

# PENRITH CITY COUNCIL

## MAJOR ASSESSMENT REPORT

<b>Application number:</b>	DA20/0251
<b>Proposed development:</b>	Upgrade Works to Existing Child Care Centre including Internal & External Building Alterations, Car Park Modifications & Signage
<b>Property address:</b>	70 Glenbrook Street, JAMISONTOWN NSW 2750
<b>Property description:</b>	Lot 88 DP 703021
<b>Date received:</b>	11 May 2020
<b>Assessing officer</b>	Donna Clarke
<b>Zoning:</b>	RE1 Public Recreation - LEP 2010
<b>Class of building:</b>	Class 9b
<b>Recommendations:</b>	Approve

### Executive Summary

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Council is in receipt of a Development Application from Penrith City Council (the applicant) proposing alterations and additions to an existing childcare centre at 70 Glenbrook Street Jamisontown.

The subject site is zoned RE1 Public Recreation under Penrith Local Environmental Plan 2010. The proposal is defined as a centre-based child care facility which is permissible with consent.

The application has been referred to the Local Planning Panel for determination in accordance with the direction given by the Minister for Planning under Section 9.1 of the Environmental Planning and Assessment Act 1979 dated 23 February 2018 as the subject site is owned by Penrith City Council, and the applicant is also Penrith City Council.

The development application was advertised in the local newspaper and notified to owners and occupiers of adjoining and nearby properties between 1 June 2020 and 15 June 2020. During this period, Council received no submissions.

Key issues identified for the proposed development include car parking, upgrade of the accessibility of the existing facility, waste management and safety and security. The applicant has confirmed that there is no increase in child numbers from 49 as licenced.

An assessment under Section 4.15 of the Environmental Planning and Assessment Act 1979 has been undertaken and the application is recommended for approval subject to conditions.

## Site & Surrounds

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The subject site contains an existing child care centre known as Jamisontown Children's Centre which is owned and operated by the Children's Services Division of Penrith City Council. The site is identified as Lot 88 DP 703021, 70 Glenbrook Street Jamisontown and has a site area of approx. 2 hectares.

The centre is located within a public reserve which in has good separation to the adjoining residents to the north. The site adjoins a primary school to the east and additional reserve to the south and west.

The centre caters for 49 children per day, as per the existing licence.

The existing hours of operation are as follows:

- 7am-6pm Monday to Friday

On-site parking facilities are available as follows:

- 12 vehicle spaces

## Proposal

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The subject application proposes alterations and additions to the existing building. The proposed works include the following:

- Upgrade to existing child care centre.
- Interior alterations and additions, including upgrade to bathroom, staff room, foyer, bathroom and office.
- External alterations and additions including cladding to external wall, new entry roof, new lighting and new security gate.
- Penrith City Council's corporate colours (brown, orange and grey) will be utilised.
- New building identification sign on the eastern elevation, with 3D illuminated acrylic letters (back lit) linked to external light with wording 'Jamisontown Children's Centre Penrith City Council' and logo.
- Changes to existing car park to provide a disabled car parking space, resulting in seven additional spaces, from 12 spaces to 19 spaces.
- No change to existing children numbers being 49 per day as per the existing licence.
- No changes are proposed to the existing hours of operation.
- Removal of vegetation to accommodate the new car parking.

## Plans that apply

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- Local Environmental Plan 2010 (Amendment 4)
- Development Control Plan 2014
- State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017
- State Environmental Planning Policy No 55—Remediation of Land
- State Environmental Planning Policy No 64—Advertising and Signage
- Sydney Regional Environmental Plan No.20 - Hawkesbury Nepean River

## Planning Assessment

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### • Section 4.15 - Evaluation

The development has been assessed in accordance with the matters for consideration under Section 4.15 of the Environmental Planning and Assessment Act 1979, and having regard to those matters, the following issues have been identified for further consideration:

### **Section 4.15(1)(a)(i) The provisions of any environmental planning instrument**

## **State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017**

An assessment against the relevant criteria under State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017 has been undertaken and a detailed discussion is provided below.

- **Clause 22 Centre-based child care facility—concurrence of Regulatory Authority required for certain development**

The proposal complies with regulation 107 (indoor unencumbered space requirements) of the Education and Care Services National Regulations. The proposal also complies with the outdoor space requirements under regulation 108 (outdoor unencumbered space requirements) of the Education and Care Services National Regulations. The proposal provides 150.49m<sup>2</sup> of indoor unencumbered space (159.25m<sup>2</sup> is required) and provides 847m<sup>2</sup> of unencumbered outdoor space (343m<sup>2</sup> is required) Accordingly, in this instance Clause 22 does not apply to the proposal and concurrence of the Regulatory Authority is not required.

- **Clause 23 Centre-based child care facility—matters for consideration by consent authorities**

Clause 23 requires that before determining a development application for development for the purpose of a centre-based child care facility, the consent authority must take into consideration any applicable provisions of the Child Care Planning Guideline. An assessment was undertaken against the provision of the Child Care Planning Guideline dated August 2017, and details are summarised below:

<b>Child Care Planning Guideline August 2017</b>		
<b>Section</b>	<b>Objectives</b>	<b>Proposed</b>
<b>3.1 Site Selection and Location</b>	<ul style="list-style-type: none"> <li>To ensure that appropriate zone considerations are assessed when selecting a site;</li> <li>To ensure that the site selected for a proposed child care facility is suitable for the use.</li> <li>To ensure the site for child care facilities are appropriately located;</li> <li>To ensure that sites for child care facilities do not incur risks from environmental, health or safety hazards.</li> </ul>	<ul style="list-style-type: none"> <li>The proposed use is a permitted land use in the zone with Council consent,</li> <li>The site is considered suitable for the development for the following reasons: <ul style="list-style-type: none"> <li>The site is not identified as being affected by flooding, land slope, bushfires, coastal hazards and other environmental hazards. The existing building is located outside of the flood planning area and PMF.</li> <li>The site is not located along a major collector road.</li> <li>Located adjacent to a playground, open space and residential dwellings further away, the proposal is near compatible social uses.</li> <li>The site, which has an area of 2ha is of a sufficient size and width to accommodate the proposed centre-based child care facility.</li> </ul> </li> <li>The application has demonstrated that the site is suitable in respect to environmental impacts, specifically acoustic, privacy and excavation impacts, and does not incur risks from environmental hazards i.e. contamination.</li> </ul>
<b>3.2 Local Character, streetscape and the public domain interface</b>	<ul style="list-style-type: none"> <li><i>To ensure that the child care facility is compatible with the local character and surrounding streetscape;</i></li> <li><i>To ensure clear delineation between the child care facility and public spaces;</i></li> <li><i>To ensure front fences and retaining walls respond to and complement the context and character of the area and do not dominate the public domain.</i></li> </ul>	<ul style="list-style-type: none"> <li>The proposal provides an appropriate design response within the RE1 Public Recreation zone, and contributes to the local area by being designed in character with the locality and existing streetscape.</li> <li>Specifically, the proposal provides minor changes to an existing single storey building that will be consistent and compatible with the existing low density characteristics of the subject area.</li> <li>The proposal complies with the prescribed height control under the LEP and provides front and rear setbacks consistent with the surrounding development.</li> <li>Clear delineation between the facility and the street remains, along with a clear access path from the street to the legible entry.</li> <li>The proposed landscaping within the front setback results in appropriate opportunities for landscaping.</li> <li>The location and design of existing parking areas is consistent with the character of the locality.</li> </ul>
<b>3.3 Building Orientation, envelope and</b>	<ul style="list-style-type: none"> <li><i>To respond to the streetscape, while optimising solar access</i></li> </ul>	<ul style="list-style-type: none"> <li>As aforementioned, the existing built form and minor changes responds to the predominant built form, height and</li> </ul>

<b>design</b>	<p><i>and opportunities for shade;</i></p> <ul style="list-style-type: none"> <li>• <i>To ensure that child care facilities are designed to be accessible by all potential users;</i></li> <li>• <i>To ensure that buildings are designed to create safe environments for all users.</i></li> </ul>	<p>landscaped setbacks in the area to respond to the streetscape quality.</p> <ul style="list-style-type: none"> <li>• The existing play areas and internal rooms of the centre remain and the minor changes will improve the functionality of the centre.</li> </ul>
<b>3.4 Landscaping</b>	<ul style="list-style-type: none"> <li>• <i>To provide landscape design that contributes to streetscape and amenity.</i></li> </ul>	<ul style="list-style-type: none"> <li>• The existing streetscape and future desired character, remains suitable and will update an aging facility.</li> </ul>
<b>3.5 Visual and Acoustic Privacy</b>	<ul style="list-style-type: none"> <li>• <i>To protect the privacy and security of children attending the facility;</i></li> <li>• <i>To minimise impacts on privacy of adjoining properties;</i></li> <li>• <i>To minimise the impact of child care facilities on the acoustic privacy of neighbouring residential developments.</i></li> </ul>	<ul style="list-style-type: none"> <li>• The proposed centre and proposed changes minimise direct overlooking of indoor rooms and outdoor play spaces from public areas.</li> <li>• There is no additional acoustic impacts envisaged as there is no change in children numbers proposed.</li> </ul>
<b>3.6 Noise and Air Pollution</b>	<ul style="list-style-type: none"> <li>• <i>To adopt design solution to minimise the impacts of noise on the children;</i></li> <li>• <i>To ensure that outside noise levels on the facility are minimised to acceptable levels</i></li> </ul>	<ul style="list-style-type: none"> <li>• The subject site is not located near major roads, rail lines, beneath flight paths or other noisy environments.</li> <li>• Appropriate design measures have been undertaken with respect to the proposed changes to minimise acoustic impacts to neighbouring properties.</li> <li>• The site is not located closed to any major roads or industrial areas and is therefore not exposed to major sources of air pollution.</li> </ul>
<b>3.7 Hours of Operation</b>	<ul style="list-style-type: none"> <li>• <i>Hours of operation within areas where the predominant land use is residential should be confined to the core hours of 7.00am to 7.00pm weekdays.</i></li> </ul>	<ul style="list-style-type: none"> <li>• No change is proposed to the existing operating hours, being Monday to Friday 7:00am to 6:00pm,.</li> </ul>
<b>3.8 Traffic, Parking and Pedestrian Circulation</b>	<ul style="list-style-type: none"> <li>• <i>To provide parking that satisfies the needs of users and demand generated by the centre;</i></li> <li>• <i>To provide vehicle access from the street in a safe environment that does not disrupt traffic flows;</i></li> <li>• <i>To provide a safe and connected environment for pedestrians both on and around the site.</i></li> </ul>	<ul style="list-style-type: none"> <li>• Under Penrith Development Control Plan 2014, child care centres are required to provide 1 space per 10 children, plus 1 space per employee.</li> <li>• The development proposes to employ 12 individuals and provide for 49 children requiring 19 car spaces be provided on site. The proposal complies with this requirement with 19 parking bays in place.</li> </ul>

**Clause 25 Centre-based child care facility - non-discretionary development standards**

The non-discretionary development standards which, if complied with, prevent a consent authority from requiring more onerous standards. These matters relate to location, indoor and outdoor space, site area and dimensions and the colour of building materials and shade structures, which as previously indicated in this report are considered compliant.

**Clause 26 Centre-based child care facility - development control plans**

The SEPP includes provisions in development control plans that cannot be applied to development of child care centres, such as hours of operation, demonstrated need for services, proximity to other facilities, or any matter set out in the *Child Care Planning Guideline*. Council's DCP does contain specific development standards related to the matters described in Clauses 25 and 26, which are rendered obsolete by the function of the SEPP.

**State Environmental Planning Policy No 55—Remediation of Land**

*State Environmental Planning Policy No. 55 – Remediation of Land* (SEPP 55) provides aims to promote the remediation of contaminated land for the purpose of reducing the risk of harm to human health or any other aspect of the environment. Under Clause 7 of SEPP 55, it must be considered as to whether the land is contaminated, and if so, the consent authority must be satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which development is proposed to be carried out.

In this regard, the subject site has been used as an existing child care centre for a number of years and the nature of the use will continue to be as such. It is noted that aerial observation mapping has not identified any evidence of potential land contaminating activities or imported fill material. Further, the minor works proposed are unlikely to pose any land contamination risks.

## **State Environmental Planning Policy No 64—Advertising and Signage**

The application includes two proposed signs in association with the operation of the building comprising a new building identification sign on the eastern elevation, with 3D illuminated acrylic letters (back lit) linked to external light with wording 'Wattle Glenn Children's Centre Penrith City Council' and logo.

An assessment has been undertaken of the application against relevant criteria with *State Environmental Planning Policy No 64—Advertising and Signage* and the application is satisfactory as detailed below:

### **1 Character of the area**

The proposal is considered compatible with the existing and desired future character of the area in that the signage clearly identifies the building as the proposed child care centre.

### **2 Special areas**

The proposed development is not located within any environmentally sensitive areas, heritage areas, natural or other conservation areas, open space areas, waterways, rural landscapes or residential areas.

### **3 Views and vistas**

The proposal does not obscure or compromise important views, dominate the skyline, or reduce the quality of vistas.

### **4 Streetscape, setting or landscape**

The scale, proportion and form of the proposal is appropriate for the setting and does not dominate the façade. The signage is clear and minimalist, and in keeping with the overall design of the child care centre.

### **5 Site and building**

The proposal is compatible with the scale and proportion of the building and reflects the colours and materials used in the design of the development.

### **6 Associated devices and logos with advertisements and advertising structures**

No associated devices are proposed as part of the signage due to location of the structure and nature of the use. Penrith City Council's logo is included, at a very small scale and is deemed appropriate.

### **7 Illumination**

Illumination of the signage is proposed, with the letters backlit. Given the location of the centre and its open surrounds, there is not expected to be light spill issues from the sign.

### **8 Safety**

The wall signage proposed is fixed to the building. As such, the signage suitably blends with the wall structure and is not considered to reduce the safety for the public road, pedestrians, cyclists or obscure sightlines.

Should the application be approved, any determination is to include a condition indicating that a separate development application for the erection of any additional signs or advertising structures, other than those listed as exempt development, is to be submitted to Penrith City Council.

## **Sydney Regional Environmental Plan No.20 - Hawkesbury Nepean River**

An assessment has been undertaken of the application against relevant criteria with Sydney Regional Environmental Plan No 20—Hawkesbury-Nepean River (No 2—1997) and the application is considerable capable of complying subject to conditions regarding sediment and erosion control.

## Local Environmental Plan 2010 (Amendment 4)

Provision	Compliance
Clause 1.2 Aims of the plan	Complies
Clause 2.3 Permissibility	Complies - See discussion
Clause 2.3 Zone objectives	Complies - See discussion
Clause 4.3 Height of buildings	Complies - See discussion
Clause 5.9 Preservation of trees or vegetation	Complies - See discussion
Clause 7.4 Sustainable development	Complies - See discussion
Clause 7.6 Salinity	Complies
Clause 7.7 Servicing	Complies



### **Clause 2.3 Permissibility**

The subject portion of the land containing the child care centre subject to this application is zoned RE1 Public Recreation under Penrith LEP 2010.

The proposal is defined as follows:

**'centre-based child care facility means:**

*(a) a building or place used for the education and care of children that provides any one or more of the following:*

- (i) long day care,*
- (ii) occasional child care,*
- (iii) out-of-school-hours care (including vacation care),*
- (iv) preschool care, or*

*(b) an approved family day care venue (within the meaning of the Children (Education and Care Services) National Law (NSW))'*

The proposal is a permissible land use in the zone with Council consent.

### **Clause 2.3 Zone objectives**

The objectives of the RE1 Public Recreation zone are:

- *To enable land to be used for public open space or recreational purposes.*
- *To provide a range of recreational settings and activities and compatible land uses.*
- *To protect and enhance the natural environment for recreational purposes.*
- *To ensure that development is secondary and complementary to the use of land as public open space, and enhances public use, and access to, the open space.*
- *To provide land for the development of services and facilities by public authorities for the benefit of the community.*

The proposed use is considered compliant with the objectives of the RE1 zone, with the existing and modified child care centre being of benefit for the local community. Amenity is not reduced to the nearby residents, who are not in immediate proximity of the centre.

### **Clause 4.3 Height of buildings**

The site is not identified on the Height of Building Map as having a limit. Notwithstanding this, the proposal remains within the existing building height.

### **Clause 5.9 Preservation of trees or vegetation**

In order to accommodate the minor changes to formalise part of the car park, some vegetation is required to be removed. However, a site inspection identifies this vegetation as not be significant vegetation and resembling shrubs and low quality trees. As such, there are no objections raised to the removal of vegetation as proposed.

### **Clause 7.4 Sustainable development**

The proposal satisfies the LEP in that it incorporates design elements to increase energy efficiency and reduce the consumption of natural resources through the upgrade of the aging facilities.

## **Section 4.15(1)(a)(ii) The provisions of any draft environmental planning instrument**

### **Draft Environment State Environmental Planning Policy**

The Draft Environment SEPP was exhibited from 31 October 2017 to 31 January 2018. This consolidated SEPP proposes to simplify the planning rules for a number of water catchments, waterways, urban bushland, and Willandra Lakes World Heritage Property.

Changes proposed include consolidating a total of seven existing SEPPs being:

- *State Environmental Planning Policy No. 19 – Bushland in Urban Areas*
- *State Environmental Planning Policy (Sydney Drinking Water Catchment) 2011*
- *State Environmental Planning Policy No. 50 – Canal Estate Development*
- *Greater Metropolitan Regional Environmental Plan No. 2 – Georges River Catchment*
- *Sydney Regional Environmental Plan No. 20 – Hawkesbury-Nepean River (No.2-1997)*
- *Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005*
- *Willandra Lakes Regional Environmental Plan No. 1 – World Heritage Property.*

It is noted that the proposed changes to State Environmental Planning Policy No 19 – Bushland in Urban Areas (SEPP 19) are not considered to impact the proposed development. In addition, the amendments to Sydney Regional Environmental Plan No 20 – Hawkesbury – Nepean River (No. 2 – 1997) do not impact the proposed development. In this regard, the proposal is not inconsistent with the provisions of this Draft Instrument.

### **Draft Remediation of Land SEPP**

The Department of Planning and Environment has announced a Draft Remediation of Land SEPP, which will repeal and replace the current State Environmental Planning Policy No 55—Remediation of Land.

