

# Village Centre Urban Design Concept Masterplan

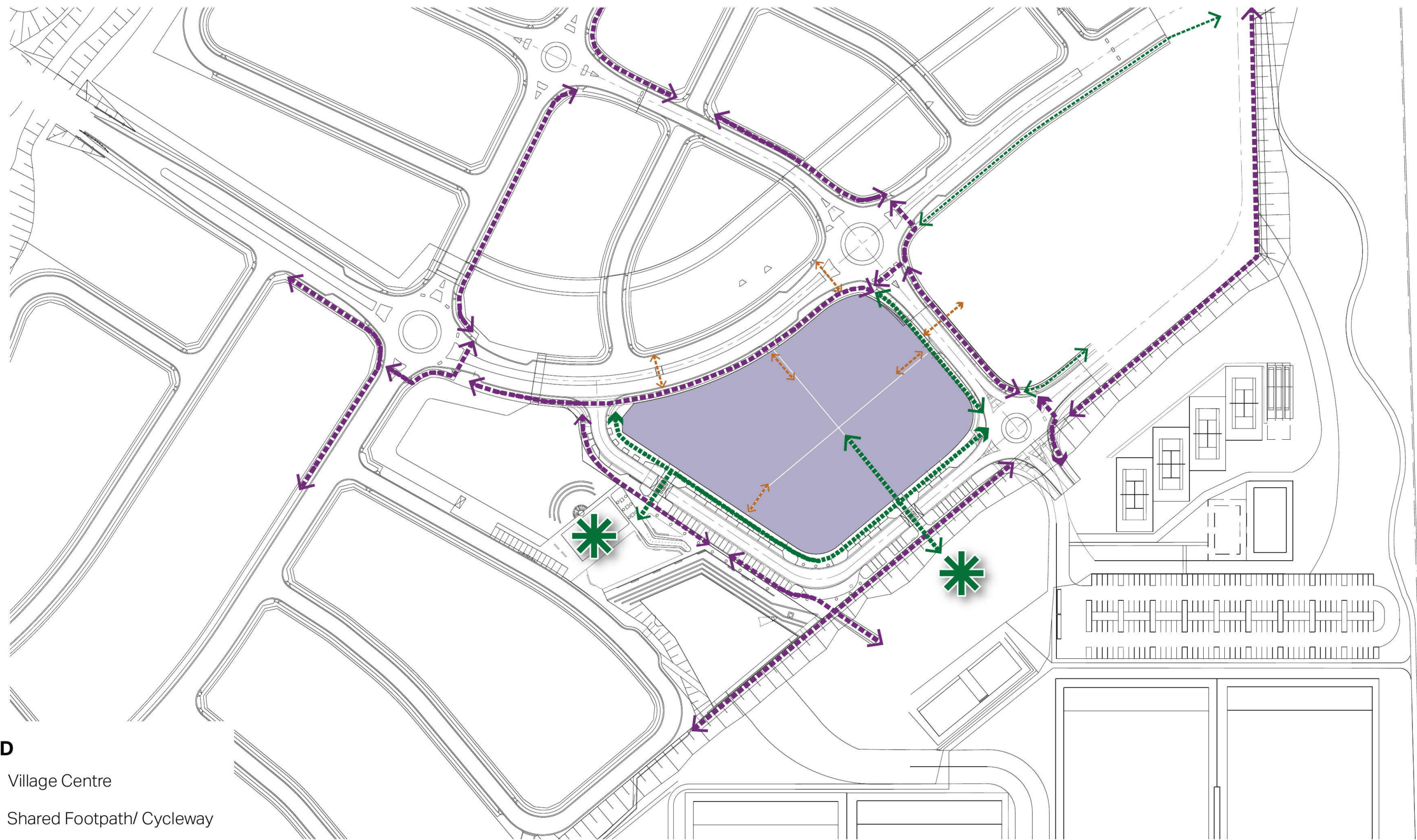
## Jordan Springs East

CLIENT: Lendlease  
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15 June 2018

Drawing No.	Drawing Title
LS_01	Cover Sheet
LS_02	Pedestrian and Bicycle Network
LS_03	Street Hierarchy
LS_04	Street Sections
LS_05	Street Parking
LS_06	Superlots and Uses
LS_07	Ground Level Land Use - Density Option Low
LS_08	Upper Level Lands Use - Density Option Low
LS_09	Shadow Anaysis - Density Option Low
LS_10	Ground Level Land Use - Density Option Medium
LS_11	Upper Level Land Use - Density Option Medium
LS_12	Shadow Anaysis - Density Option High



