

BARLETT PLACE

SITE ANALYSIS & SITE PLAN 1:200

(B) PROPOSED EASEMENT FOR SERVICES OVERHANG ACCESS & MAINTENANCE 0.9 M WIDE

PRELIMINARY SITING ONLY

REFER TO LANDSCAPE PLANS FOR FENCING TYPES, LOCATION AND HEIGHTS, TOGETHER WITH LETTERBOX LOCATION & RETAINING WALL DETAILS

RECEIVED
D/M/G/T
- 4 JUN 2013
PENRITH CITY COUNCIL

- GENERAL NOTES**
- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
 - SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
 - ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER
 - FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR
 - WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO A/N DESIGN BEFORE PROCEEDING
 - SITE CLASSIFICATION M
 - CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL 29.7 GARAGE TO RL 29.7
 - HOUSE FLOOR LEVEL RL 30.01 30MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL 29.924. 22MM ABOVE PLATFORM LEVEL
 - TOTAL ROOF AREA = 259.1 M²

Eden Brae Homes
22 BROOKHOLLOW AVENUE
NORWEST BUSINESS PARK
BALLURHAM HILLS NSW 2153
P 8860 9222
F 8860 9233

FOR **EDEN BRAE HOMES**

AT LOT 1175 BARLETT PLACE
THORNTON PARK, NORTH PENRITH

TYPE **MANCHESTER 22 (CUSTOM)**

JOB NO. **00163012**

FACADE **ASPEN**

HAND **RM**

DATE **AUG '12**

DWG NO. **A1882B**

PAGE NO. **1 OF 7**

SITE DATA

SITE AREA = 377 M²

PRIVATE OPEN SPACE
REQUIRED 75.4 M² OR 20% OF THE SITE
PROVIDED 75.96 M² OR 20.1% OF THE SITE

FLOOR AREAS

GROUND FLOOR AREA = 167.9 M²
EXCLUDING GARAGE

GARAGE FLOOR AREA = 32.1 M²

PORCH FLOOR AREA = 5.5 M²

ALFRESCO FLOOR AREA = 12.6 M²

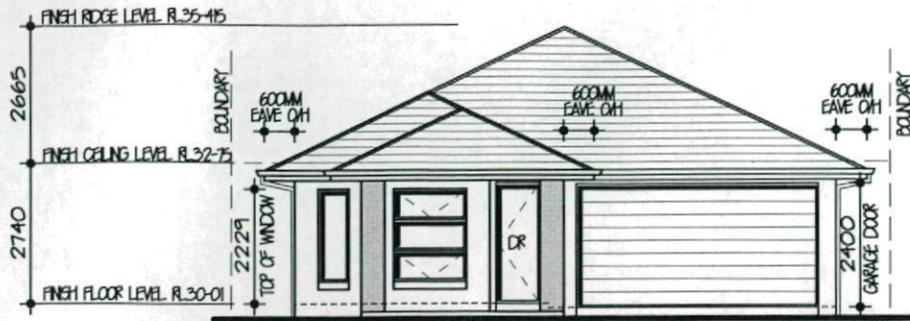
TOTAL FLOOR AREA = 218.3 M² OR 23.5 50%

AGSYDNEY

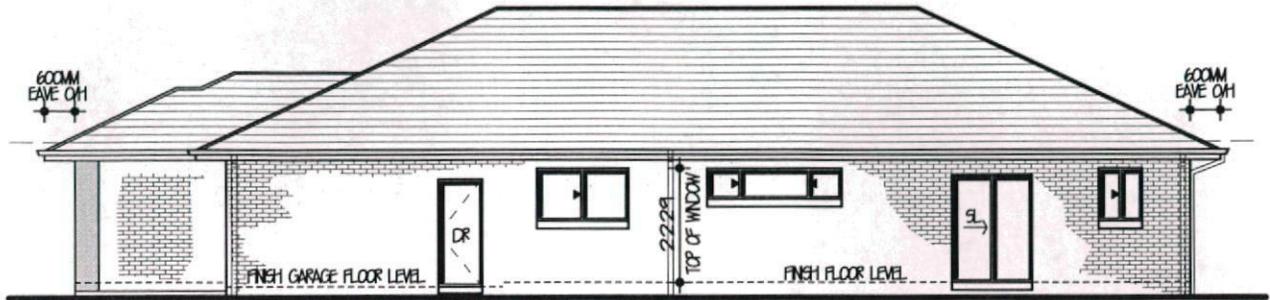
UNIT 3/95 INGLEWOOD PLACE
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ISSUE	DATE	REVISION	DRAWN
A	21-8-12	SITING + CC PLANS	SI
B	27-9-12	BACK/AMENDMENTS	CL

