>Status</p>	<p><b>HBO+EMTB</b>                  HBO EMTB Architects Pty Ltd.                  AS/NZS 4843:2002                  Level 3                  75 Elizabeth Street                  Sydney NSW 2000 Australia                  GPO Box 3948                  Sydney NSW 2001 Australia                  Tel: (02) 8226 2000                  Fax: (02) 8226 2001                  mail@hboemtbt.com</p>	<p><b>evolve HOUSING</b>                  Community minded, Community driven</p>	<p>Client                  Lot 3105 Thornton Estate, North Penrith</p>	<p>Drawing Title                  Building B South Elevation</p>
<p>All dimensions subject to on site verification prior to execution of work. Figured dimensions shall be taken in preference to scaling. All rights reserved. © COPYRIGHT of Hoadley Budge Ophert &amp; Edwards                  Medigan Torzillo Briggs and associated companies 2010</p>	<p>green building council australia member</p>	<p>Project                  Lot 3105 Thornton Estate, North Penrith</p>	<p>File Ref: V:\81000\04186-000\Lot 3105 Thornton Estate\Penrith\B_South_Schematic\Rev1\141205-General - hb.rvt</p>	<p>Scale: 1 : 100</p>	<p>Job No: 004186                  Drawing No: A222</p>

**EXTERNAL MATERIALS**

- RG- CONCRETE PANEL- RENDER FINISH (SUNBOUND YELLOW)
- RW- CONCRETE PANEL- RENDER FINISH (WHITE)
- RO- CONCRETE PANEL- RENDER FINISH (ORANGE)
- RB- CONCRETE PANEL- RENDER FINISH (SOFT FERN)
- BW- BLOCKWORK- PAINT RENDER FINISH (GREY)

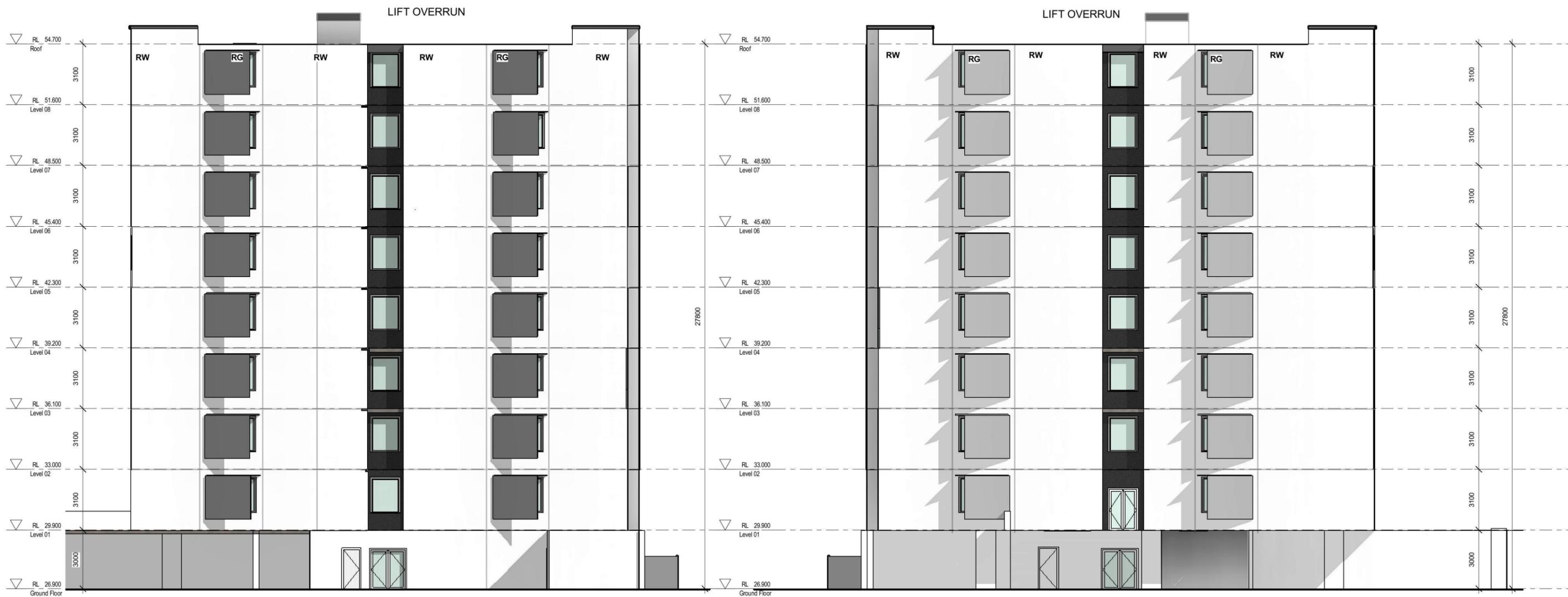
**ABSA** Association of Building Sustainability Assessors  
**Class 2 Building Project Certification**

Certification Number	1007225392
Certification Date	19/12/2014
Assessor Name	Bridgett Glasson
Assessor Number	100016
Assessor Signature	<i>B. Glasson</i>

Averaged Simulated Energy: HEATING: 33.3 MJ/m<sup>2</sup> pa  
 Averaged Simulated Energy: COOLING: 21.2 MJ/m<sup>2</sup> pa  
 Rated with Downlights: No  
**Averaged NatHERS Rating 54.4 MJ/m<sup>2</sup> pa**  
**7.5/10**

**DA SUBMISSION**

ALL LEVELS TO AHD



**2 BUILDING B- EAST**  
SCALE: 1 : 100

**1 BUILDING B- WEST**  
SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
A01	19/12/14	DA SUBMISSION			GA						

**KEY PLAN**

**Status**

\_\_\_\_\_

**HBO+EMTB**

HBO EMTB Architects Pty Ltd.  
ABN 64 092 788 889

Level 3  
 75 Elizabeth Street  
 Sydney NSW 2000 Australia  
 GPO Box 3948  
 Sydney NSW 2001 Australia  
 Tel: (02) 8226 2000  
 Fax: (02) 8226 2001  
 mail@hboemtbt.com

**green building council australia** member

**Client**

**evolve HOUSING**  
Community minded, Community driven

**Project**

Lot 3105 Thornton Estate, North Penrith

**Building B East and West Elevation**

File Ref: V:\S\ANNA\04186-000\Lot 3105 Thornton Estate\Penrith\B3\_Concept\_Schematic\Rev1\141205-General - hb.rvt

Scale: 1 : 100

Job No: 004186    Drawing No: A223

**EXTERNAL MATERIALS**

RG- CONCRETE PANEL- RENDER FINISH (SUNBOUND YELLOW)

RW- CONCRETE PANEL- RENDER FINISH (WHITE)

RO- CONCRETE PANEL- RENDER FINISH (ORANGE)

RB- CONCRETE PANEL- RENDER FINISH (SOFT FERN)

BW- BLOCKWORK- PAINT RENDER FINISH (GREY)

**ABSA** Class 2 Building Project Certification  
 Association of Building Sustainability Assessors

Certification Number	1007225392
Certification Date	19/12/2014
Assessor Name	Bridgett Glasson
Assessor Number	100016
Assessor Signature	<i>B. Glasson</i>

Averaged Simulated Energy: HEATING: 33.3 MJ/m<sup>2</sup> pa  
 Averaged Simulated Energy: COOLING: 21.2 MJ/m<sup>2</sup> pa  
 Rated with Downlights: No  
 Averaged NatHERS Rating: 54.4 MJ/m<sup>2</sup> pa

**7.5/10**

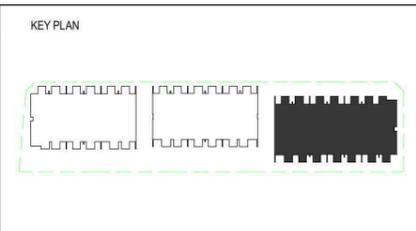
**DA SUBMISSION**

ALL LEVELS TO AHD



**1 BUILDING C - NORTH**  
 SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
A01	19/12/14	DA SUBMISSION			GA						



Status

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**HBO+EMTB**  
 Architects Pty Ltd.  
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 75 Elizabeth Street  
 Sydney NSW 2000 Australia  
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 Tel: (02) 8226 2000  
 Fax: (02) 8226 2001  
 mail@hboemtbt.com

Architecture  
 Interior Design  
 Urban Design  
 Landscape Design  
 Workplace Solutions  
 Heritage  
 Planning

green building council australia member

**evolve HOUSING**  
 Community minded, Community driven

Client  
 Lot 3105 Thornton Estate, North Penrith

Drawing Title <b>Building C North Elevation</b>	
File Ref: V:\58ANNA-004186-000-Lot 3105 Thornton Estate\Penrith\B3_Concept_Schematic\Rev141205-General - rvt.rvt	
Scale: 1 : 100	
Job No: 004186	Drawing No: A231
Rev:	

