

24th September 2014

Attention: Kimberly Koo
Ground Floor, Unit 3, Norwest Quay
21 Solent Cct
BAULKHAM HILLS, NSW 2153

Dear Kimberly,

The design plans for your new home you are building for Mr Zhang at Lot 2257 Tengala Street, Jordan Springs, Jordan Springs are now stamped and ready for submission to Penrith City Council or your Certifier on the following conditions:

- The minimum setback of 3.5m from the front setback to the front of the deepest piers is to be achieved. Amend architectural plans accordingly.
- An additional material is required to be provided to the articulated element of the secondary boundary as shown on the marked up plans, in accordance with the Building and Siting Guidelines. Alternative additional material solutions will be considered and must be sent for Lend Lease approval if they differ from the solution shown.
- Additional glazing is required to the secondary frontage of Bedroom 4 and the study by way of highlight windows which are significant in length and depth in accordance with the ratios indicated on the marked up approved plans.
- The secondary fencing for this lot is not permitted to be Lysaght. The correct secondary frontage fencing is to be specified on the landscape plan in accordance with the Building and Siting Guidelines and Landscape Checklist for Jordan Springs and a detail and description of the required fencing must be provided.
- All private open space must usually have a minimum width and length of 3m. In this case a width of 2.5m has been noted for a section of the private open space. Approval has been given to this reduced minimum based on merit due to the tapered nature of the lot. However private open space is still subject to Council or Private Certifier approval.
- The internal fencing must be noted as 'Riversand' in colour in accordance with the landscape requirements for this village, in lieu of the Grey Ridge colour currently specified.
- The garage door is to be shown on the plans.
- The following notes are to be added to the site and landscape plan where not already present:
 - Any garden and lawn edging visible from the street is to be constructed of masonry, textured or coloured bricks, blocks or coloured concrete – no timber edging is to be visible from the street.
 - Any retaining walls visible from the street or 900mm high and over are to be of masonry construction.
 - Vehicle crossover is to be plain concrete to Council specifications.

PLEASE ENSURE THAT A COPY OF THE AMENDED PLANS ARE FORWARDED TO LEND LEASE FOR OUR RECORDS PRIOR TO SUBMISSION OF THE PLANS TO COUNCIL OR PRIVATE CERTIFIER.

Please note: Jordan Springs is a Fibre Connected Community and arrangements for connections and related costs will be required where fibre is to be connected. Please visit <http://www.opticomm.net.au> for further information.

We look forward to the opportunity of welcoming Mr Zhang to the Jordan Spring community and to working with you when you choose to design again at Jordan Springs.

However, in the meantime, remember we are here to help with any questions or concerns you may have, so please don't hesitate to contact us.

Yours sincerely,



Rebecca Minney
Design Coordinator, Jordan Springs

CC: Mr Zhang
Unit 2, I Finney Street,
HURSTVILLE, NSW 2220

YourHome

External Colours

Client: Miss Yan Zhang
Job Number: 29909337
Site Address: Lot 2257 [37] Tengala Drive Jordon Springs NSW 2747
House Type: Fairmont 38
Date: 24.7.14

Roof BASIX Rating: Dark

Wall BASIX Rating: Medium

Main Body Brick: Metropolis
'Topaz' Austral
Mortar Joint Type: Ironed
Mortar Joint Colour: Off White



Render Colour: Coach
House NH 41



Roof Type/Style: Macquarie
Roof Colour: Dark Chocolate



Window Frame : Pottery
Satin



Fascia: Evening Haze
Gutter: Evening Haze
Downpipe: Jasper
Water tank: Jasper



Garage Door Type: Slimline
Garage Door Colour: Caoba
Dawn



Front Facade Cladding
Colour:



Front Door Stain: Clarendon
Medium Stain
Timber Post Stain:
Clarendon Medium Stain



Balustrade Type: Tube Ship
Railing
Balustrade Colour: Jasper



Driveway Type: By Client after
Handover

Driveway Colour: By Client
after Handover



Letterbox Type: By client
after handover

Letterbox Colour: By Client
after Handover



Notes:
Reviewed by LEND LEASE
COVENANT MANAGER

24 SEP 2014

Signed.....

*MSA 56
SINGLE
CAOZ BACK
NO BURNT
DISCOVER
TEGROTA
OR
CAONIA
BACKS*

ClarendonHomes - Colour Studio

Jane 29/07/2014

BASIX[®] Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 563872S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 29/06/2009 published by Planning & Infrastructure. This document is available at www.basix.nsw.gov.au

Director-General

Date of issue: Friday, 25 July 2014

To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	29909337	
Street address	37 TENGALA Drive JORDAN SPRINGS 2747	
Local Government Area	Penrith City Council	
Plan type and plan number	deposited 1168993	
Lot no.	2257	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	6	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 40	Target 40

Reviewed by LEND/LEASE
COVENANT MANAGER

21 SEP 2014

Signed

Certificate Prepared by

Name / Company Name: Home Design Services

ABN (if applicable): 219 598 782 11

IRON

Maximum 1000mm CUT

BUILDING PLATFORM TO BE MINIMISED ABOVE N.G.L. AND USE OF DROP EDGE BEAM IS IN PREFERENCE OF RETAINING WALLS

LOCALITY SKETCH

LOT 2257
D.P: 1168993
L.G.A 3 PENRITH

SITING HAS BEEN COMPLETED IN ACCORDANCE WITH DCP 2006 (ILLOURA)

PRIVATE OPEN SPACE

SITE AREA:	636.5 m ²
PRIVATE OPEN SPACE:	135.91 m ²
MIN. REQUIRED BY COUNCIL: 20%:	127.3 m ²
PRINCIPAL PRIVATE OPEN SPACE:	24 m ²

LANDSCAPE AREA

SITE AREA:	636.5 m ²
TOTAL HARDCORE AREAS:	303.64 m ²
REMAINING LANDSCAPE AREA:	332.86 m ²
LANDSCAPE AREA:	52.3 %
MINIMUM REQUIRED BY COUNCIL:	50 %

****B.A.S.****
(Building adjacent to sewer)
ORDER SEWER PEGOUT

Jordan Springs - Illoura Village Notes:

THESE NOTES MUST BE ADDED TO YOUR SITE AND LANDSCAPE PLANS:

- ANY GARDEN OR LAWN EDGING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OF MASONRY TEXTURED OR COLOURED BRICKS, BLOCKS OR COLOURED CONCRETE - NO TIMBER EDGING IS PERMITTED.
- ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900MM HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION.
- VEHICLE CROSSOVER IS TO BE PLAN CONCRETE TO COUNCIL SPECIFICATIONS. 5M WIDE V.C. FOR A DOUBLE GARAGE AND 3M WIDE V.C FOR A SINGLE GARAGE.
- ALL EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.