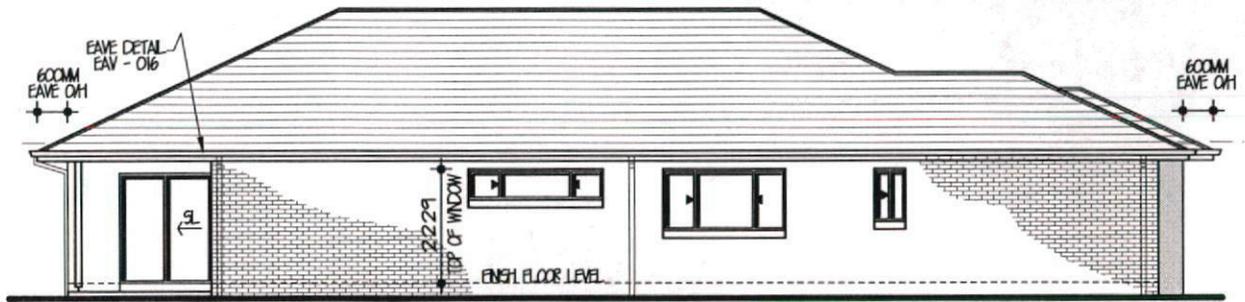
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SOUTH WEST ELEVATION 1:100



SOUTH EAST ELEVATION 1:100



NORTH WEST ELEVATION 1:100



NORTH EAST ELEVATION 1:100

Eden brae homes
"Where you want to live"

LEVEL 3
 22 BROOKHOLLOW AVENUE
 NORTHWEST BUSINESS PARK,
 BALLURHAM HILLS NSW 2153
 P 8660 9222
 F 8660 9293

FOR **EDEN BRAE HOMES**

AT LOT 1175 BARTLETT PLACE
 THORNTON PARK, NORTH PENRITH

TYPE **MANCHESTER 22** JOB NO. **00163012**
 (CUSTOM)