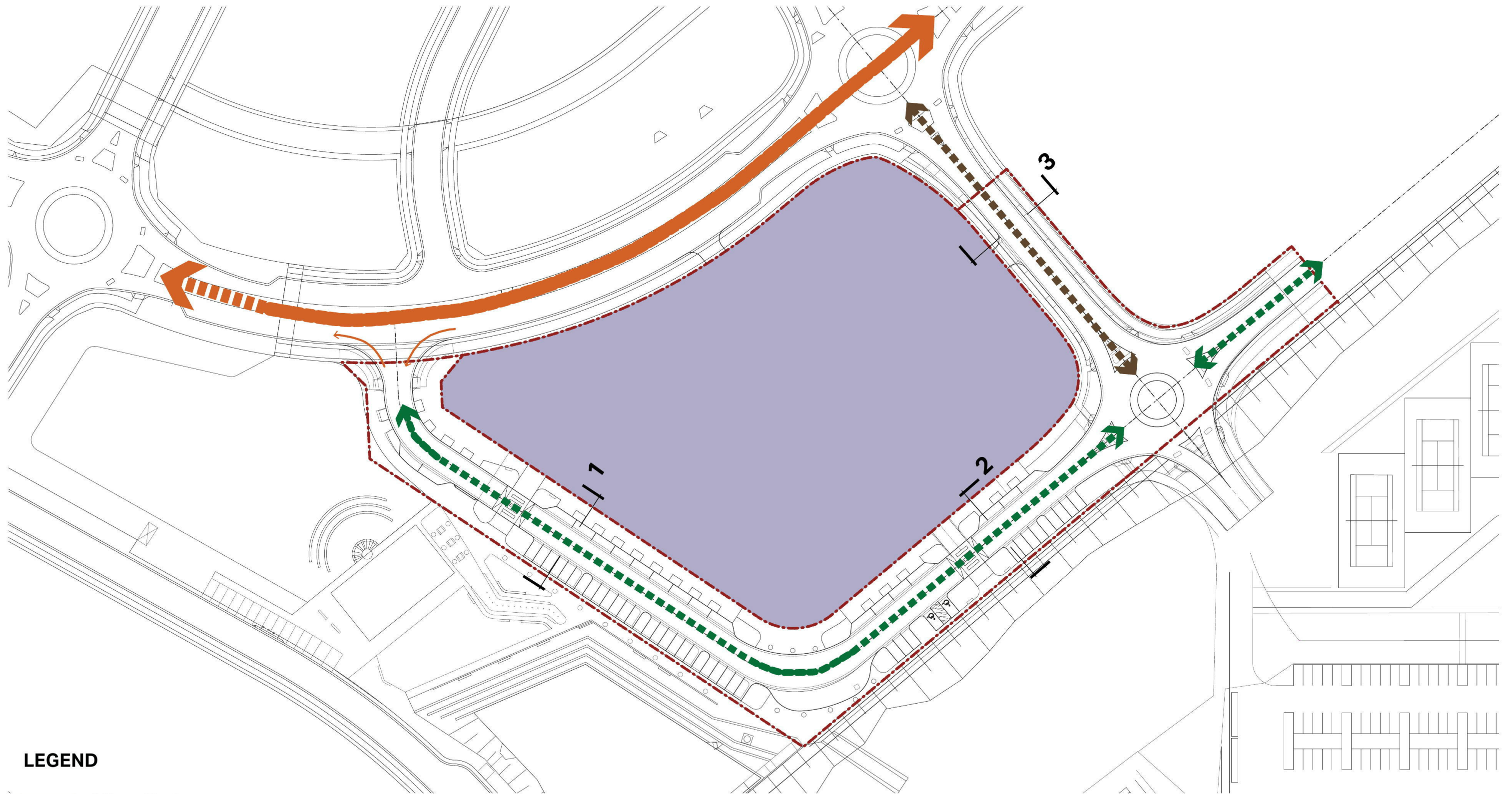


# LEGEND


- Village Centre
- Shared Footpath/ Cycleway
- Primary Pedestrian Route
- Secondary Pedestrian Route
- Landscape/ Activity Nodes