DROP EDGE BEAM
0.885H F.F.L TO N.G.L

APPROX. LOCATION OF BOARDS SEWER MAINS

GREENWOOD PARKWAY

PROVIDE CONCRETE LANDING BY CLARENDON

PROPOSED DRIVEWAY BY OWNER AFTER HANDOVER

APPROXIMATE POSITION OF SEWER MAIN. REFER TO SEWER DIAGRAM FOR DETAILS

ELECTRICAL PILLAR
NO. 117326

NOTE:

ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE:

DATE:

ClarendonHomes
BL No. 2296C
ABN 18 003 892 708
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

PRODUCT:
FAIRMONT 38
Diamond Gallery
R/H Garage
Sapphire Specification

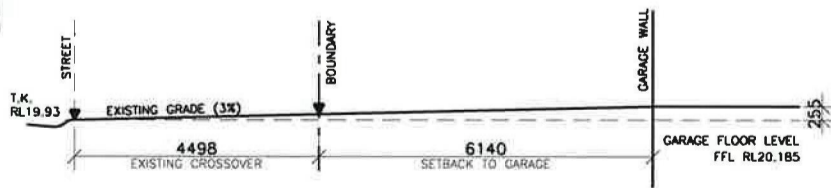
CLIENT:
MISS ZHANG
SITE ADDRESS:
LOT 2257
TENGALA STREET
JORDAN SPRINGS 2747

CONTRACT DRAWING

DRAWN: M.H.	DATE: 20.06.14	Rev: C
RATIO @ A3: 1:200	CHECKED: -	
SHEET: 2	JOB No: 29909337	NSW

DRIVEWAY GRADIENT PROFILE

NOT TO SCALE



Reviewed by LEND LEASE COVENANT MANAGER

- (B) : EASEMENT TO DRAIN WATER 2.0 WIDE
- (D) : EASEMENT TO DRAIN WATER 2.5 WIDE 2 & SEP
- (L) : RESTRICTION ON THE USE OF LAND

Signed.....

STORMWATER TO STREET VIA RAINWATER TANK

WIND CLASSIFICATION: " N2 "

SLAB CLASSIFICATION: " H1 "

SITE INDUCTION

Before entering site please review and make yourself familiar with Emergency Contacts. Site Specific Hazards and the Site Specific Induction information that is located on the Site Induction Sign. If you have any trouble understanding this instruction, contact the Site Supervisor or Emergency Contact Number located on the sign.

SITE SPECIFIC HAZARDS

- * FOOTPATH / PEDESTRIAN TRAFFIC
- * TRAFFIC CONTROL REQUIRED
- * DROP EDGE BEAM

(S) SMOKE ALARM

● AIR CONDITIONING DUCT

↑ FLOOR JOIST DIRECTION

DP ○ DOWN PIPE LOCATION

TAP X GARDEN TAP LOCATION

(L.O.F) LIFT OFF HINGES

SP ○ STEEL POST

TSP ○ TELESCOPIC STEEL POST

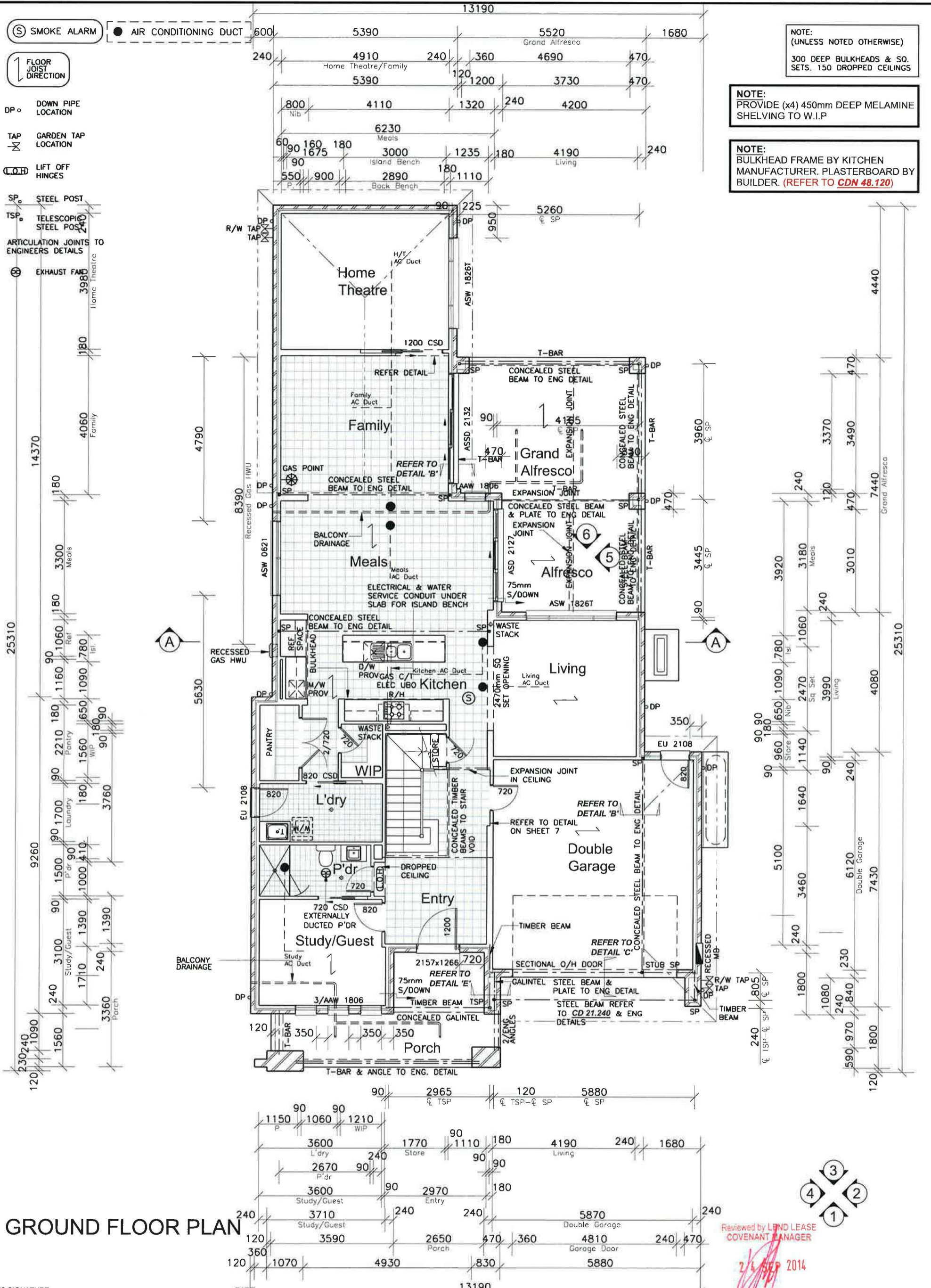
ARTICULATION JOINTS TO ENGINEERS DETAILS