FACADE **ASPEN** HAND **R1**

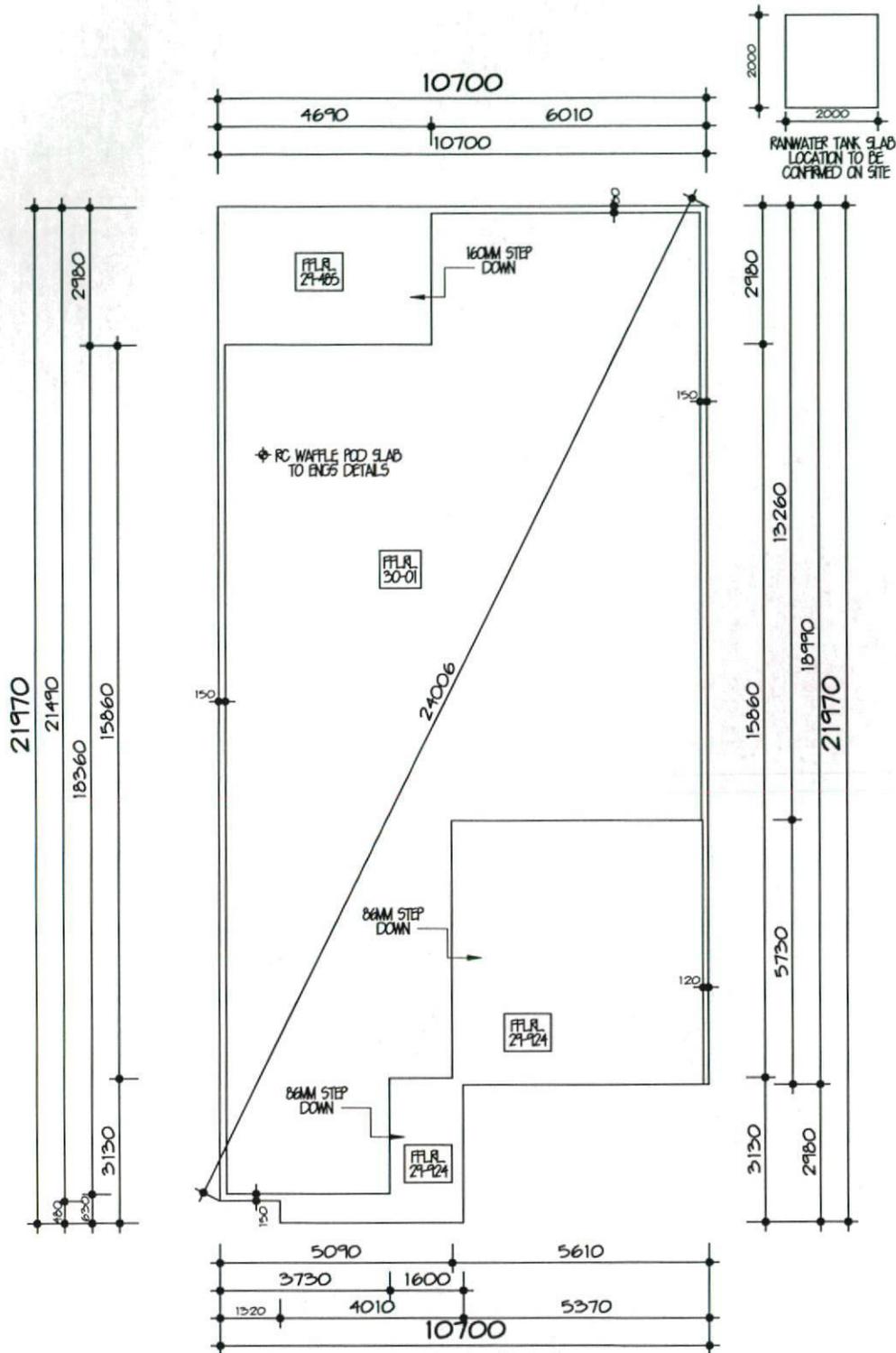
DATE **AUG 12** DWG NO. **A1882B** PAGE NO. **3 OF 7**

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SLAB FLOOR PLAN 1:100

SLAB PLAN TO BE CROSS REFERENCED
WITH FLOOR PLANS. ANY DISCREPANCIES
ARE TO BE VERIFIED BEFORE PROCEEDING

Eden brae homes
"It's where you want to live"