The proposed new land remediation SEPP will:

- provide a state-wide planning framework for the remediation of land,
- maintain the objectives and reinforce those aspects of the existing framework that have worked well,
- require planning authorities to consider the potential for land to be contaminated when determining development applications and rezoning land,
- clearly list the remediation works that require development consent, and
- introduce certification and operational requirements for remediation works that can be undertaken without development consent.

It is also proposed that it will transfer the requirements to consider contamination when rezoning land to a direction under Section 9.1 of the Environmental Planning and Assessment Act 1979.

Whilst the proposed SEPP will retain the key operational framework of SEPP 55, it will adopt a more modern approach to the management of contaminated land. Noting the above, the Draft SEPP will not alter or affect the findings in respect to contamination of the site.

## Section 4.15(1)(a)(iii) The provisions of any development control plan

### Development Control Plan 2014

Provision	Compliance
DCP Principles	Complies
C1 Site Planning and Design Principles	Complies - see Appendix - Development Control Plan Compliance
C2 Vegetation Management	Complies - see Appendix - Development Control Plan Compliance
C3 Water Management	Complies
C4 Land Management	Complies - see Appendix - Development Control Plan Compliance
C5 Waste Management	Complies
C6 Landscape Design	Complies - see Appendix - Development Control Plan Compliance
C7 Culture and Heritage	N/A
C8 Public Domain	Complies
C9 Advertising and Signage	Complies - see Appendix - Development Control Plan Compliance
C10 Transport, Access and Parking	Complies - see Appendix - Development Control Plan Compliance
C11 Subdivision	N/A
C12 Noise and Vibration	Complies - see Appendix - Development Control Plan Compliance
C13 Infrastructure and Services	Complies
D5.1. Application of Certification System	N/A
D5.2. Child Care Centres	Complies - see Appendix - Development Control Plan Compliance
D5.3. Health Consulting Rooms	N/A
D5.4. Educational Establishments	N/A
D5.5 Parent Friendly Amenities	N/A
D5.6. Places of Public Worship	N/A
D5.7. Vehicle Repair Stations	N/A
D5.8. Cemeteries, Crematoria and Funeral Homes	N/A
D5.9. Extractive Industries	N/A
D5.10 Telecommunication Facilities	N/A
D5.11 Boarding Houses	N/A

## Section 4.15(1)(a)(iiia) The provisions of any planning agreement

There are no planning agreements applying to this application.

## Section 4.15(1)(a)(iv) The provisions of the regulations

The application has been referred to Council's Building Surveyors for assessment and the proposal complies with the requirements of the Regulations subject to conditions.

## **Section 4.15(1)(b) The likely impacts of the development**

### ***Context and Setting***

The proposed minor changes to the existing building have been designed to respect the location and siting of the surrounding residential area.

### ***Noise Impacts***

The proposal does not alter the children numbers from the current licence and as such, the development is not considered to have an adverse noise impact on the surrounding locality.

### ***Traffic, Access and Parking***

Given there is no change to children numbers, but rather the proposal involves minor changes to the existing aged centre, no additional traffic is expected to be generated by the development and is unlikely to result in any considerable impacts to the local road network.

The centre provides 12 spaces currently and proposed 7 additional spaces, being a total of 19 parking spaces including two accessible parking spaces, exceeding the rates specifies in Penrith Development Control Plan 2014. The dimensions of the parking bays and circulation aisle comply with Australian Standards.

Council's Traffic Management Department has reviewed this application and advised that no adverse traffic generation impacts are expected from the development and that the local road network has adequate capacity to cater for the traffic volumes generated by the development.

### ***Waste***

The existing waste management operations will continue on site. Construction waste and on-going operational waste can be dealt with by conditions of consent.

### ***Water Management***

A condition will be recommended regarding the provision of suitable erosion and sediment controls during the construction phase.

### ***Crime Prevention through Environmental Design (CPTED) and Community Safety Principles***

The operational hours of the centre are restricted and it is considered that the users of the centre are safe during the operation hours.

### ***Socio-Economic Impacts***

The proposal seeks to undertake minor changes to the existing building for the benefit of the local community.

## **Section 4.15(1)(c) The suitability of the site for the development**

The site is suitable for the following reasons:

- The site is zoned to permit the proposed use.
- The upgrade of an existing facility will improve the functionality and sustainability of the existing centre.
- The use is compatible with surrounding/adjointing land uses.

## **Section 4.15(1)(d) Any Submissions**

### **Community Consultation**

In accordance with Clause 4.4 of Appendix F4 of Penrith Development Control Plan 2014, the proposed development was advertised and notified to nearby and adjoining resident between 1 June 2020 and 15 June 2020. Council received no submissions in response.

### **Referrals**

The application was referred to the following stakeholders and their comments have formed part of the assessment:

<b>Referral Body</b>	<b>Comments Received</b>
Building Surveyor	No objections - subject to conditions
Development Engineer	No objections - subject to conditions
Environmental - Environmental management	Not supported, however conditions provided
Environmental - Public Health	No objections - subject to conditions

### **Section 4.15(1)(e)The public interest**

The proposed development will not generate any significant issues of public interest.

### **Conclusion**

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In assessing this application against the relevant environmental planning policies, being Penrith Local Environmental Plan 2010 and Penrith Development Control Plan 2014, the proposal satisfies the aims, objectives and provisions of these policies. The site is suitable for the proposed development, the proposal is in the public interest, and there is unlikely to be negative impacts arising from the proposed development. Therefore, the application is worthy of support, subject to recommended conditions.

### **Recommendation**

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That DA 20/0251 for alterations and additions to the childcare centre at 70 Glenbrook Street Jamisontown, be approved subject to the attached conditions.

# CONDITIONS

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## General

## 1 A001

The development must be implemented substantially in accordance with the following plans approved by Council, the application form and any supporting information received with the application, except as may be amended in red on the approved plans and by the following conditions.

Description	Drawing No	Rev	Prepared by	Date
Cover Sheet	A01	D	Barbara Tarnawski Architects Pty Ltd	02/07/20
Site Plan 1:200	A02	D	Barbara Tarnawski Architects Pty Ltd	02/07/20
Site Plan 1:500	A03	D	Barbara Tarnawski Architects Pty Ltd	02/07/20
Demolition	A04	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Ground Floor Plan	A05	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Ground Floor RCP	A06	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Roof Plan	A07	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Elevations 01	A08	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Elevations 02	A09	D	Barbara Tarnawski Architects Pty Ltd	02/07/20
Sections 1	A10	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Sections 2	A11	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Details Access WC - Sheet 01	A12	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Details Access WC - Sheet 02	A13	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Door Schedule	A14	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Window Schedule	A15	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Accessible Parking Detail	A16	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Details Nappy Change - Sheet 02	A17	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Details WC1 - Sheet 03	A18	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Details WC2 - Sheet 04	A19	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Details Storage Areas Sheet 05	A20	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Details - Staff Room - Sheet 06	A21	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Details Office - Sheet 07	A22	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Survey existing	A23	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Landscape Concept Plan	A24	C	Barbara Tarnawski Architects Pty Ltd	15/04/20
Colour Schedule		A	Penrith City Council	9 January 2020

2 [A012 - Food Act](#)

The proprietor of the food business shall ensure that the requirements of the NSW Food Act 2003, NSW Food Regulation 2010 and the Australian and New Zealand Food Standards Code are met at all times.

3 [A019 - OCCUPATION CERTIFICATE \(ALWAYS APPLY\)](#)

**The development shall not be used or occupied until an Occupation Certificate has been issued.**

4 [A026 - Advertising sign \(not for residential\)](#)

A separate development application for the erection of a sign or advertising structure, other than signage or advertising approved by this consent or listed as exempt development, is to be submitted to Penrith City Council, complying with the requirements of Penrith Development Control Plan 2014.

5 [A038 - LIGHTING LOCATIONS](#)

**Prior to the issue of an Occupation Certificate** a lighting system shall be installed for the development to provide uniform lighting across common areas and driveways.

Exterior lighting shall be located and directed in such a manner so as not to create a nuisance to surrounding landuses. The lighting shall be the minimum level of illumination necessary for safe operation. The lighting shall be in accordance with AS 4282 "Control of the obtrusive effects of outdoor lighting" (1997).

6 [A039 - Graffiti](#)

The finishes of all structures and buildings are to be maintained at all times and any graffiti or vandalism immediately removed/repaired.

7 [A046 - Obtain Construction Certificate before commencement of works](#)

A **Construction Certificate** shall be obtained prior to commencement of any building works.

8 [A Special \(BLANK\)](#)

The maximum number of children placed at the centre is to be limited to 49 at any one time.

The premises is to be licensed by the NSW Department of Education and Communities under the Children (Education and Care Services) National Law (NSW), Education and Care Services National Regulations and National Quality Framework prior to commencing operation.

9 [A Special \(BLANK\)](#)

The approved operating hours for the childcare centre are 7am-6pm Monday to Friday.

Delivery, waste collection and service vehicles generated by the development are restricted to these hours of operation.

10 [A Special \(BLANK\)](#)

The use of a public address system or amplified music is not permitted to be used in the outdoor play area. The use of amplified music within the building shall not be audible within a habitable room of any residence.

## Demolition

11 [B002 - AS FOR DEMOLITION AND DISPOSAL TO APPROVED LANDFILL SITE](#)

All demolition works are to be conducted in accordance with the provisions of AS 2601-1991 "The Demolition of Structures". **Prior to demolition**, all services shall be suitably disconnected and capped off or sealed to the satisfaction of the relevant service authority requirements.

All demolition and excavated material shall be disposed of at a Council approved site or waste facility. Details of the proposed disposal location(s) of all excavated material from the development site shall be provided to the Principal Certifying Authority **prior to commencement of demolition**.

12 [B003 - ASBESTOS](#)

Any demolition works involving the removal of all asbestos shall only be carried out by a licensed asbestos removal contractor who has a current WorkCover Asbestos Licence.

All asbestos laden waste, including asbestos cement flat and corrugated sheeting must be disposed of at a tipping facility licensed by the Environmental Protection Authority to receive asbestos wastes.

13 [B004 - Dust](#)

Dust suppression techniques are to be employed during demolition to reduce any potential nuisances to surrounding properties.

14 [B005 - Mud/Soil](#)

Mud and soil from vehicular movements to and from the site must not be deposited on the road.

## Environmental Matters



15 **D001 - Implement approved sediment& erosion control measures**

Erosion and sediment control measures shall be installed **prior to the commencement of works on site** including approved clearing of site vegetation. The erosion and sediment control measures are to be maintained in accordance with the approved erosion and sediment control plan(s) for the development and the Department of Housing's "Managing Urban Stormwater: Soils and Construction" 2004.

(Note: To obtain a copy of the publication, you should contact Landcom on (02) 98418600).

Certification that the erosion and sediment control measures have been installed in accordance with the approved erosion and sediment control plan (s) for the development and "Managing Urban Stormwater: Soils and Construction 2004" shall be obtained and issued a minimum 2 days before any other site works are to commence, including earthworks and clearing of the site.

The approved sediment and erosion control measures are to be installed **prior to and maintained throughout the construction phase of the development** . These measures shall ensure that mud and soil from vehicular movements to and from the site does not occur during the construction of the development.

16 **D005 – No filling without prior approval (may need to add D006)**

No fill material is to be imported to the site without the prior approval of Penrith City Council in accordance with Sydney Regional Environmental Plan No.20 (Hawkesbury- Nepean River) (No.2-1997). No recycling of material for use as fill material shall be carried out on the site without the prior approval of Council.

17 **D009 - Covering of waste storage area**

All waste materials stored on-site are to be contained within a designated area such as a waste bay or bin to ensure that no waste materials are allowed to enter the stormwater system or neighbouring properties. The designated waste storage areas shall provide at least two waste bays / bins so as to allow for the separation of wastes, and are to be fully enclosed when the site is unattended.

18 **D010 – Appropriate disposal of excavated or other waste**

All excavated material and other wastes generated as a result of the development are to be re-used, recycled or disposed of in accordance with the approved waste management plan.

Waste materials not specified in the approved waste management plan are to be disposed of at a lawful waste management facility. Where the disposal location or waste materials have not been identified in the waste management plan, details shall be provided to the Certifying Authority as part of the waste management documentation accompanying the Construction Certificate application.

All receipts and supporting documentation must be retained in order to verify lawful disposal of materials and are to be made available to Penrith City Council on request.

19 **D014 - Plant and equipment noise**

The operating noise level of plant and equipment shall not exceed 5dB(A) above the background noise level when measured at the boundaries of the premises. The provisions of the Protection of the Environment Operations Act 1997 apply to the development, in terms of regulating offensive noise.

20 **D026 - Liquid wastes**

Only clean and unpolluted water is to be discharged into Penrith City Council's stormwater drainage system. Liquid wastes suitable for discharge to the mains sewer are to be discharged in accordance with Sydney Water requirements.

## **BCA Issues**

21 **E006 - Disabled access and facilities**

Access and sanitary facilities for persons with disabilities are to be provided and maintained in accordance with the requirements of the Building Code of Australia and AS 1428 "Design for Access and Mobility". Details of compliance are to be provided in the relevant plans and specifications accompanying the Construction Certificate application.

## 22 E01A - BCA compliance for Class 2-9

All aspects of the building design shall comply with the applicable performance requirements of the Building Code of Australia so as to achieve and maintain acceptable standards of structural sufficiency, safety (including fire safety), health and amenity for the on-going benefit of the community. Compliance with the performance requirements can only be achieved by:

- (a) complying with the deemed to satisfy provisions, or
- (b) formulating an alternative solution which:
  - complies with the performance requirements, or
  - is shown to be at least equivalent to the deemed to satisfy provision, or
- (c) a combination of (a) and (b).

It is the owner's responsibility to place on display, in a prominent position within the building at all times, a copy of the latest fire safety schedule and fire safety certificate/ statement for the building.

## Health Matters and OSSM installations

### 23 F027 - Hand basins

A separate hand basins is to be installed in Nappy change areas and to be serviced with hot and cold water through a single outlet, able to be mixed at a temperature of at least 40°C and fitted with a hands free operation. Where sensor taps are installed the basin must not be more than 6 metres from the hot water system. Disposable paper hand towels and soap must be provided and serviced from a dispenser adjacent to each hand basin.

### 24 F028 - Staff toilets

Staff toilets must be provided on the premises. Where a toilet adjoins a food preparation area it must be separated by an air lock and its doors must be fitted with self closing devices. Toilets intended for customer use must not be accessed through areas where open food is handled, displayed or stored.

### 25 F029 - Hand basin within staff toilets

A hand basin must be located within the toilet cubicle. Hand basins must be freestanding, serviced with hot and cold water through a single outlet, able to be mixed at a temperature of at least 40°C and fitted with a hands free operation. Where sensor taps are used the basin must not be more than 6 metres from the hot water system. Disposable paper hand towels and soap must be provided and serviced from a dispenser adjacent to each hand basin.

## Engineering

### 26 K223 - Access, Car Parking and Manoeuvring – Minor Development

Prior to the issue of any Construction Certificate, the Certifying Authority shall ensure that off street access and parking complies with AS2890.1.

## Landscaping

### 27 L001 - General

Landscaping is to be provided around the new car parking area. All landscape works are to be constructed in accordance with the stamped approved plans and Section's C2 'Vegetation management' and C6 'Landscape Design' of Penrith Development Control Plan 2014.

Landscaping shall be maintained:

- in accordance with the approved plan, and
- in a healthy state, and
- in perpetuity by the existing or future owners and occupiers of the property.

If any of the vegetation comprising that landscaping dies or is removed, it is to be replaced with vegetation of the same species and, to the greatest extent practicable, the same maturity as the vegetation which died or was removed.

### 28 L012 - Existing landscaping (for existing development)

Existing landscaping is to be retained and maintained at all times.

## Certification

29 **Q01F - Notice of Commencement & Appointment of PCA2 (use for Fast Light only)**

Prior to the commencement of any earthworks or construction works on site, the proponent is to:

- (a) employ a Principal Certifying Authority to oversee that the said works carried out on the site are in accordance with the development consent and related Construction Certificate issued for the approved development, and with the relevant provisions of the Environmental Planning and Assessment Act and accompanying Regulation, and
- (b) submit a Notice of Commencement to Penrith City Council.

The Principal Certifying Authority shall submit to Council an "Appointment of Principal Certifying Authority" in accordance with Section 81A of the Environmental Planning and Assessment Act 1979.

Information to accompany the Notice of Commencement

Two (2) days before any earthworks or construction/demolition works are to commence on site (including the clearing site vegetation), the proponent shall submit a "Notice of Commencement" to Council in accordance with Section 81A of the Environmental Planning and Assessment Act 1979.

30 **Q05F - Occupation Certificate for Class10**

An Occupation Certificate is to be obtained from the Principal Certifying Authority on completion of all works and prior to the occupation/use of the approved development.

The Certificate shall not be issued if any conditions of this consent, but not the conditions relating to the operation of the development, are outstanding.

A copy of the Occupation Certificate and all necessary documentation supporting the issue of the Certificate is to be submitted to Penrith City Council, if Council is not the Principal Certifying Authority.

# Appendix - Development Control Plan Compliance

## Development Control Plan 2014

### Part C - City-wide Controls

The proposal has been assessed against the applicable provisions of Part C of the *Penrith Development Control Plan 2014*, relevantly as follows:

#### **C1 Site Planning and Design Principles**

The proposed alterations and additions to an existing centre is considered generally desirable as they will have minimal physical and visual impacts on the surrounding development. The proposed alterations will result in a modification of the existing external façade of the childcare centre, however, the proposed external colours and finishes are considered harmonious with the residential dwellings within the locality. The proposal will not alter the height of the existing building. As such, the alterations and additions will not conflict or visually dominate surrounding development.

#### **C2 Vegetation Management**

The proposal includes the removal of insignificant trees or vegetation, which directly adjoins the area currently informally used for parking which will be formalised as part of this application and 7 additional spaces. This vegetation is not of value and a landscape plan has been provided for new plantings.

#### **C4 Land Management**

The proposed external works are minor and are unlikely to negatively impact upon the natural landform or result in contamination of land. A condition of consent will be imposed to ensure that appropriate erosion and sedimentation controls measures are installed during all external works.