⊗ EXHAUST FAN

NOTE: (UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS

NOTE: PROVIDE (x4) 450mm DEEP MELAMINE SHELVING TO W.I.P

NOTE: BULKHEAD FRAME BY KITCHEN MANUFACTURER. PLASTERBOARD BY BUILDER. (REFER TO **CDN 48.120**)



GROUND FLOOR PLAN

Reviewed by LEND LEASE COVENANT MANAGER

2/4 SEP 2014

CLIENT'S SIGNATURE:

DATE:

13190

ClarendonHomes

BL No 2296C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

PRODUCT:
FAIRMONT 38
Diamond Gallery
R/H Garage
Sapphire Specification

CLIENT:
MISS ZHANG
SITE ADDRESS:
LOT 2257
TENGALE STREET
JORDAN SPRINGS 2747

CONTRACT DRAWING		
DRAWN: M.H.	DATE: 20.06.14	Rev: C
RATIO @ A3: 1:100	CHECKED: -	
SHEET: 3	JOB No: 29909337	NSW

(S) SMOKE ALARM

DP ° DOWN PIPE LOCATION

● AIR CONDITIONING DUCT

(C.O.B) LIFT OFF HINGES

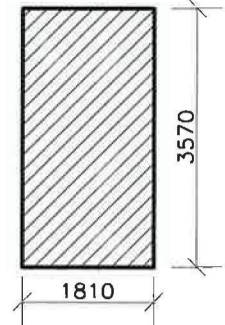
SP ° STEEL POST

TSP ° TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

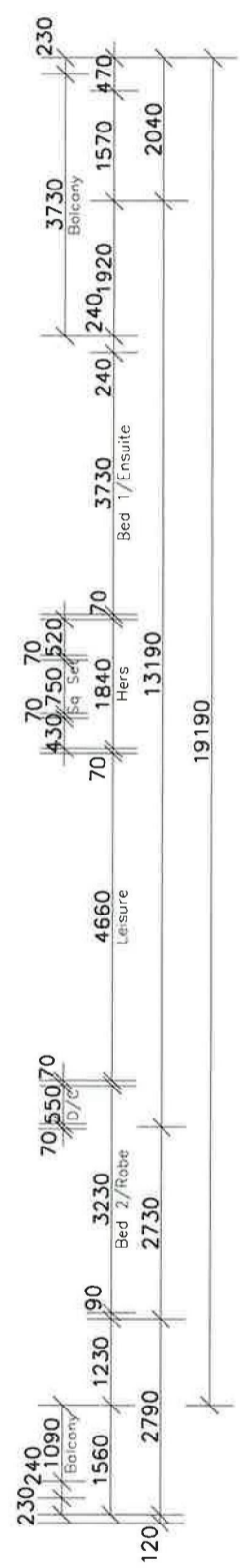
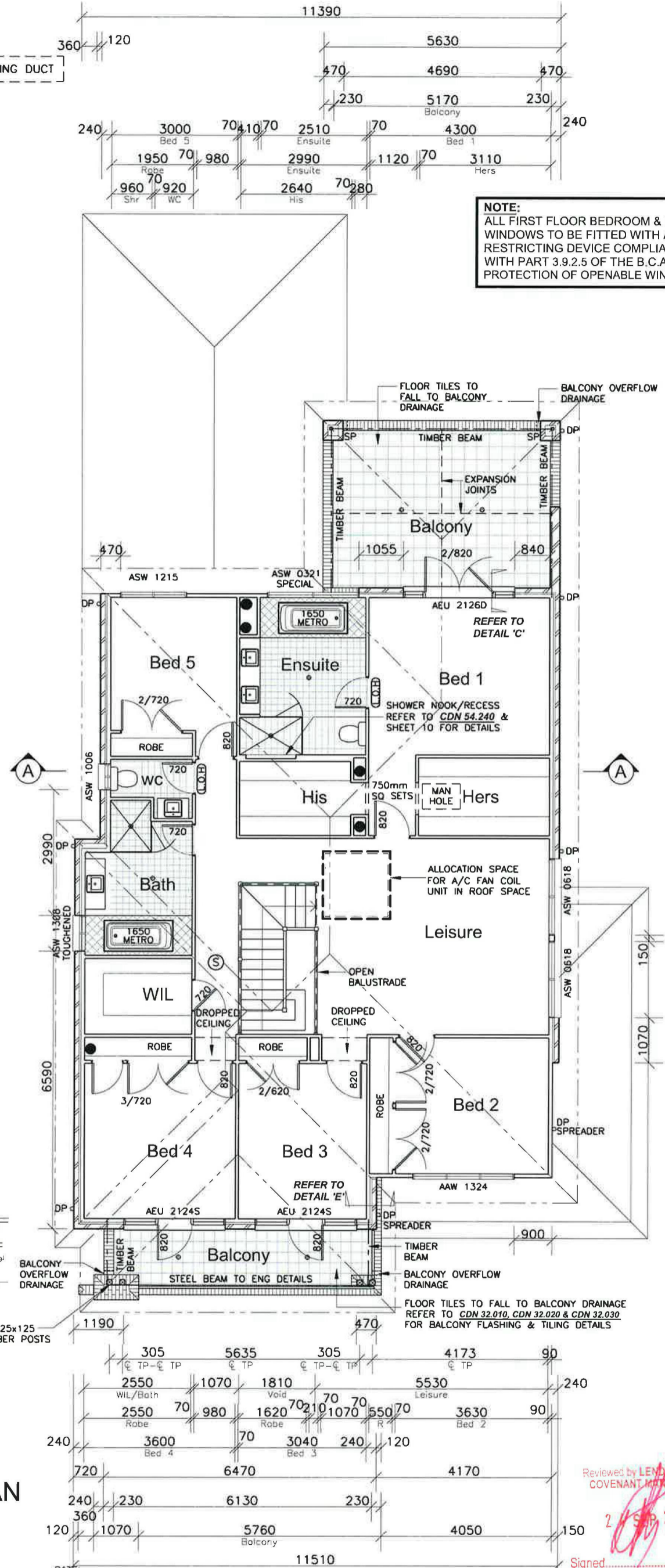
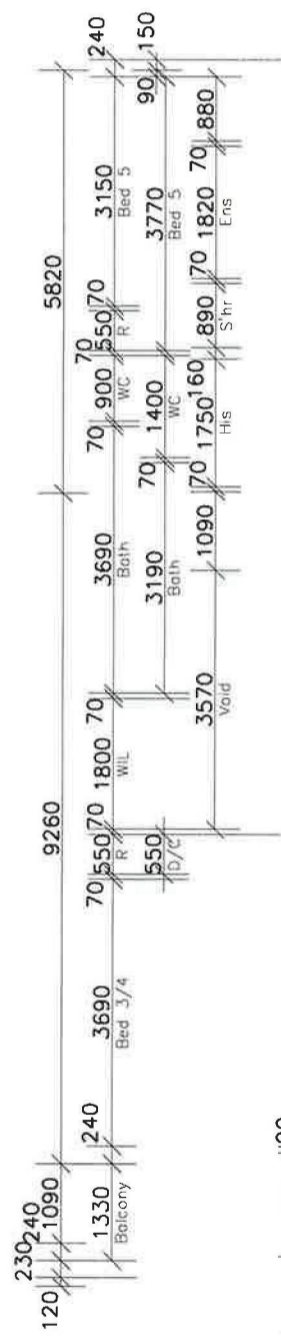
(E) EXHAUST FAN

NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS



STAIR CUTOUT
SCALE 1:100

NOTE:
ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 3.9.2.5 OF THE B.C.A - PROTECTION OF OPENABLE WINDOWS



FIRST FLOOR PLAN

Reviewed by LEM LEASE COVENANT MANAGER

2 SEP 2014

Signed.....

CLIENT'S SIGNATURE: _____

DATE: _____

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 ABN 18 003 692 706
 Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8851 5300

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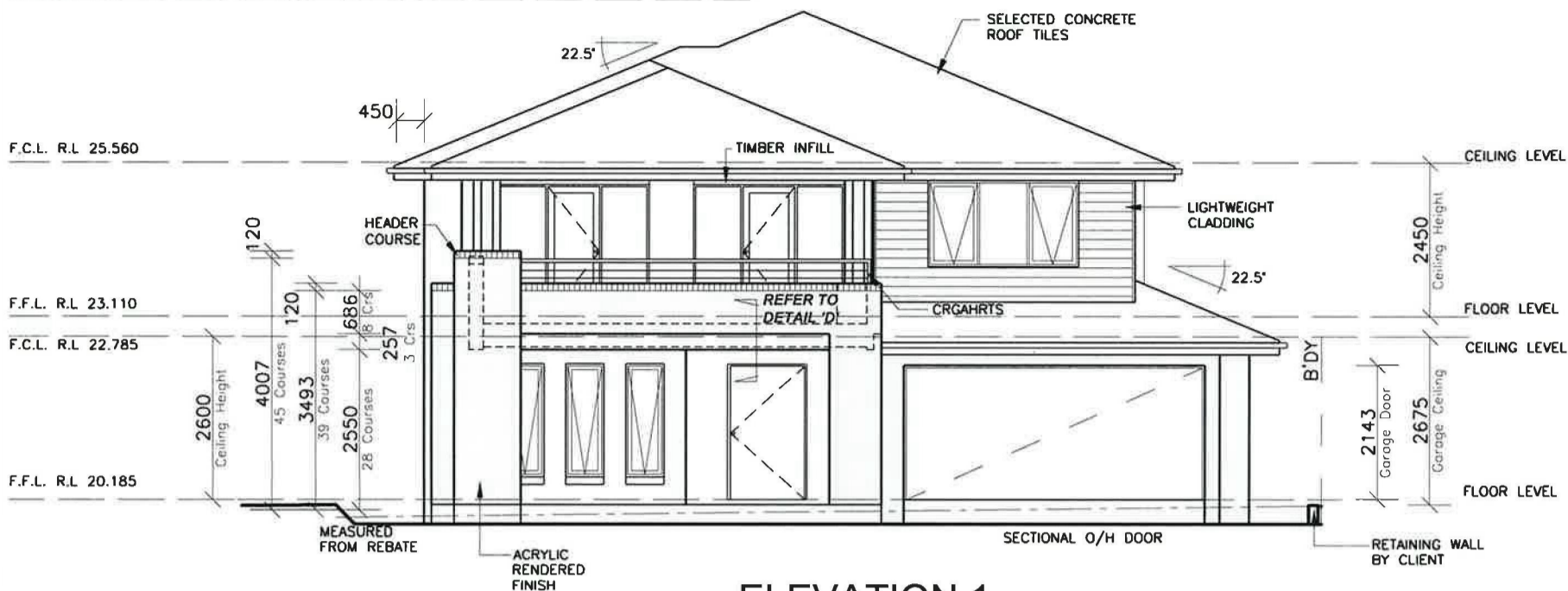
PRODUCT:
FAIRMONT 38
 Diamond Gallery
 R/H Garage
 Sapphire Specification

CLIENT:
 MISS ZHANG
 SITE ADDRESS:
 LOT 2257
 TENGALA STREET
 JORDAN SPRINGS 2747

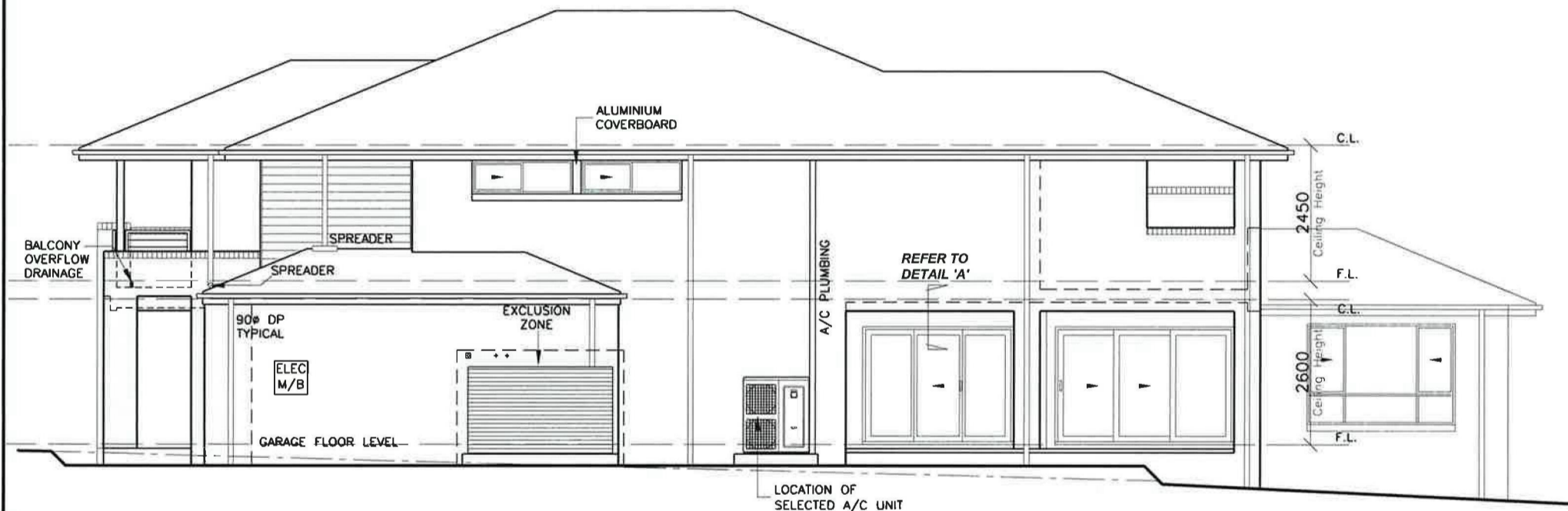
CONTRACT DRAWING		
DRAWN: M.H.	DATE: 20.06.14	Rev: C
RATIO @ A3: 1:100	CHECKED: -	
SHEET: 4	JOB No: 29909337	NSW

