

BASIX ITEM	PROJECT REQUIREMENTS
LANDSCAPING:	<ul style="list-style-type: none"> A TOTAL OF APPROXIMATELY 239M² OF PERVIOUS LANDSCAPING AREA ON THE SITE.
WATER COMMITMENTS:	<ul style="list-style-type: none"> RAINWATER TANK OF AT LEAST <u>3,000L</u> IN VOLUME (LARGER TANK VOLUME ALSO PERMITTED). WHOLE ROOF AREA OF DWELLING COLLECTED TO TANK (APPROX. 229M²). RAINWATER TANK TO BE CONNECTED TO <u>LAUNDRY</u>, ALL <u>TOILETS</u> AND TO BE USED FOR <u>GARDEN</u> WATERING. 3 STAR RATED TOILETS, OR HIGHER. 3 STAR RATED BASIN/BATHROOM TAPS, KITCHEN TAPS, OR HIGHER. 3 STAR RATED SHOWERHEADS (7.5 TO 9.0L/MINUTE).
THERMAL COMFORT:	<ul style="list-style-type: none"> DARK COLOURED ROOF. BRICK VENEER WALL ADDED INSULATION – <u>R1.66</u>, OR HIGHER. EXTERNAL FRAMED WALL ADDED INSULATION – <u>R1.80</u>, OR HIGHER. CEILING ADDED INSULATION – <u>R3.0</u>, OR HIGHER. ROOF ADDED INSULATION – <u>FOIL/SARKING</u>. ALL WINDOWS/GLAZED DOORS ARE TO BE <u>SINGLE CLEAR</u> GLAZED IN STANDARD ALUMINIUM FRAMES.
ENERGY COMMITMENTS:	<ul style="list-style-type: none"> 5 STAR GAS INSTANTANEOUS HOT WATER SYSTEM. PRIMARY ACTIVE COOLING AND HEATING TO BE PROVIDED BY THREE PHASE DUCTED AIR CONDITIONING TO ALL LIVING AND BEDROOM AREAS (EER 2.5-3.0 FOR COOLING AND EER 3.0-3.5 FOR HEATING; OR HIGHER). AIR CONDITIONING TO BE ZONED BETWEEN BEDROOMS AND LIVING AREA. BATHROOM AND KITCHEN TO BE PROVIDED WITH EXHAUST FAN, DUCTED TO ROOF OR FAÇADE (MANUAL ON-OFF SWITCH). THE LAUNDRY SHALL HAVE NATURAL VENTILATION ONLY. TWO BATHROOMS AND KITCHEN TO HAVE NATURAL LIGHTING. GAS COOKTOP AND ELECTRIC OVEN. INDOOR AND OUTDOOR CLOTHES DRYING LINE. WELL VENTILATED REFRIGERATOR SPACE. THE FOLLOWING ROOMS ARE TO BE PROVIDED WITH FLUORESCENT LIGHTING, COMPACT FLUORESCENT LIGHTING OR LED LIGHTING: <ul style="list-style-type: none"> - THE LAUNDRY - ALL BATHROOMS / TOILETS. - ALL HALLWAYS.

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Certificate prepared by
Company Name: Benchmark Building Certifiers
ABN: 47078953215
Cert. No.: 4467615 Date: 8/08/13

					2.5	LANDSCAPE PLAN
					2.4	STORMWATER PLAN
					2.3	EROSION & SEDIMENT CONTROL & WASTE MANAGEMENT PLAN
					2.2	SHADOW DIAGRAM
					2.1	NEIGHBOUR NOTIFICATION PLAN
					10	SLAB PLAN
					9	ELECTRICAL LAYOUT
					8	ELECTRICAL LAYOUT
					7	SECTION
					6	ELEVATIONS
					5	ELEVATIONS
					4	FIRST FLOOR PLAN
					3	GROUND FLOOR PLAN
					2	SITE PLAN
					1	COVER SHEET
F	22.07.13	350MM PIER TO ALFRESCO		MRI		
E	11.07.13	AMENDED WINDOWS & ADDITIONAL RETAINING WALL		MRI		
D	08.07.13	AMENDED WINDOW TO REAR OF MEALS		MRI		
C	4.07.13	AMENDED D.A. DRAWING		MRI		
B	01.07.13	AMENDED D.A. DRAWING		MRI		
A	27.06.13	D.A. DRAWING		MRI		
REV	DATE	AMENDMENTS		BY		SHEET DESCRIPTION

	<small>ALL RIGHTS RESERVED This plan is the property of BBH PTY LTD. Copyright in this document is owned by BBH PTY LTD. Under the provisions of the Copyright Act 1969 and its intended for use only as authorized by BBH PTY LTD. © COPYRIGHT DIMENSIONS TO BE READ IN PREFERENCE TO SCALING</small>	HOUSE NAME: CUSTOM 38 FACADE: PREFIGURATOR: SCALE: 1:100 (GARAGE WALL) L/H	CLIENT: STORECK SITE ADDRESS: LOT 9 D.P. 1166546 O'CONNELL STREET, GREY OAKS.	JOB No: STO DRAWN: MRI DATE: 22.07.13 CHECKED: A.G. SHEET: 1 Rev: F D.A. DRAWING
	<small>CLIENT'S SIGNATURE: _____ DATE: _____</small>			