By viewing Council records and aerial photography of the site, it is unlikely that the land is contaminated. Council's records indicate that the site has been operating as a long term childcare centre in an established community open space area.

The alterations and additions will not result in significant cut or fill and is generally regarded to satisfy the objectives of Part C4 of the Penrith DCP 2014.

#### **C6 Landscape Design**

The proposal will maintain the existing vegetation within/adjacent to the childcare centre and adjacent to the car parking area and proposes embellishment.

#### **C7 Culture and Heritage**

The site is not identified as and is not in the vicinity of any site that is a heritage item, heritage conservation area or archaeological site under the provisions of Penrith LEP 2010.

#### **C8 Public Domain**

As discussed within this report, the proposal includes providing a new gate to the centre, which will help clearly define the entry which enhances safety and is accessible by all. The proposed alterations will increase opportunities for natural surveillance and increasing safety by providing additional gates at the entrance.

#### **C9 Advertising and signage**

The proposal includes a new building identification sign on the eastern elevation, with 3D illuminated acrylic letters (back lit) linked to external light with wording 'Jamisontown Children's Centre Penrith City Council' and logo. An assessment has been undertaken against SEPP 64

and deemed acceptable. Given the location of the centre and distance to surrounding buildings and residences being substantial, no impacts are envisaged from the proposed signage.

### **C10 Transport, access and parking**

The proposal has been assessed against the provisions of this Section below.

#### *Clause 10.2 Car Parking Rates*

There are currently a total of 12 car parking spots servicing the subject childcare centre. The proposal will provide an additional 7 spaces. The following parking requirements apply to Childcare Centres under the provisions of Penrith DCP 2014:

*'1 space per 10 children plus 1 per employee plus provision for any dwelling.'*

In this instance, the maximum number of children is proposed to be 49 at any one time, with 12 staff, resulting in 19 spaces required to satisfy the DCP standard. The proposed car park contains 19 spaces including 2 accessible spaces.

Council's Traffic Engineer reviewed the application and concurs with the comments made in the parking assessment.

### **C12 Noise and vibration**

The proposal does not seek to increase the maximum number of children attending the centre at any one time and does not alter the current operating hours. Council's Environmental Health Officer offered no objections to the proposal, subject to the imposition of condition of consent restricting hours of work and operating noise levels of plant and equipment.

### **C13 Infrastructure Services**

Not applicable, as the site is within an established area with adequate access to infrastructure and services.

## **D5 Other Land Uses**

Part 5.2 the DCP describes a number of development controls that apply to child care centres, however the operation of SEPP (Educational Establishments and Child Care Facilities) 2017, which include the application of the Child Care Planning Guidelines, effectively mitigates the application of a number of these controls.

The Child Care Planning Guidelines include reference to local character, streetscape and the public domain interface, building form and scale which have been previously addressed.

The proposed alterations and additions to the existing childcare centre will not alter the services provided by the centre.

The scale and character of the development will remain consistent with the surrounding development. The DCP controls require that external façade of childcare centres shall incorporate building materials and colours that complement the surrounding development and that the use of bright or garish colours are discouraged. In this regard, the proposal seeks to modernise the external façade and the use of a variety of materials, colours and textures to enhance visual interest. The centre will predominantly complement the surrounding land uses. The proposal also include the installation of business identification signage in Council's corporate logo, which will better define the public domain.

The proposal incorporates CPTED design principals and the entry is limited to one secure point.

Drawing No:	Drawing Name	Issued for	Revision	Revision Date
A01	COVER SHEET	DA	D	02/07/20
A02	SITE PLAN 1:500	DA	D	02/07/20
A03	SITE PLAN 1:250	DA	D	02/07/20
A04	DEMOLITION	DA	C	15/04/20
A05	GROUND FLOOR PLAN	DA	C	15/04/20
A06	GROUND FLOOR RCP	DA	C	15/04/20
A07	ROOF PLAN	DA	C	15/04/20
A08	ELEVATIONS 01	DA	C	15/04/20
A09	ELEVATIONS 02	DA	D	02/07/20
A10	SECTIONS 1	DA	C	15/04/20
A11	SECTIONS 2	DA	C	15/04/20
A12	DETAILS ACCESS WC - SHEET 01	DA	C	15/04/20
A13	DETAILS ACCESS WC - SHEET 02	DA	C	15/04/20
A14	DOOR SCHEDULE	DA	C	15/04/20
A15	WINDOW SCHEDULE	DA	C	15/04/20
A16	ACCESSIBLE PARKING DETAIL	DA	C	15/04/20
A17	DETAILS NAPPY CHANGE - SHEET 02	DA	C	15/04/20
A18	DETAILS WC1 - SHEET 03	DA	C	15/04/20
A19	DETAILS WC2 - SHEET 04	DA	C	15/04/20
A20	DETAILS STORAGE AREAS - SHEET 05	DA	C	15/04/20
A21	DETAILS - STAFF ROOM - SHEET 06	DA	C	15/04/20
A22	DETAILS - OFFICE - SHEET 07	DA	C	15/04/20
A23	SURVEY EXISTING	DA	C	15/04/20
A24	LANDSCAPE CONCEPT PLAN	DA	C	15/04/20

### Compliance Summary/Checklist

This is a brief summary, please refer to the details of the report of further information on the construction methods and assumptions used throughout the report.

Part	Name	Description
J1.3	Roof & ceiling construction	Existing metal roof
J1.4	Roof lights	Replace existing skylight with Uw 3.9 & SHGC 0.49
J1.5	Walls	Existing clad walls, if making good provide a breathable membrane & R1.5 insulation Existing cavity brick walls, if making good can be uninsulated
J1.5	Glazing	Existing windows
J1.6	Floors	Existing concrete slab on ground
J3	Building sealing	<ul style="list-style-type: none"> <li>Dampeners to any flues</li> <li>Sealed skylights</li> <li>Seals/weatherstripping to windows &amp; doors</li> <li>Self-closing doors</li> <li>Dampener/Self closing device to exhaust fans</li> </ul>
J5	Air conditioning & ventilation systems	Refer to section & specialist contractor
J6	Artificial light & power	Refer to section and ABCB lighting calculator
J7	Heated water supply, swimming pool & spa plant	9 litres/min fixtures
J8	Facilities for energy monitoring	No requirements

### GENERAL ACCESS SPECIFICATIONS 20074 B

Applies to New areas, modified areas and areas within the affected path (ie from main entry doorways to the new and modified areas)

#### All Doors:

- Except for non-accessible sanitary facilities, all single hinged doors and in case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1-2009.
- When using sliding doors / bifold doors, flush transition is required so provide fully recessed floor tracks. Also, all sliding doors to have 530mm minimum available to latch side of the sliding door to enable access to door handle.
- All glazed doors and other glazed areas to have glazing strips. The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.
- All doorways to have a minimum luminance contrast of 30% provided between, Door leaf and door jamb or Door leaf and adjacent wall or Architrave and wall or Door leaf and architrave or Door jamb and adjacent wall. The minimum width of the luminance contrast to be 50mm.
- All external doorways can either have flush door thresholds or can have a max drop of 35mm at threshold when used in combination with a doorway threshold ramp of 1:8 grade within 200mm of the door leaf.

#### Door hardware requirements:

- D shaped door handles to be used, located at 900-1100mm above FFL
- Clearance between the handle and the back plate or the door face at the center grip section of the handle to be between 35-45mm with a minimum of 20mm turn at the end of the handle

#### All 1:20 walkways require the following

- For 1:20 grade walkways, 1.2M length (in direction of travel) landings are required every 15M.
- The floor surface abutting the sides of the walkway to be provided with a firm and level surface (of a different material) at the same level and grade of the walkway and extend horizontally for a minimum of 600mm unless one of the following is provided: kerb, kerb-rail and handrail or wall of minimum 450mm height.

#### Braille / Tactile Signage as per BCA requirements to be provided to:

- All doors nominated as Exit doors require signage
- All Sanitary Facilities and airlocks to sanitary facilities including accessible and ambulant toilets require signage
- All non-accessible entry points from the site boundary require signage with arrow pointing towards the accessible entry.

#### Floor or ground surfaces

- The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability.
- Abutment of surfaces is to have a smooth transition (this includes door thresholds of accessible sanitary facilities).
- Construction tolerances to be +/- 3mm vertical or +/-5mm (provided the edges have a bevelled or rounded edge).
- Grates (if used in the accessible path of travel) are required to comply with AS1428.1.

#### Accessible Car parking to fully comply with AS2890.6, including the following:

- Dedicated space 2.4Mx5.4M, Shared space 2.4Mx5.4M to be at the same level
- Slip resistant flooring surface with maximum fall 1:40 in any direction or maximum 1:33 if bituminous and outdoors
- Central Bollard in shared space at 800+/-50mm from entry point
- Pavement marking in dedicated space by means of access symbol between 800mm-1000mm high placed on a blue rectangle of maximum 1200mm and between 500mm-600mm from its entry point
- Minimum headroom of 2.2M at entrances and 2.5M is required over shared zones as well as dedicated spaces
- Non-trafficked area of the shared space to have yellow marking strips at 45°, 150-200mm wide at 200mm-300mm spaces
- The pavement marking shall have the appropriate slip resistance for the location.

#### Slip resistance requirements:

- Slip resistance to be as per BCA Table D2.14 when tested in accordance with AS4586.
- Refer to guide HB 197 / 198 for details in regards to compliance requirements.

#### Accessible toilet:

- The Accessible toilet to be constructed as per requirements of AS1428.1-2009
- Setout of pan to be 800+/-10mm from rear wall and the c/l of pan is to be 450-460mm from side wall. Top of seat of WC pan is to be 460-480mm above FFL
- The top of the washbasin is to be between 800-830mm above FFL. Water taps to be lever or sensor with 50mm clear from any surface
- Seat to be full round, take 150kg weight and provide 30% luminance contrast to the background
- Backrest to be 150-200mm height, 350-400mm width and 120-150mm above the seat at an angle of 95°-100° back from seat hinge
- Flushing control to be proud of surface and located between 600-1100mm above FFL at back or side wall, clear of grabrail area
- Top of toilet paper dispenser is to be located maximum of 700mm above FFL and maximum of 300mm from edge of pan
- Grabrails, 30-40mm diameter, placed 50-60mm clearance from wall, with no obstructions to top 270° arc, are to be provided to rear and side wall (90° or 30°-45°). Horizontal component to be 800-810mm above FFL. Fastenings and construction of grabrails to be capable to withstand 1100N of force.
- Mirror to start from 900mm above FFL, till minimum of 1850mm above FFL
- Clothes hanging device to be at height of 1200-1350mm above FFL and at least 500mm from any internal corner
- Shelf to be 300-400mm length and 120-150mm wide and located 900-1000mm above FFL
- Soap and paper towel dispensers where provided, to be installed with height of the operative component between 900-1100mm above FFL and no closer than 500mm from an internal corner.
- Door to the Accessible toilet requires AS1428.1 compliant door circulation spaces. When door swings next to the washbasin a clear 300mm is required between the door swing and the washbasin.

#### Accessible Shower:

Showers for Accessible use are to be designed in accordance with AS1428.1.

- Flooring to be slip-resistant
- Folding seat to be self-draining, slip-resistant, corners rounded to 10-15mm, fold in upwards direction and fastenings, materials and construction to be able to withstand a force of 1100N
- Not less than 2 clothes hanging devices, one within 400+/-10mm and other within 600+/-10mm of the folding seat. Clothes hanging device to be at height of 1200-1350mm above FFL and at least 500mm from any internal corner
- The floor of shower recess to have a floor grade between 1:60 to 1:80 and the remainder area of bathroom to be between 1:80 and 1:100
- Waste outlet to be center of the shower recess, alternatively a strip drain against the wall is also permissible.
- Showerhead to be hand-held type adjustable between 1000-1800mm above FFL on shower head support rail
- Water outlet for shower and back flow prevention device to be located 700mm above FFL.

Issue	Date	Amendments
A	17/09/18	Sketch design
B	13/02/20	Construction Documentation - For Comment
C	17/04/20	Development application
D	02/07/20	Carparking details shown, signage shown



**NOTES**  
Structural engineering as required for all new structural works, including paths, slabs, new walls, roof, columns, beams.  
Refer to Access report for accessibility requirements.  
Refer to Specifications.  
  
NOTE - tempering valves to all hot water provisions.  
Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.

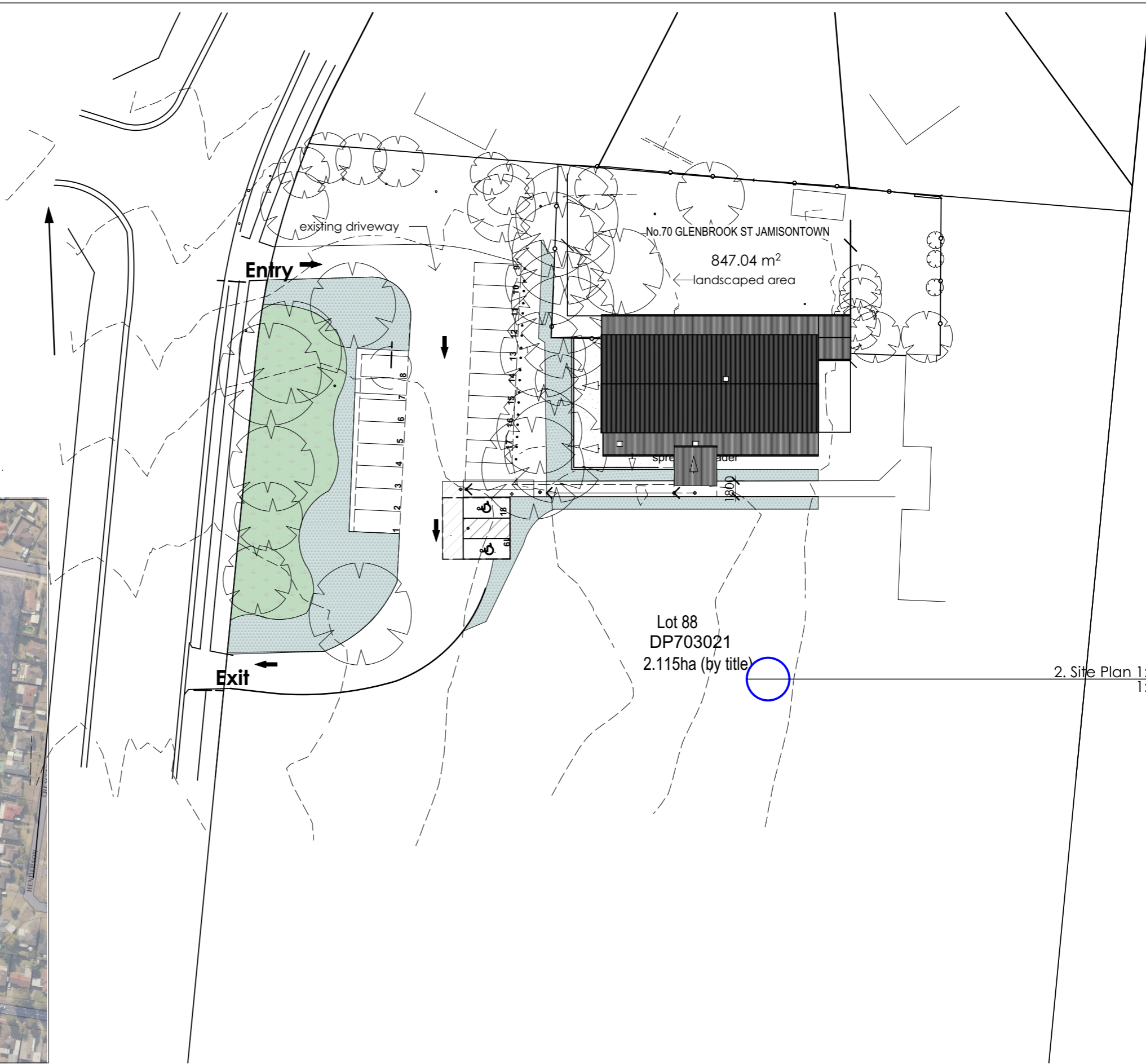
**PENRITH CITY COUNCIL**  
Client  
Penrith City Council  
601 High Street Penrith NSW

Address  
Jamisontown Childcare Centre  
70 Glenbrook St, Jamisontown  
NSW 2750

Stage				
Development Application				
Drawing Title COVER SHEET				
Drawing No. 200201A01				
Date 01/04/20	Drawn by	Sheet size A3	Project No. 200201	Issue D

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Location Plan (NTS)

Issue	Date	Amendments
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 Penrith City Council  
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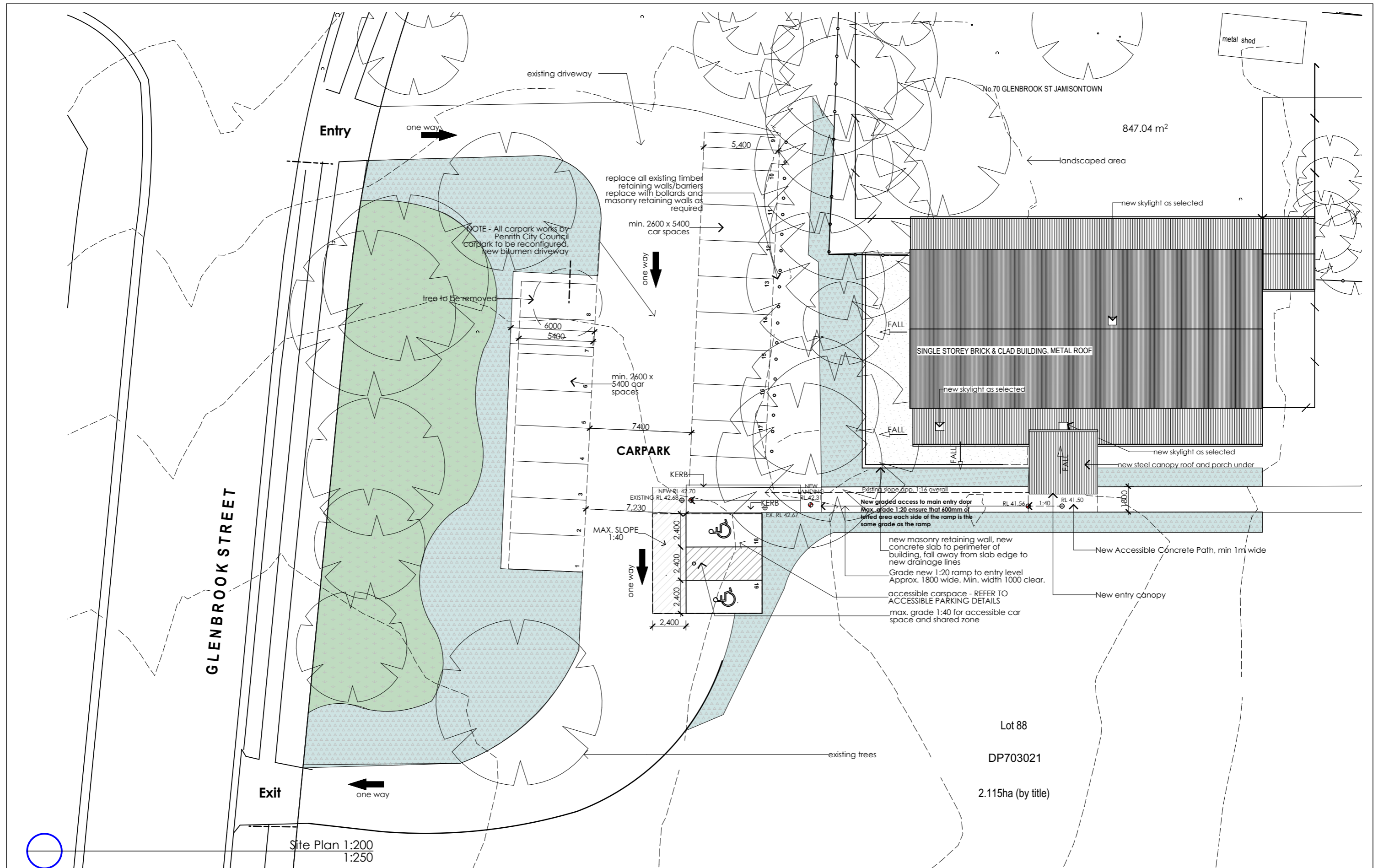
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 NSW 2750

Stage				
Development Application				
Drawing Title SITE PLAN 1:500				
Drawing No. 200201A02				
Date 01/04/20	Drawn by	Sheet size A3	Project No. 200201	Issue D



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 CHECK ALL DIMENSIONS ON SITE. REFER ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORKS.