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

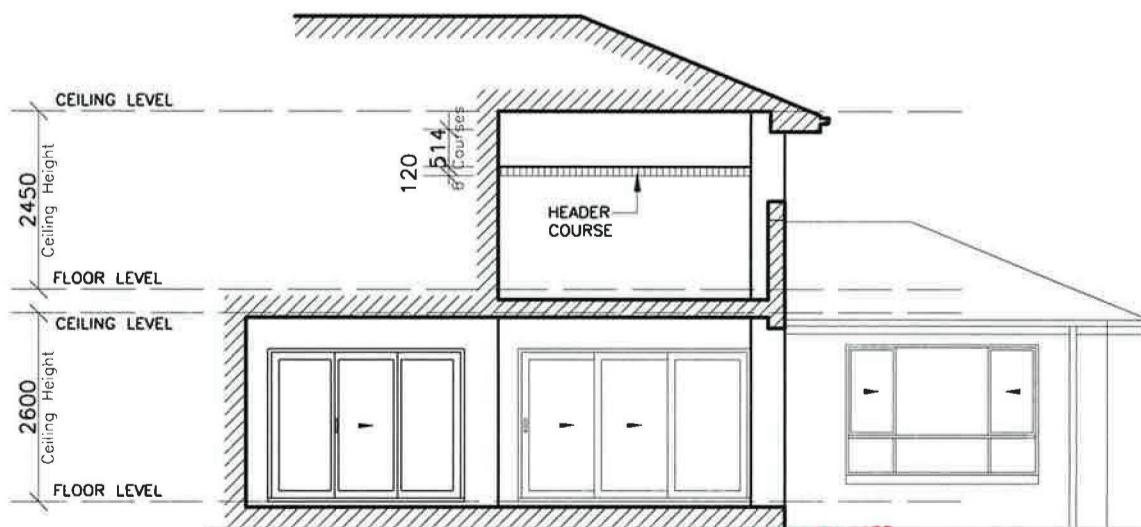
APPROX. RIDGE R.L. 28.185



ELEVATION 1



ELEVATION 2



ELEVATION 5

Reviewed by LEASE COVENANT MANAGER

21 SEP 2014

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING

PRODUCT:
FAIRMONT 38
Diamond Gallery
R/H Garage
Sapphire Specification

CLIENT:
MISS ZHANG

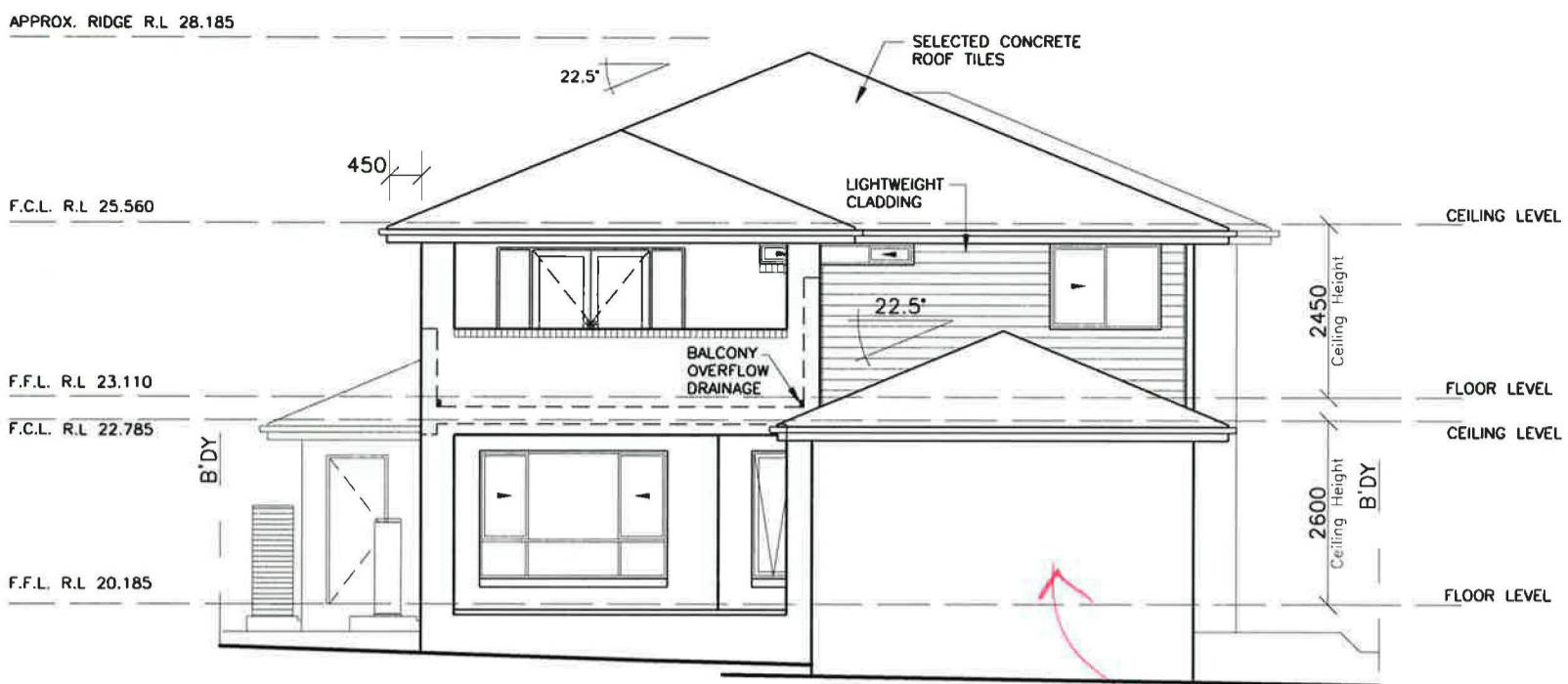
SITE ADDRESS:
LOT 2257
TENGA LA STREET
JORDAN SPRINGS 2747