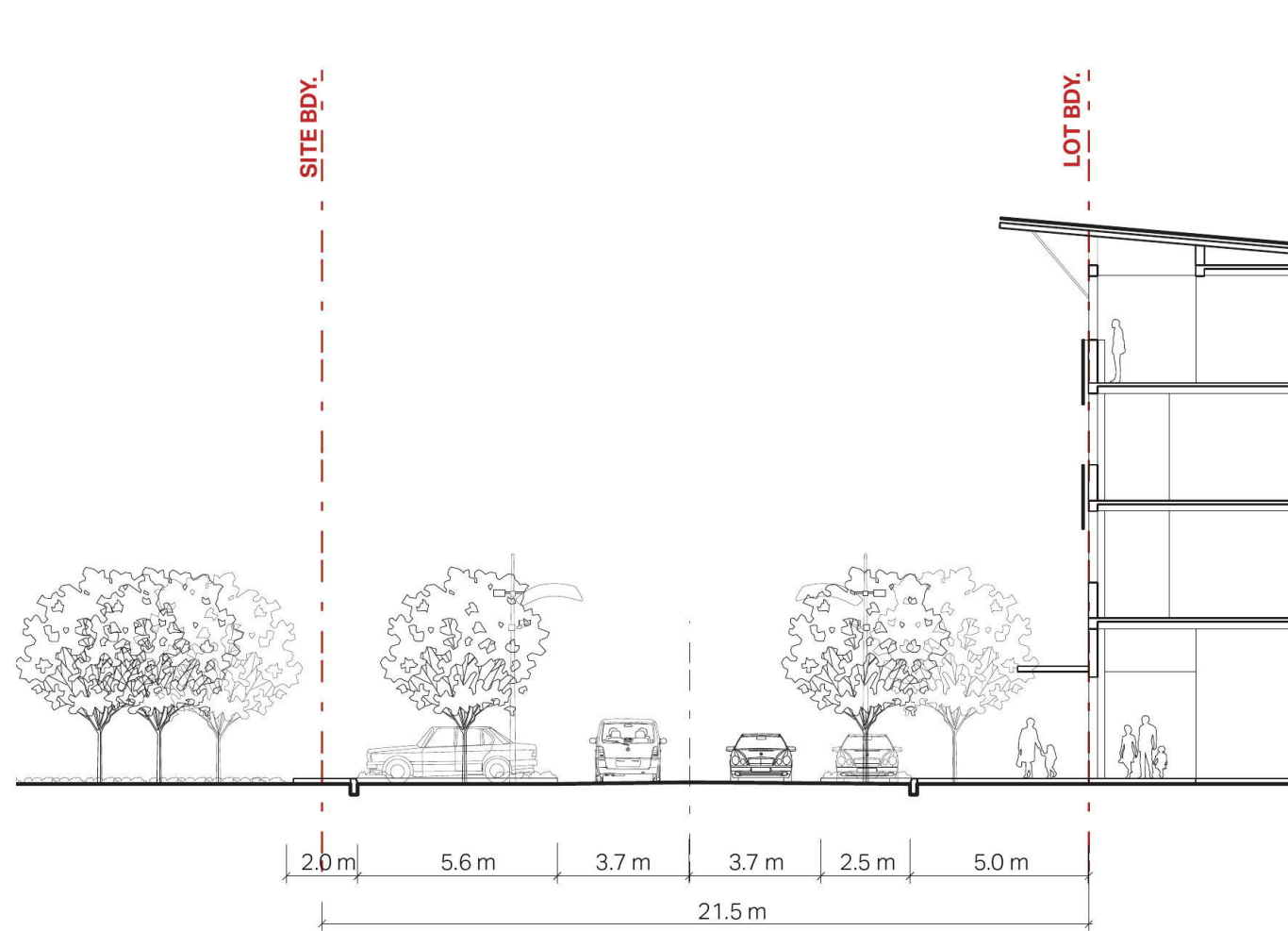
# LEGEND

-  Village Centre
-  Boundary Line

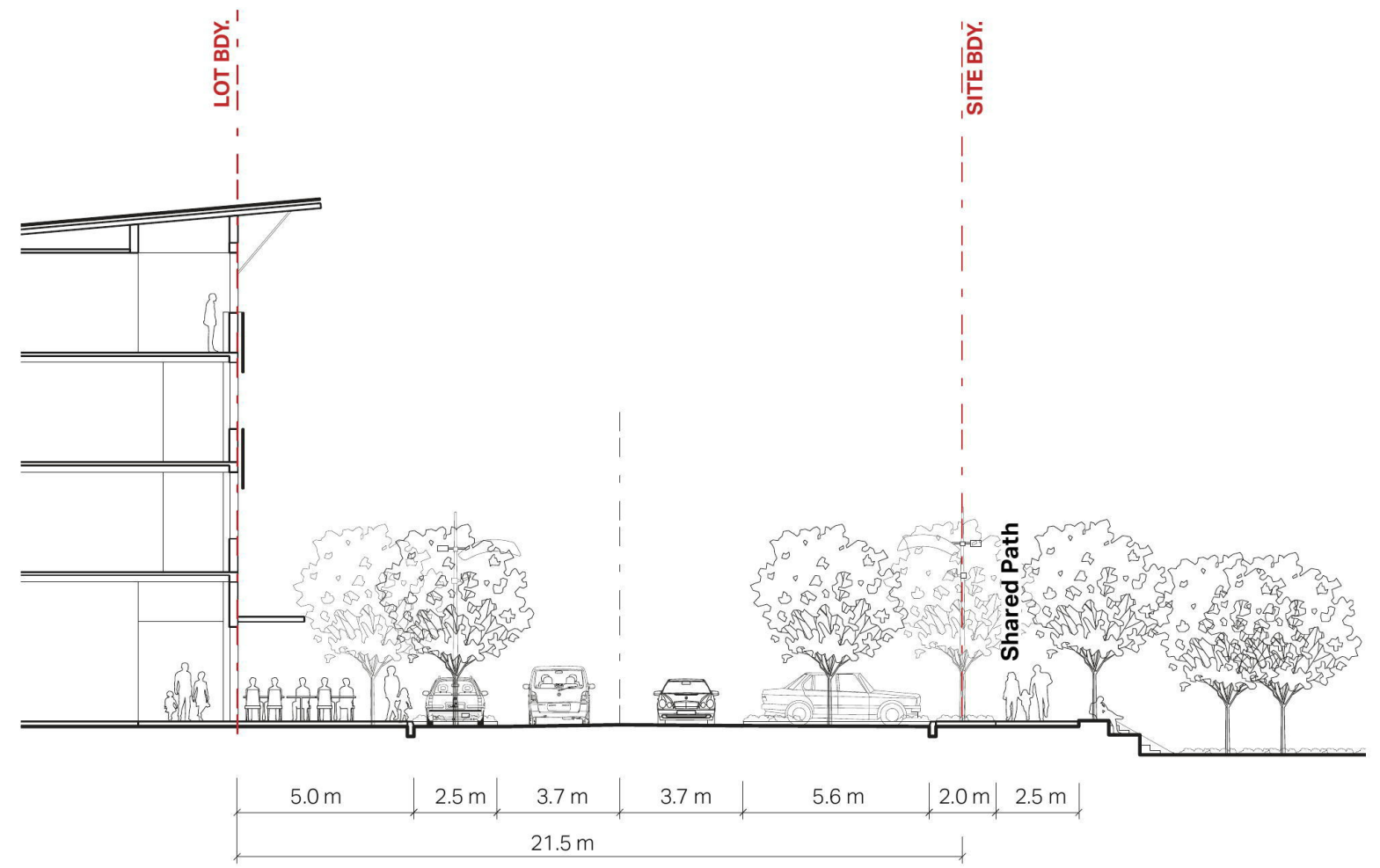
-  Street Type- **C2 Collector Road** (Precinct Plan 2009)
-  Street Type- **V1** (Refer Cardno Engineers Drawings)
-  Street Type- **V2-V7** (Refer Cardno Engineers Drawings)

Scale 1:1,000 on A3





Section 1 - 90 Degree Parking on Village Park Edge



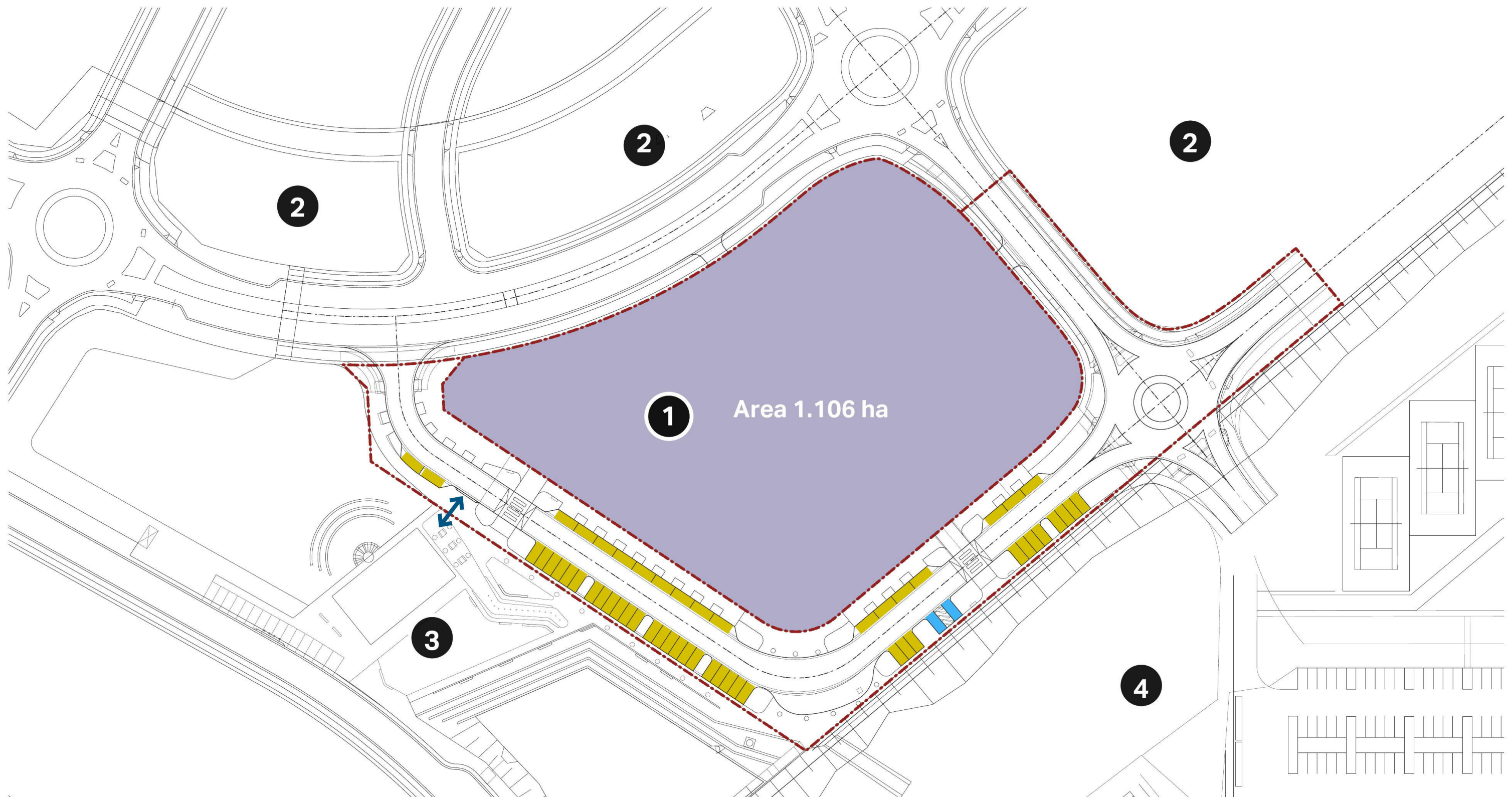
Section 2 - 90 Degree Parking on Regional Open Space Edge