IRON

MGA NORTH

SALINE AFFECTED SOILS
REFER TO ENGINEER'S DETAIL


LOT 9
D.P: 1166546
L.G.A: PENRITH

SITE COVERAGE	
SITE AREA:	500m ²
TOTAL HARDCORE AREAS:	249.57m ²
COVERED AREA:	49.91%
MAXIMUM REQUIRED BY COUNCIL:	50%

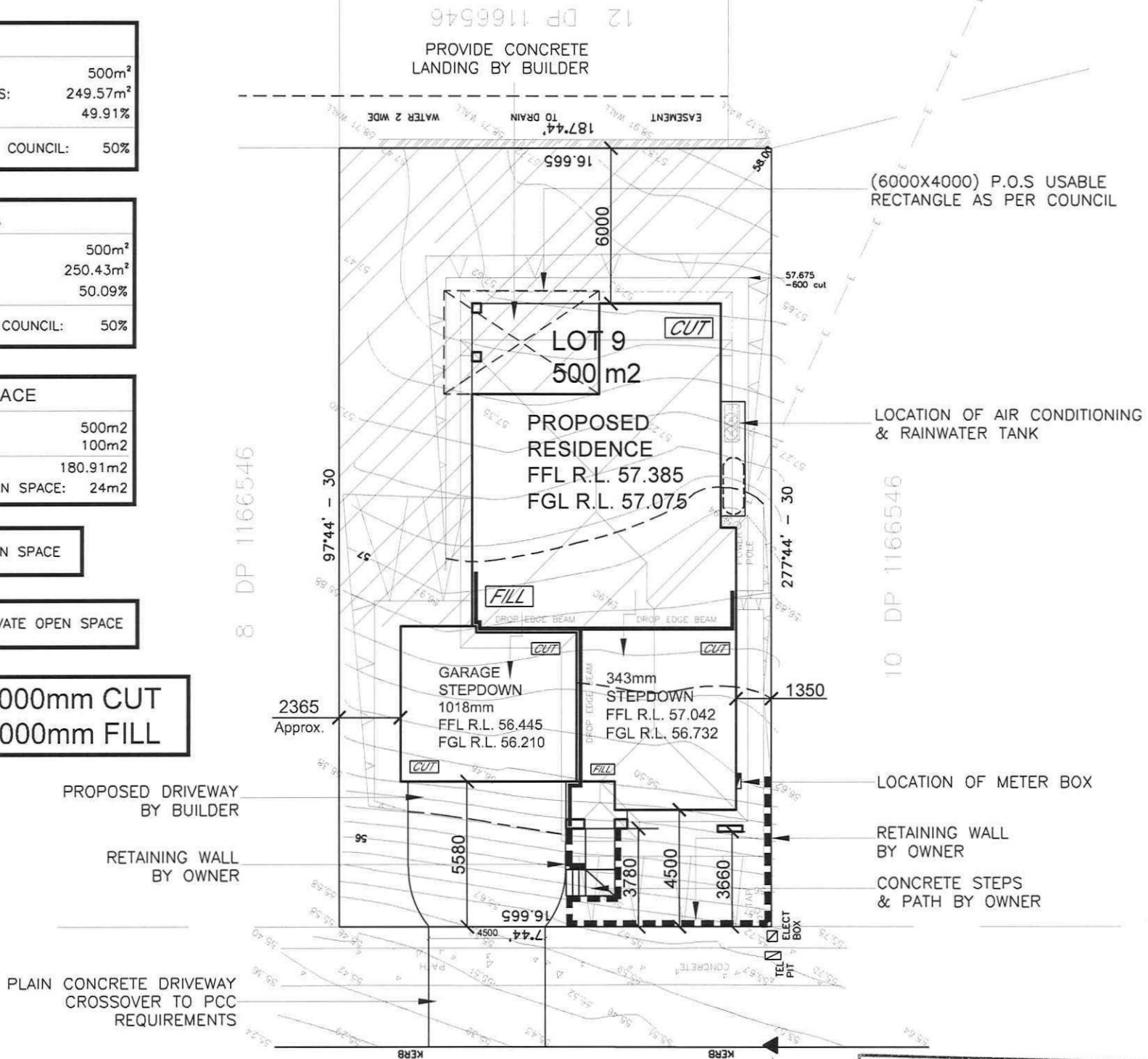
LANDSCAPE AREA	
SITE AREA:	500m ²
REMAINING SOFT AREA:	250.43m ²
LANDSCAPE AREA:	50.09%
MINIMUM REQUIRED BY COUNCIL:	50%

PRIVATE OPEN SPACE	
SITE AREA:	500m ²
20% OF SITE AREA:	100m ²
PRIVATE OPEN SPACE:	180.91m ²
PRINCIPLE PRIVATE OPEN SPACE:	24m ²