LEVEL 3
22 BROOKHOLLOW AVENUE
NORWEST BUSINESS PARK
BALLSHAM HILLS NEW 2153
P 8860 9222
F 8860 9223

FOR **EDEN BRAE HOMES**

AT LOT 1175 BARTLETT PLACE
THORNTON PARK, NORTH PENRITH

TYPE **MANCHESTER 22** (CUSTOM) JOB NO. **00163012**

FACADE **ASPEN** HAND **RH**

DATE **AUG 12** DWG NO. **A18828** PAGE NO. **5 OF 7**

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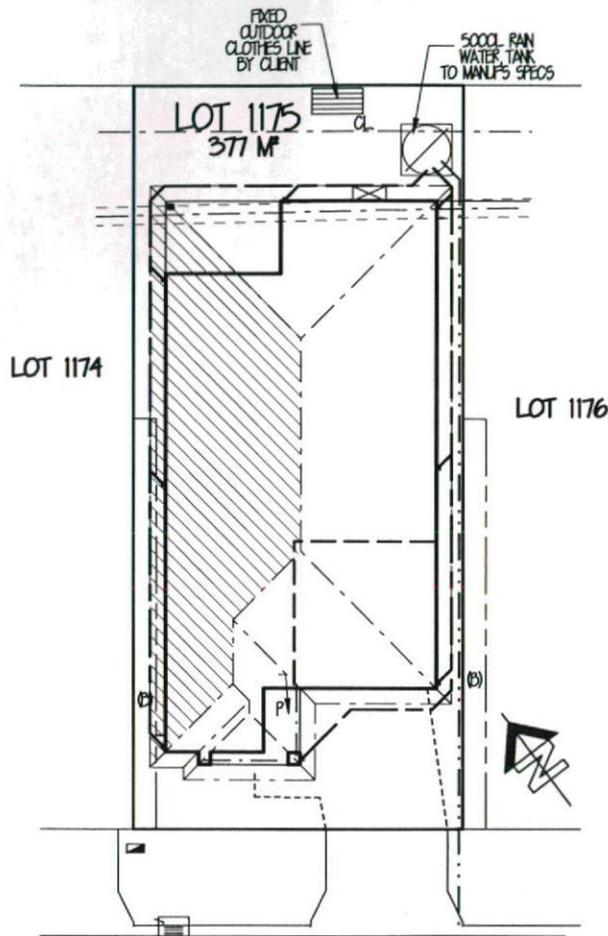
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INSULATION
 R20 WALL INSULATION
 R35 CEILING INSULATION
 FOL (SEALATION)

BASIX SCORE
 WATER - 40% (TARGET 40%)
 THERMAL COMFORT - PASS (TARGET PASS)
 ENERGY - 43% (TARGET 40%)

☐ DENOTES 88M² OF ROOF TO BE COLLECTED



BARLETT PLACE
 BASIX PLAN 1:200

STORMWATER / WATER

COLLECTION OF RAINWATER & STORMWATER
 THE APPLICANT MUST INSTALL A RAINWATER TANK ON THE SITE. THE RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES

RAINWATER TANK
 THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RUNOFF FROM AT LEAST 88 SQM OF THE ROOF AREA OF THE DWELLING

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO ALL THE TOILETS IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR TOILET FLUSHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHING MACHINE IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR CLOTHES WASHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT SO THAT RAINWATER CAN BE USED TO IRRIGATE VEGETATED AREAS OF THE SITE.

THE RAINWATER TANK MUST HAVE A CAPACITY OF AT LEAST 5000 LITRES.

SHOWERHEADS
 THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (75 BUT 69L/MIN) IN ALL SHOWERS IN THE DEVELOPMENT

TOILETS
 THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 3 STAR IN EACH TOILET IN THE DEVELOPMENT.

TAP FITTINGS
 THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM FLOW RATE OF 3 STAR IN THE KITCHEN IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL BATHROOM TAPS (OTHER THAN SHOWERHEADS) WITH A MINIMUM FLOW RATE OF 3 STAR IN EACH BATHROOM IN THE DEVELOPMENT

ENERGY

HOT WATER
 THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT:
 GAS INSTANTANEOUS - 5 STARS (OR ONE WITH A HIGHER STAR RATING)

ACTIVE COOLING
 THE APPLICANT MUST INSTALL THE FOLLOWING COOLING SYSTEMS IN THE DEVELOPMENT, OR SYSTEMS WITH A HIGHER ENERGY RATING: 1 LIVING AREA 3 PHASE AIRCONDITIONING ENERGY RATING EER 25 - 30, 1 BEDROOM 3 PHASE AIRCONDITIONING ENERGY RATING EER 25 - 30

ACTIVE HEATING
 THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEMS IN THE DEVELOPMENT, OR SYSTEMS WITH A HIGHER ENERGY RATING: 1 LIVING AREA 3 PHASE AIRCONDITIONING ENERGY RATING EER 30 - 35, 1 BEDROOM 3 PHASE AIRCONDITIONING ENERGY RATING EER 30 - 35

VENTILATION
 THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:
 AT LEAST 1 BATHROOM INDIVIDUAL FAN DUCTED TO FACADE OR ROOF OPERATION CONTROL:
 MANUAL SWITCH ON/OFF
 KITCHEN INDIVIDUAL FAN DUCTED TO FACADE OR ROOF OPERATION CONTROL:
 MANUAL SWITCH ON/OFF
 LAUNDRY: NATURAL VENTILATION ONLY, OR NO LAUNDRY: OPERATION CONTROL: N/A

NATURAL LIGHTING
 THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 1 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING

COOKING
 THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.