Section 3 - Residential Interface

Scale 1: 200 on A3





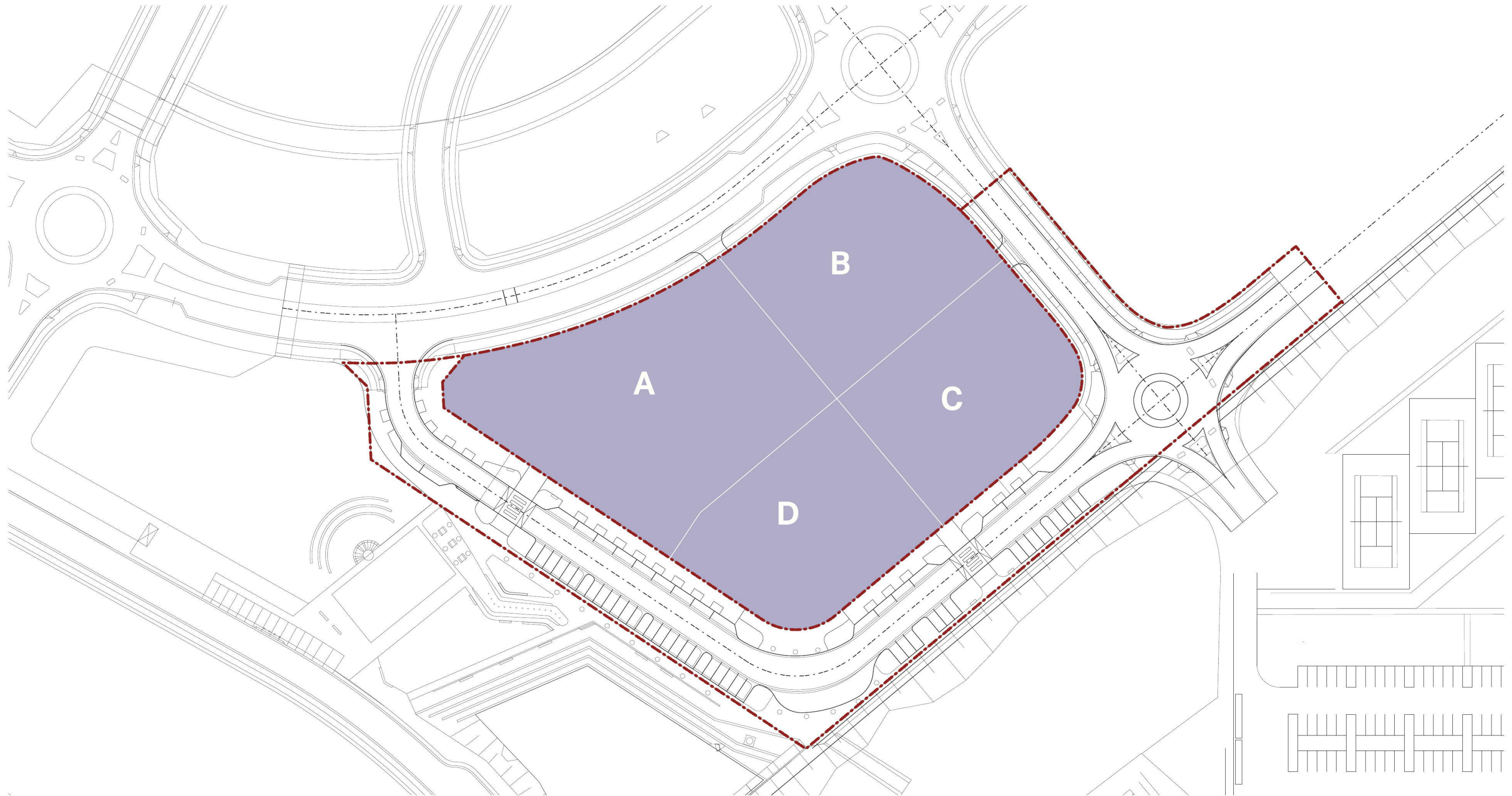
# LEGEND

- Village Centre
- Boundary Line
- Vehicle access point into park
- On-Street Parking - **52 bays**
- Mobility Parking - **2 bays**
- 1.** Jordan Spring East Village Centre
- 2.** Village Centre Integrated Housing
- 3.** Village Centre Park including C.A.S
- 4.** Regional Openspace and Playgrounds