2. Site Plan 1:500  
 1:500



Site Plan 1:200  
1:250



**NOTES**

Structural engineering as required for all new structural works, including paths, slabs, new walls, roof, columns, beams.  
Refer to Access report for accessibility requirements.  
Refer to Specifications.

NOTE - tempering valves to all hot water provisions.  
Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.

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601 High Street Penrith NSW

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Jamisontown Childcare Centre  
70 Glenbrook St, Jamisontown  
NSW 2750

Stage  
**Development Application**

Drawing Title  
**SITE PLAN 1:250**

Drawing No.  
**200201A03**

Date  
**01/04/20**

Drawn by  
**A3**

Project No.  
**200201**

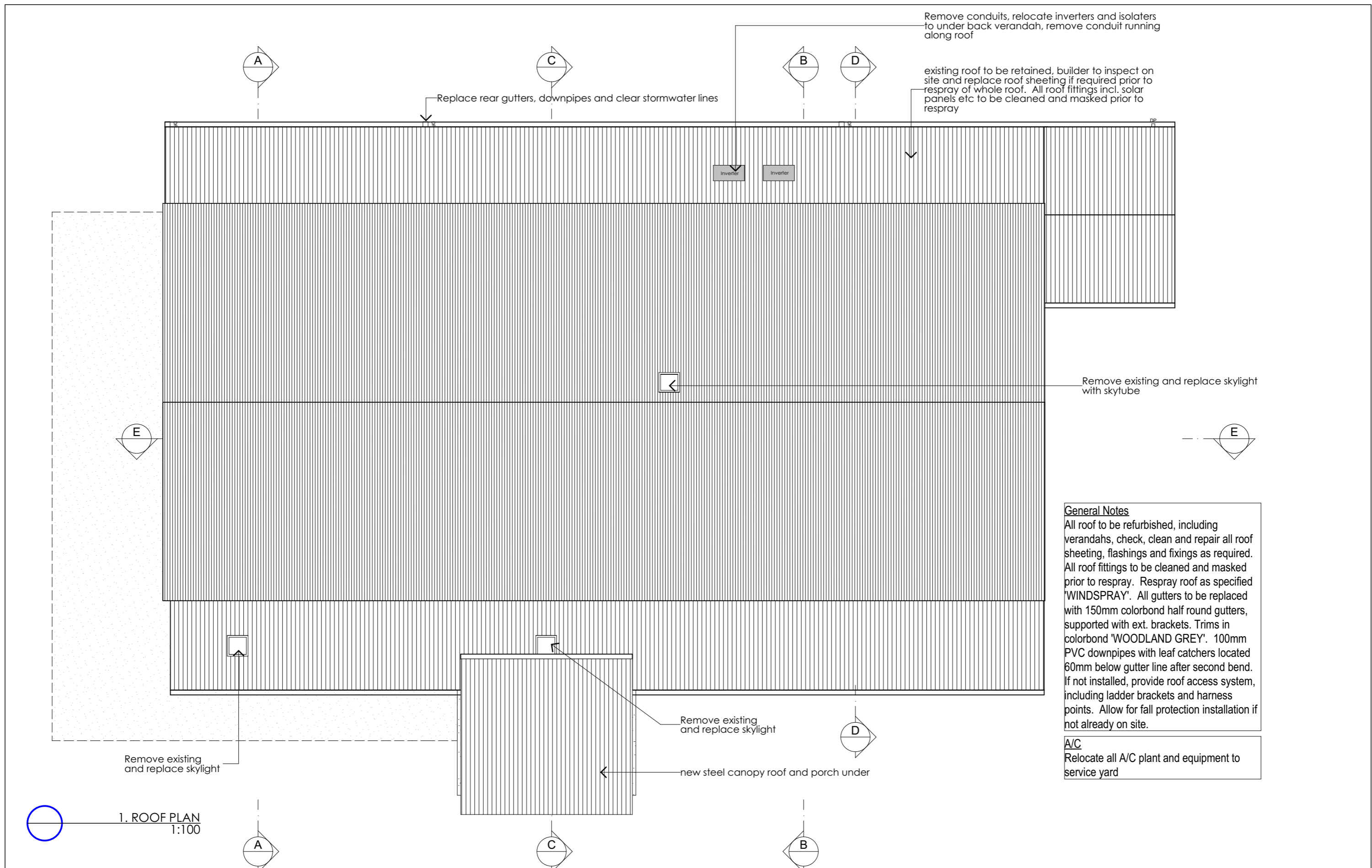
Issue  
**D**

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CHECK ALL DIMENSIONS ON SITE.  
REFER ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORKS





**General Notes**  
 All roof to be refurbished, including verandahs, check, clean and repair all roof sheeting, flashings and fixings as required. All roof fittings to be cleaned and masked prior to respray. Respray roof as specified 'WINDSPRAY'. All gutters to be replaced with 150mm colorbond half round gutters, supported with ext. brackets. Trims in colorbond 'WOODLAND GREY'. 100mm PVC downpipes with leaf catchers located 60mm below gutter line after second bend. If not installed, provide roof access system, including ladder brackets and harness points. Allow for fall protection installation if not already on site.

**A/C**  
 Relocate all A/C plant and equipment to service yard

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**NOTES**  
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 NOTE - tempering valves to all hot water provisions. Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.

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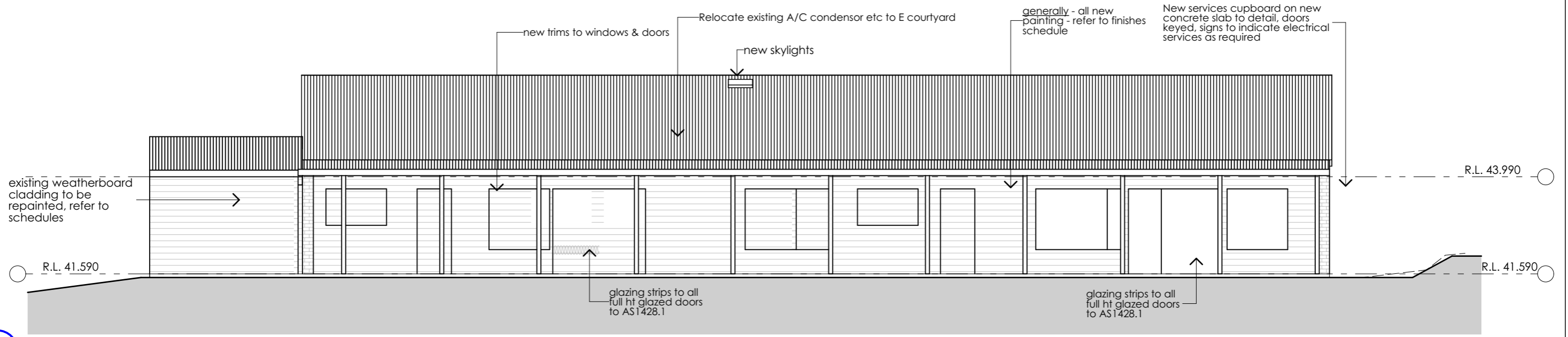
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 70 Glenbrook St, Jamisontown  
 NSW 2750

Stage				
Development Application				
Drawing Title ROOF PLAN				
Drawing No. 200201A07				
Date 01/04/20	Drawn by	Sheet size A3	Project No. 200201	Issue C

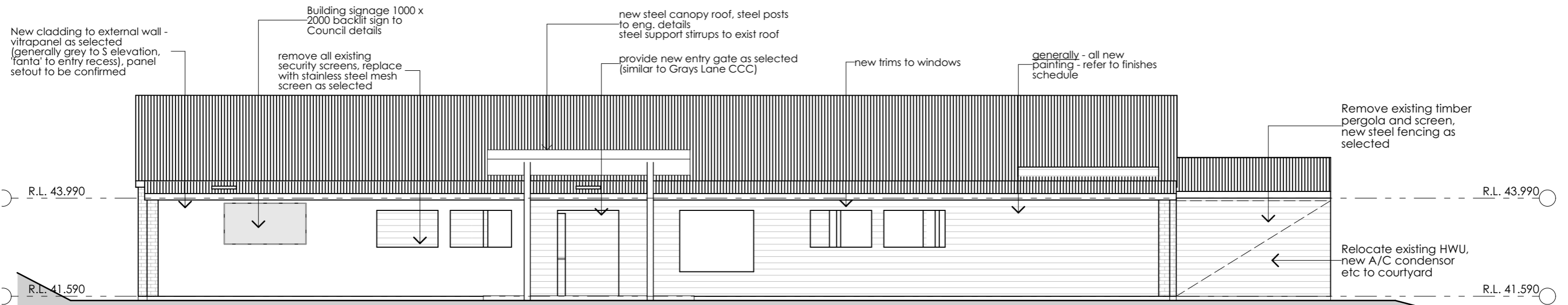
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CHECK ALL DIMENSIONS ON SITE. REFER ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORKS



ELEVATION 01 / NORTH  
1:100



ELEVATION 03 / SOUTH  
1:100

Issue	Date	Amendments
A	17/09/18	Sketch design
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C	17/04/20	Development application



**NOTES**

Structural engineering as required for all new structural works, including paths, slabs, new walls, roof, columns, beams.  
Refer to Access report for accessibility requirements.  
Refer to Specifications.

NOTE - tempering valves to all hot water provisions.  
Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.

**PENRITH CITY COUNCIL**

Client  
**Penrith City Council**  
601 High Street Penrith NSW

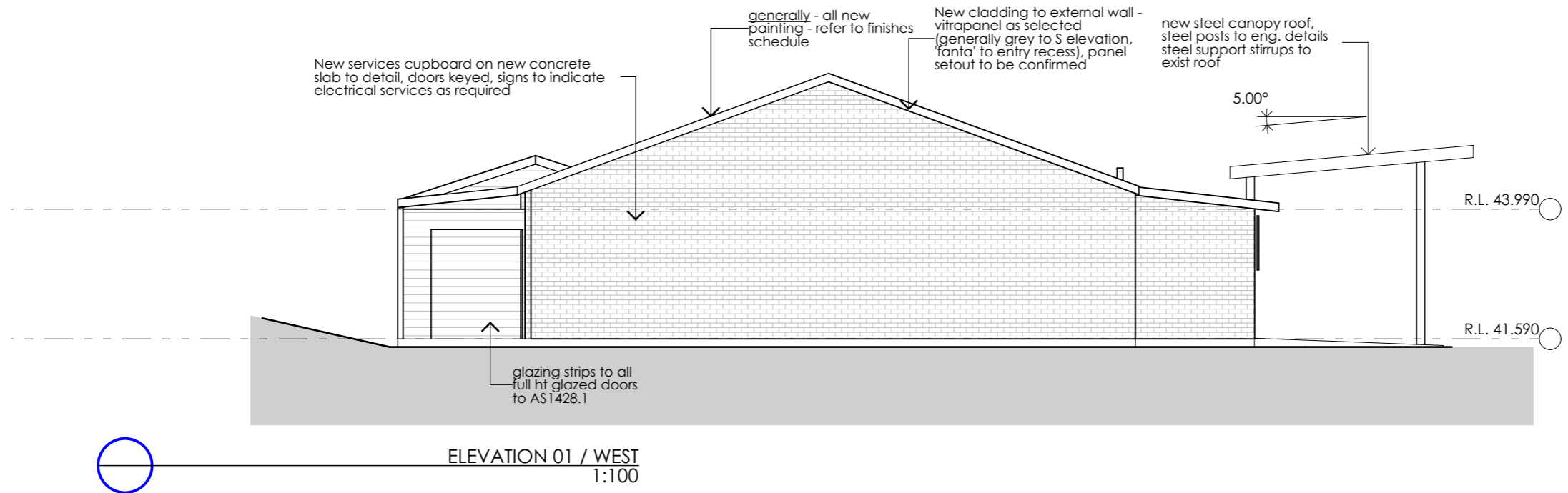
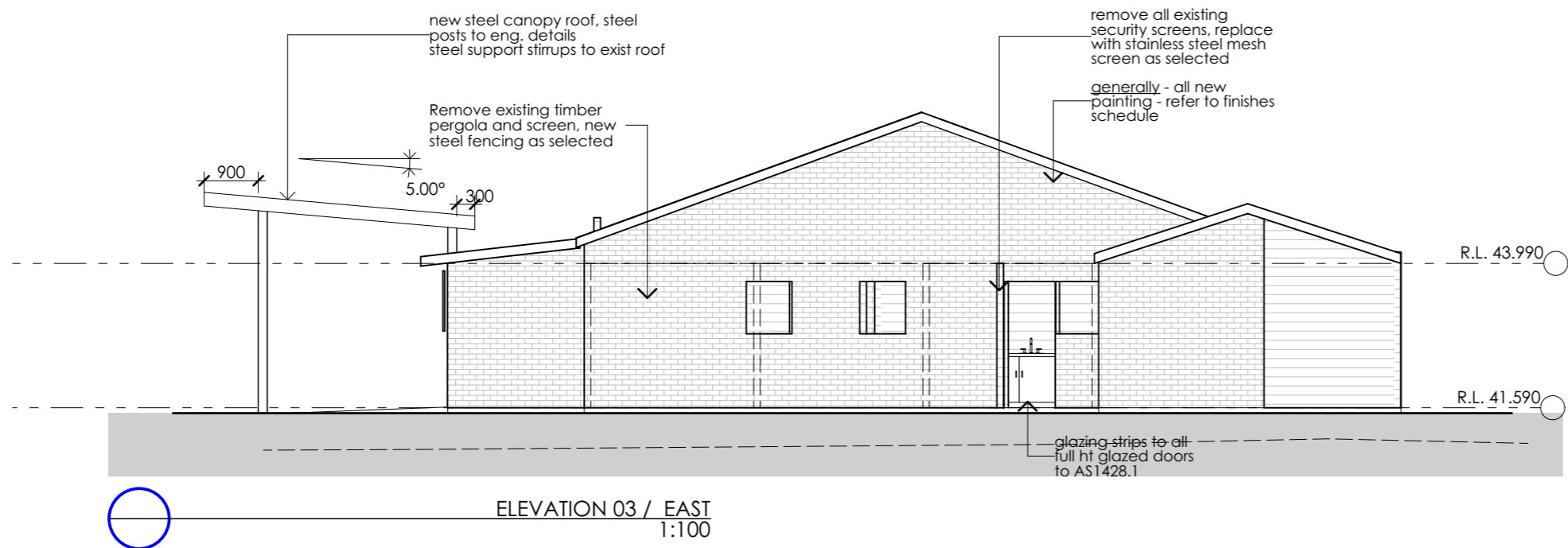
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70 Glenbrook St, Jamisontown  
NSW 2750

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Drawing No. <b>200201A08</b>				
Date <b>01/04/20</b>	Drawn by	Sheet size <b>A3</b>	Project No. <b>200201</b>	Issue <b>C</b>

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Issue	Date	Amendments
A	17/09/18	Sketch design
B	13/02/20	Construction Documentation - For Comment
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 601 High Street Penrith NSW