EXTERNAL MATERIALS
RG- CONCRETE PANEL- RENDER FINISH (SUNBOUND YELLOW)
RW- CONCRETE PANEL- RENDER FINISH (WHITE)
RO- CONCRETE PANEL- RENDER FINISH (ORANGE)
RB- CONCRETE PANEL- RENDER FINISH (SOFT FERN)
BW- BLOCKWORK- PAINT RENDER FINISH (GREY)

**ABSA** Class 2 Building Project Certification  
 Association of Building Sustainability Assessors

Certification Number	1007225392
Certification Date	19/12/2014
Assessor Name	Bridgett Glasson
Assessor Number	100016
Assessor Signature	<i>B. Glasson</i>

Averaged Simulated Energy: HEATING: 33.3 MJ/m<sup>2</sup> pa  
 Averaged Simulated Energy: COOLING: 21.2 MJ/m<sup>2</sup> pa  
 Rated with Downlights: No  
 Averaged NatHERS Rating: 54.4 MJ/m<sup>2</sup> pa  
**7.5/10**

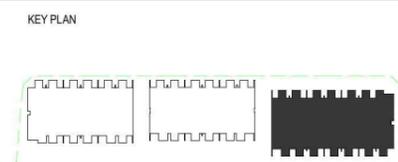
# DA SUBMISSION

ALL LEVELS TO AHD



**1 BUILDING C - SOUTH**  
 SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
A01	19/12/14	DA SUBMISSION			GA						



Status

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**HBO+EMTB**  
 Architects Pty Ltd.  
 Level 3  
 75 Elizabeth Street  
 Sydney NSW 2000 Australia  
 GPO Box 3948  
 Sydney NSW 2001 Australia  
 Tel: (02) 8226 2000  
 Fax: (02) 8226 2001  
 mail@hboemtba.com

Architecture  
 Interior Design  
 Urban Design  
 Landscape Design  
 Workspace Solutions  
 Heritage  
 Planning

green building council australia member

**evolve HOUSING**  
 Community minded, Community driven

Client  
 Lot 3105 Thornton Estate, North Penrith

Drawing Title	Building C South Elevation	
File Ref:	V:\BANA\04186-000\Lot 3105 Thornton Estate\Penrith Design\3_Concept_Schematic\Rev1\141205-General - hb.rvt	
Scale:	1 : 100	
Job No:	004186	Drawing No: A232
Rev:		

**EXTERNAL MATERIALS**

RG- CONCRETE PANEL- RENDER FINISH (SUNBOUND YELLOW)

RW- CONCRETE PANEL- RENDER FINISH (WHITE)

RO- CONCRETE PANEL- RENDER FINISH (ORANGE)

RB- CONCRETE PANEL- RENDER FINISH (SOFT FERN)

BW- BLOCKWORK- PAINT RENDER FINISH (GREY)

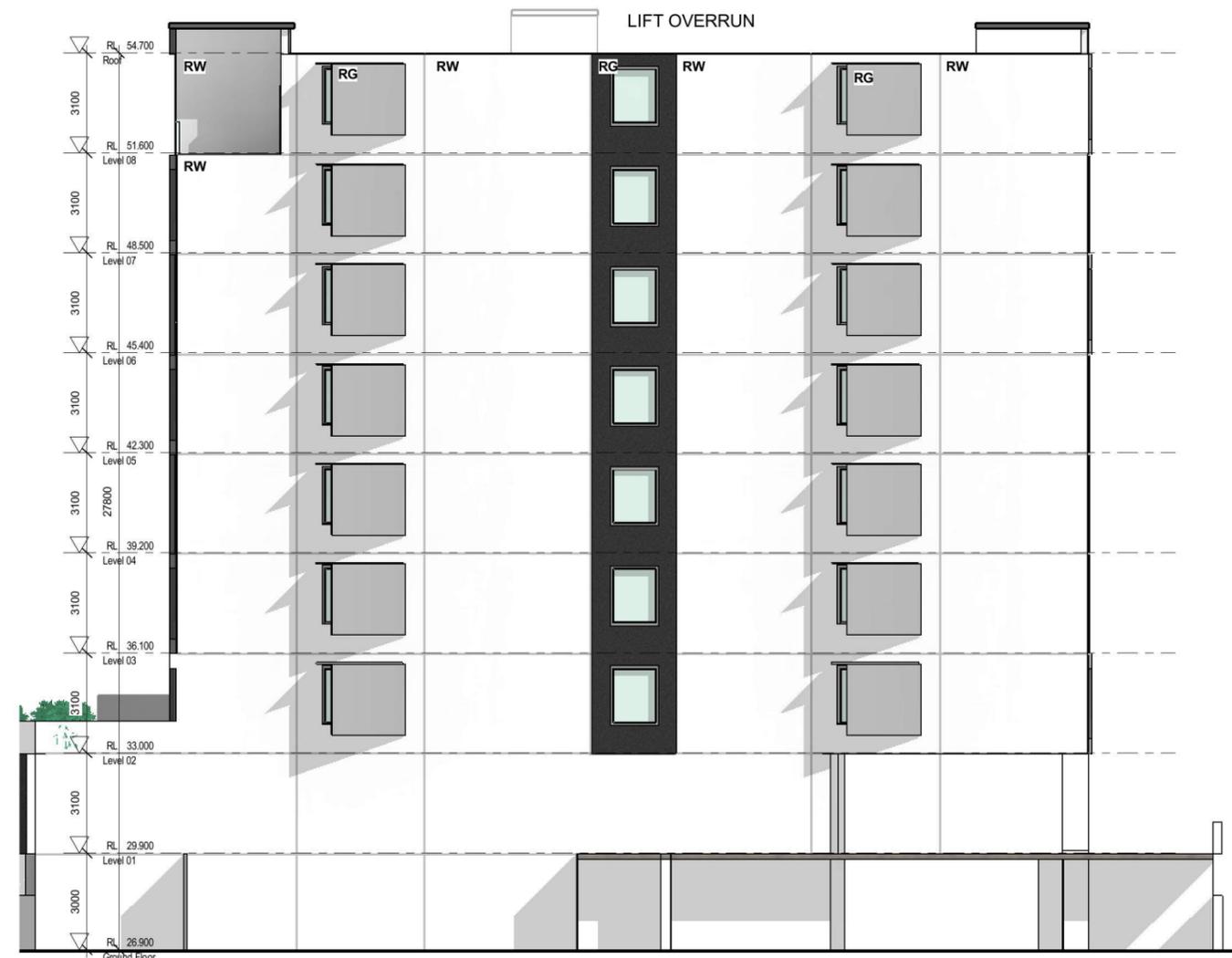
**ABS A Class 2 Building Project Certification**  
 Association of Building Sustainability Assessors

Certification Number	1007225392
Certification Date	19/12/2014
Assessor Name	Bridgett Glasson
Assessor Number	100016
Assessor Signature	<i>B. Glasson</i>

Averaged Simulated Energy: HEATING: 33.3 MJ/m<sup>2</sup> pa  
 Averaged Simulated Energy: COOLING: 21.2 MJ/m<sup>2</sup> pa  
 Rated with Downlights: No

**Averaged NatHERS Rating 54.4 MJ/m<sup>2</sup> pa**  
**7.5/10**

**DA SUBMISSION**  
 ALL LEVELS TO AHD



**1 BUILDING C - EAST**  
 SCALE: 1 : 100

**2 BUILDING C - WEST**  
 SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
A01	19/12/14	DA SUBMISSION			GA						

KEY PLAN	Status	HBO EMTB Architects Pty Ltd. AS/NZS 4843:2001	HBO+EMTB
		Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com	Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning
		Client	Client
		Project	Project
		Lot 3105 Thornton Estate, North Penrith	
		green building council australia member	

evolve HOUSING Community minded, Community driven	Building C East and West Elevation
File Ref: V:\BANA\04186-000\Lot 3105 Thornton Estate\Rev18 Design\3_Concept_Schematic\Rev14\1205-General - r1.rvt	
Scale: 1 : 100	
Job No: 004186	Drawing No: A233

**ABSA** Class 2 Building Project Certification  
 Association of Building Sustainability Assessors

Certification Number	1007225392
Certification Date	19/12/2014
Assessor Name	Bridgett Glasson
Assessor Number	100016
Assessor Signature	<i>B Glasson</i>

Averaged Simulated Energy: HEATING: 33.3 MJ/m<sup>2</sup> pa  
 Averaged Simulated Energy: COOLING: 21.2 MJ/m<sup>2</sup> pa  
 Rated with Downlights: No  
 Averaged NABERS Rating 54.4 MJ/m<sup>2</sup> pa  
**7.5/10**

# DA SUBMISSION

ALL LEVELS TO AHD

## Building B



1 B-02  
 A100 SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
A01	19/12/14	DA SUBMISSION	HJ/MLB	GA							

KEY PLAN	Status	<b>HBO+EMTB</b> Architects Pty Ltd. ANS4 095 788 989 Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com Nominated Architect in NSW - Kevin Fitzgerald 5113	<b>evolve HOUSING</b> Community minded, Community driven	Drawing Title <b>Building B- Section 02</b>
	All dimensions subject to on site verification prior to execution of work. Figured dimensions shall be taken in preference to scaling. All rights reserved © COPYRIGHT of Hoadley Budge Ophert & Edwards Madigan Torzillo Briggs and associated companies 2010	Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning	Client <b>Lot 3105 Thornton Estate, North Penrith</b>	File Ref: V:\9\ANNA\04186-000\Lot 3105 Thornton Estate\Penrith Design\3_Concept_Schematic\Rev1\141205-General - rvt.rvt Scale: 1 : 100 1:200 @ A3 Job No: 004186 Drawing No: A304 Rev:





# DA SUBMISSION

ALL LEVELS TO AHD

## Building C



1 C- 01  
A100 SCALE: 1 : 100

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
A01	19/12/14	DA SUBMISSION			GA						

<p>KEY PLAN</p>	<p>Status</p>	<p>HBO EMTB Architects Pty Ltd. ABN 64 092 788 889</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com</p> <p>Nominated Architect in NSW - Kevin Fitzgerald 5113</p>	<p>HBO+EMTB</p> <p>Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p>		<p>Client</p> <p>Project</p> <p>Lot 3105 Thornton Estate, North Penrith</p>	<p>Drawing Title</p> <p>Building C- Section 01</p>
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<p>All dimensions subject to on site verification prior to execution of work. Figured dimensions shall be taken in preference to scaling. All rights reserved © COPYRIGHT of Hoadley Butge Olphert &amp; Edwards Madigan Torzillo Briggs and associated companies 2010</p>		<p>File Ref: V:\9ANAA-004186-000.Lot 3105 Thornton Estate.Penrith Design\8_3_Concept_Schematic\Rev141205-General - r1.rvt</p>
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<p>Scale: 1 : 100 1:200 @ A3</p>	<p>Job No: 004186</p>	<p>Drawing No: A305</p>	<p>Rev:</p>
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# Proposed Residential Development Lot 3105, Thornton Estate, North Penrith

for  
Evolve Housing



Sheet List	
Sheet Number	Sheet Name
A000	Cover Page
A001	Location Plan
A002	Project Information
A003	Photo Analysis
A004	Site Analysis Plan
A005	Site Analysis Section
A006	Sun Shadow 9am
A007	Sun Shadow 12pm
A008	Sun Shadow 3pm
A100	Ground Floor Plan
A101	Ground Floor Plan- BLG A
A102	Ground Floor Plan- BLG B
A103	Ground Floor Plan- BLG C
A110	Level 01 Plan
A111	Level 01 Plan- BLG A
A112	Level 01 Plan- BLG 02
A113	Level 01 Plan- BLG C
A120	Level 02 Plan
A121	Level 02 Plan- BLG A
A122	Level 02 Plan- BLG B
A123	Level 02 Plan- BLG C
A130	Level 03 Plan
A131	Level 03 Plan- BLG A
A132	Level 03 Plan- BLG B
A133	Level 03 Plan- BLG C
A140	Level 04 Plan
A141	Level 04 Plan- BLG A
A142	Level 04 Plan- BLG B
A143	Level 04 Plan- BLG C
A150	Level 05 Plan
A151	Level 05 Plan- BLG A
A152	Level 05 Plan- BLG B
A153	Level 05 Plan- BLG C
A160	Level 06 Plan
A161	Level 06 Plan- BLG A
A162	Level 06 Plan- BLG B
A163	Level 06 Plan- BLG C
A170	Level 07 Plan
A171	Level 07 Plan- BLG A

Sheet List	
Sheet Number	Sheet Name
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A173	Level 07 Plan- BLG C
A180	Level 08 Plan
A181	Level 08 Plan- BLG A
A182	Level 08 Plan- BLG B
A183	Level 08 Plan- BLG C
A190	Roof Plan
A191	Roof Plan- BLG A
A192	Roof Plan- BLG B
A193	Roof Plan- BLG C
A200	Overall Elevations
A211	Building A North Elevation
A212	Building A South Elevation
A213	Building A East and West Elevation
A221	Building B North Elevation
A222	Building B South Elevation
A223	Building B East and West Elevation
A231	Building C North Elevation
A232	Building C South Elevation
A233	Building C East and West Elevation
A301	Building A- Section 01
A302	Building A- Section 02
A303	Building B- Section 01
A304	Building B- Section 02
A305	Building C- Section 01
A306	Building C- Section 02
A307	Site Section East West
A501	Notification Plan
A502	Materials Board
A503	Solar Access Study- North Apts- Typical

<table border="1"> <thead> <tr> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>Dr.</th> <th>Chk.</th> <th>Dr.</th> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>Dr.</th> <th>Chk.</th> <th>Dr.</th> </tr> </thead> <tbody> <tr> <td>A01</td> <td>19/12/14</td> <td>DA SUBMISSION</td> <td></td> <td></td> <td>GA</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.	A01	19/12/14	DA SUBMISSION			GA							<p>KEY PLAN</p>	<p>Status</p>	<p>HBO EMTB Architects Pty Ltd. ABN 64 098 788 889</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com</p> <p>HBO+EMTB Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p> <p>Nominated Architect in NSW - Kevin Fitzgerald 5113</p> <p>green building council australia member</p>	<p>Community minded, Community driven</p>	<p>Client Project Lot 3105 Thornton Estate, North Penrith</p>	<p>Drawing Title Cover Page</p> <p>File Ref: V:\9ANNA\04186-000\Lot 3105 Thornton Estate\Penrith Design\3_Concept_Schematic\Rev1\141205-General - r1.rvt</p> <p>Scale:</p> <p>Job No: 004186 Drawing No: A000</p>
Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.																			
A01	19/12/14	DA SUBMISSION			GA																									

UNITS

BUILDING A			
	STUDIO	1 BED	2 BED
GROUND	02	-	01
LEVEL 01		02	10
LEVEL 02		02	10
LEVEL 03		02	10
LEVEL 04		02	10
LEVEL 05		02	10
LEVEL 06		02	10
LEVEL 07		02	10
LEVEL 08		02	10
TOTAL	02	16	81

UNITS

BUILDING C			
	STUDIO	1 BED	2 BED
GROUND	06	-	-
LEVEL 01		-	-
LEVEL 02		02	12
LEVEL 03		02	12
LEVEL 04		02	12
LEVEL 05		02	12
LEVEL 06		02	12
LEVEL 07		02	12
LEVEL 08		02	12
TOTAL	06	14	84

CAR PARK

BUILDING A & B	
GROUND	100 CAR PARKS (INCLUDING 20 NOS. DISABLED CAR PARKS)
BUILDING C	
GROUND	34 CAR PARKS (INCLUDING 08 NOS. DISABLED CAR PARKS)
LEVEL 1	63 CAR PARKS
TOTAL	97 CAR PARKS



UNITS TOTAL UNITS BUILDING 1 - 99

BUILDING B			
	STUDIO	1 BED	2 BED
GROUND	03	-	-
LEVEL 01		02	10
LEVEL 02		02	10
LEVEL 03		02	10
LEVEL 04		02	10
LEVEL 05		02	10
LEVEL 06		02	10
LEVEL 07		02	10
LEVEL 08		02	10
TOTAL	03	16	80