 PRIVATE OPEN SPACE

 PRINCIPAL PRIVATE OPEN SPACE

Maximum 1000mm CUT
Maximum 1000mm FILL



(6000X4000) P.O.S USABLE RECTANGLE AS PER COUNCIL

LOCATION OF AIR CONDITIONING & RAINWATER TANK

LOCATION OF METER BOX

RETAINING WALL BY OWNER

CONCRETE STEPS & PATH BY OWNER

PROPOSED DRIVEWAY BY BUILDER

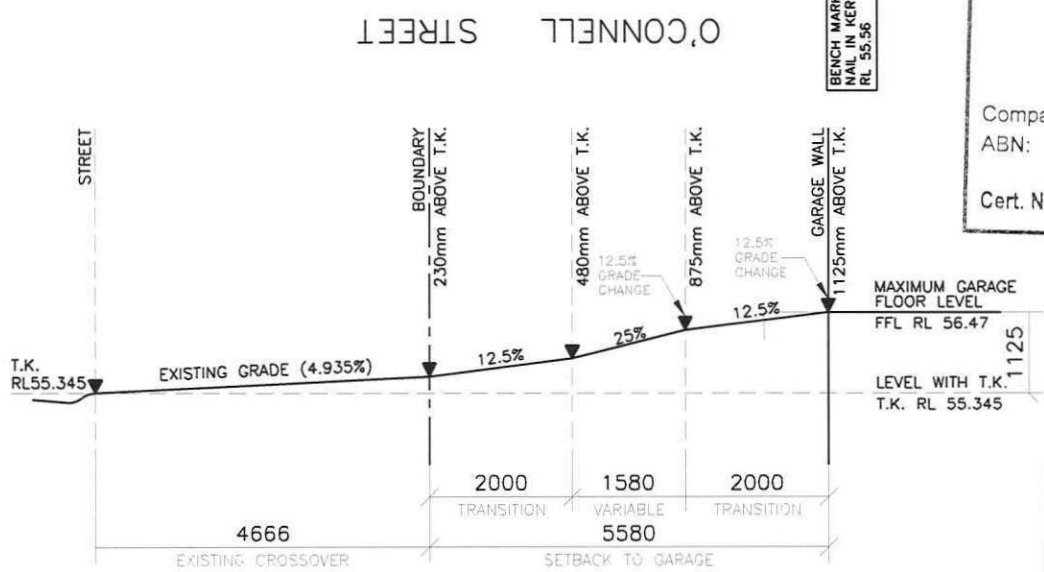
RETAINING WALL BY OWNER

PLAIN CONCRETE DRIVEWAY CROSSOVER TO PCC REQUIREMENTS

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SITE INDUCTION
Before entering site please review and make yourself familiar with Emergency Contacts. Site Specific Hazards and the Site Specific Induction information that is located on the Site Induction Sign. If you have any trouble understanding this instruction, contact the Site Supervisor or Emergency Contact Number located on the sign.

SITE SPECIFIC HAZARDS
* NO STREET PARKING
* LIMITED SPACE FOR MATERIAL STOCK PILE
* FOOTPATH / PEDESTRIAN TRAFFIC
* DROP EDGE BEAM



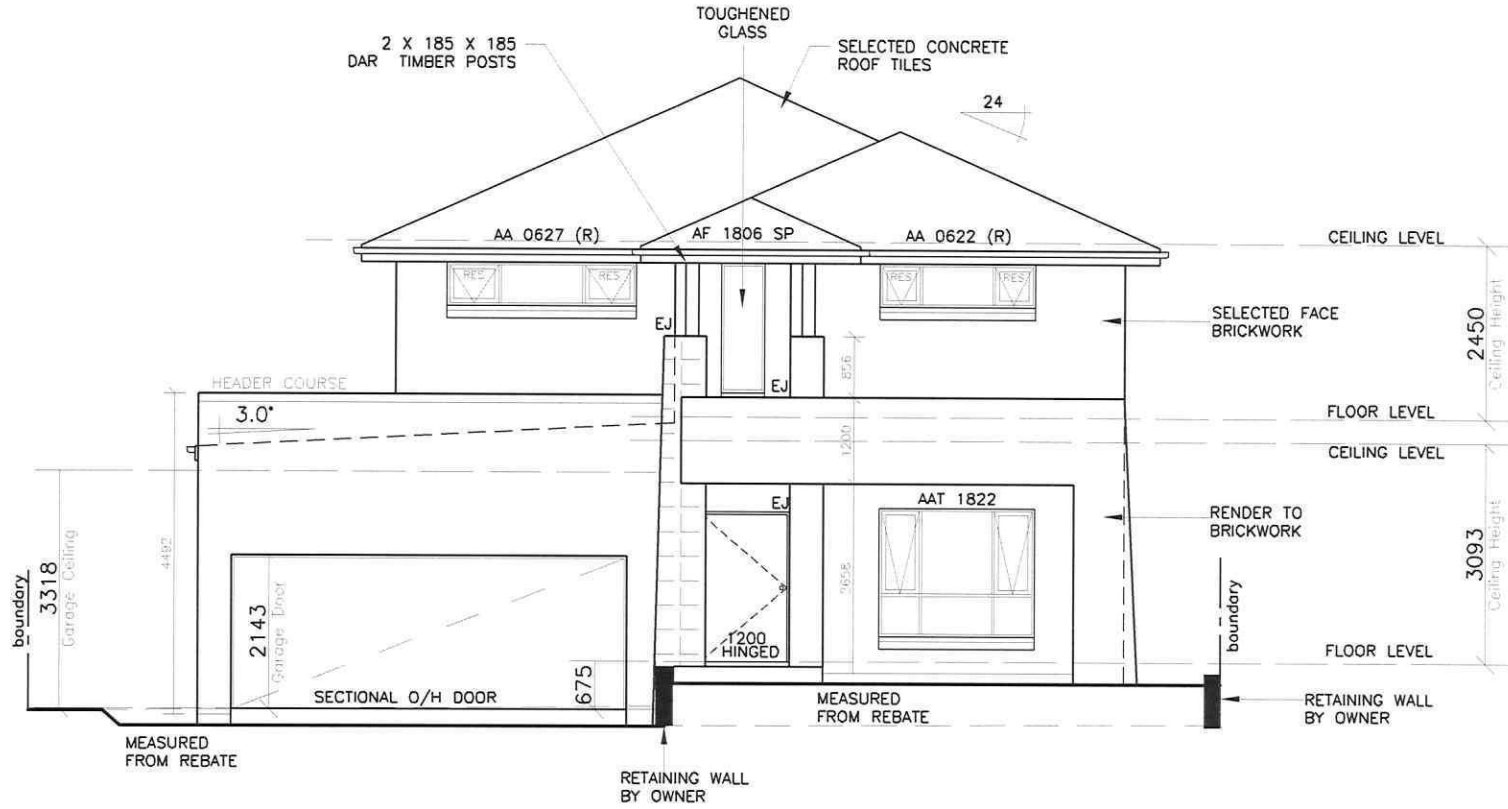
WIND CLASSIFICATION: "N2"
SLAB CLASSIFICATION: "M"