CONTRACT DRAWING

DRAWN: M.H.	DATE: 20.06.14	Rev: C
RATIO @ A3: 1:100	CHECKED: -	
SHEET: 5	JOB No: 29909337	NSW

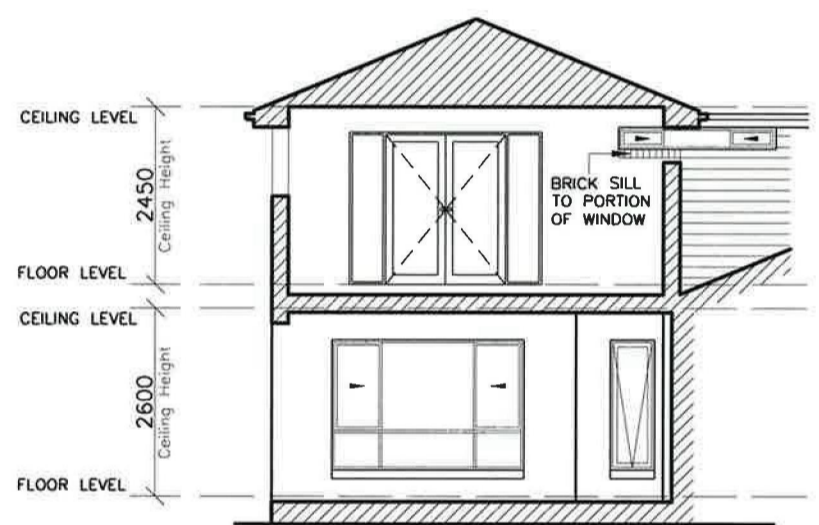
Signed

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080



ELEVATION 3

*GARAGE
DOOR
REQUIRED
TO BE SHOWN*



ELEVATION 6

*ADDITIONAL HEIGHT
WINDOWS REQUIRED
TO BED 4
+ STUDY. DWP
MUST BE OF
THE SCALE
INDICATED
HERE*



ELEVATION 4

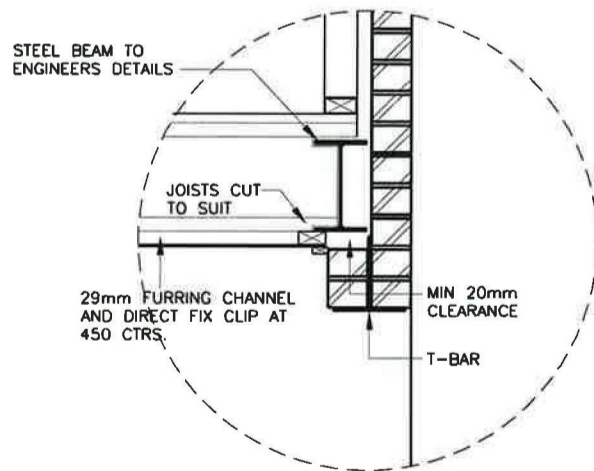
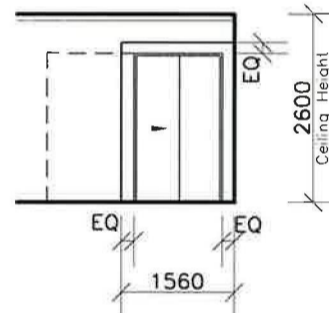
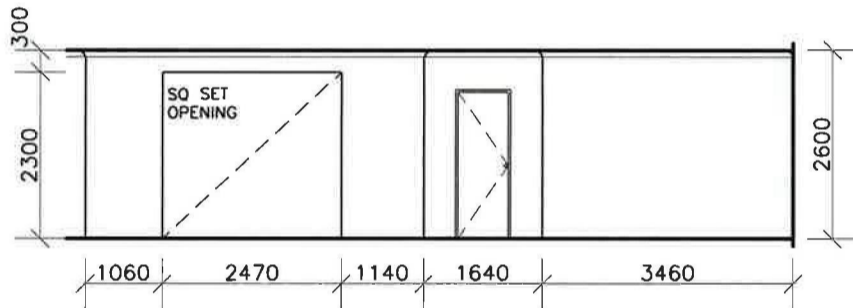
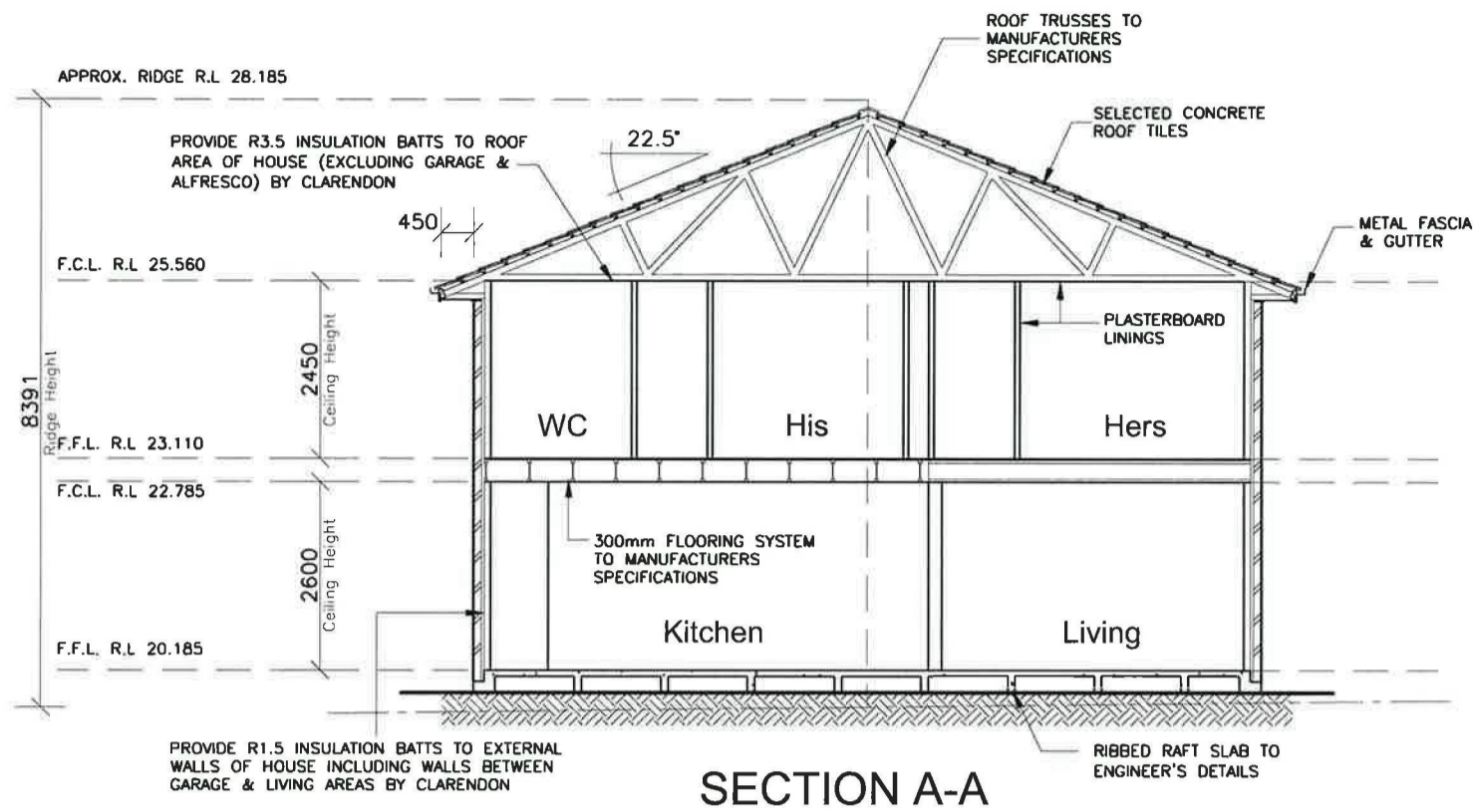
*ALTERNATIVE
MATERIAL REQUIRED
TO SECONDARY
FRONTAGE IN
CONFORMANCE
WITH BUILDING
AND SITING
GUIDELINES*