OTHER
 THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT

THERMAL COMFORT

THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE ASSESSOR CERTIFICATE N° 4517257B, AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OR APPLICATION FOR COMPLYING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THE VALUES SHOWN IN THE ASSESSOR CERTIFICATE N° 4517257B

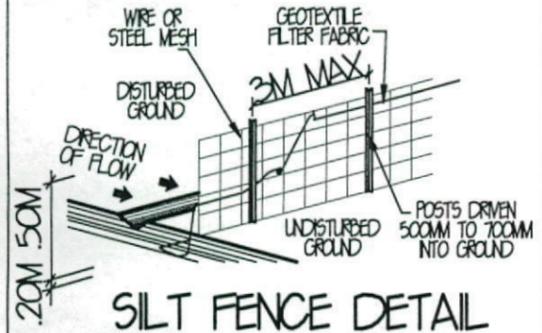
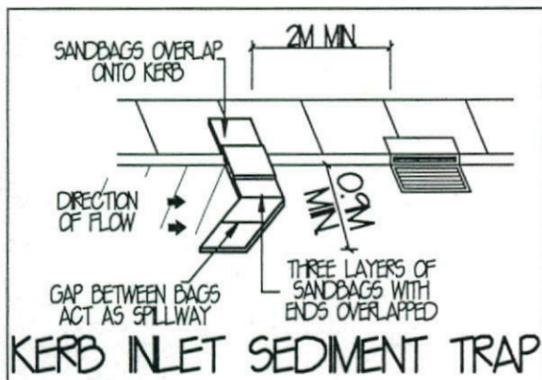
Eden brae homes
 22 BROOKHOLLOW AVENUE
 NORTHWEST BUSINESS PARK
 BALLURHAM HILLS NSW 2153
 P 0860 9222 F 0860 9233

FOR EDEN BRAE HOMES		
AT LOT 1175 BARLETT PLACE THORNTON PARK NORTH PENRITH		
TYPE MANCHESTER 22 (CUSTOM)	JOB NO. 00163012	
FACADE ASPEN	HAND RH	
DATE AUG' 12	DWG NO. A18828	PAGE NO. 7 OF 7

AGN SYDNEY
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A	31-8-12	SITING + CC PLANS	SH
B	27-9-12	BASIX/AMENDMENTS	CL