STORMWATER TO STREET VIA RAINWATER TANK

SITE PLAN

CLIENT'S SIGNATURE:	DATE:	HOUSE NAME: CUSTOM 38	CLIENT: STORECK	JOB No: STO
		FAÇADE:	SITE ADDRESS: LOT 9 D.P. 1166546 O'CONNELL STREET, GREY OAKS.	DRAWN: MRI DATE: 06.08.13 CHECKED: A.G. SHEET: 2 Rev. G
		SCALE: 1:100	GARAGE HWY: L/H	D.A. DRAWING

NOTE:
 *ALL WINDOWS WITH BRICKWORK OVER
 TO HAVE A MINIMUM OF 3 COURSES
 ABOVE GALINTEL. EXTEND BRICKWORK
 ABOVE EAVES SOFFIT LINING IF
 REQUIRED.



ELEVATION 1

NOTE: WINDOWS OF THE FIRST FLOOR BEDROOMS ONLY IS TO HAVE A RESTRICTED (R) RES OPENING OF 125MM MAX. AS REQUIRED BY B.C.A. ON 01/05/13



ELEVATION 2

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 Cert. No.: 4967615 Date: 8/08/13

CLIENT'S SIGNATURE: _____

DATE: _____



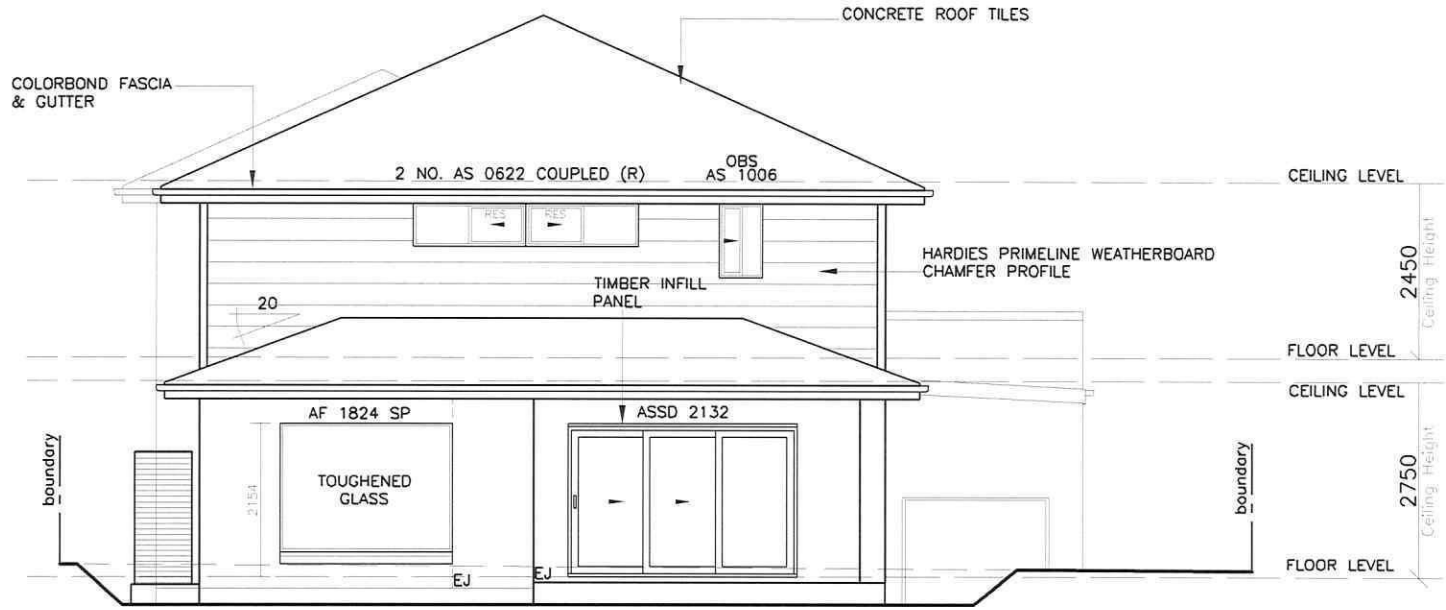
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HOUSE NAME:
CUSTOM 38
 FACADE:
 SPECIFICATION:
 SCALE: 1:100 GARAGEHEAD: L/H