Reviewed by LEND LEASE
COVENANT MANAGER

24 SEP 2014

Signed.....

CLIENT'S SIGNATURE: _____ DATE: _____		PRODUCT: FAIRMONT 38 Diamond Gallery R/H Garage Sapphire Specification		CLIENT: MISS ZHANG SITE ADDRESS: LOT 2257 TENGA LA STREET JORDAN SPRINGS 2747		CONTRACT DRAWING	
ClarendonHomes <small>BL No 2298C ABN 18 003 892 706</small> Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	<small>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # DIMENSIONS TO BE READ IN PREFERENCE TO SCALING</small>				<small>DRAWN:</small> M.H.	<small>DATE:</small> 20.06.14	<small>Rev:</small> C
					<small>RATIO @ A3:</small> 1:100	<small>CHECKED:</small> -	
					<small>SHEET:</small> 6	<small>JOB No:</small> 29909337	<small>NSW</small>



Reviewed by LEND LEASE COVENANT MANAGER

17 SEP 2014

Signed

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
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PRODUCT:
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Diamond Gallery
R/H Garage
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CLIENT:
MISS ZHANG

SITE ADDRESS:
LOT 2257
TENGA LA STREET
JORDAN SPRINGS 2747

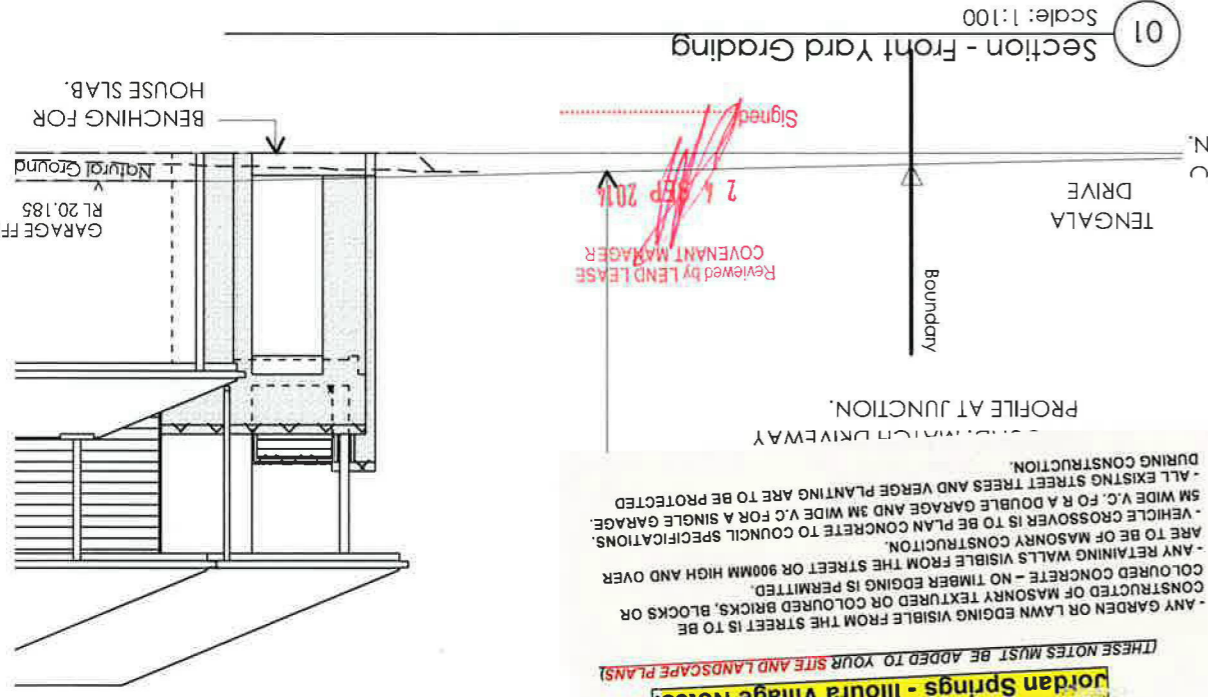
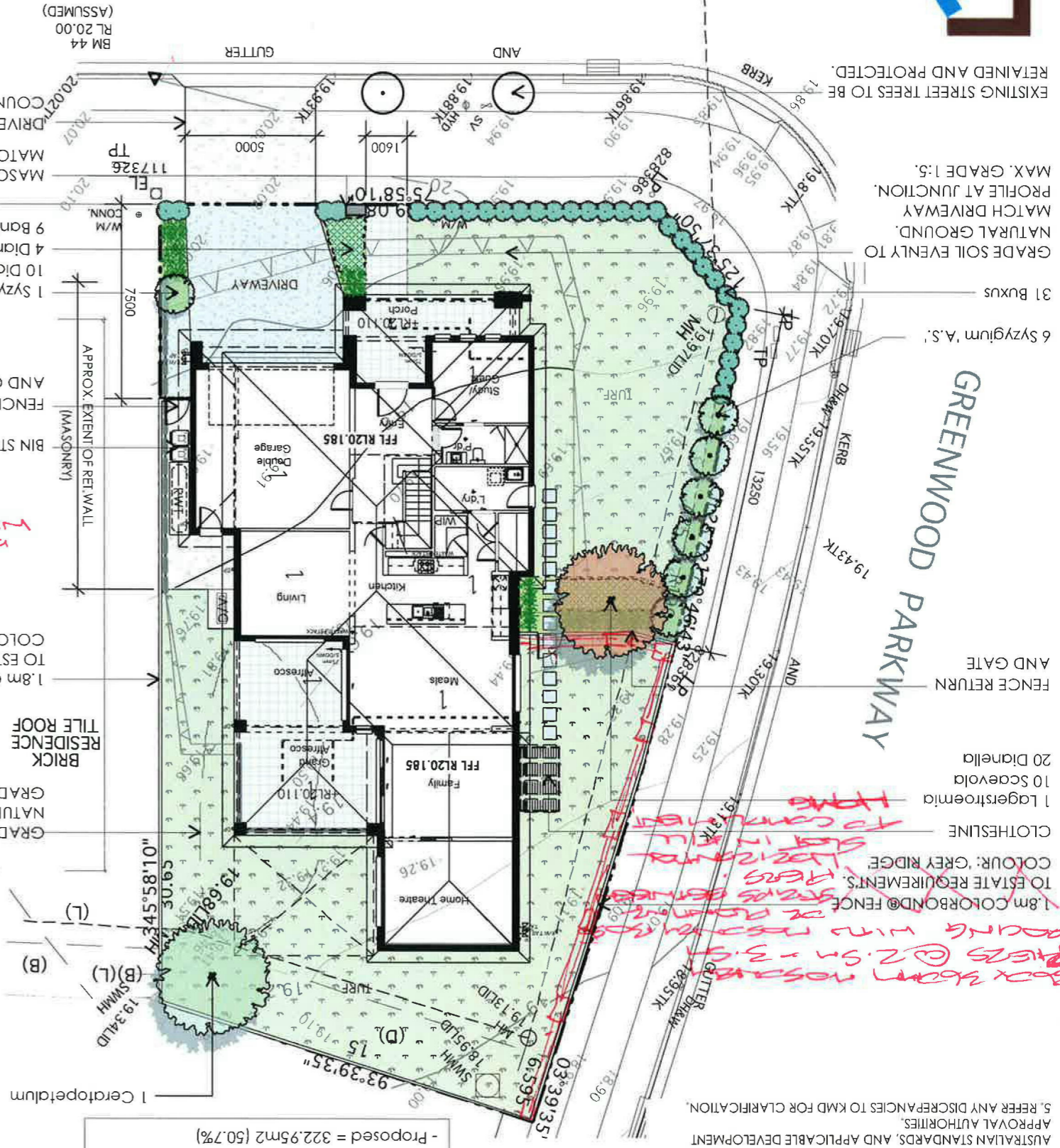
CONTRACT DRAWING

DRAWN: M.H.	DATE: 20.06.14	Rev: C
RATIO @ A3: 1:100	CHECKED: -	
SHEET: 7	JOB No: 29909337	NSW

Landscape Plan

DEVELOPMENT APPROVAL

design by: Matthew Higginson Landscape Architecture



PLANT SCHEDULE

Botanic Name	Common Name	Supply Size (mm/L)	Mature Height	QTY
Ceratopetalum gummiterum*	NSW Christmas Bush	45L	5m	1
Lagerstroemia indica	Crepe Myrtle	75L	6m	1
Shrubs				
Buxus sempervrens var. japonica	Japanese Boxwood	200mm	1m	31
Syzgium 'Aussie Southern'	Aussie Southern Lily Pily	45L	3m	7
Groundcovers / Perennials				
Banksia 'Birthday Candles'	Birthday Candles	140mm	0.3m	9
Dianella caerulea*	Paroo Lily	140mm	0.8m	34