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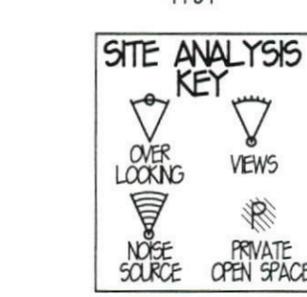
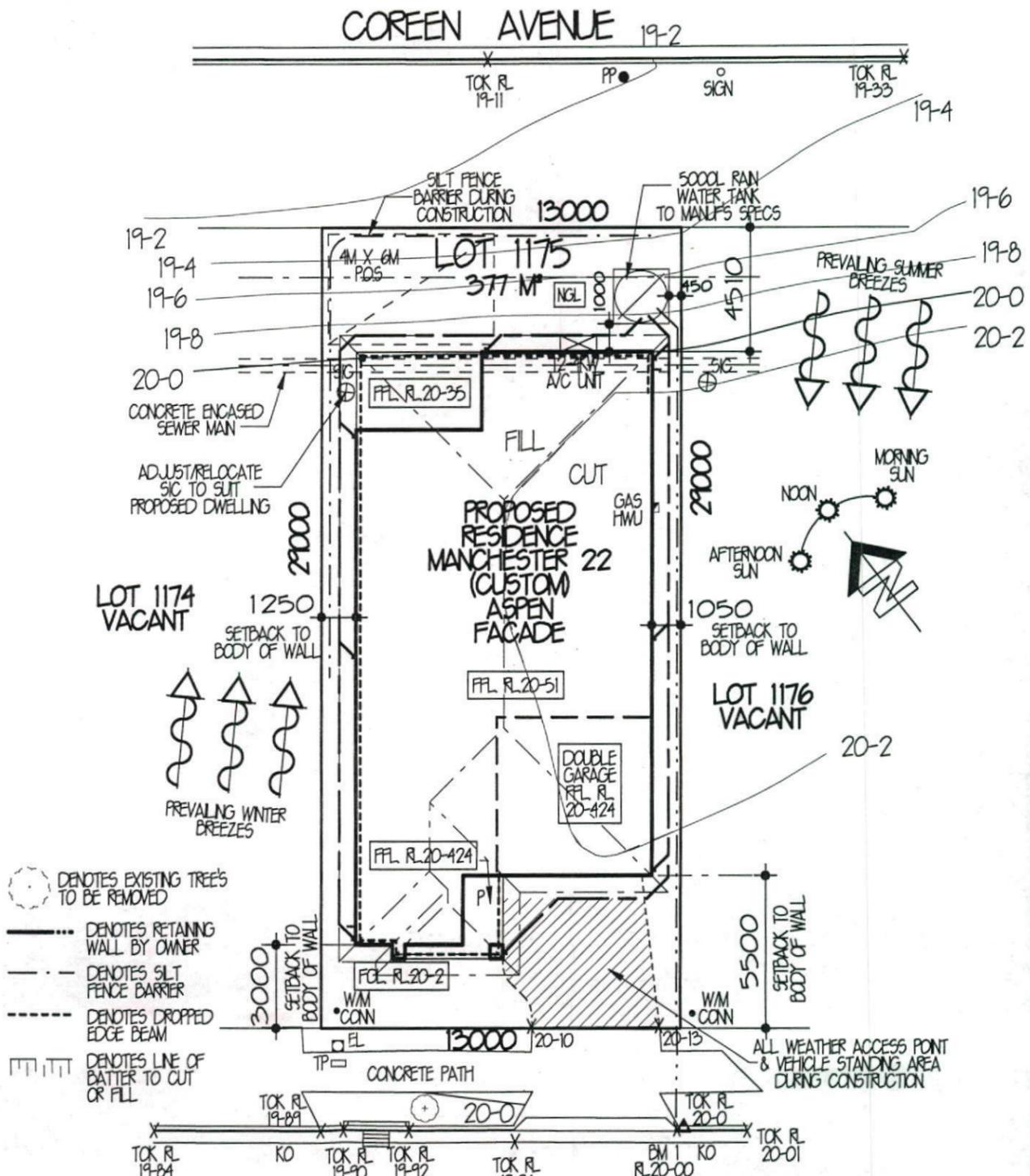


SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2M CENTRES). FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

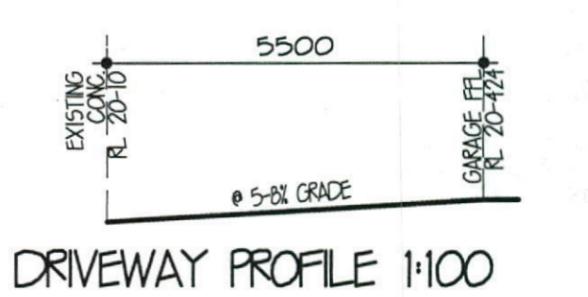
GENERAL NOTES

- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS.
- SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
- ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER.
- FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO A&N DESIGN BEFORE PROCEEDING.
- SITE CLASSIFICATION M
- CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL 20-2 GARAGE TO RL 20-2
- HOUSE FLOOR LEVEL RL 20-51, 310MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL 20-424, 224MM ABOVE PLATFORM LEVEL.
- TOTAL ROOF AREA = 259.1 M²



SITE DATA
 SITE AREA = 377 M²
 PRIVATE OPEN SPACE
 REQUIRED 75.4 M² OR 20% OF THE SITE
 PROVIDED 75.96 M² OR 20.1% OF THE SITE

FLOOR AREAS
 GROUND FLOOR AREA = 167.9 M² (EXCLUDING GARAGE)
 GARAGE FLOOR AREA = 32.1 M²
 PORCH FLOOR AREA = 5.5 M²
 ALFRESCO FLOOR AREA = 12.8 M²
 TOTAL FLOOR AREA = 218.3 M² OR 23.5 SCS



Eden Brae Homes
 "It's where you want to live"