CLIENT:
STORECK
 SITE ADDRESS:
**LOT 9 D.P. 1166546
 O'CONNELL STREET,
 GREY OAKS.**

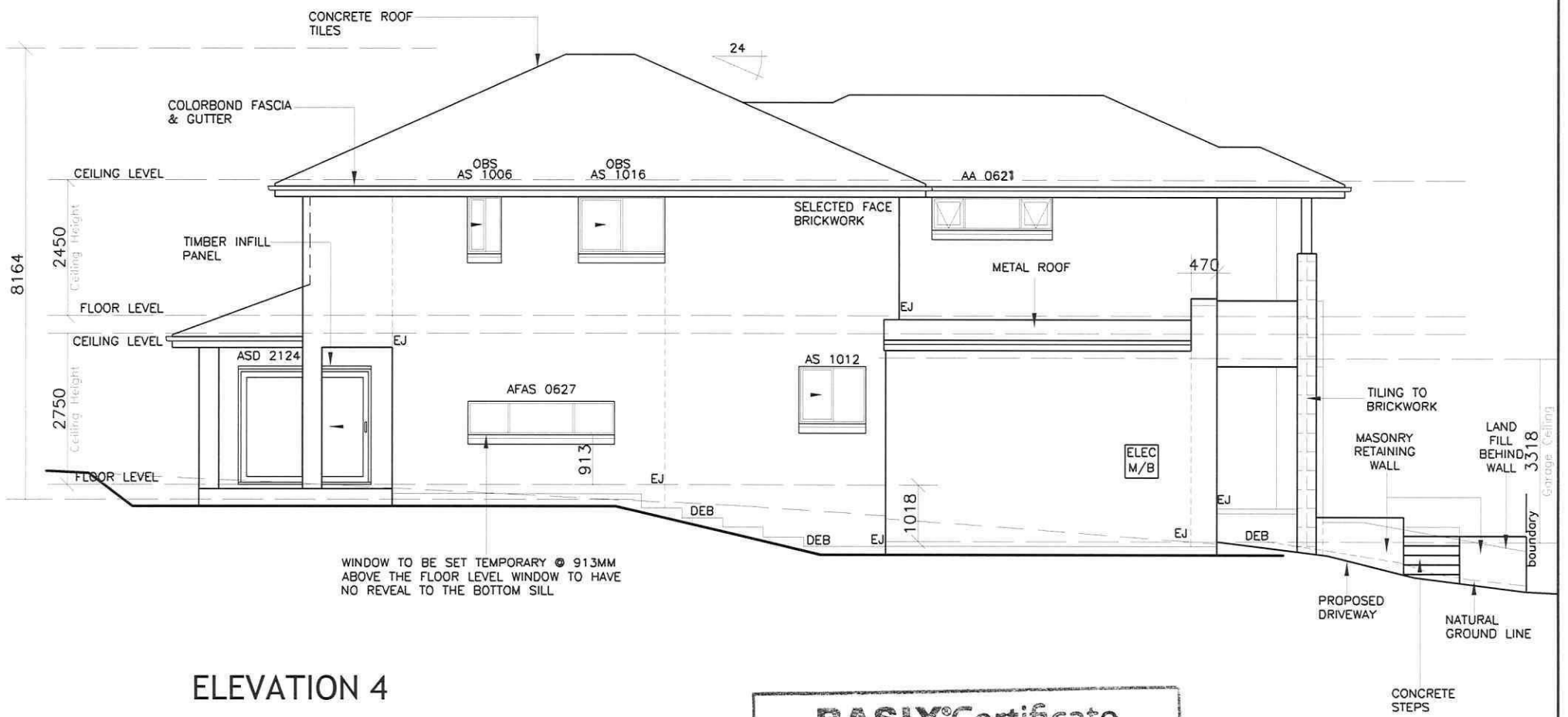
JOB No: **STO**
 DRAWN: MRI DATE: 06.08.13
 CHECKED: A.G. SHEET: 5
 Rev: **G**
D.A. DRAWING

NOTE:
 *ALL WINDOWS WITH BRICKWORK OVER
 TO HAVE A MINIMUM OF 3 COURSES
 ABOVE GALINTEL. EXTEND BRICKWORK
 ABOVE EAVES SOFFIT LINING IF
 REQUIRED.