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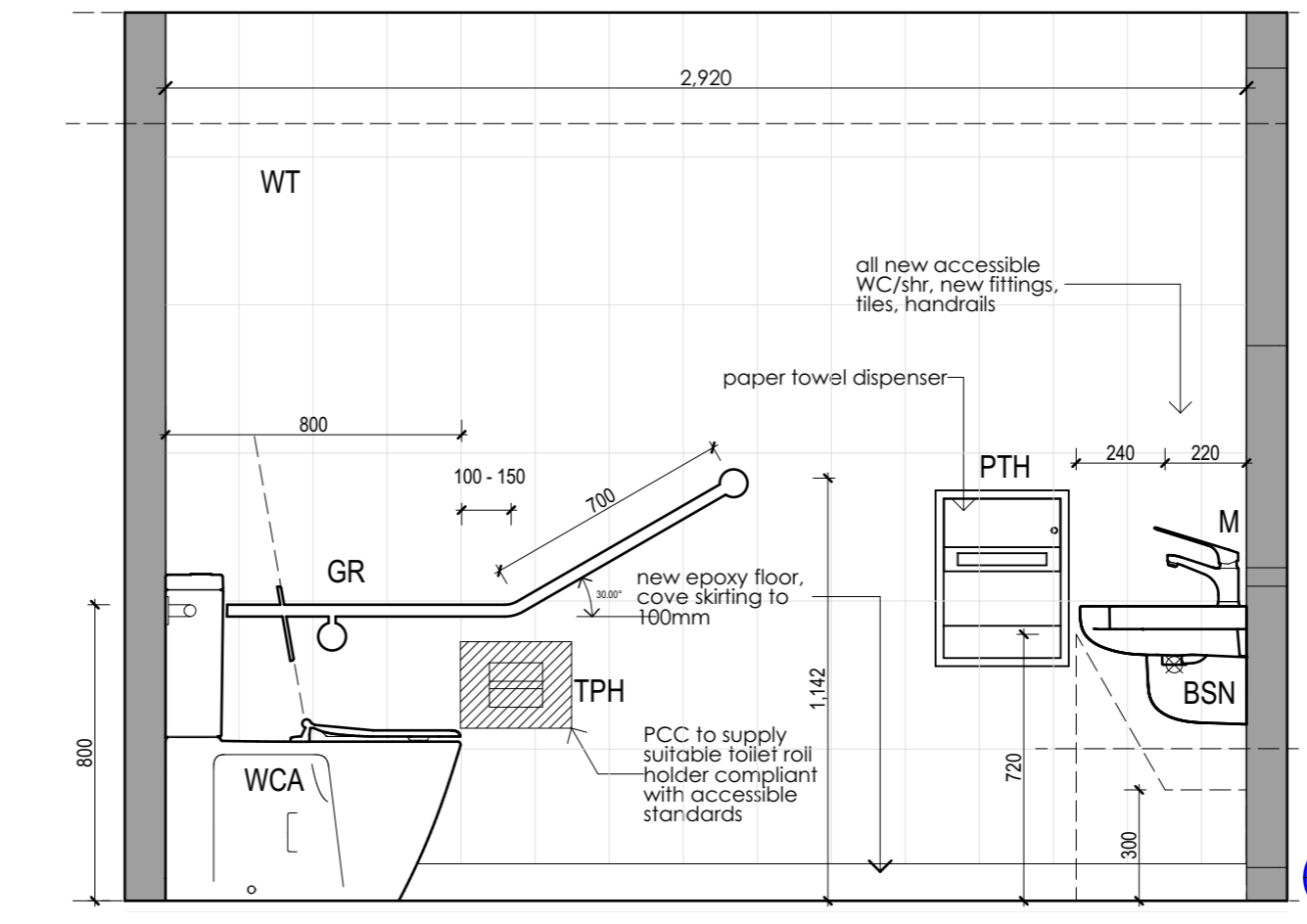
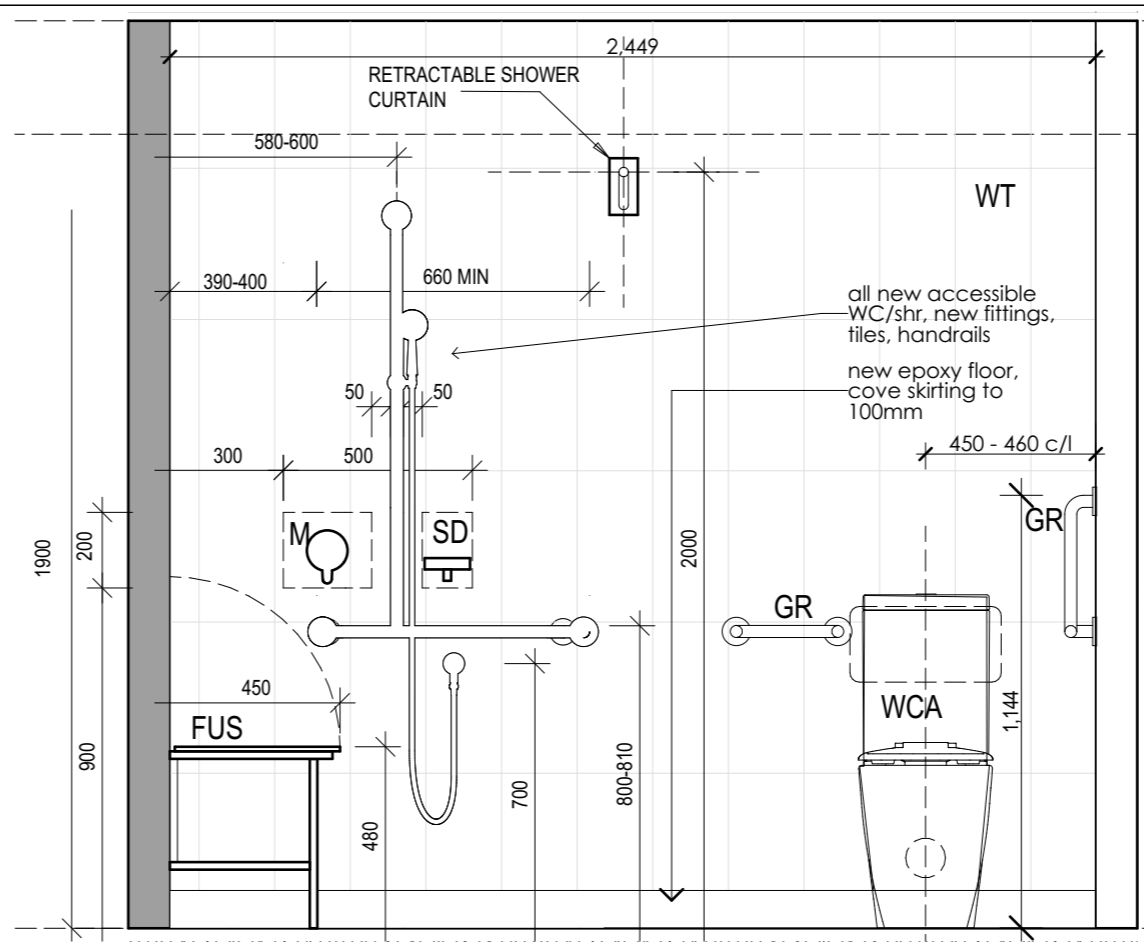
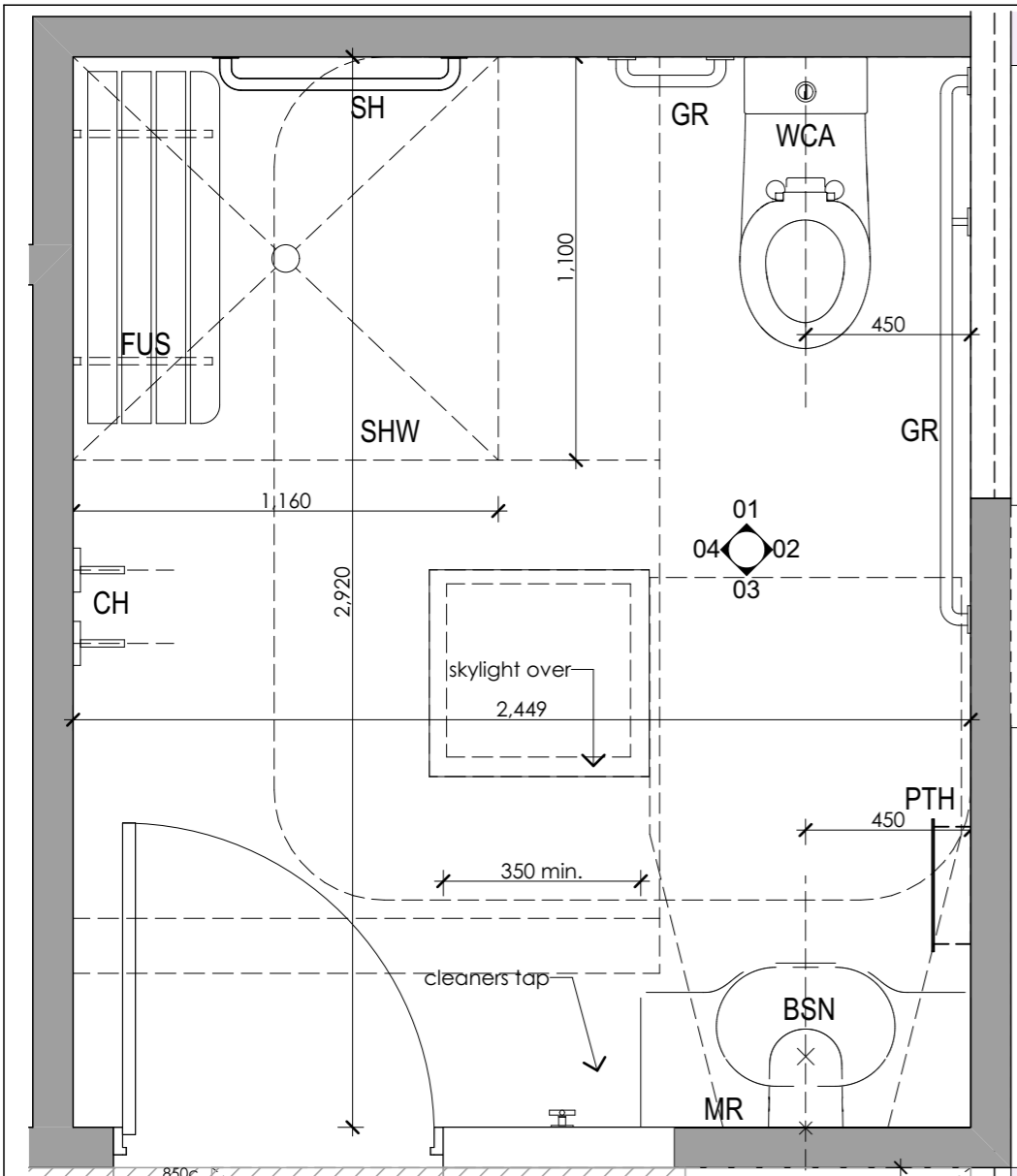
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Date <b>01/04/20</b>	Drawn by	Sheet size <b>A3</b>	Project No. <b>200201</b>	Issue <b>C</b>

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NOTE:  
Refer to schedules for selections, fixtures and finishes.

Legend - Wet Area Details

BCH	Bench
BCT	Baby Change Table
HNP	Hydraulic Nappy Change
BSN	Basin
BB	Baby Bath
CH	Coat hook
MR	Mirror
DCD	Disposable cover dispenser
FUS	Fold up seat
GR	Grab Rail
M	Mixer
PF	Paint finish
PTH	paper towel holder
TP	Toilet partition
TPH	toilet paper holder
S	Shelf
SL	Slophopper
SH	Shower head
SD	Soap dispenser
SHW	Shower
SP	Shower partition
TMV	Thermostatic mixing valve
WT	Wall tiles
U	Urinal
WC	Toilet pan
WCA	Toilet pan - Ambulant

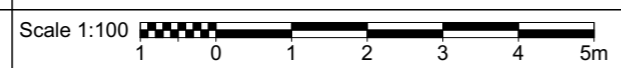
Door Number  
 Door Type

01 WC  
1:20

NOTE - tempering valves to all hot water provisions. Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.

02 WC  
1:20

Issue	Date	Amendments
A	17/09/18	Sketch design
B	13/02/20	Construction Documentation - For Comment
C	17/04/20	Development application



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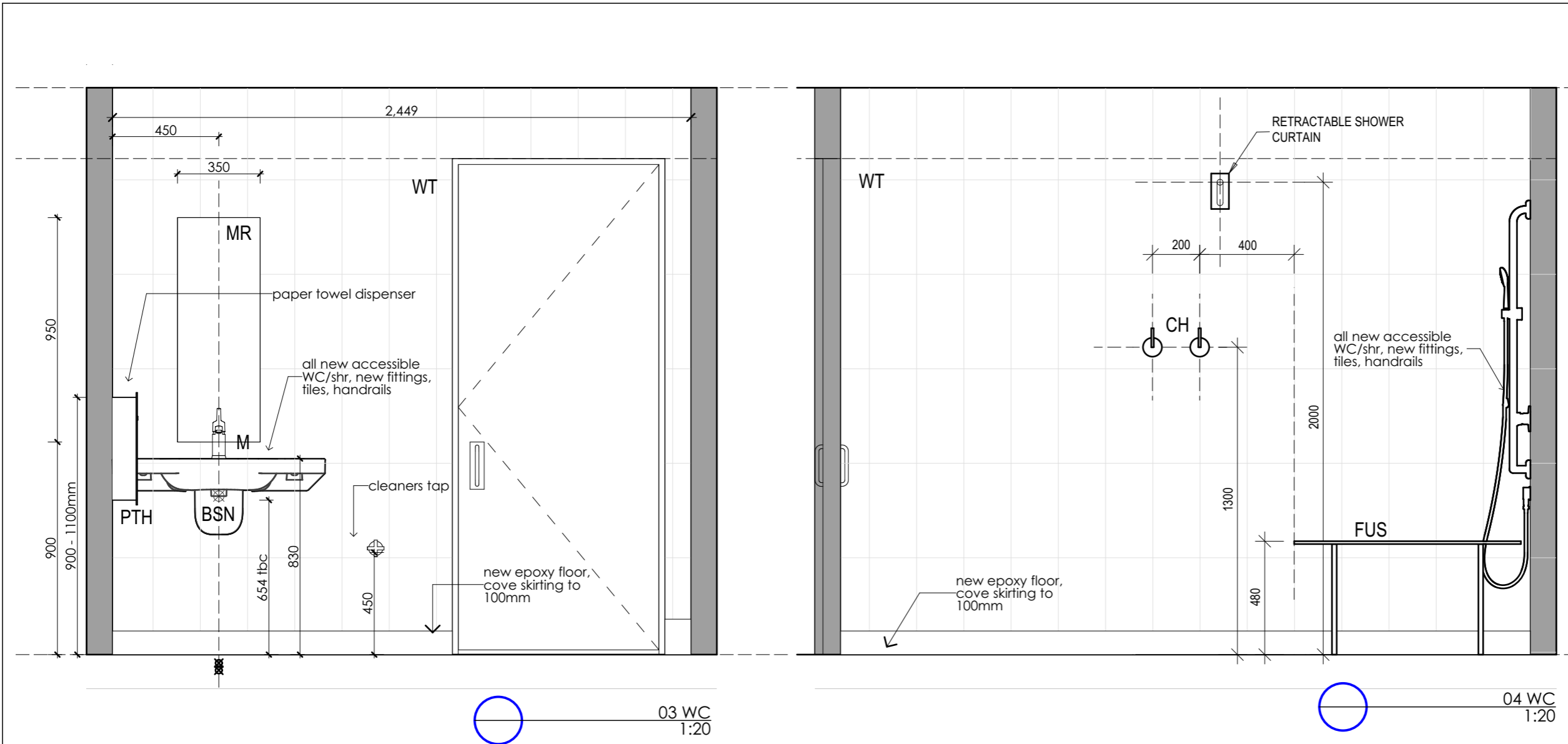
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70 Glenbrook St, Jamisontown  
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Stage <b>Development Application</b>				
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Drawing No. <b>200201A12</b>				
Date <b>01/04/20</b>	Drawn by	Sheet size <b>A3</b>	Project No. <b>200201</b>	Issue <b>C</b>

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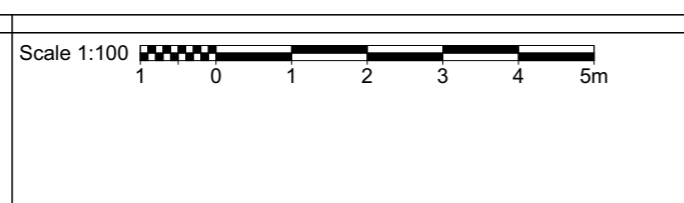


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  - GR Grab Rail
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  - PF Paint finish
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  - TPH toilet paper holder
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  - SL Slophopper
  - SH Shower head
  - SD Soap dispenser
  - SHW Shower
  - SP Shower partition
  - TMV Thermostatic mixing valve
  - WT Wall tiles
  - U Urinal
  - WC Toilet pan
  - WCA Toilet pan - Ambulant
- Door Number  
 Door Type

NOTE - tempering valves to all hot water provisions. Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.