TOTAL UNITS BUILDING 3 - 104

GRAND TOTAL UNITS- 302

GRAND TOTAL CAR PARKS - 197

SITE AREA 6370 m2

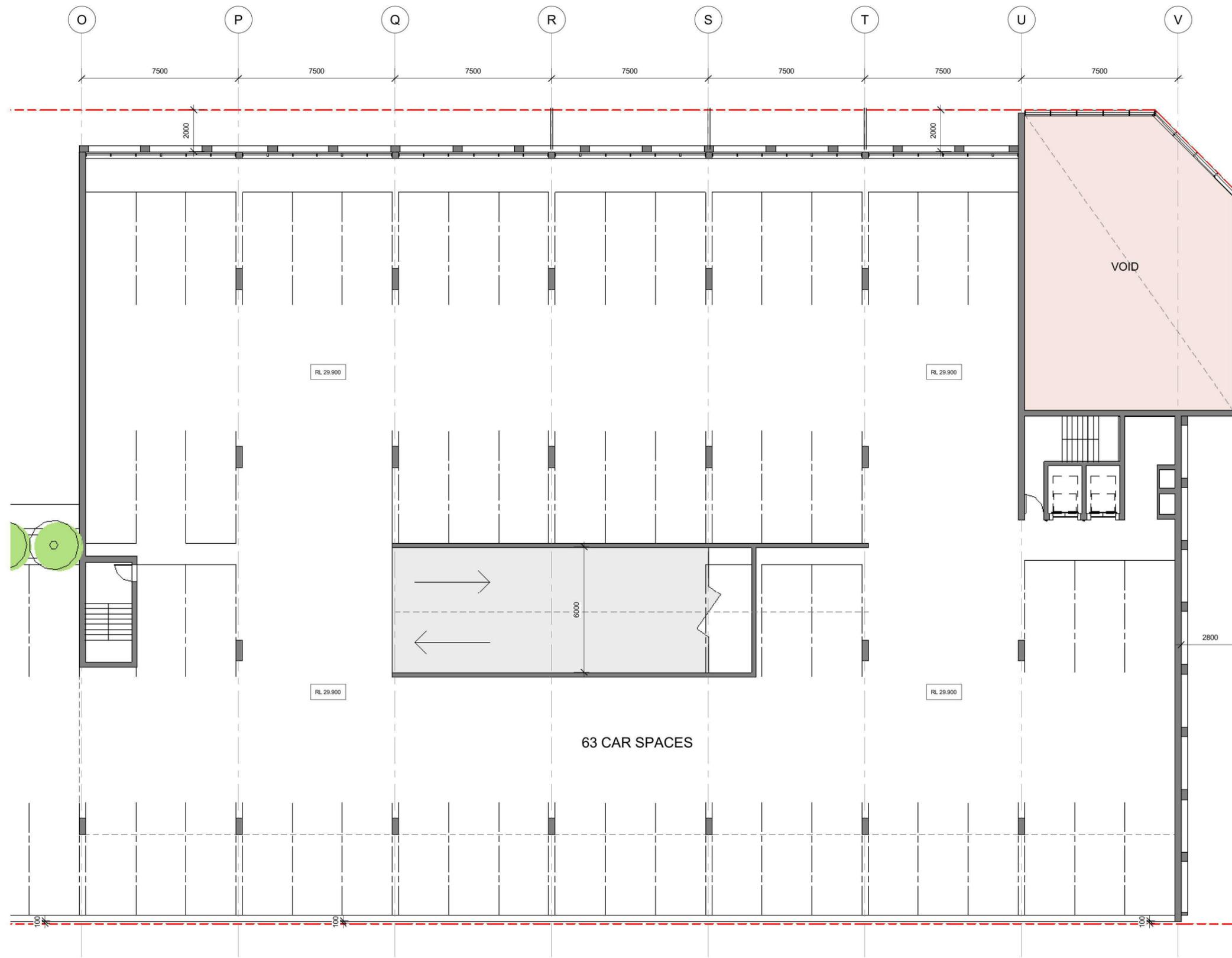
TOTAL UNITS BUILDING 2 - 99

BASIX CONSTRUCTION REQUIREMENTS

External Walls	Minimum system total R-Value required = R2.8 (R-value of air films not included)
Internal / Party Walls - Common with corridor / adjacent units	Minimum system total R-Value required = R0.45 (R-value of air films not included)
Internal / Party Walls - Common with carpark(s)	Minimum system total R-Value required = R2.3 (R-value of air films not included)
Internal / Party Walls - Common with stairwells and lifts	Minimum system total R-Value required = R1.8 (R-value of air films not included)
Floors - Building A Level 1 Apartments - Building B Level 1 Apartments - Building C Level 2 Apartments	R2.0 insulation to underside of slab  <i>Note; insulation to slab of Bld A &amp; Bld B apartments doubles as insulation to the ceiling/roof of Bld A &amp; Bld B Ground Floor apartments. Carpark is below Bld C Level 2 Apartments.</i>
Ceiling - Building C Ground Floor Apartments	R2.5 insulation to ceiling/roof
Roof / Ceiling - Level 8 Apartments in all buildings	R1.5 to roof with reflective foil R3.5 to ceiling
Glazing - All apartments	Total System U-Value = 6.7 (maximum) Total system SHGC = 0.57 (+/- 5%)

Ceiling Penetrations – no downlights /recessed lights) in bedrooms and living.  
Window and doors are to be weather-stripped or comply with AS2047

<table border="1"> <thead> <tr> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>Dr.</th> <th>Chk.</th> <th>Dr.</th> <th>Rev.</th> <th>Date</th> <th>Description</th> <th>Dr.</th> <th>Chk.</th> <th>Dr.</th> </tr> </thead> <tbody> <tr> <td>A01</td> <td>19/12/14</td> <td>DA SUBMISSION</td> <td></td> <td></td> <td>GA</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.	A01	19/12/14	DA SUBMISSION			GA							<p>KEY PLAN</p>	<p>Status</p>	<p>HBO EMTB Architects Pty Ltd. AS/NZS 4843:2001</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com</p> <p>HBO+EMTB Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p> <p>Nominated Architect in NSW - Kevin Fitzgerald 5113</p> <p>green building council australia member</p>	<p>Community minded, Community driven</p>	<p>Project Information</p> <p>Lot 3105 Thornton Estate, North Penrith</p> <p>File Ref: V:\91000\04186-000\Lot 3105 Thornton Estate\Penrith_3_Concept_Schematic\Rev1\141205-General - h1.rvt</p> <p>Scale:</p> <p>Job No: 004186</p> <p>Drawing No: A002</p> <p>Rev:</p>
Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.																		
A01	19/12/14	DA SUBMISSION			GA																								



1 Level 1 - BLG C  
A211 SCALE: 1 : 100

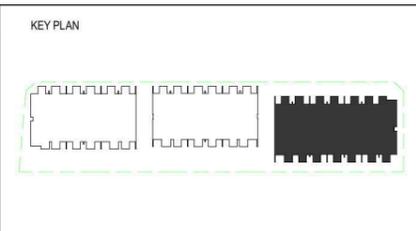
**ABSA** Class 2 Building Project Certification  
Association of Building Sustainability Assessors

Certification Number	1007225392
Certification Date	19/12/2014
Assessor Name	Bridgett Glasson
Assessor Number	100016
Assessor Signature	<i>B. Glasson</i>

Averaged Simulated Energy: HEATING: 33.3 MJ/m<sup>2</sup> pa  
Averaged Simulated Energy: COOLING: 21.2 MJ/m<sup>2</sup> pa  
Rated with Downlights: No

**Averaged NatHERS Rating 54.4 MJ/m<sup>2</sup> pa**  
**7.5/10**

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
A01	19/12/14	DA SUBMISSION			GA						



Status

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**HBO+EMTB**  
Architects Pty Ltd.  
ABN 64 092 788 989

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75 Elizabeth Street  
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Architecture  
Interior Design  
Urban Design  
Landscape Design  
Workspace Solutions  
Heritage  
Planning

Client  
Project

green building council australia member

**evolve HOUSING**  
Community minded, Community driven

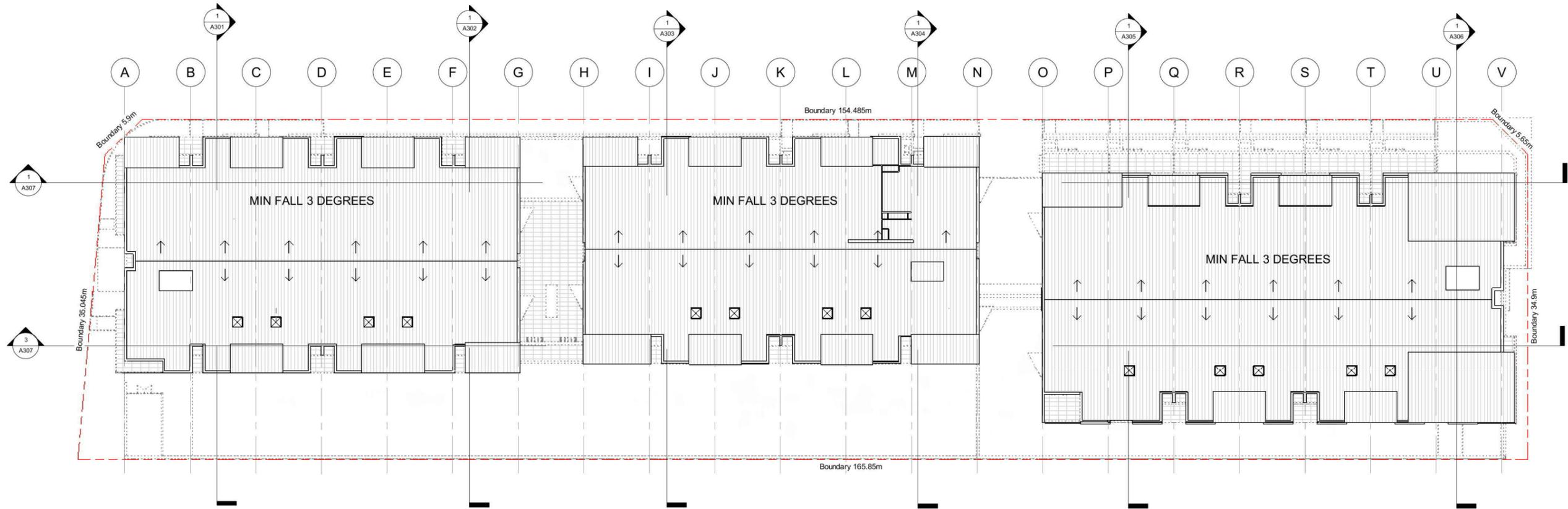
Lot 3105 Thornton Estate, North Penrith

Level 01 Plan- BLG C

File Ref: V:\BANA\04186-000\Lot 3105 Thornton Estate\Penrith Design\3\_Concept\_Schematic\Rev1\141205-General - rvt.rvt