ELEVATION 3

NOTE: WINDOWS OF THE FIRST FLOOR BEDROOMS ONLY IS TO HAVE A RESTRICTED (R) RES OPENING OF 125MM MAX. AS REQUIRED BY B.C.A. ON 01/05/13



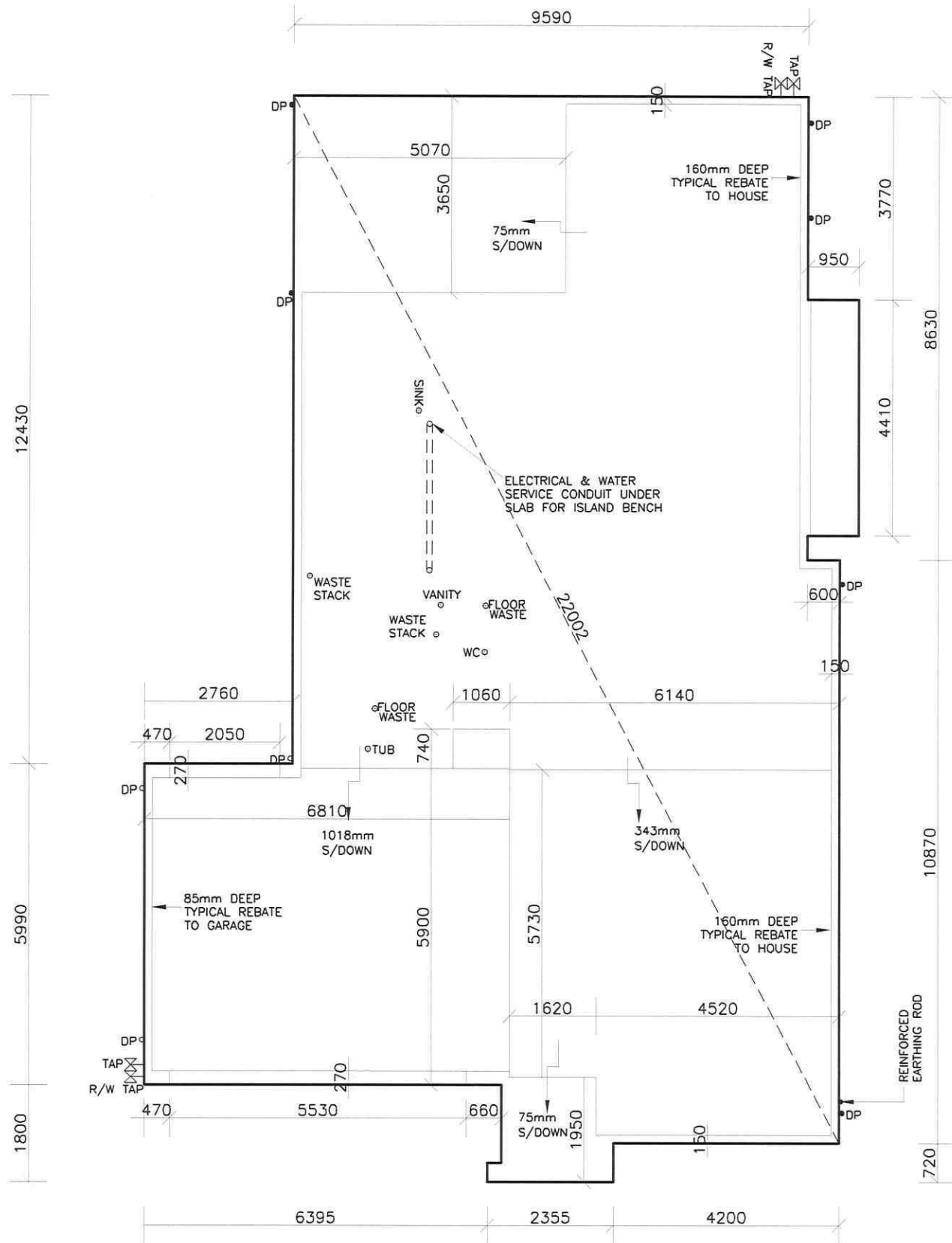
ELEVATION 4

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 Cert. No.: 4967615. Date: 8/08/13

CLIENT'S SIGNATURE: _____ DATE: _____

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		FACADE: SPECIFICATION: SCALE: 1:100 GARAGE H/W: L/H	SITE ADDRESS: LOT 9 D.P. 1166546 O'CONNELL STREET, GREY OAKS.	DRAWN: MRI CHECKED: A.G.
			D.A. DRAWING	

X TAP GARDEN TAP LOCATION
 DP □ DOWN PIPE LOCATION



● D.P. *DOWNPIPE TO BE CONNECTED TO RAINWATER TANK

SLAB PLAN

BASIX[®]Certificate

Certificate prepared by

Company Name: Benchmark Building Certifiers
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 Cert. No.: 496761S Date: 08/08/13

CLIENT'S SIGNATURE: _____ DATE: _____

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		FACADE: SPECIFICATION: SCALE: 1:100 GARAGE HAND: L/H	SITE ADDRESS: LOT 9 D.P. 1166546 O'CONNELL STREET, GREY OAKS.	DRAWN: MRI	DATE: 06.08.13	Rev:
				CHECKED: A.G.	SHEET: 12	G
D.A. DRAWING						