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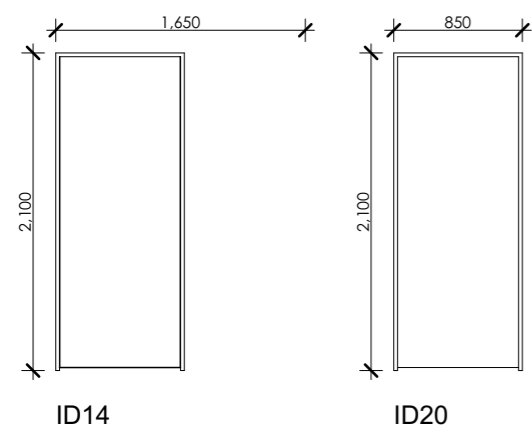
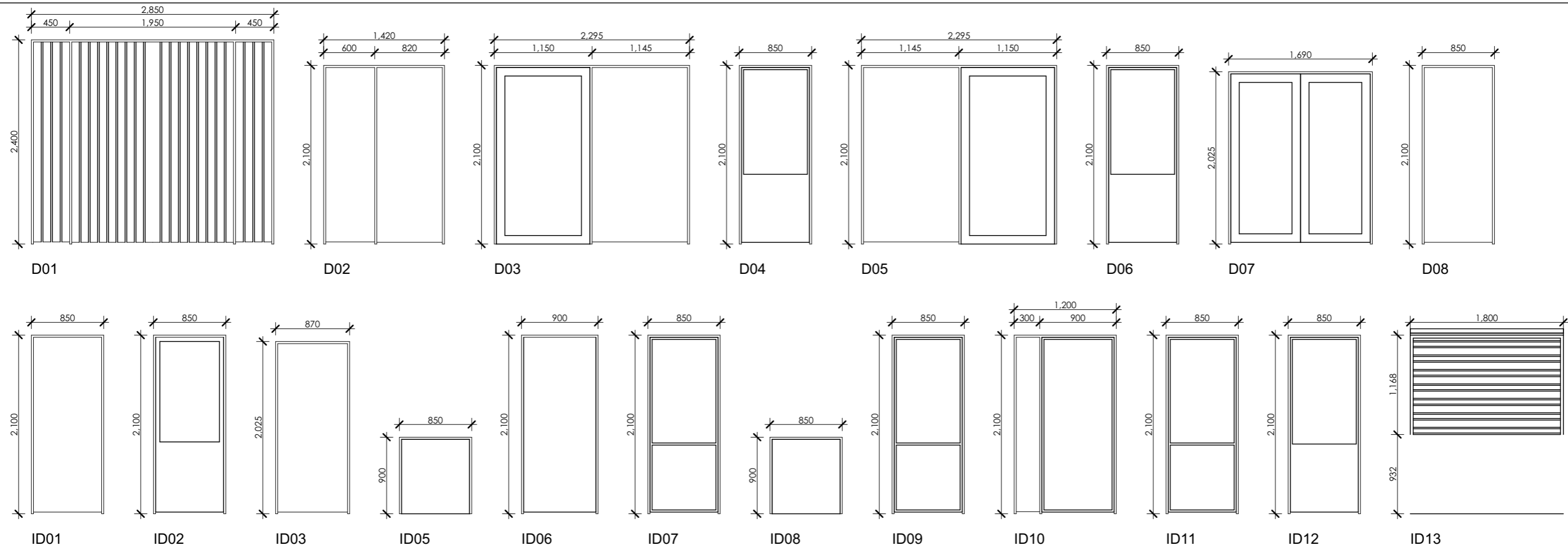
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Stage				
Development Application				
Drawing Title		DETAILS ACCESS WC - SHEET 02		
Drawing No.		200201A13		
Date	Drawn by	Sheet size	Project No.	Issue
01/04/20		A3	200201	C

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DOORS - note nominal opening only, ensure clear widths maintained for accessibility				
No.	Width	Height	Notes	Renovation Status
D01	2,850	2,400	Metal Security Gate, Min. clear opening 2 x 850mm	New
D02	1,500	2,100	New door/window min. clear opening 850mm	New
D03	2,295	2,100	min. clear opening 850mm	Existing
D04	850	2,100	min. clear opening 850mm	New
D05	2,295	2,100	min. clear opening 850mm	Existing
D06	850	2,100	min. clear opening 850mm	New
D07	1,690	2,025	store door	Existing
D08	850	2,100	min. clear opening 850mm	New
ID01	850	2,100	min. clear opening 850mm	New
ID02	850	2,100	min. clear opening 850mm	New
ID03	870	2,025	kitchen cavity slider to be replaced	New
ID05	850	900	1/2 height 900mm solid core door	New

DOORS - note nominal opening only, ensure clear widths maintained for accessibility				
No.	Width	Height	Notes	Renovation Status
ID06	900	2,100	min. clear opening 850mm	New
ID07	850	2,100	min. clear opening 850mm	New
ID08	850	900	1/2 height 900mm solid core door	New
ID09	850	2,100	Existing	Existing
ID10	1,200	2,100	min. clear opening 850mm	New
ID11	850	2,100	min. clear opening 850mm	New
ID12	850	2,100	min. clear opening 850mm	New
ID13	1,800	1,168	kitchen roller door	New
ID14	850	2,100	min. clear opening 850mm	Existing
ID20	850	2,100	store door	Existing
ID21	799	2,025	office door	To Be Demolished
ID22	900	2,100	WC gate	To Be Demolished

NOTE - Dxx - refers to external doors, IDxx refers to internal doors  
 NOTE - All door dimensions nominal, ensure structural openings modified to allow 850mm clear opening width per DDA requirements, and AS1428.1. All new door hardware as selected.  
 NOTE - Glazing strips to all fully glazed doors to AS1428.1  
 NOTE - ID05, ID08 new lever passage handle set, D04, D06 external keyed, internal snib lever handle

**NEW DOOR SCHEDULE**  
1:50

Issue	Date	Amendments
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 Penrith City Council  
 601 High Street Penrith NSW

Address  
 Jamisontown Childcare Centre  
 70 Glenbrook St, Jamisontown  
 NSW 2750

Stage  
**Development Application**

Drawing Title  
**DOOR SCHEDULE**

Drawing No.  
**200201A14**

Date  
**01/04/20**

Drawn by

Sheet size  
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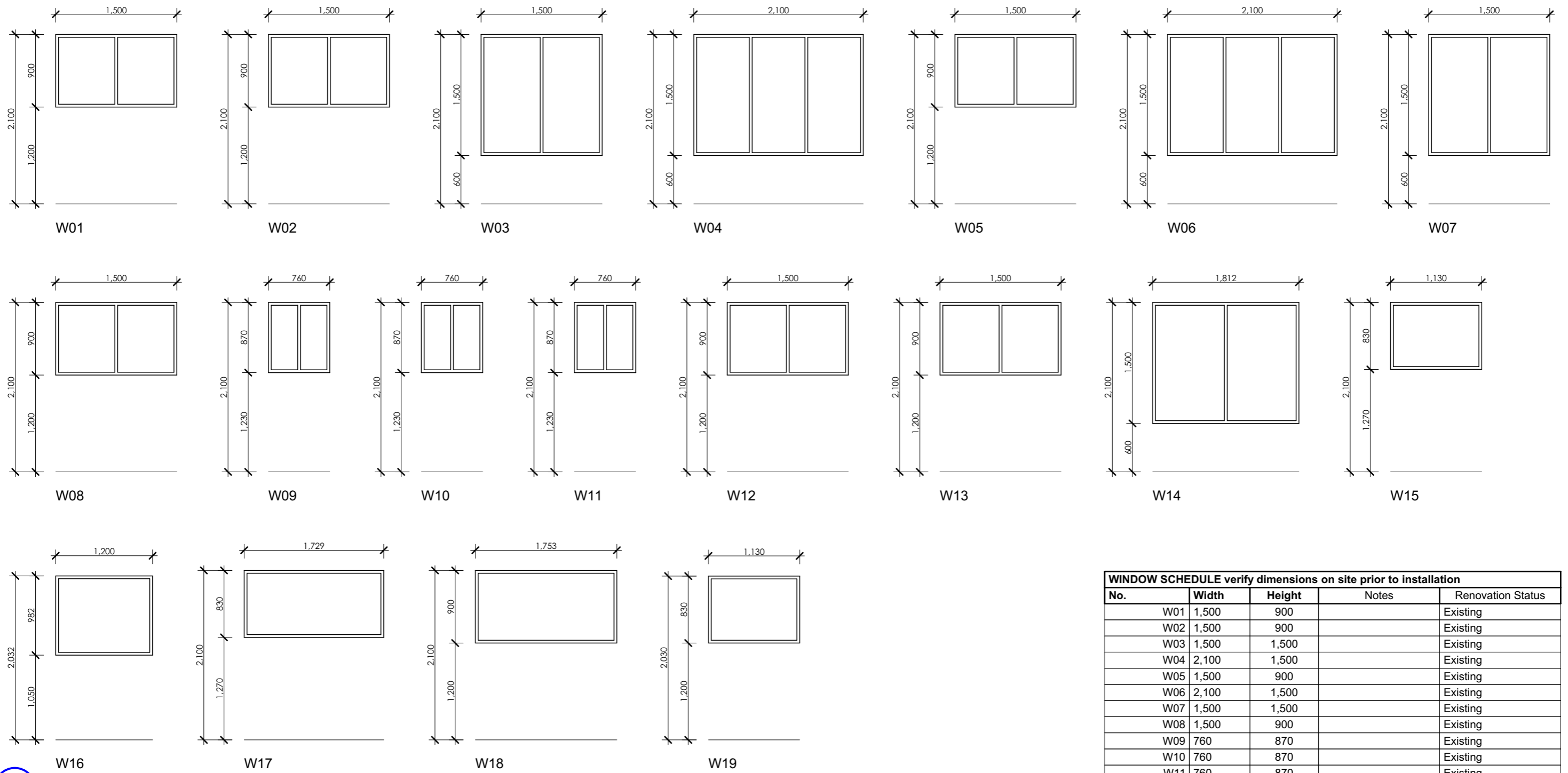
Project No.  
**200201**

Issue  
**C**

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W16  
WINDOW SCHEDULE  
1:50

WINDOW SCHEDULE verify dimensions on site prior to installation				
No.	Width	Height	Notes	Renovation Status
W01	1,500	900		Existing
W02	1,500	900		Existing
W03	1,500	1,500		Existing
W04	2,100	1,500		Existing
W05	1,500	900		Existing
W06	2,100	1,500		Existing
W07	1,500	1,500		Existing
W08	1,500	900		Existing
W09	760	870		Existing
W10	760	870		Existing
W11	760	870		Existing
W12	1,500	900		Existing
W13	1,500	900		Existing
W14	1,812	1,500		Existing
W15	1,130	830		Existing
W16	1,200	982		New
W17	1,729	830		Existing
W18	1,753	900		Existing
W19	1,130	830		Existing
W20	900	900		To Be Demolished
W21	1,220	856		To Be Demolished
W22	1,753	900		To Be Demolished

NOTE - All window dimensions nominal (cos)

<table border="1"> <thead> <tr> <th>Issue</th> <th>Date</th> <th>Amendments</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>17/09/18</td> <td>Sketch design</td> </tr> <tr> <td>B</td> <td>13/02/20</td> <td>Construction Documentation - For Comment</td> </tr> <tr> <td>C</td> <td>17/04/20</td> <td>Development application</td> </tr> </tbody> </table>	Issue	Date	Amendments	A	17/09/18	Sketch design	B	13/02/20	Construction Documentation - For Comment	C	17/04/20	Development application	<p>Scale 1:100</p>	<p><b>NOTES</b></p> <p>Structural engineering as required for all new structural works, including paths, slabs, new walls, roof, columns, beams. Refer to Access report for accessibility requirements. Refer to Specifications.</p> <p>NOTE - tempering valves to all hot water provisions. Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.</p>	<p><b>PENRITH CITY COUNCIL</b></p> <p>Client Penrith City Council 601 High Street Penrith NSW</p>	<p>Address Jamisontown Childcare Centre 70 Glenbrook St, Jamisontown NSW 2750</p>	<p>Stage Development Application</p> <p>Drawing Title WINDOW SCHEDULE</p> <p>Drawing No. 200201A15</p> <p>Date 01/04/20</p> <p>Drawn by A3</p> <p>Sheet size A3</p> <p>Project No. 200201</p> <p>Issue C</p>	<p>PO Box 32 Kurrajong NSW 2758 p 02 4573 1320 e barbara@btarchitects.com.au www.btarchitects.com.au</p> <p><b>Barbara Tarnawski Architects Pty Ltd</b></p> <p>CHECK ALL DIMENSIONS ON SITE. REFER ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORKS</p>
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**SPACE IDENTIFICATION**

EACH DEDICATED SPACE SHALL BE IDENTIFIED BY MEANS OF A WHITE SYMBOL OF ACCESS IN ACCORDANCE WITH AS 1428.1 BETWEEN 800 MM AND 1000 MM HIGH PLACED ON A BLUE RECTANGLE WITH NO SIDE MORE THAN 1200 MM, PLACED AS A PAVEMENT MARKING IN THE CENTRE OF THE SPACE BETWEEN 500 MM AND 600 MM FROM ITS ENTRY POINT AS ILLUSTRATED

**SPACE DELINEATION**

PAVEMENT MARKINGS SPECIFIED IN ITEMS (A) AND (B) OF THIS CLAUSE SHALL BE YELLOW AND SHALL HAVE A SLIP RESISTANT SURFACE. RAISED PAVEMENT MARKERS SHALL NOT BE USED FOR SPACE DELINEATION.

PAVEMENT MARKINGS SHALL BE PROVIDED AS FOLLOWS:

**1. LINEMARKING**

1.1. DEDICATED PARKING SPACES SHALL BE OUTLINED WITH UNBROKEN LINES 80 TO 100 MM WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL.

**2. SHARED AREAS SHALL BE MARKED AS FOLLOWS:**

2.1. WALKWAYS WITHIN OR PARTLY WITHIN A SHARED AREA SHALL BE MARKED WITH UNBROKEN LONGITUDINAL LINES ON BOTH SIDES OF THE WALKWAY EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL.

2.2. OTHER VACANT NON-TRAFFICKED AREAS, WHICH MAY BE INTENTIONALLY OR UNINTENTIONALLY OBSTRUCTED (E.G. BY UNINTENDED PARKING), SHALL BE OUTLINED WITH UNBROKEN LINES 80 TO 100 MM WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL, AND MARKED WITH DIAGONAL STRIPES 150 TO 200 MM WIDE WITH SPACES 200 MM TO 300 MM BETWEEN STRIPES. THE STRIPES SHALL BE AT AN ANGLE OF 45 ±10 DEGREES TO THE SIDE OF THE SPACE.

2.3. NO SHARED AREA MARKINGS SHALL BE PLACED IN TRAFFICKED AREAS.

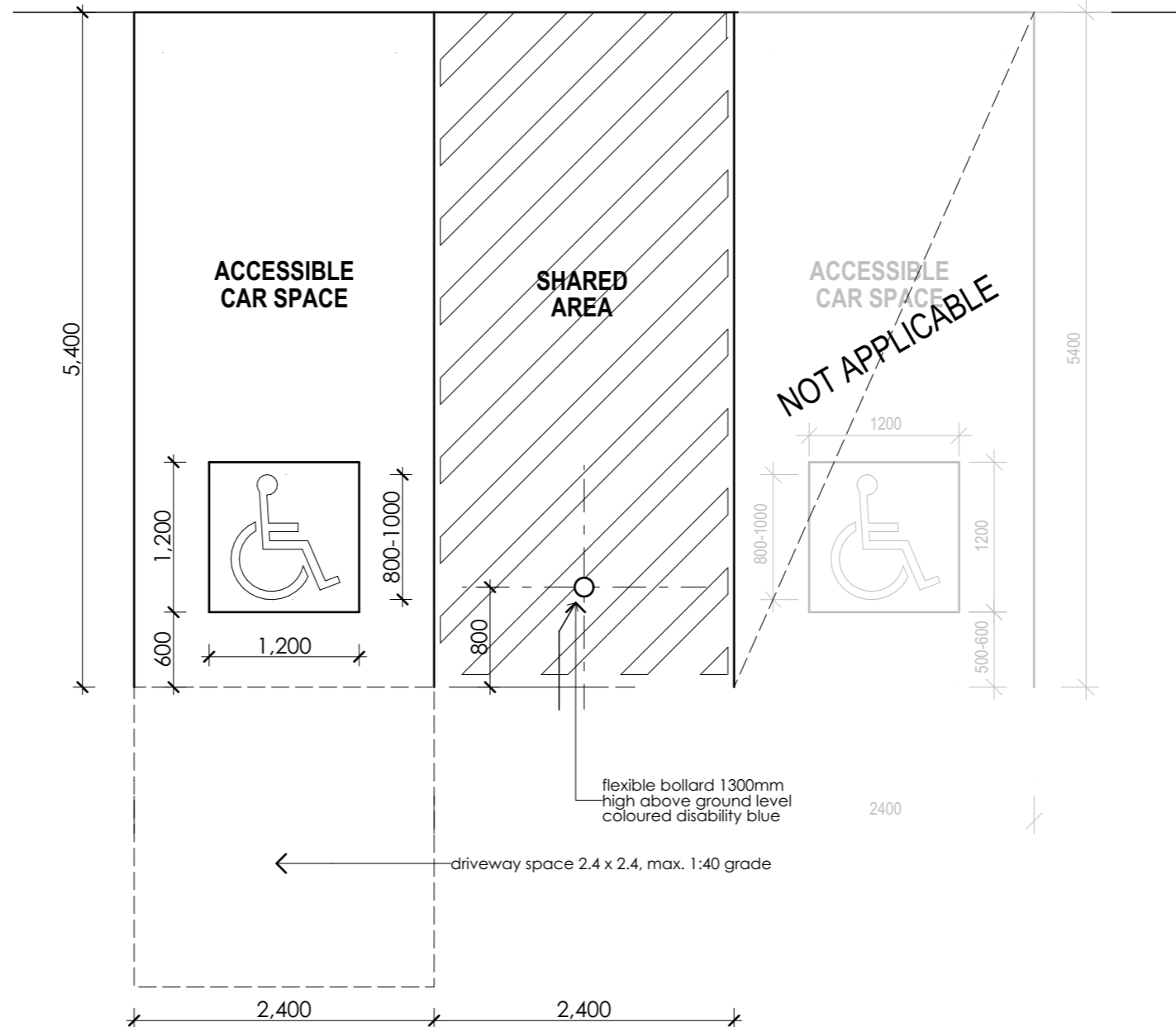
2.4. ALL LINEMARKING MUST BE NON SLIP

**3. BOLLARDS:**

3.1. MINIMUM HEIGHT 1300MM

3.2. RECOMMENDED COLOUR BLUE TO CONTRAST AGAINST YELLOW LINE MARKING

3.3. RECOMMEND FLEXIBLE BOLLARDS TO REDUCE MOTOR VEHICLE DAMAGE



**DOUBLE ACCESSIBLE CAR PARKING SPACES  
IN ACCORDANCE WITH AS2890.6**

Accessible Parking Detail  
1:50

Issue	Date	Amendments
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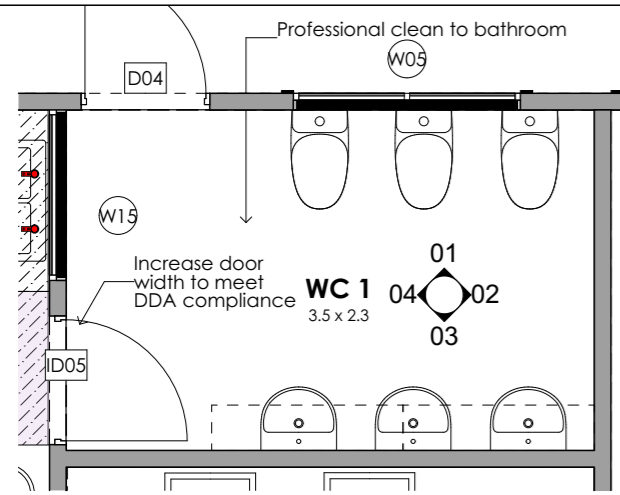
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**Jamisontown Childcare Centre**  
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NSW 2750