Scaevola alba	White Fan Flower	140mm	0.3m	10

* denotes Australian native species or cultivar (65% Native)

LEGEND:

- EXISTING TREE - RETAIN (Circle with dot)
- EXISTING TREE - REMOVE (Circle with slash)
- CONCRETE PAVING - COLOURED to client selection.
- CONCRETE PAVING - PLAIN Plain grey concrete, broom finish.
- STEPPING STONES IN GRAVEL 500x500 pre-cast concrete pavers laid flush in decorative gravel mulch.
- DECORATIVE GRAVEL
- TURF
- Sir Walter Soft Leaf Buffalo
- CLOTHESLINE
- Austral 'Add-a-Line 35' with leg kit.
- Colour: beige.
- SITE BOUNDARY (Dashed line)
- EXISTING SPOT LEVEL (Number in circle)
- PROPOSED SPOT LEVEL (Number in square)
- To clients selection.
- PAVER/ TILE
- Colour: beige.

AREA CALCULATIONS:

- SITE AREA = 636.5m² (100%)
- LANDSCAPE AREA: - Required = 318.25m² (50%) (Council DCP)
- Proposed = 322.95m² (50.7%)

Jordan Springs - Illoura Village Notes:
 (THESE NOTES MUST BE ADDED TO YOUR SITE AND LANDSCAPE PLANS)

- ANY GARDEN OR LAWN EDGING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OF MASONRY TEXTURED OR COLOURED BRICKS, BLOCKS OR COLOURED CONCRETE - NO TIMBER EDGING IS PERMITTED.
- ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900MM HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION.
- VEHICLE CROSSOVER IS TO BE PLAN CONCRETE TO COUNCIL SPECIFICATIONS.
- ALL EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.

- NOTES:**
- DRAWING TO BE READ IN CONJUNCTION WITH HOUSE PLANS PREPARED BY CLARENDON HOMES AND SITE SURVEY PLAN.
 - DO NOT SCALE DRAWING.
 - ALL MEASUREMENTS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT.
 - ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE RELEVANT REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, AND APPLICABLE DEVELOPMENT APPROVAL AUTHORITIES.
 - REFER ANY DISCREPANCIES TO KMD FOR CLARIFICATION.