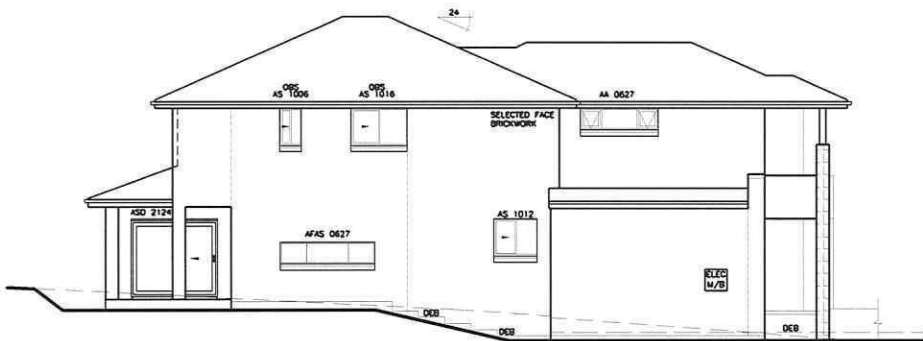
ELEVATION 1



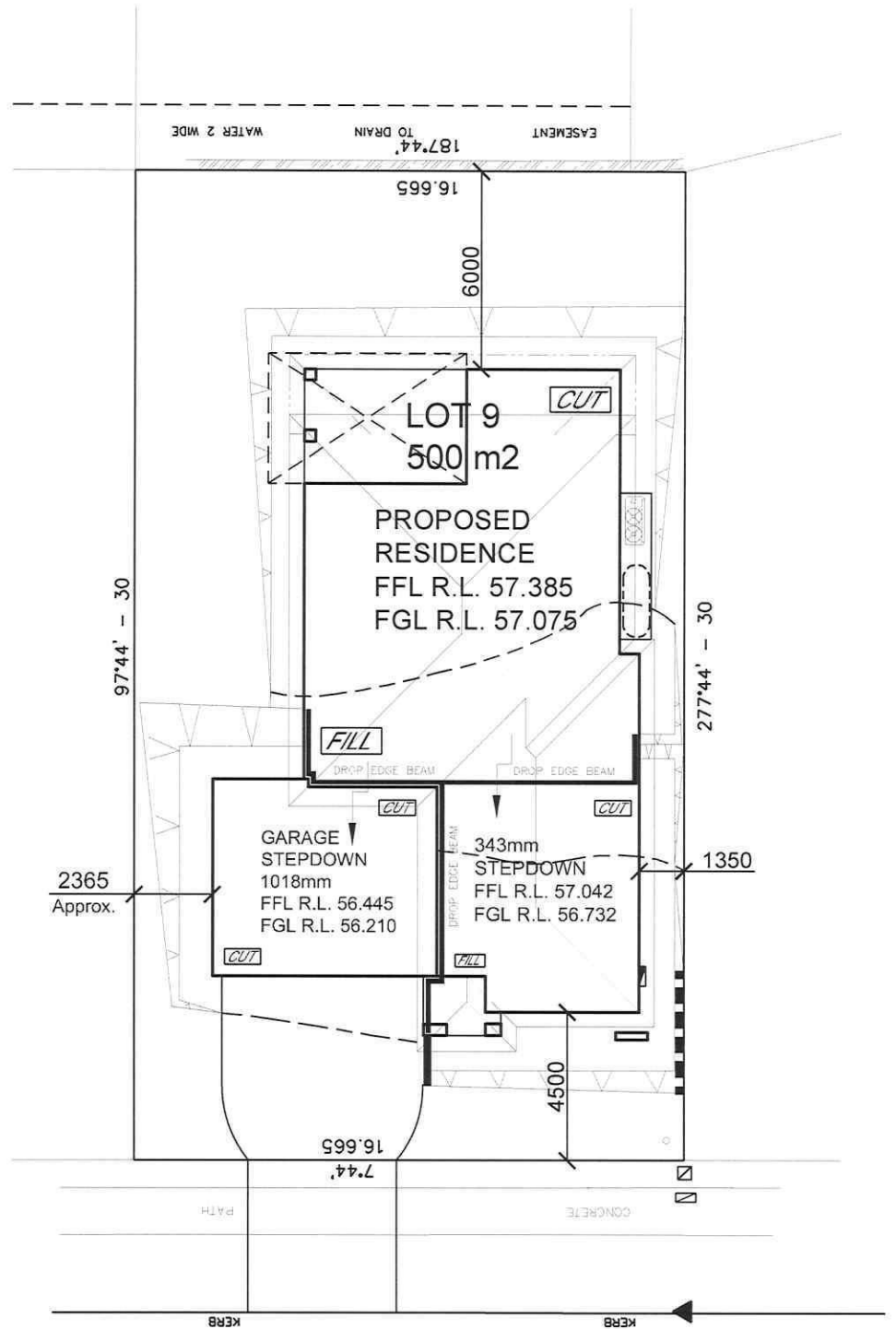
ELEVATION 2



ELEVATION 3



ELEVATION 4



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NEIGHBOURS NOTIFICATION

CLIENT'S SIGNATURE: _____

DATE: _____



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HOUSE NAME:
CUSTOM 38

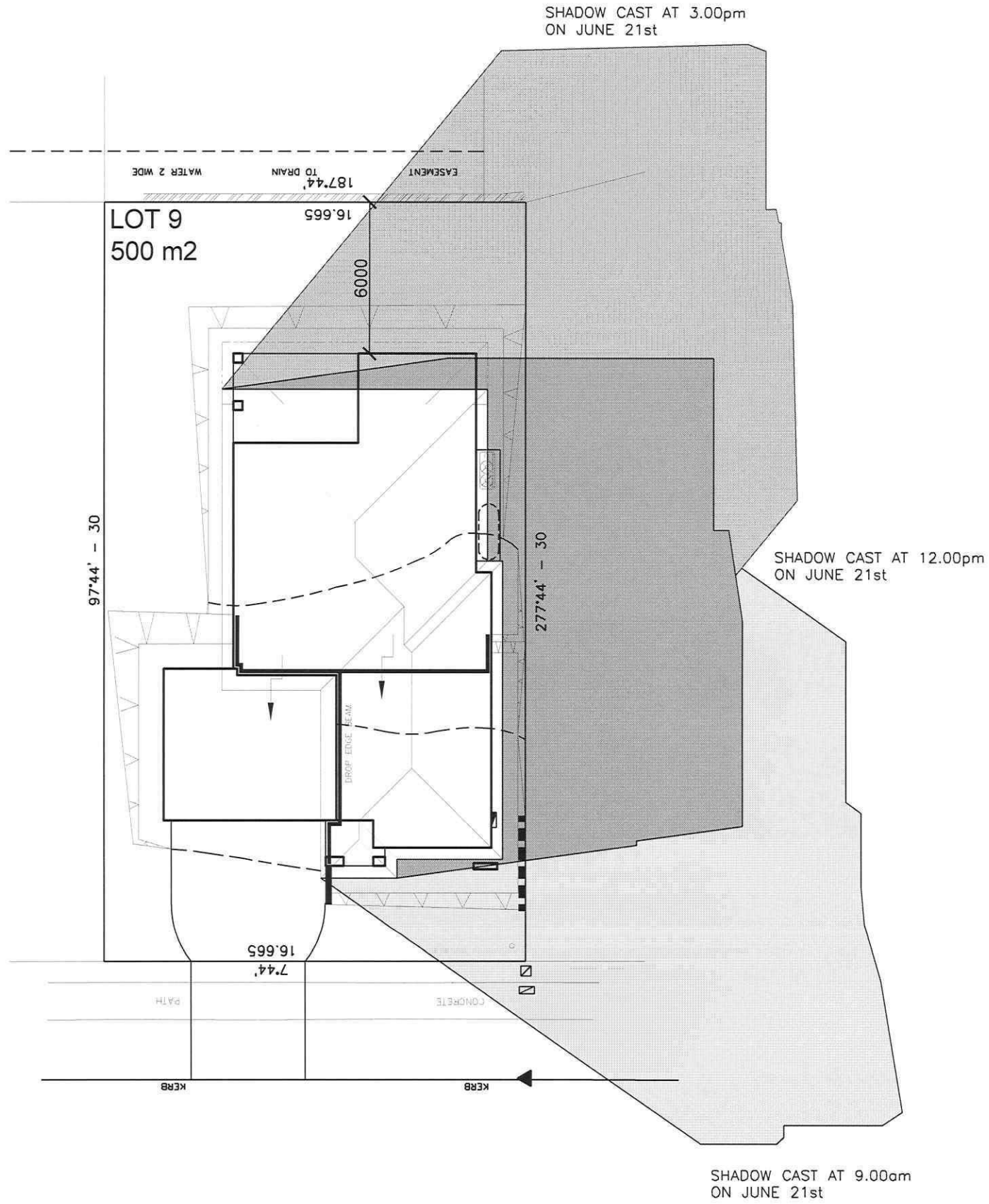
FACADE:
 SPECIFICATION:
 SCALE: 1:100 GARAGE/HW: L/H

CLIENT:
STORECK

SITE ADDRESS:
**LOT 9 D.P. 1166546
 O'CONNELL STREET,
 GREY OAKS.**

JOB No:		STO	Rev:
DRAWN: MRI	DATE: 06.08.13	SHEET: 2.1	G
CHECKED: A.G.			
D.A. DRAWING			

NORTH



- SHADOW CAST AT 9.00am ON JUNE 21st
- SHADOW CAST AT 12.00pm ON JUNE 21st
- SHADOW CAST AT 3.00pm ON JUNE 21st

SHADOW DIAGRAM - 21st JUNE TO FIRST FLOOR OF HOUSE ONLY

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HOUSE NAME:
CUSTOM 38

FACADE:
 SPECIFICATION:
 SCALE: 1:100 GARAGEHAND: L/H

CLIENT:
STORECK

SITE ADDRESS:
**LOT 9 D.P. 1166546
 O'CONNELL STREET,
 GREY OAKS.**

JOB No: **STO**

DRAWN: MRI	DATE: 06.08.13	Rev:
CHECKED: A.G.	SHEET: 2.2	G

D.A. DRAWING