Scale 1:1,000 on A3







**LEGEND**

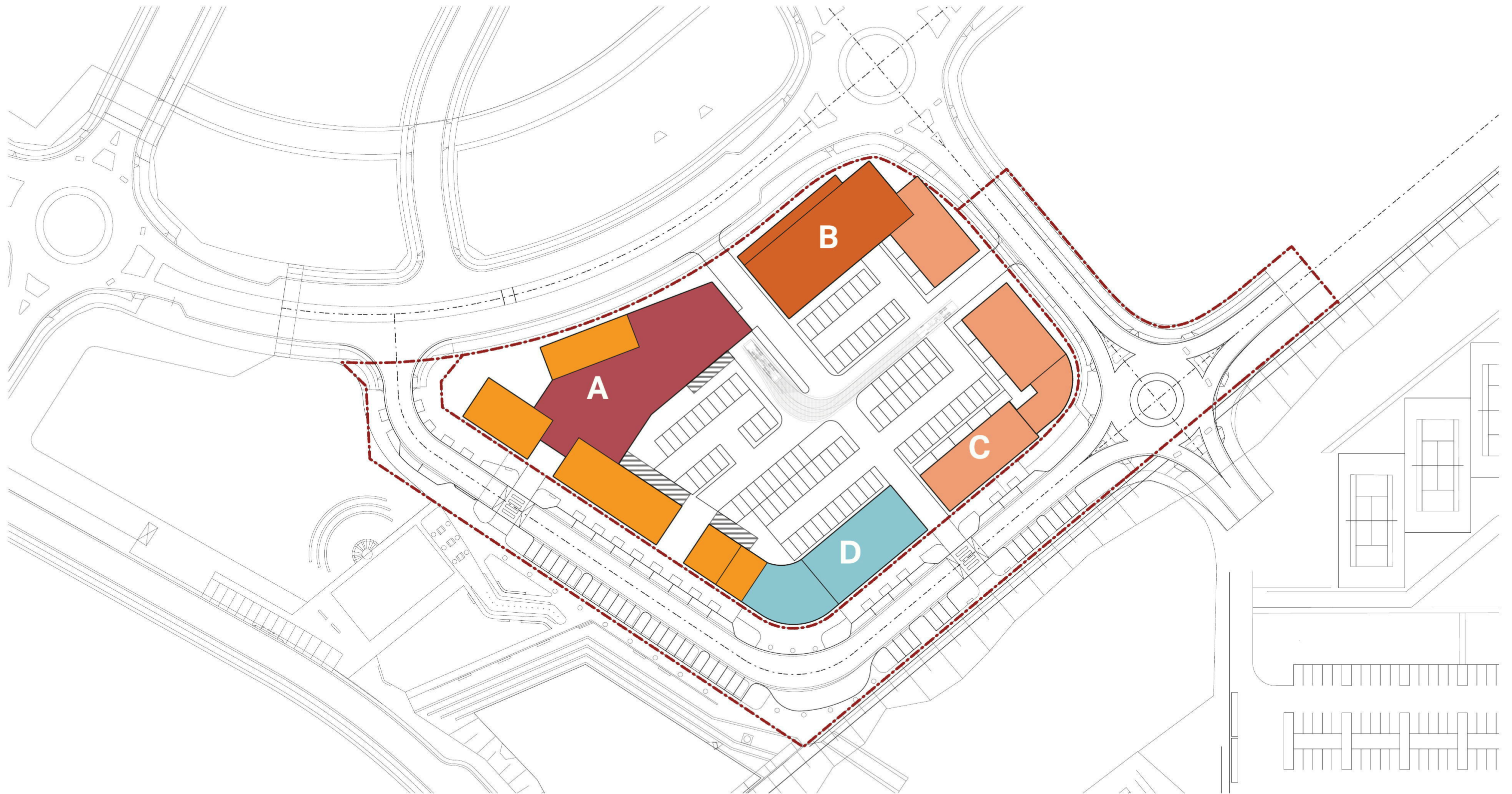
-  Village Centre
-  Boundary Line

Parcel	Use	Lot Area (m2)
A	Supermarket/ SpecialityRetail/ Shoptop Housing and Apartments	4,039 m2
B	Mixed Use/ Terrace Homes and Apartments	2,450 m2
C	Terrace Homes/ Residential Apartments	2,313 m2
D	Childcare Centre SpecialityRetail/ Shoptop Housing	2,258 m2
Total		11,064 m2

Scale 1: 1,000 on A3







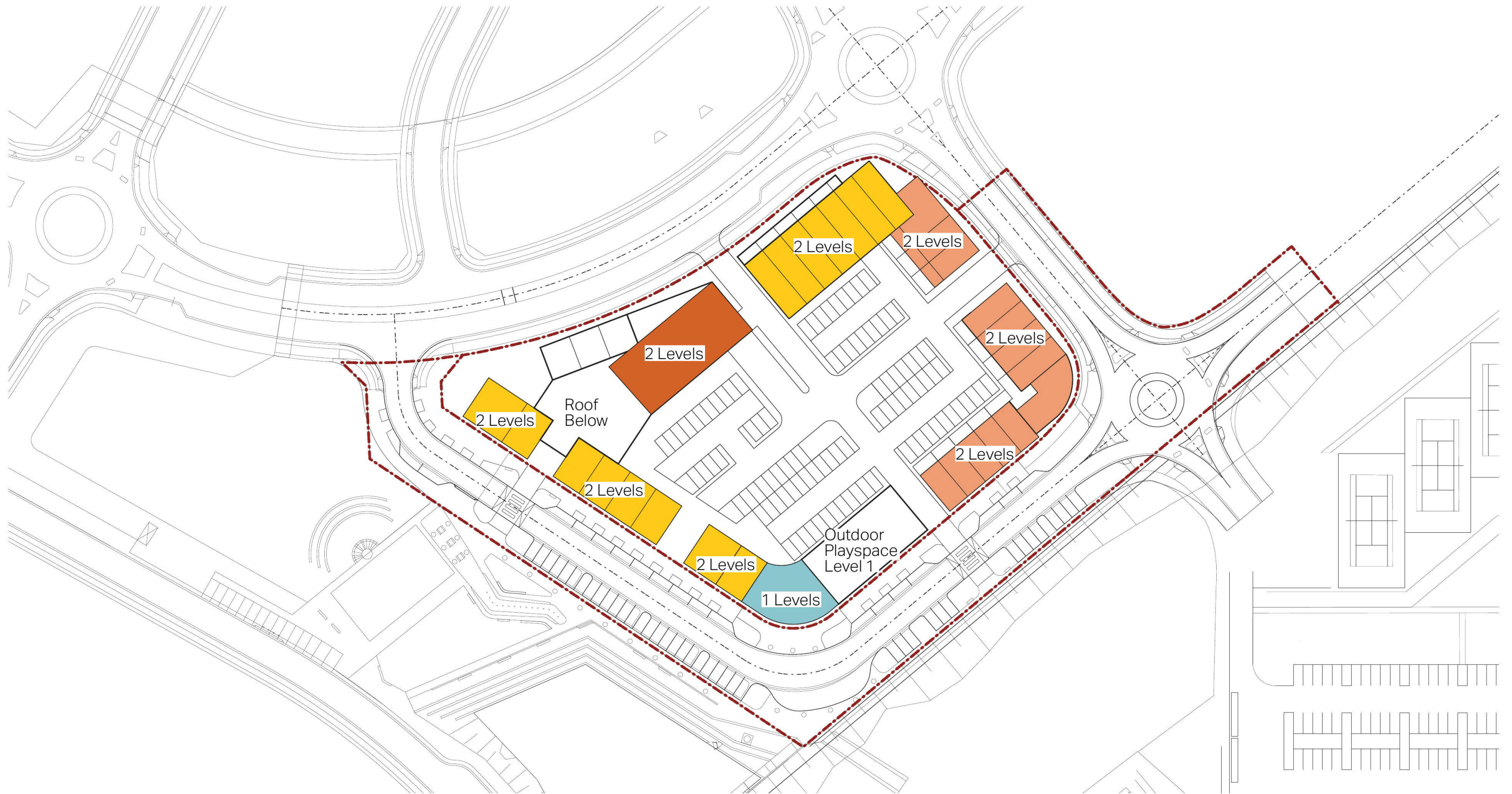
## LEGEND

- Boundary Line
- Supermarket
- Speciality Retail
- Mixed Use/ Pharmacy/ Medical Centre/ Lobby
- Terraces
- Childcare Centre
- Back of House Area