Scale: 1 : 100 1:200 @ A3

Job No:	004186	Drawing No:	A113	Rev:	
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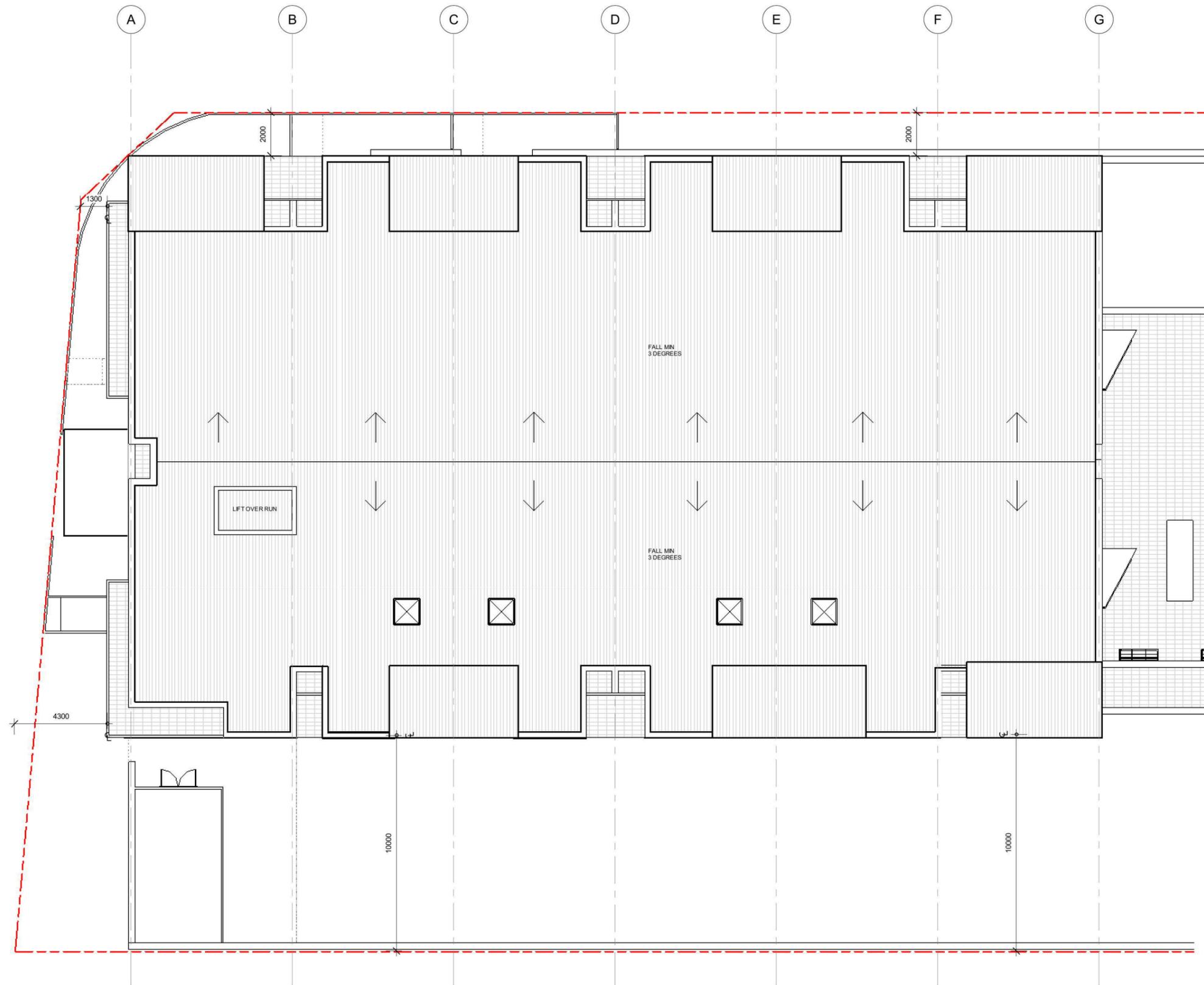
1 Roof Plan  
A211 SCALE: 1 : 250 1:500 @ A3



Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
A01	19/12/14	DA SUBMISSION			GA						

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		Key Plan All dimensions subject to on site verification prior to execution of work. Figured dimensions shall be taken in preference to scaling. All rights reserved. © COPYRIGHT of Hoadley Budge Olphert & Edwards Medigan Torzillo Briggs and associated companies 2010	Nominated Architect in NSW - Kevin Fitzgerald 5113 	Project Lot 3105 Thornton Estate, North Penrith	File Ref: V:\S\ANNA\04186-000\Lot 3105 Thornton Estate\Penrith\B3_Consort_Schematic\Rev1\141205-General - rvt.rvt Scale: 1 : 250 Job No: 004186 Drawing No: A190 Rev:



1 Roof Plan- BLG A  
A211 SCALE: 1 : 100



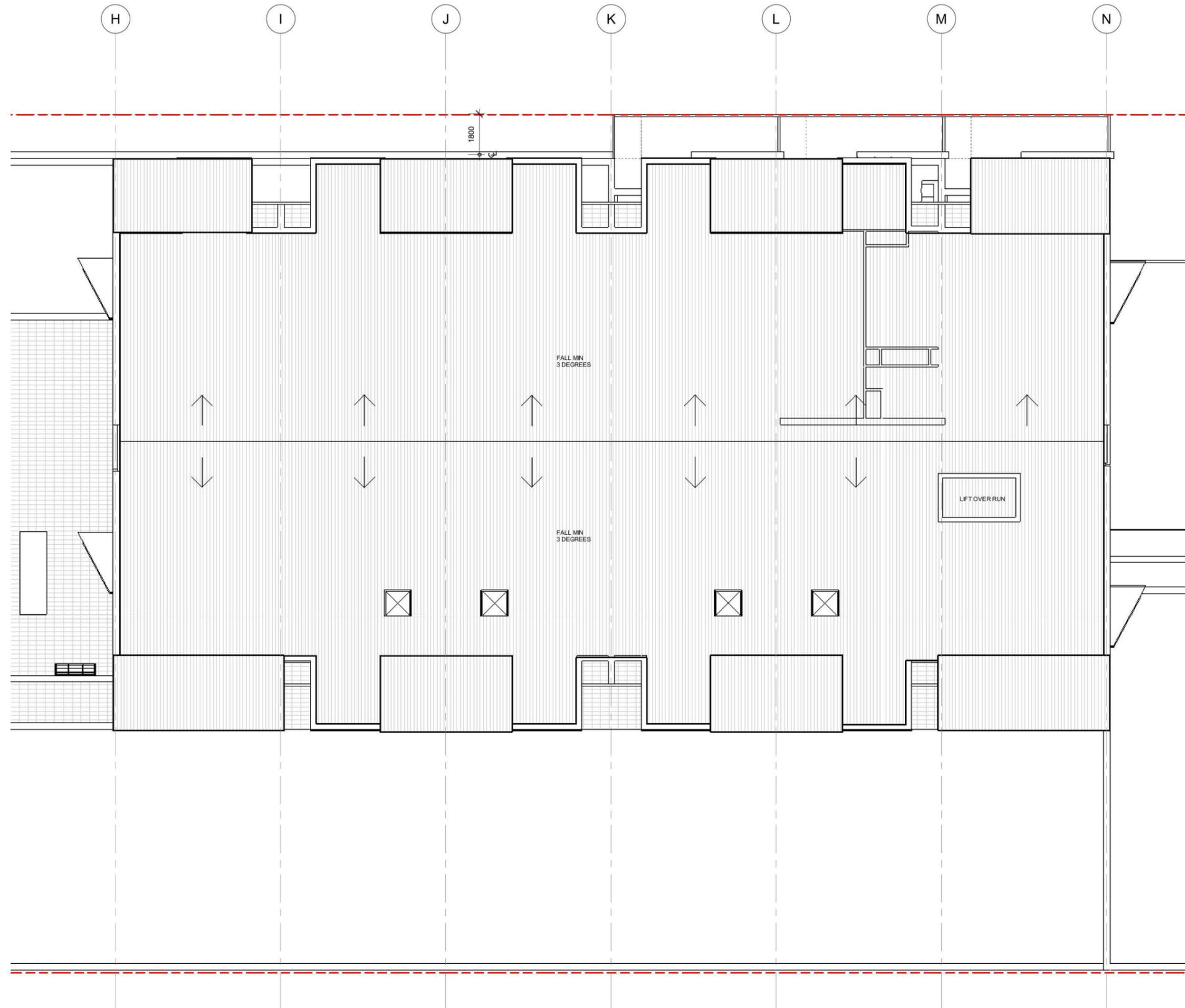
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A01	19/12/14	DA SUBMISSION			GA						

KEY PLAN	Status	HBO EMTB Architects Pty Ltd. ASB4 09 788 989	HBO+EMTB
		Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com	Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning
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	green building council australia member	Client	Project

File Ref:	V:\S\ANA-004186-000.Lot 3105 Thornton Estate.Penrith\B Design\3_Concept_Schematic\Rev1\141205-General - rvt.rvt
Scale:	1 : 100 1:200 @ A3
Job No:	004186
Drawing No:	A191
Rev:	