LEVEL 3,
 22 BROOKHOLLOW AVENUE,
 NORTHWEST BUSINESS PARK,
 BALLKHAM HILLS NSW 2153
 P 8860 9222
 F 8860 9233

FOR **MR STEPHEN MEWETT** UED AREA 510
 REVISIONS
 WAP163 REF. B

AT **LOT 1175 BARTLETT PLACE**
THORNTON PARK, NORTH PENRITH

TYPE **MANCHESTER 22** (CUSTOM) JOB NO. **0016312**

FACADE **ASPEN** HAND **RH**

DATE **AUG 12** DWG NO. **A18828** PAGE NO. **1 OF 7**

AGN SYDNEY

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ISSUE	DATE	REVISION	DRAWN
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B	27-9-12	BASIX/AMENDMENTS	CL
C	5-03-13	AMEND CONTRACT PLANS	DB
D	22-03-13	AMENDMENTS + RESITE	TM

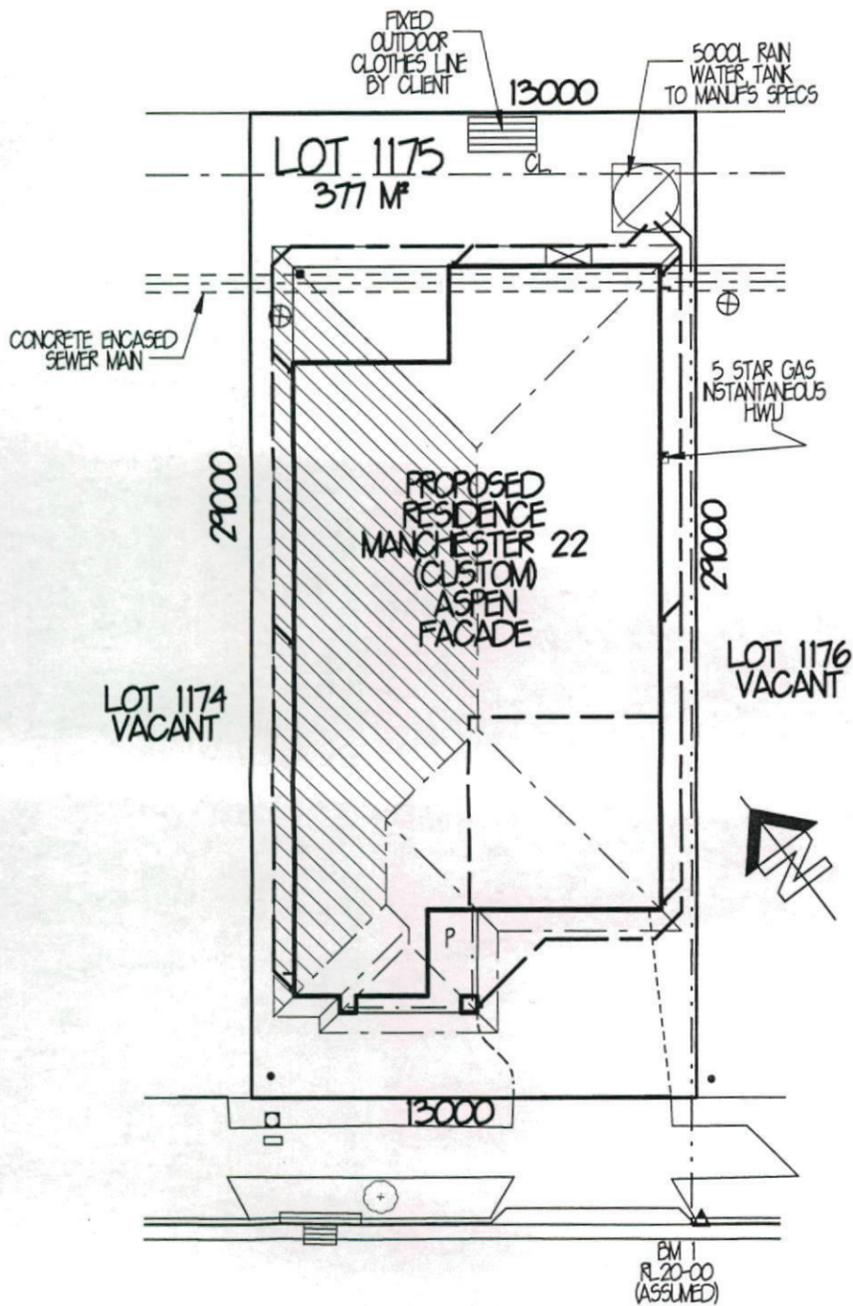
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INSULATION
 R2-0 WALL INSULATION
 R3-5 CEILING INSULATION
 (EXCLUDING GARAGE & ALFRESCO)
 ROOF SARRING