Scale 1:1,000 on A3







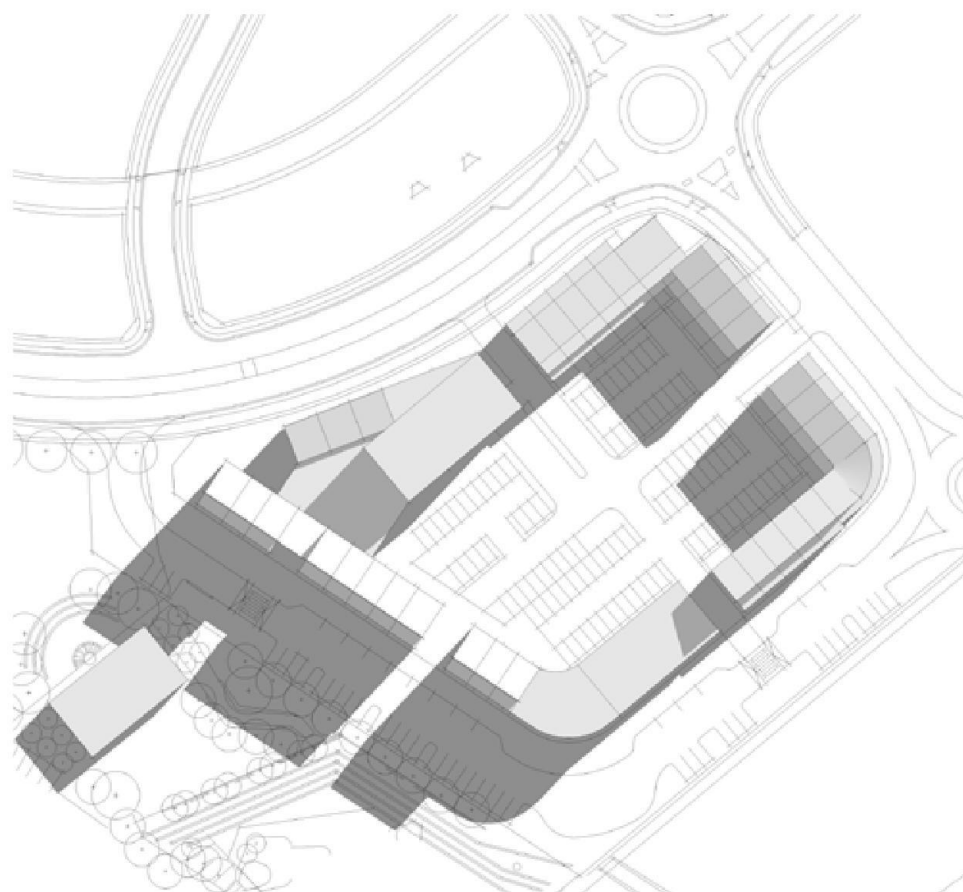
# LEGEND

- Boundary Line
- Residential (Apartments/ Shoptop Housing)
- Terraces
- Mixed Use
- Childcare Centre

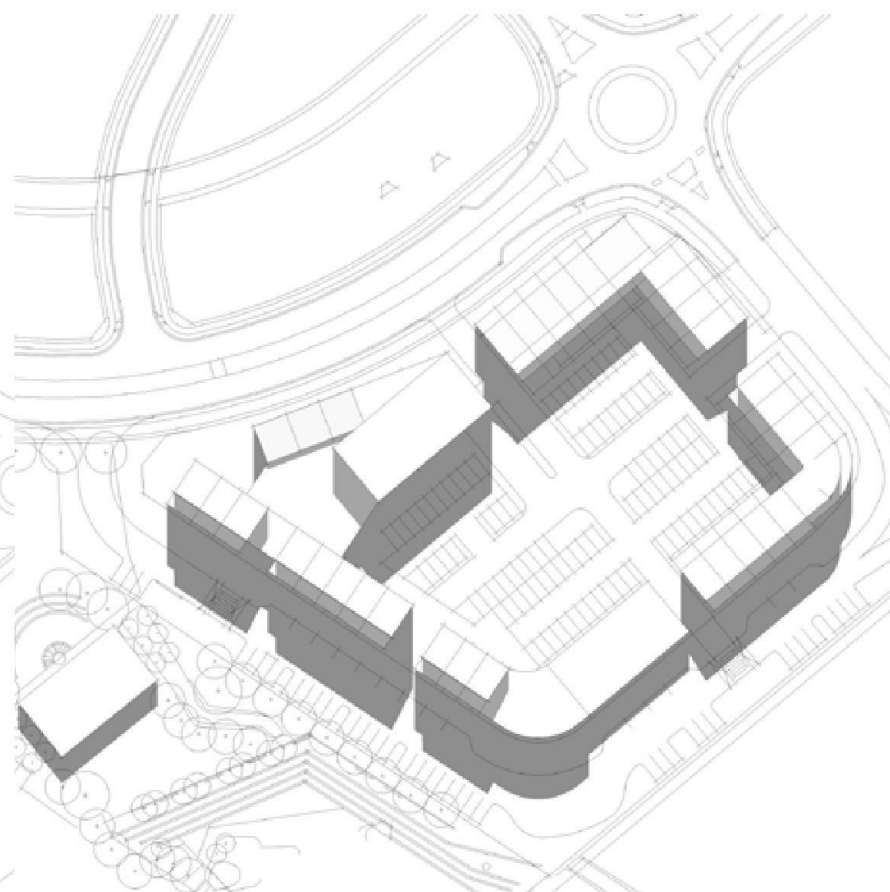
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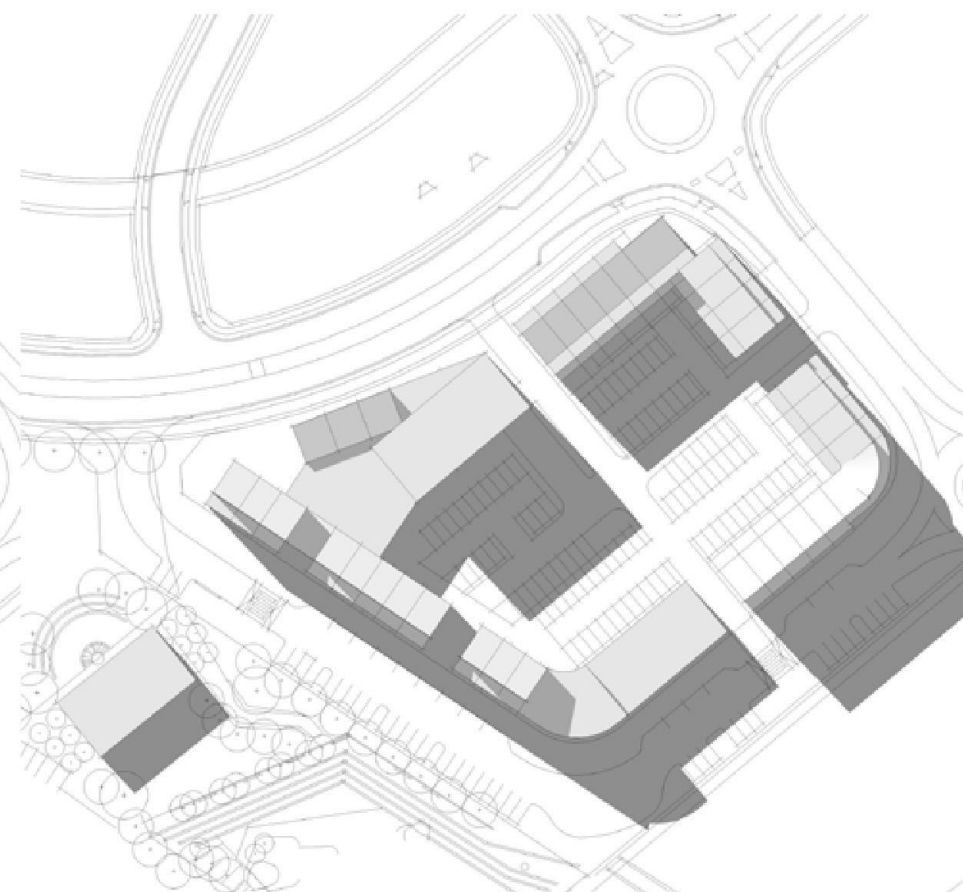