1 Roof Plan - BLG B  
A211 SCALE: 1 : 100



Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
A01	19/12/14	DA SUBMISSION									

<p>KEY PLAN</p>	<p>Status</p>	<p>HBO EMTB Architects Pty Ltd. ABN 64 095 788 985</p> <p>Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com</p> <p>green building council australia member</p>	<p>HBO+EMTB</p> <p>Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning</p>	<p>Client</p> <p>Community minded, Community driven</p>	<p>Project</p> <p>Lot 3105 Thornton Estate, North Penrith</p>	<p>Drawing Title</p> <p>Roof Plan- BLG B</p>
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<p>File Ref: V:\S\ANNA-004186-000.Lot 3105 Thornton Estate.Penrith Design\8_3_Concept_Schematic\Rev141205-General - r1.rvt</p>	<p>Scale: 1 : 100 1:200 @ A3</p>
<p>Job No: 004186</p>	<p>Drawing No: A192</p>



1 Roof Plan - BLG C  
A211 SCALE: 1 : 100

**ABSA** Class 2 Building Project Certification  
Association of Building Sustainability Assessors

Certification Number	1007225392
Certification Date	19/12/2014
Assessor Name	Bridgett Glasson
Assessor Number	100016
Assessor Signature	<i>B. Glasson</i>

Averaged Simulated Energy: HEATING: 33.3 MJ/m<sup>2</sup> pa  
Averaged Simulated Energy: COOLING: 21.2 MJ/m<sup>2</sup> pa  
Rated with Downlights: No

**7.5/10**

Rev.	Date	Description	Dr.	Chk.	Dr.	Rev.	Date	Description	Dr.	Chk.	Dr.
A01	19/12/14	DA SUBMISSION			GA						

KEY PLAN	Status	HBO+EMTB Architects Pty Ltd. ABN 64 098 788 889 Level 3 75 Elizabeth Street Sydney NSW 2000 Australia GPO Box 3948 Sydney NSW 2001 Australia Tel: (02) 8226 2000 Fax: (02) 8226 2001 mail@hboemtbt.com	HBO+EMTB Architecture Interior Design Urban Design Landscape Design Workspace Solutions Heritage Planning	Client Community minded, Community driven	Project Lot 3105 Thornton Estate, North Penrith	Drawing Title Roof Plan- BLG C
		All dimensions subject to on site verification prior to execution of work. Figured dimensions shall be taken in preference to scaling. All rights reserved. © COPYRIGHT of Hoadley Budge Ophert & Edwards Medigan Torzillo Briggs and associated companies 2010				File Ref: V:\SP\ANA-004186-000_Lot 3105 Thornton Estate_Penrith_3_Concept_Schematic\Rev141205-General - r1.rvt
						Scale: 1 : 100 1:200 @ A3
						Job No: 004186 Drawing No: A193

## DRAWING LIST

- 101\_Location & Context
- 102\_Colour Landscape Plan
- 103\_Landscape Plan\_Ground Level
- 104\_Landscape Plan\_Level 1
- 105\_Landscape Plan\_Level 2
- 106\_Landscape Details

# THORNTON PARK APARTMENTS WITH FDC

LANDSCAPE DEVELOPMENT APPLICATION  
DECEMBER 2014

# NORTH PENRITH SUBDIVISION CIVIL ENGINEERING WORKS PACKAGE



SOURCE: NEARMAP.COM.AU (@2014)

DRAWING SCHEDULE		
DRG No.	DRAWING TITLE	REV No.
DA1.01	COVER SHEET, DRAWING SCHEDULE, DA NOTES AND SITE LOCATION	1
DA2.01	CONCEPT SEDIMENT AND EROSION CONTROL PLAN	1
DA2.02	SEDIMENT AND EROSION CONTROL DETAILS	1
DA3.01	CONCEPT STORMWATER MANAGEMENT PLAN - SHEET 1	1
DA3.02	CONCEPT STORMWATER MANAGEMENT PLAN - SHEET 2	1
DA4.01	STORMWATER DETAILS SHEET	1

## DEVELOPMENT APPLICATION NOTES

### STORMWATER DRAINAGE

- ALL DRAINAGE LINES SHALL BE UPVC (CLASS 50) SEWER GRADE DRAINAGE PIPES (S&S).
- ALL DRAINAGE LINES SHALL BE LAID AT 2% MIN. FALL (NO).
- ALL LEVELS ARE AUSTRALIAN HEIGHT DATUM (AHD).
- ALL DOWNPIPES/GUTTERS TO BE DESIGNED IN ACCORDANCE WITH AS/NZS 3506.3.2 - 2003 'STORMWATER' DRAINAGE.
- THE STORMWATER DRAINAGE DESIGN HAS BEEN CARRIED OUT IN ACCORDANCE WITH AS/NZS 3506.3.2-2003 'STORMWATER' DRAINAGE.
- ANY VARIATIONS TO THE NOTED LEVELS SHALL BE REFERRED TO ENGINEER IMMEDIATELY.
- SURSON DRAINAGE SHALL BE PROVIDED TO ALL RETAINING WALLS & EMBANKMENTS, WITH THE LINES FEEDING INTO THE STORMWATER DRAINAGE SYSTEM.
- ALL GRATES TO BE GALVANISED STEEL WITH HINGES AND CHILD PROOF LOCK.
- ALL GRATES TO BE NEEL SAFE WITHIN AEGD CARE DEVELOPMENTS.
- THE STORMWATER DRAINAGE IS DESIGNED IN ACCORDANCE WITH A. PENRITH CITY COUNCIL - ENGINEERING GUIDE FOR DEVELOPMENT (2007).
- NORTH PENRITH DESIGN GUIDELINES (2012)

### RAINWATER RE-USE

- PROVIDE RAINWATER RE-USE SYSTEM IN ACCORDANCE WITH BASIX REQUIREMENTS.
- GUTTER GUARD TO BE INSTALLED ON ALL LEAVES GUTTERS.
- A PERMANENT SIGN IS TO BE LOCATED IN THE VICINITY OF THE TANK STATING THE WATER IS 'NON POTABLE WATER' WITH APPROPRIATE HAZARD IDENTIFICATION.
- PIPEWORK USED FOR RAINWATER SERVICES SHALL BE COLOURED LILAC IN ACCORDANCE WITH AS194.
- ALL VALVES AND APERTURES SHALL BE CLEARLY AND PERMANENTLY LABELLED WITH SAFETY SIGNS TO COMPLY WITH AS194.
- RAINWATER TANK RETENTION SYSTEM AND MAINS WATER BYPASS ARRANGEMENT TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 3506.1.2-2003 AND THE NEW CODE OF PRACTICE - PLUMBING AND DRAINING.
- A FIRST FLUSH FILTRATION DEVICE IS TO BE PROVIDED AT RAINWATER TANK.

### GENERAL NOTES

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANT DRAWINGS AND SPECIFICATIONS AND WITH OTHER SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL DIMENSIONS ARE IN MILLIMETRES & ALL LEVELS ARE IN METRES, UNLESS OTHERWISE NOTED OTHERWISE.

NO DIMENSION SHALL BE OBTAINED BY SCALING THE DRAWINGS.

ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORK.

EXISTING SERVICES WHERE SHOWN HAVE BEEN PLOTTED FROM SUPPLIED DATA AND SUCH THEIR ACCURACY CAN NOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORK.

ON COMPLETION OF STORMWATER INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS, UNLESS DIRECTED OTHERWISE.

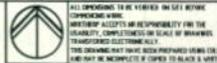
ALL STORMWATER MANAGEMENT MEASURES SHOWN ON THIS DRAWING HAVE BEEN PREPARED FOR DEVELOPMENT APPLICATION PURPOSES TO DEMONSTRATE FEASIBILITY. ALL MEASURES WILL BE SUBJECT TO DETAIL DESIGN AT THE CONSTRUCTION CERTIFICATE STAGE AND MAY BE SUBJECT TO VARIATION PROVIDED THAT THE DESIGN INTENT IS MAINTAINED.