Stage				
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Drawing Title <b>ACCESSIBLE PARKING DETAIL</b>				
Drawing No. <b>200201A16</b>				
Date <b>01/04/20</b>	Drawn by	Sheet size <b>A3</b>	Project No. <b>200201</b>	Issue <b>C</b>

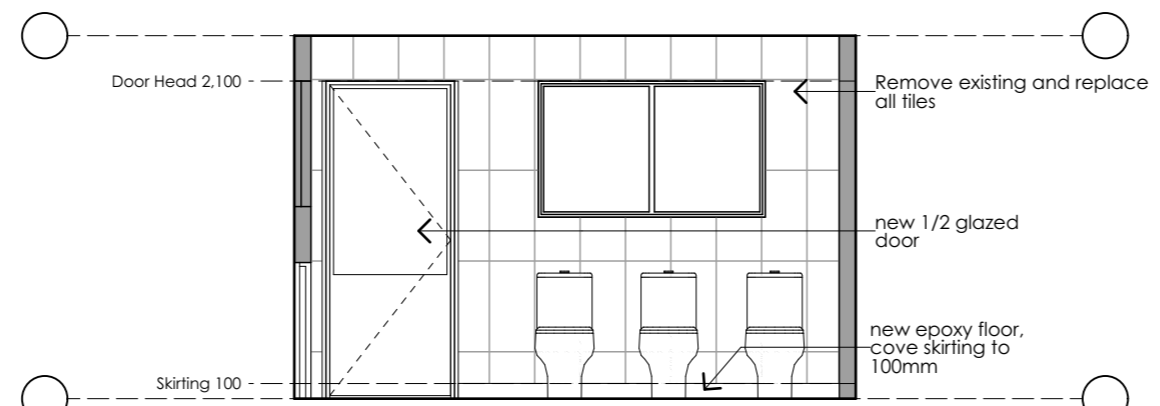
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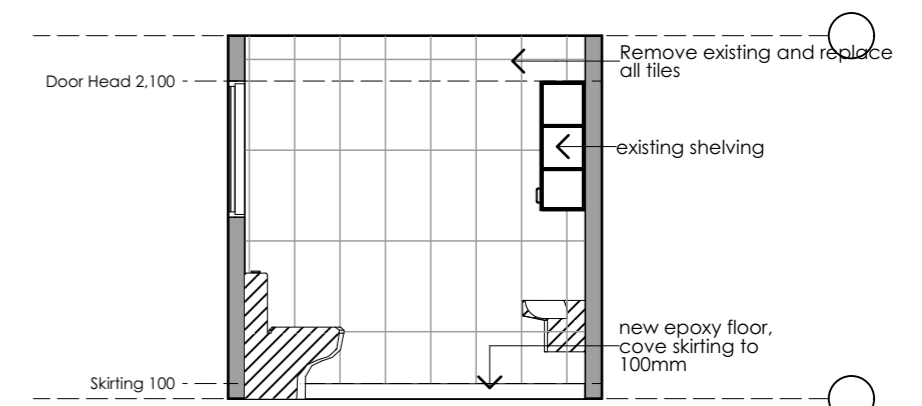




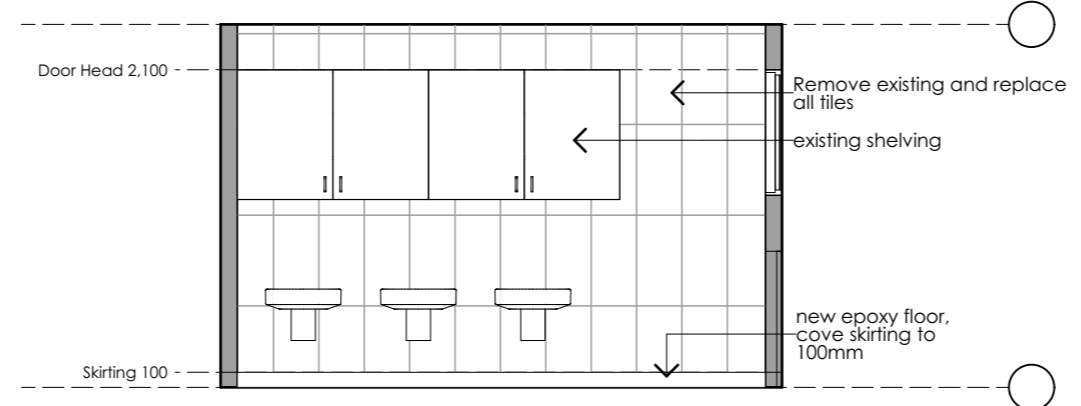
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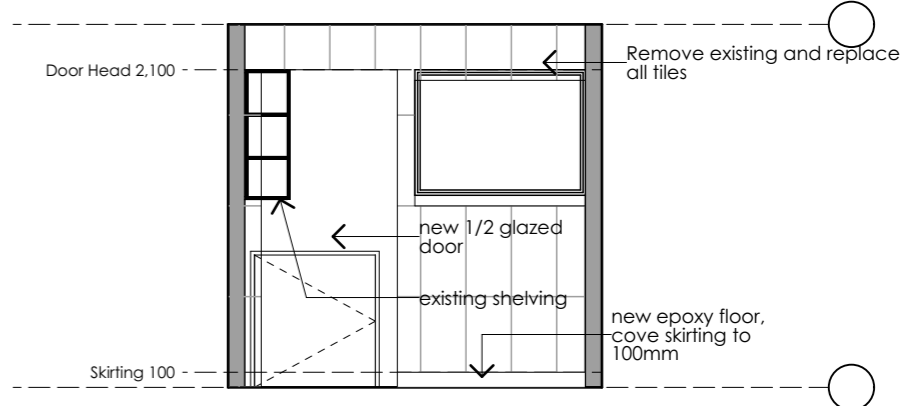
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1:50



WC1 3-5's 02  
1:50



WC1 3-5's 03  
1:50



WC1 3-5's 04  
1:50

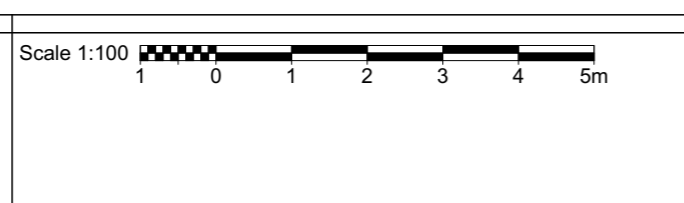
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- GR Grab Rail
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- PF Paint finish
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- TP Toilet partition
- TPH toilet paper holder
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- SD Soap dispenser
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- SP Shower partition
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**D03** ← Door Number  
**1B** ← Door Type

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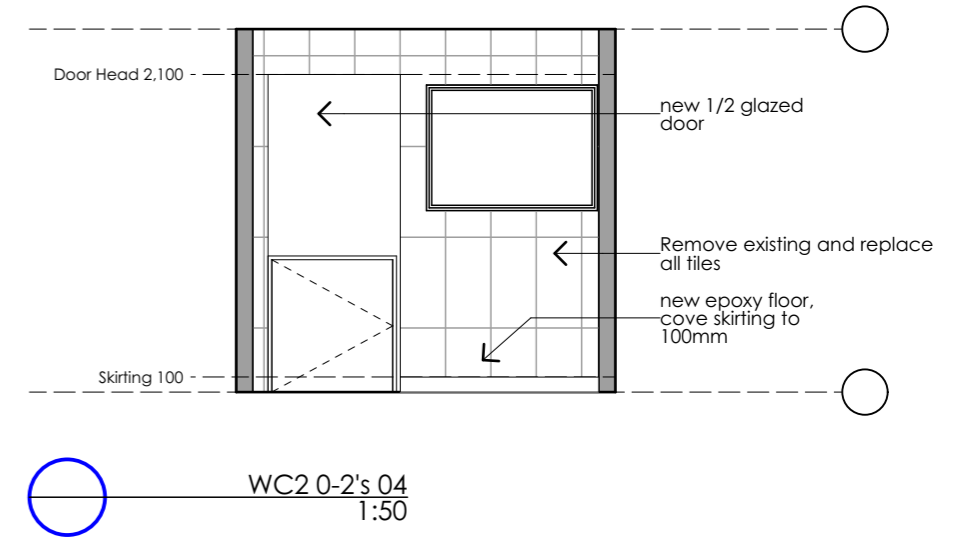
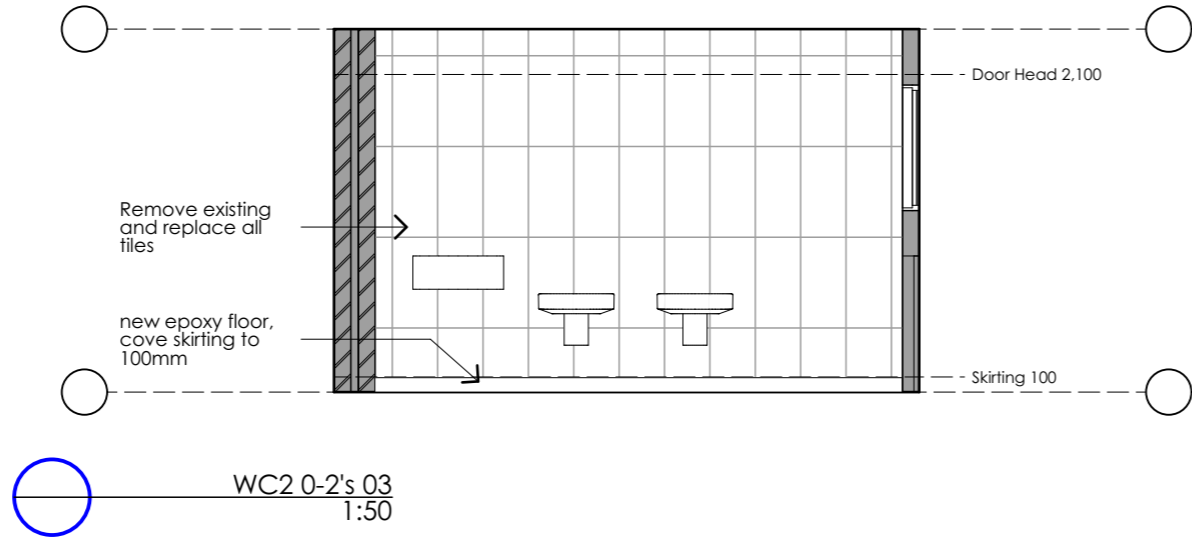
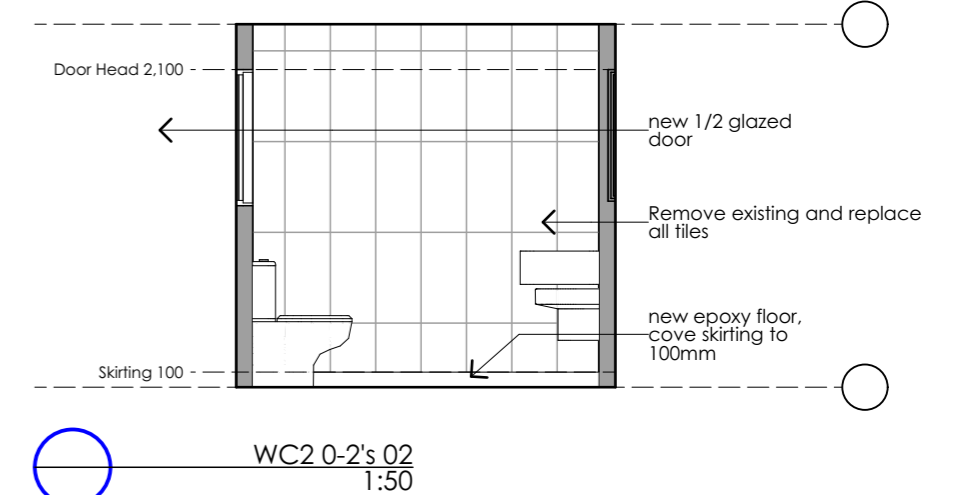
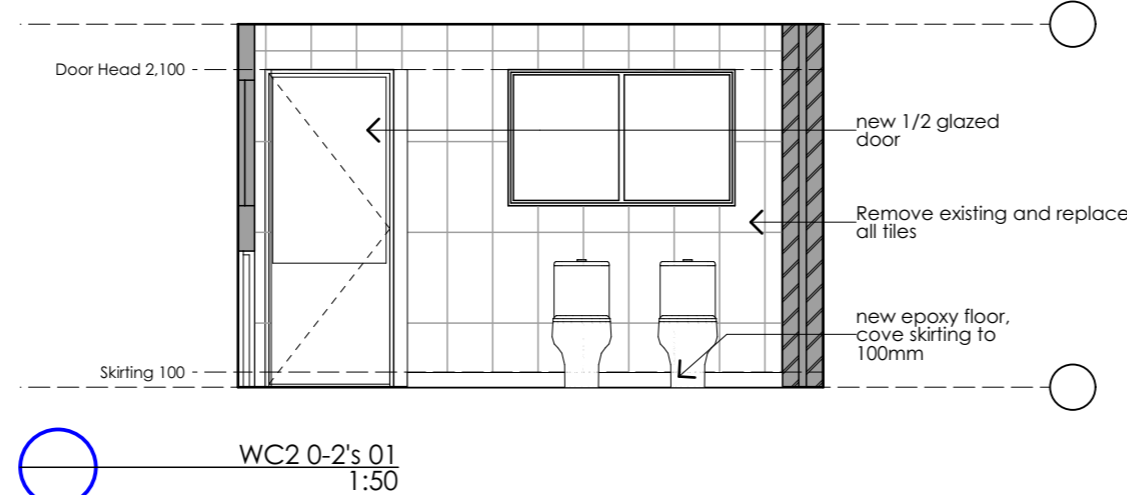
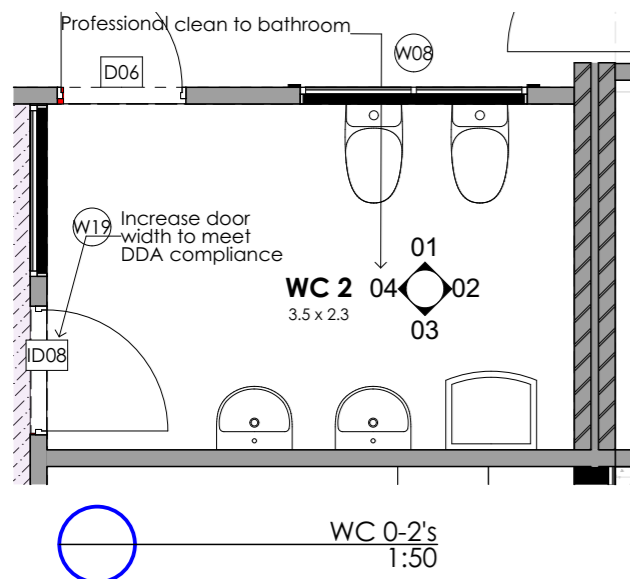
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**Jamisontown Childcare Centre**  
70 Glenbrook St, Jamisontown  
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Drawing No. <b>200201A18</b>				
Date <b>01/04/20</b>	Drawn by	Sheet size <b>A3</b>	Project No. <b>200201</b>	Issue <b>C</b>

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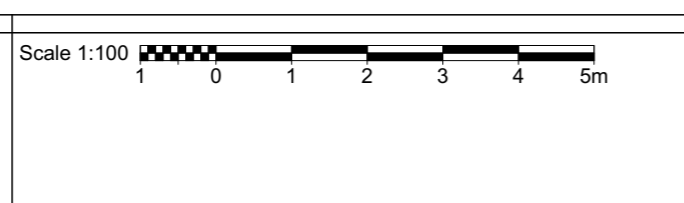
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- SP Shower partition
- TMV Thermostatic mixing valve
- WT Wall tiles
- U Urinal
- WC Toilet pan
- WCA Toilet pan - Ambulant

D03 ← Door Number  
IB ← Door Type

Issue	Date	Amendments
A	17/09/18	Sketch design
B	13/02/20	Construction Documentation - For Comment
C	17/04/20	Development application