June 21 at 9 am

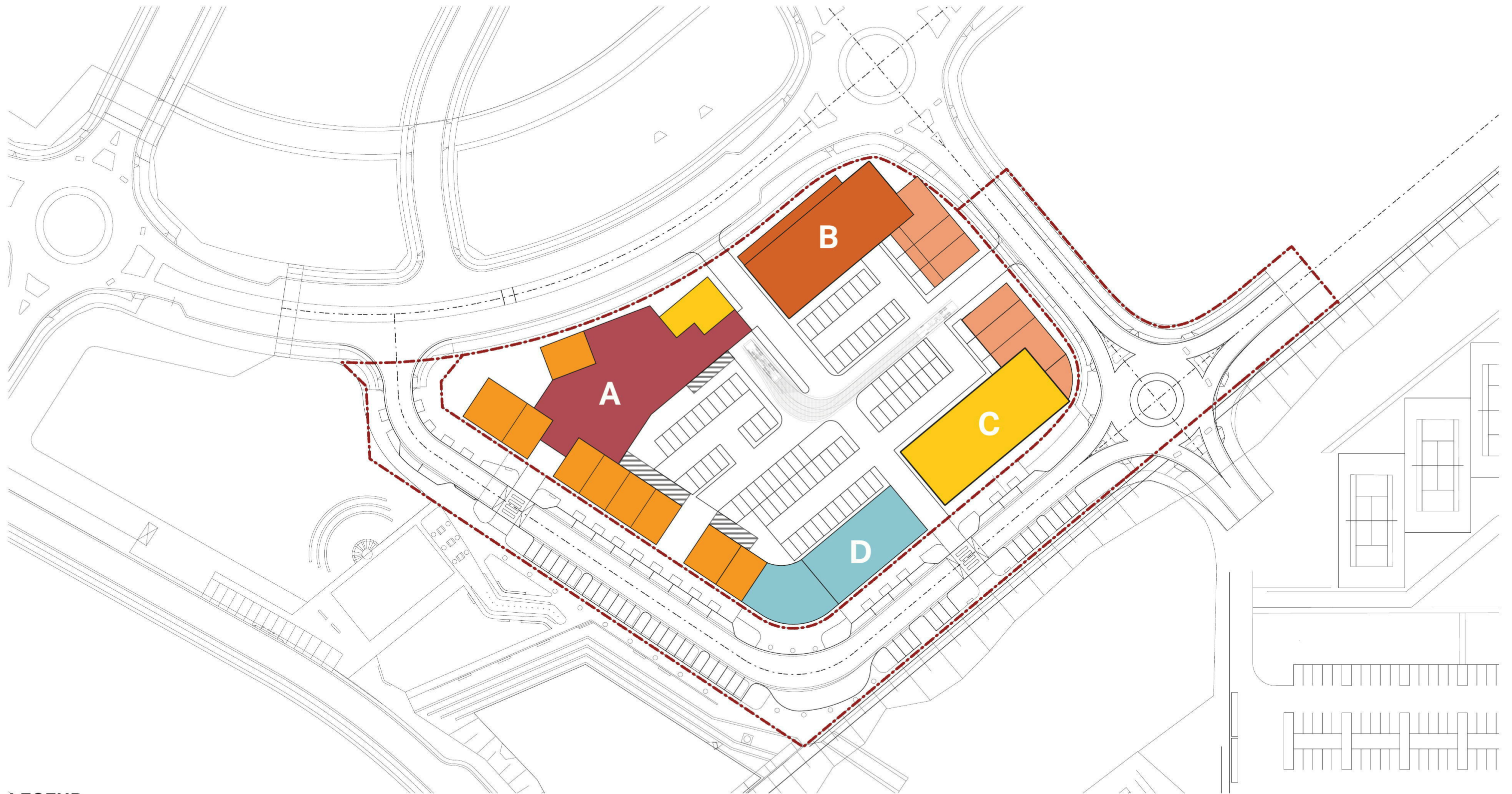


June 21 at noon



June 21 at 3pm





## LEGEND

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- Supermarket
- Speciality Retail
- Mixed Use/ Pharmacy/ Medical Centre/ Lobby
- Terraces
- Childcare Centre
- ▨ Back of House Area