**NOT FOR CONSTRUCTION**

REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE	CLIENT	ARCHITECT	PROJECT	DRAWING TITLE	JOB NUMBER
1	ISSUED FOR DEVELOPMENT APPLICATION	UM	MP		18.02.14	FDC	HBO+EMTB	NORTH PENRITH SUBDIVISION	DA DRAWINGS	141916
									COVER SHEET, DRAWING SCHEDULE DA NOTES AND SITE LOCATION	DRAWING NUMBER <b>DA1.01</b>
										REVISION <b>1</b>

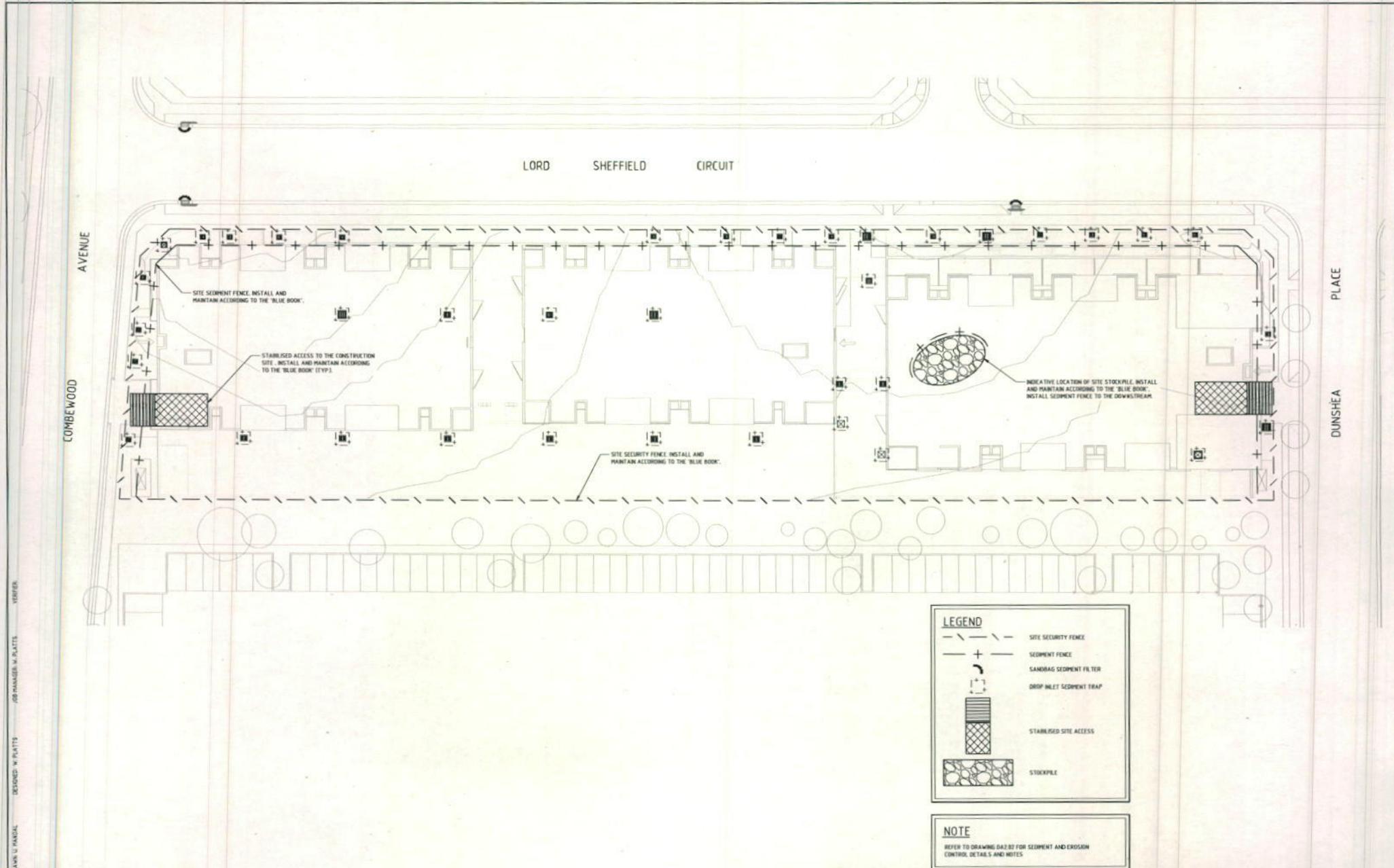
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DRAWING SHEET SIZE - A1



DRAWN: U. FANJAL DESIGNER: W. PLATTS JOB MANAGER: W. PLATTS VERIFIER:

**LEGEND**

- SITE SECURITY FENCE
- SEDIMENT FENCE
- SANDBAGGED SEDIMENT FILTER
- DROP INLET SEDIMENT TRAP
- STABILISED SITE ACCESS
- STOCKPILE

**NOTE**  
REFER TO DRAWING DA2.02 FOR SEDIMENT AND EROSION CONTROL DETAILS AND NOTES.

**NOT FOR CONSTRUCTION**

REVISION	DESCRIPTION	ISSUED	VERIFIED	APPROVED	DATE	CLIENT
1	ISSUED FOR DEVELOPMENT APPLICATION	UM	WP		18/12/16	

**FDC**  
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PROJECT  
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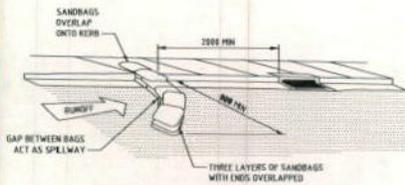
DRAWING TITLE  
DA DRAWINGS  
**CONCEPT SEDIMENT AND EROSION CONTROL PLAN**

JOB NUMBER  
**141916**

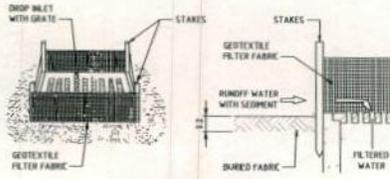
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REVISION  
**1**

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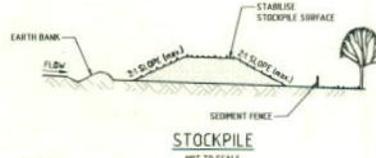


**SEDIMENT TRAP FOR KERB INLET  
(ON GRADE - SANDBAG)**  
NOT TO SCALE



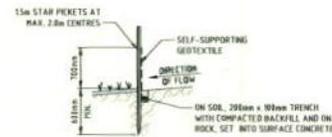
**GEOTEXTILE INLET FILTER  
DROP INLET SEDIMENT TRAP**  
NOT TO SCALE

- NOTES:**
1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
  2. CUT A 200mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
  3. DRIVE 15m LONG STAR PICKETS INTO GROUND AT THE FOUR CORNERS OF PIT WALLS. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
  4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE PICKETS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
  5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 100mm OVERLAP.
  6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

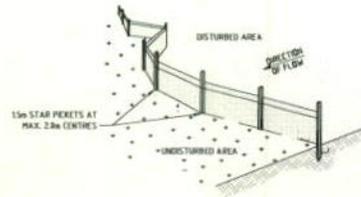


**STOCKPILE**  
NOT TO SCALE

- NOTES:**
1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
  2. CONSTRUCT ON THE CONTIGUOUS LOW FLAT, BLENDED MOUND.
  3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT & WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED E/SIP OR SHMP TO REDUCE THE C-FACTOR TO LESS THAN 2.0.
  4. CONSTRUCT EARTH BANKS ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METRES DOWNDRAFT.



**SECTION DETAIL**

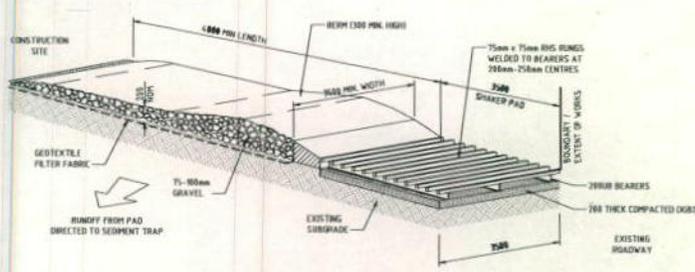


**SEDIMENT FENCE**  
NOT TO SCALE

- NOTES:**
1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE BOUNDARIES OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 L/S IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
  2. CUT A 200mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
  3. DRIVE 15m LONG STAR PICKETS INTO GROUND AT 2.0m INTERVALS (MAX) AT THE DOWNDRAFT. EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
  4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE PICKETS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
  5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 100mm OVERLAP. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