**NOTES**

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601 High Street Penrith NSW

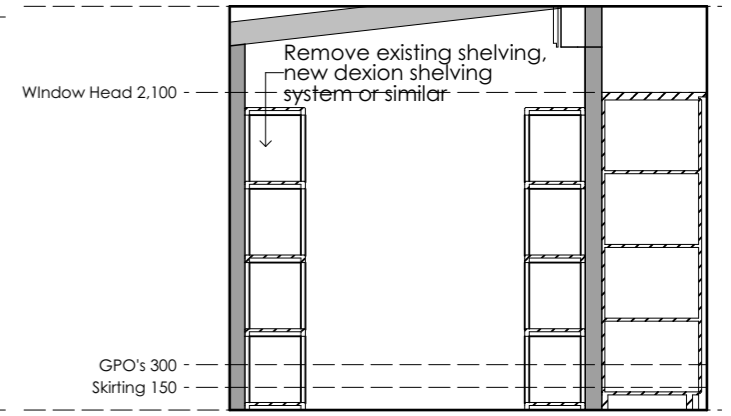
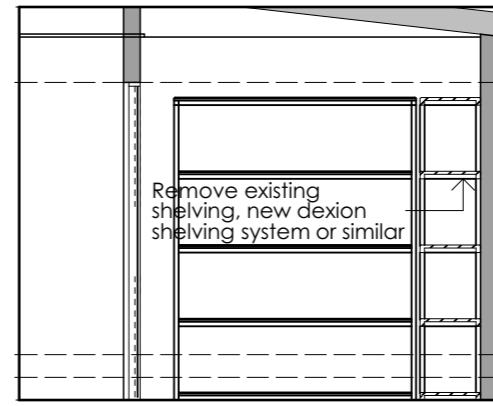
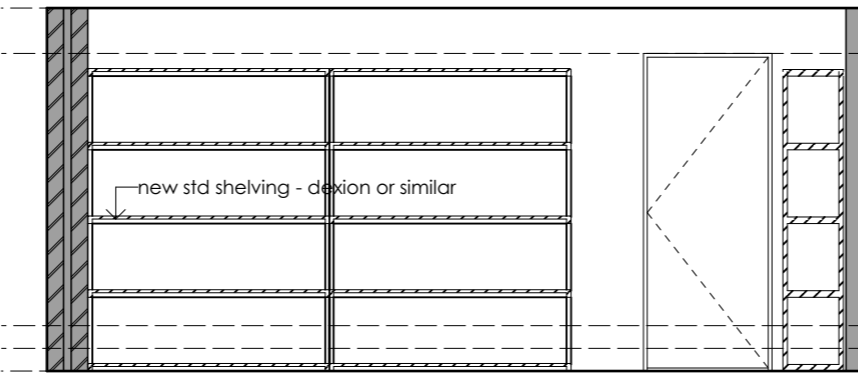
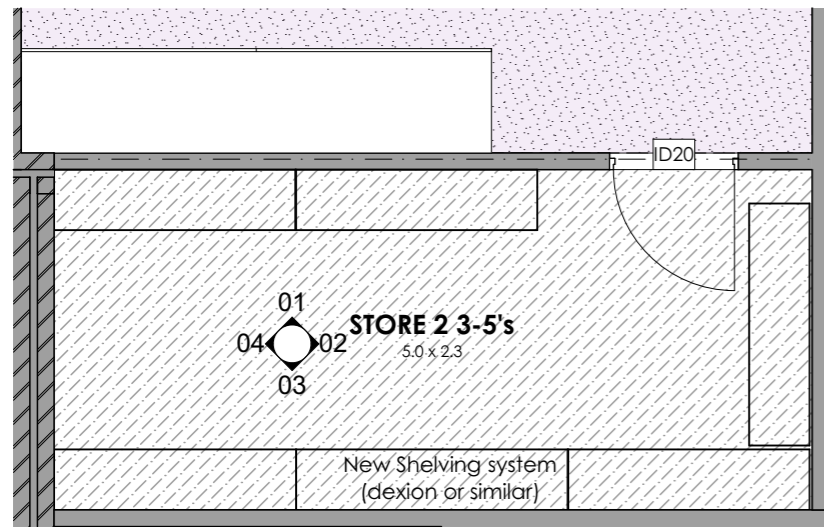
Address  
Jamisontown Childcare Centre  
70 Glenbrook St, Jamisontown  
NSW 2750

Stage				
Development Application				
Drawing Title DETAILS WC2 - SHEET 04				
Drawing No. 200201A19				
Date 01/04/20	Drawn by	Sheet size A3	Project No. 200201	Issue C

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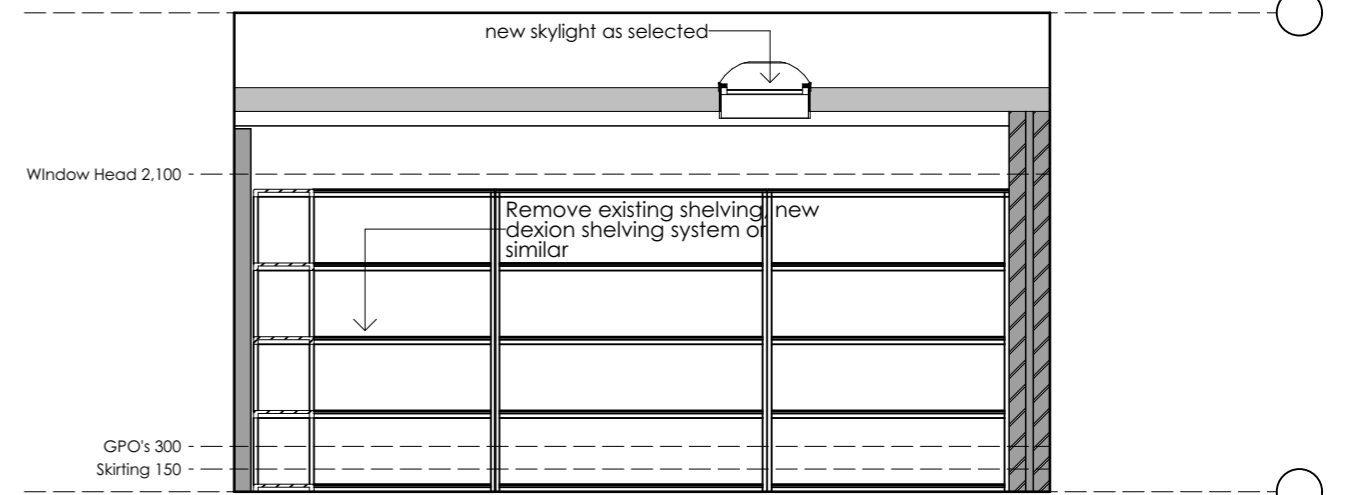
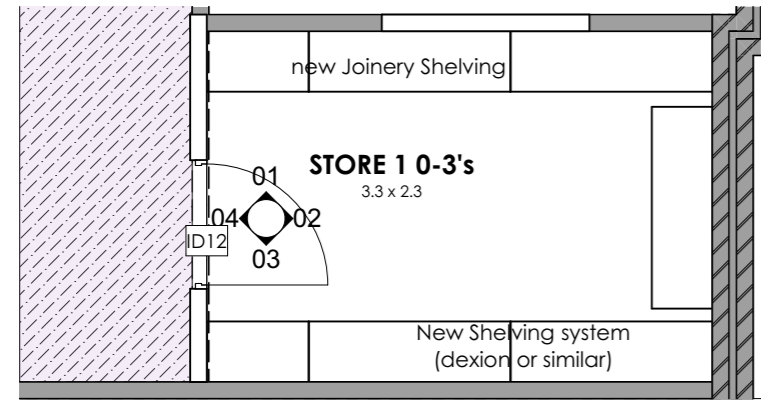


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01 store 3-5's  
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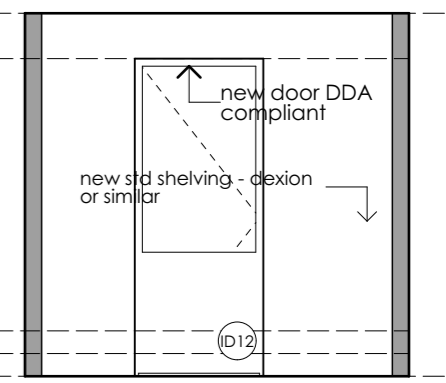
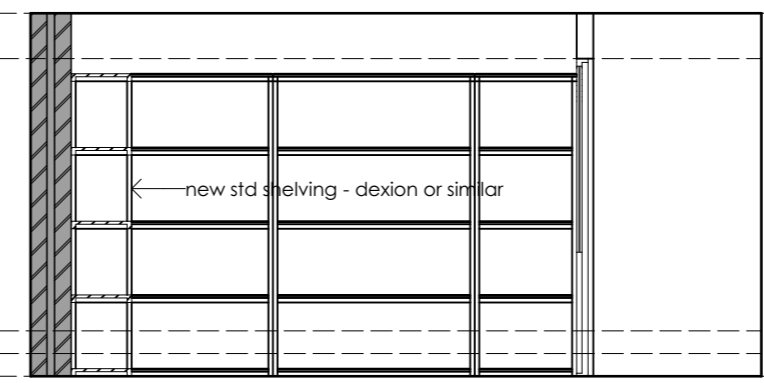
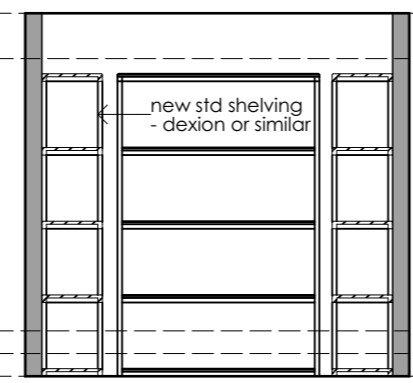
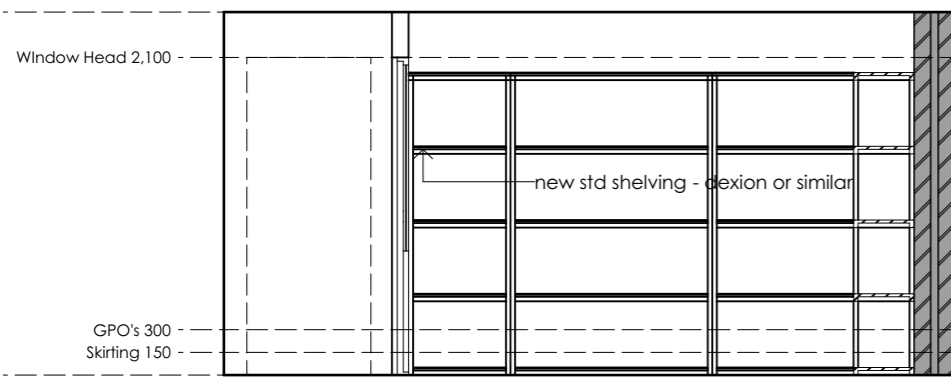
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04 Store 3-5's  
1:50



Store 0-2's  
1:50

03 Store 3-5's  
1:50



01 Store 0-2's  
1:50

02 Store 0-2's  
1:50

03 Store 0-2's  
1:50

04 Store 0-2's  
1:50

Issue	Date	Amendments
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
Address  
Jamisontown Childcare Centre  
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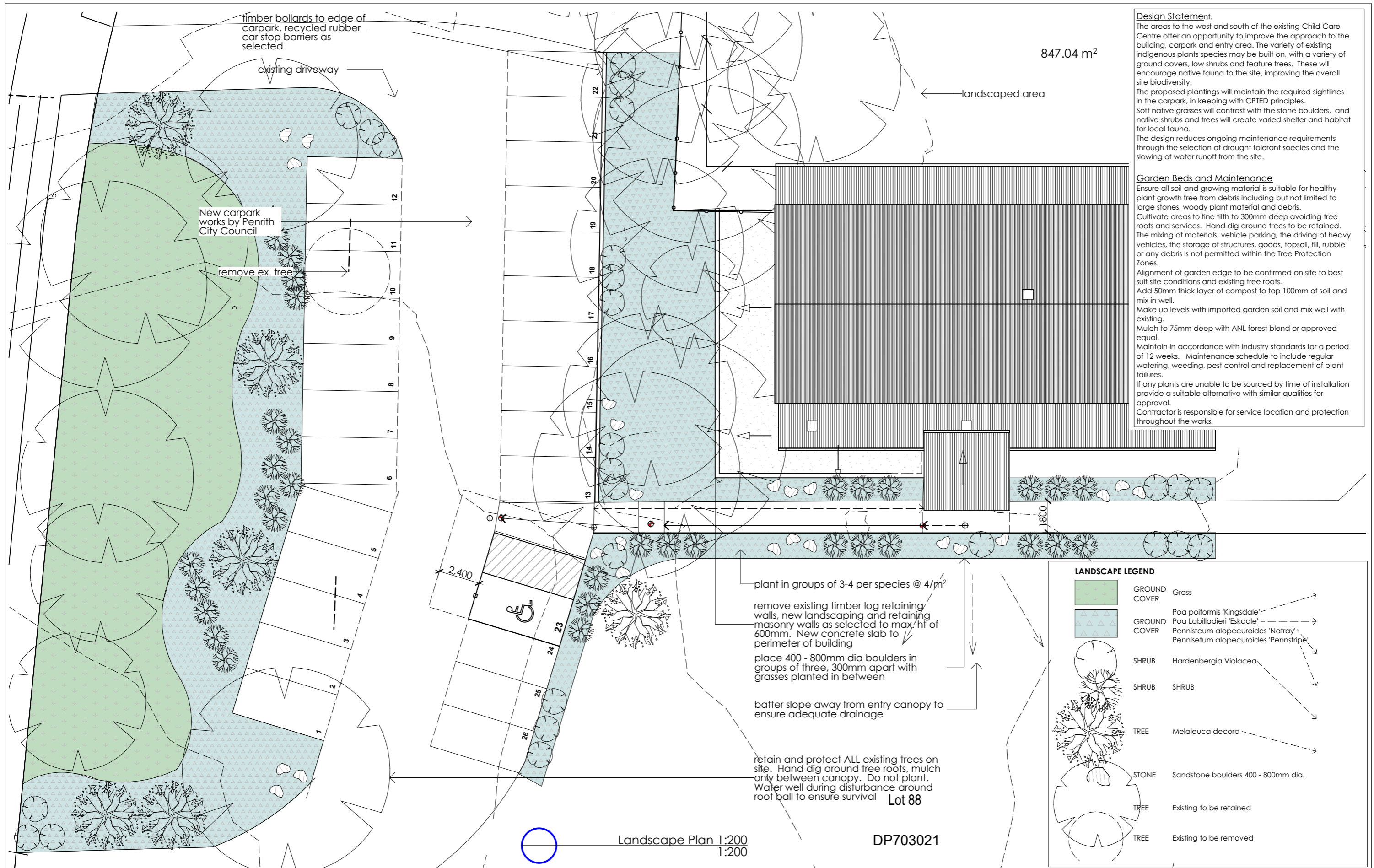
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Drawing Title  
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Drawing No.  
**200201A20**  
Date  
**01/04/20**  
Drawn by  
**A3**  
Sheet size  
**200201**  
Project No.  
**C**  
Issue

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SURVEY - NOT TO SCALE

<p>Issue</p> <p>A</p> <p>B</p> <p>C</p>	<p>Date</p> <p>17/09/18</p> <p>13/02/20</p> <p>17/04/20</p>	<p>Amendments</p> <p>Sketch design</p> <p>Construction Documentation - For Comment</p> <p>Development application</p>		<p>Scale 1:100</p> 	<p><b>NOTES</b></p> <p>Structural engineering as required for all new structural works, including paths, slabs, new walls, roof, columns, beams. Refer to Access report for accessibility requirements. Refer to Specifications.</p> <p>NOTE - tempering valves to all hot water provisions. Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.</p>	<p><b>PENRITH CITY COUNCIL</b></p> <p>Client</p> <p><b>Penrith City Council</b> 601 High Street Penrith NSW</p>	<p>Address</p> <p><b>Jamisontown Childcare Centre</b> 70 Glenbrook St, Jamisontown NSW 2750</p>	<p>Stage</p> <p><b>Development Application</b></p> <p>Drawing Title</p> <p><b>SURVEY EXISTING</b></p> <p>Drawing No.</p> <p><b>200201A23</b></p> <p>Date</p> <p><b>01/04/20</b></p> <p>Drawn by</p> <p>Sheet size</p> <p><b>A3</b></p> <p>Project No.</p> <p><b>200201</b></p> <p>Issue</p> <p><b>C</b></p>	<p>PO Box 32 Kurrajong NSW 2758 p 02 4573 1320 e barbara@btarchitects.com.au www.btarchitects.com.au</p>  <p><b>Barbara Tarnawski Architects Pty Ltd</b></p> <p>CHECK ALL DIMENSIONS ON SITE. REFER ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORKS</p>
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**Design Statement.**  
 The areas to the west and south of the existing Child Care Centre offer an opportunity to improve the approach to the building, carpark and entry area. The variety of existing indigenous plants species may be built on, with a variety of ground covers, low shrubs and feature trees. These will encourage native fauna to the site, improving the overall site biodiversity.  
 The proposed plantings will maintain the required sightlines in the carpark, in keeping with CPTED principles. Soft native grasses will contrast with the stone boulders, and native shrubs and trees will create varied shelter and habitat for local fauna.  
 The design reduces ongoing maintenance requirements through the selection of drought tolerant species and the slowing of water runoff from the site.

**Garden Beds and Maintenance**  
 Ensure all soil and growing material is suitable for healthy plant growth free from debris including but not limited to large stones, woody plant material and debris. Cultivate areas to fine till to 300mm deep avoiding tree roots and services. Hand dig around trees to be retained. The mixing of materials, vehicle parking, the driving of heavy vehicles, the storage of structures, goods, topsoil, fill, rubble or any debris is not permitted within the Tree Protection Zones.  
 Alignment of garden edge to be confirmed on site to best suit site conditions and existing tree roots. Add 50mm thick layer of compost to top 100mm of soil and mix in well. Make up levels with imported garden soil and mix well with existing. Mulch to 75mm deep with ANL forest blend or approved equal. Maintain in accordance with industry standards for a period of 12 weeks. Maintenance schedule to include regular watering, weeding, pest control and replacement of plant failures.  
 If any plants are unable to be sourced by time of installation provide a suitable alternative with similar qualities for approval. Contractor is responsible for service location and protection throughout the works.

847.04 m<sup>2</sup>

landscaped area

New carpark works by Penrith City Council

remove ex. tree

timber bollards to edge of carpark, recycled rubber car stop barriers as selected

existing driveway

plant in groups of 3-4 per species @ 4/m<sup>2</sup>

remove existing timber log retaining walls, new landscaping and retaining masonry walls as selected to max. ht of 600mm. New concrete slab to perimeter of building

place 400 - 800mm dia boulders in groups of three, 300mm apart with grasses planted in between

batter slope away from entry canopy to ensure adequate drainage

retain and protect ALL existing trees on site. Hand dig around tree roots, mulch only between canopy. Do not plant. Water well during disturbance around root ball to ensure survival

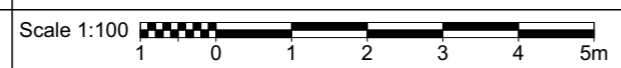
Lot 88

DP703021

Landscape Plan 1:200  
1:200

LANDSCAPE LEGEND	
	GROUND COVER Grass
	GROUND COVER Poa poiformis 'Kingsdale' Poa Labillardieri 'Eskdale' Pennisetum alopecuroides 'Nafra' Pennisetum alopecuroides 'Penstripe'
	SHRUB Hardenbergia Violacea
	SHRUB SHRUB
	TREE Melaleuca decora
	STONE Sandstone boulders 400 - 800mm dia.
	TREE Existing to be retained
	TREE Existing to be removed

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 NSW 2750

Stage  
**Development Application**  
 Drawing Title  
**LANDSCAPE CONCEPT PLAN**  
 Drawing No.  
**200201A24**  
 Date  
**01/04/20** Drawn by Sheet size Project No. Issue  
**A3 200201 C**

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