Scale 1:1,000 on A3







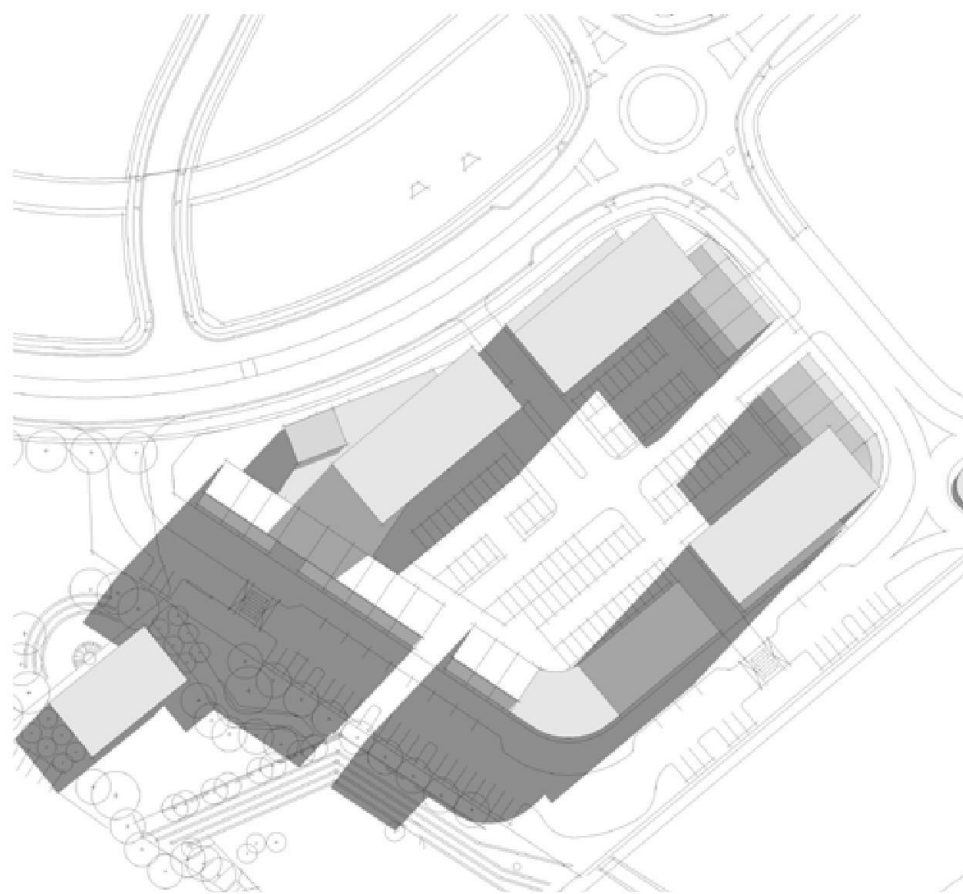
## LEGEND

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- Residential (Apartments/ Shoptop Housing)
- Terraces
- Mixed Use
- Childcare Centre

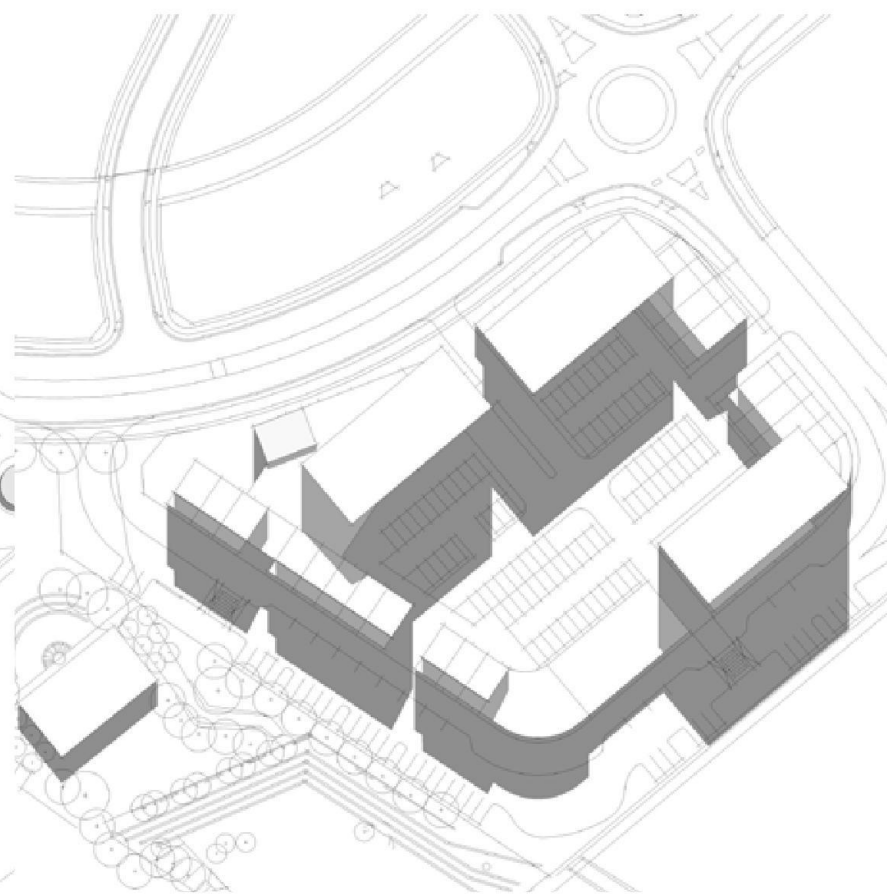
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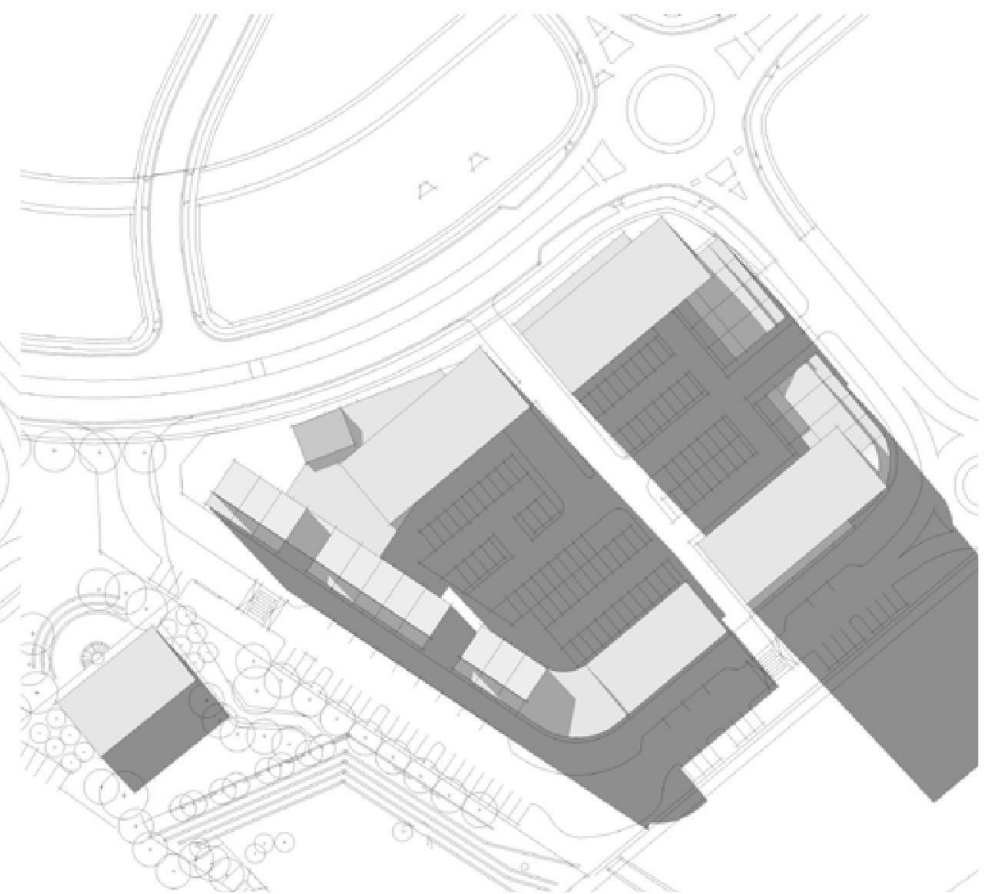




June 21 at 9 am



June 21 at noon



June 21 at 3pm

Scale 1:1,000 on A3