**SEDIMENT AND EROSION**

1. THE SEDIMENT & EROSION CONTROL PLAN PRESENTS CONCEPTS ONLY. THE CONTRACTOR SHALL AT ALL TIMES BE RESPONSIBLE FOR THE ESTABLISHMENT & MANAGEMENT OF A DETAILED SCHEME MEETING COUNCIL'S DESIGN, OTHER REGULATORY AUTHORITY REQUIREMENTS AND MAKE GOOD PAYMENT OF ALL FEES.
2. THE CONTRACTOR SHALL INVESTIGATE ALL SEDIMENT AND EROSION CONTROL MEASURES IN ACCORDANCE WITH STATUTORY REQUIREMENTS AND IN PARTICULAR THE 'BULK SOILS MANAGEMENT URBAN STORMWATER JOBS AND CONDITIONS TOOL' PRODUCED BY THE DEPARTMENT OF HOUSING AND COUNCILS POLICE. THESE MEASURES ARE TO BE INSPECTED AND MAINTAINED ON A DAILY BASIS.
3. THE SITE SUPERINTENDENT SHALL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS INSTRUCTED IN THE DRAWINGS AND ADHERE TO ALL REGULATORY AUTHORITY REQUIREMENTS.
4. THE CONTRACTOR SHALL INFORM ALL SUB CONTRACTORS OF THEIR RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO NEIGHBOURING LANES AND WATERWAYS.
  - 4.1. THE CONTRACTOR SHALL TEMPORARILY STABILISE SITE ACCESS INCLUDING DE-SHAKE DOWN / WASH PAD.
  - 4.2. INSTALL ALL TEMPORARY SEDIMENT FENCES AND BARRIER FENCES WHERE FENCES ADJACENT EXISTING. THE SEDIMENT FENCE CAN BE INCORPORATED INTO THE BARRIER FENCE.
  - 4.3. INSTALL ALL SEDIMENT CONTROL MEASURES AS OUTLINED ON THE APPROVED PLANS.
5. INVESTIGATE SITE DEVELOPMENT WORKS SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF MINOR WORKABLE SIZE.
6. AT ALL TIMES AND IN PARTICULAR DURING WINDY AND DRY WEATHER, LARGE UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP SOIL UNDER CONTROL, ENSURING CONFORMITY TO REGULATORY AUTHORITY REQUIREMENTS.
7. ANY SAND USED IN THE CONCRETE CURING PROCESS OVERLAP OVER THE SURFACE SHALL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
8. WATER SHALL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS THE CATCHMENT AREA HAS BEEN STABILISED AND/OR ANY LIKELY SEDIMENT BEEN FILTERED OUT.
9. TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES SHALL BE REMOVED ONLY AFTER THE LANES THEY ARE PROTECTING ARE STABILISED / REHABILITATED.
10. ALLOW FOR GRASS STABILISATION OF EXPOSED AREAS, OPEN CHANNELS AND ROCK BATTERS DURING ALL PHASES OF CONSTRUCTION.
11. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED TO ENSURE THAT THEY OPERATE EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN REGULARLY AND AS REQUIRED, PARTICULARLY FOLLOWING RAIN EVENTS.
12. RECEPTORS FOR CONCRETE AND PORTLAND CEMENTS, PAINTS, ACID WASTEWATER, LIGHT-MEDIUM WASTE MATERIALS AND LITTER SHALL BE DISPOSED OF IN ACCORDANCE WITH REGULATORY AUTHORITY REQUIREMENTS. CONTRACTOR TO PAY ALL FEES AND PROVIDE EVIDENCE OF SAFE DISPOSAL.
13. IF A TEMPORARY SEDIMENT BASIN IS REQUIRED, ENSURE SAFE BATTER SLOPES IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. MAINTAIN ADEQUATE STORAGE VOLUME IN ACCORDANCE WITH PLANS. TEMPORARY PUMP CLEAN FLOCCULATED WATER TO COUNCIL'S STORMWATER SYSTEM. ENSURE WHOLE SITE RUN-OFF IS DIRECTED TO TEMPORARY SEDIMENT BASIN.



**STABILISED SITE ACCESS**  
NOT TO SCALE

**MAINTENANCE**

- THE TEMPORARY ACCESS SHALL BE MAINTAINED IN A CONDITION THAT PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY.
- THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL GRAVEL AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.
- INSTALL BARRIER ON EITHER SIDE OF SHAKER PAD TO ENSURE VEHICLES ARE GUIDED ON TO THE PAD.
- INVERT IF SHAKER PAD TO BE DRAINED VIA AGRICULTURAL PIPE WRAPPED IN GEOTEXTILE FABRIC.

DRAWN BY: M. HANDEL, DESIGNED BY: M. PLATT, JOB NUMBER: W. PLATT, VERSION:

REVISION	DESCRIPTION	ISSUED	VERIFIED	APPROVED	DATE	CLIENT
1	ISSUED FOR DEVELOPMENT APPLICATION				18.10.21	FDC

ARCHITECT: **FDC** **HBO+EMTB**

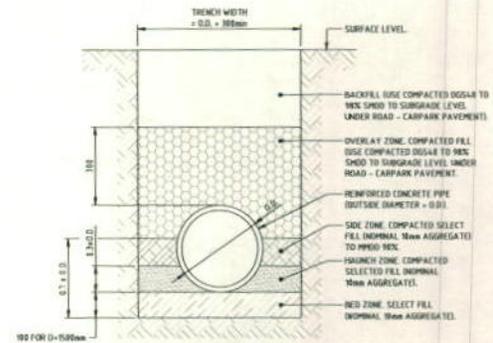
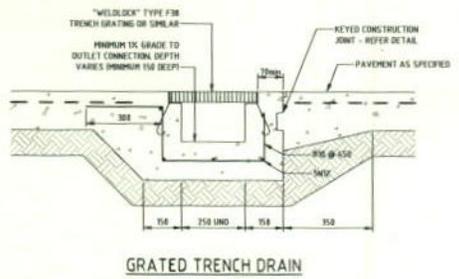
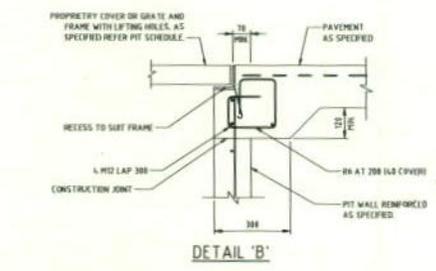
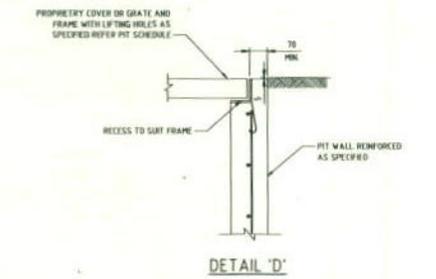
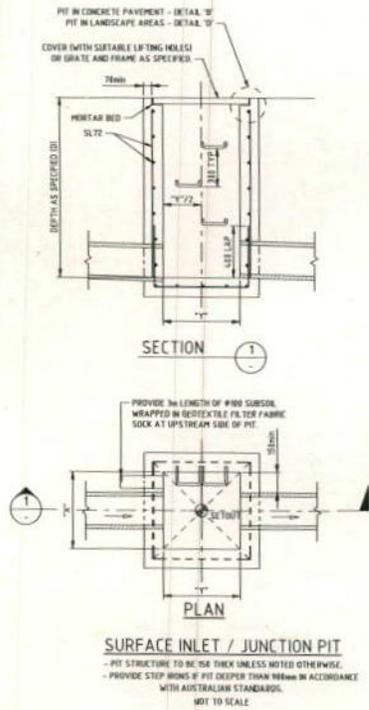
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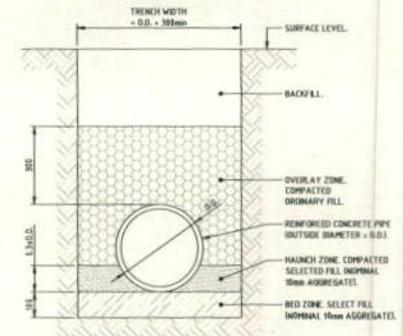
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DRAWN: U. KHADKA, DESIGNED: M. PLATTIS, JOB MANAGER: M. PLATTIS, CHECKED: J. VERDIE



- NOTES:**
- TRENCH WIDTH MAY NEED TO BE INCREASED SUBJECT TO ACHIEVING ADEQUATE COMPACTION.
  - MINIMUM PIPE COVER UNDER ROADS - 600mm FOR CLASS 2 PIPES.
  - THE CONTRACTOR SHALL ENSURE THAT THE SHORING OF TRENCHES IS INSTALLED AS REQUIRED BY STATUTORY REQUIREMENTS.
  - ENSURE BACKFILLING COMPACTION MEETS THE FOLLOWING STANDARDS:
    - A) TRENCHES UNDER PAVED AREAS & BUILDINGS - 90% SMO.



- NOTES:**
- TRENCH WIDTH MAY NEED TO BE INCREASED SUBJECT TO ACHIEVING ADEQUATE COMPACTION.
  - MINIMUM PIPE COVER NOT UNDER ROADS - 300mm UNO.
  - THE CONTRACTOR SHALL ENSURE THAT THE SHORING OF TRENCHES IS INSTALLED AS REQUIRED BY STATUTORY REQUIREMENTS.
  - ENSURE BACKFILLING COMPACTION MEETS THE FOLLOWING STANDARDS:
    - A) TRENCHES UNDER PAVED AREAS & BUILDINGS - 100% SMO.
    - B) TRENCHES NOT UNDER PAVEMENTS - 90% SMO.

**NOT FOR CONSTRUCTION**

REVISION	DESCRIPTION	ISSUED	VERD	APP'D	DATE	CLIENT	ARCHITECT	PROJECT	DRAWING TITLE	JOB NUMBER
1	ISSUED FOR DEVELOPMENT APPLICATION	SM	VP		18.12.14	<b>FDC</b>	<b>HBO+EMTB</b>	<b>NORTH PENRITH SUBDIVISION</b>	<b>DA DRAWINGS</b>	<b>141916</b>
									<b>STORMWATER DETAILS SHEET</b>	<b>DA4.01 1</b>
										<b>DRAWING SHEET SIZE - A4</b>



## LOCAL CONTEXT

This unique site sits in close proximity to a number of Penrith's most frequented assets. With the Train station, and Westfield Shopping Centre near and the views through to the Nepean River residents can appreciate easy living within a parkland setting.

## PRINCIPLES

- \_ Address site gradient
- \_ Enhance views and northern aspect
- \_ Locally sourced planting palette
- \_ Boundary strategy sensitive to neighbouring properties
- \_ Refined materiality with contemporary finishes
- \_ Manipulation of microclimates
- \_ Introduce narrative + character to the site
- \_ Maximisation of deep soil zones