BASIX SCORE
 WATER - 40% (TARGET 40%)
 THERMAL COMFORT - PASS (TARGET PASS)
 ENERGY - 43% (TARGET 40%)

☐ DENOTES 88M² OF ROOF TO BE COLLECTED

COREEN AVENUE



BARLETT PLACE
BASIX PLAN 1:200

STORMWATER / WATER

COLLECTION OF RAINWATER & STORMWATER
 THE APPLICANT MUST INSTALL A RAINWATER TANK ON THE SITE. THE RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES

RAINWATER TANK:
 THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RUNOFF FROM AT LEAST 88 SQM OF THE ROOF AREA OF THE DWELLING

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO ALL THE TOILETS IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR TOILET FLUSHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHING MACHINE IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR CLOTHES WASHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT SO THAT RAINWATER CAN BE USED TO IRRIGATE VEGETATED AREAS OF THE SITE.

THE RAINWATER TANK MUST HAVE A CAPACITY OF AT LEAST 5000 LITRES.

SHOWERHEADS:
 THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (75 BUT ≤ PLAIN) IN ALL SHOWERS IN THE DEVELOPMENT

TOILETS:
 THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 3 STAR IN EACH TOILET IN THE DEVELOPMENT.

TAP FITTINGS:
 THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM FLOW RATE OF 3 STAR IN THE KITCHEN IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL BATHROOM TAPS (OTHER THAN SHOWERHEADS) WITH A MINIMUM FLOW RATE OF 3 STAR IN EACH BATHROOM IN THE DEVELOPMENT

ENERGY

HOT WATER:
 THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT:
 GAS INSTANTANEOUS - 5 STARS (OR ONE WITH A HIGHER STAR RATING)

ACTIVE COOLING:
 THE APPLICANT MUST INSTALL THE FOLLOWING COOLING SYSTEMS IN THE DEVELOPMENT, OR SYSTEMS WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING ENERGY RATING: EER 25 - 30, 1 BEDROOM: 3 PHASE AIRCONDITIONING ENERGY RATING: EER 25 - 30

ACTIVE HEATING:
 THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEMS IN THE DEVELOPMENT, OR SYSTEMS WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING ENERGY RATING: EER 30 - 35, 1 BEDROOM: 3 PHASE AIRCONDITIONING ENERGY RATING: EER 30 - 35

VENTILATION:
 THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:
 AT LEAST 1 BATHROOM: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF. OPERATION CONTROL: MANUAL SWITCH ON/OFF
 KITCHEN: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF. OPERATION CONTROL: MANUAL SWITCH ON/OFF
 LAUNDRY: NATURAL VENTILATION ONLY, OR NO LAUNDRY. OPERATION CONTROL: N/A

NATURAL LIGHTING:
 THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 1 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING

COOKING:
 THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.

OTHER:
 THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT

THERMAL COMFORT

THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE ASSESSOR CERTIFICATE N° 45172378 AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OR APPLICATION FOR COMPLYING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THE VALUES SHOWN IN THE ASSESSOR CERTIFICATE N° 45172378

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FOR MR STEPHEN MEWETT
 LBD AREAS/D REVISIONS MARKED REF:UB

AT LOT 1175 BARTLETT PLACE
 THORNTON PARK, NORTH PENRITH

TYPE MANCHESTER 22 (CUSTOM)
 JOB NO. 0016312

FACADE ASPEN
 HAND R1

DATE AUG' 12
 DWG NO. A18828
 PAGE NO. 7 OF 7

AGN SYDNEY

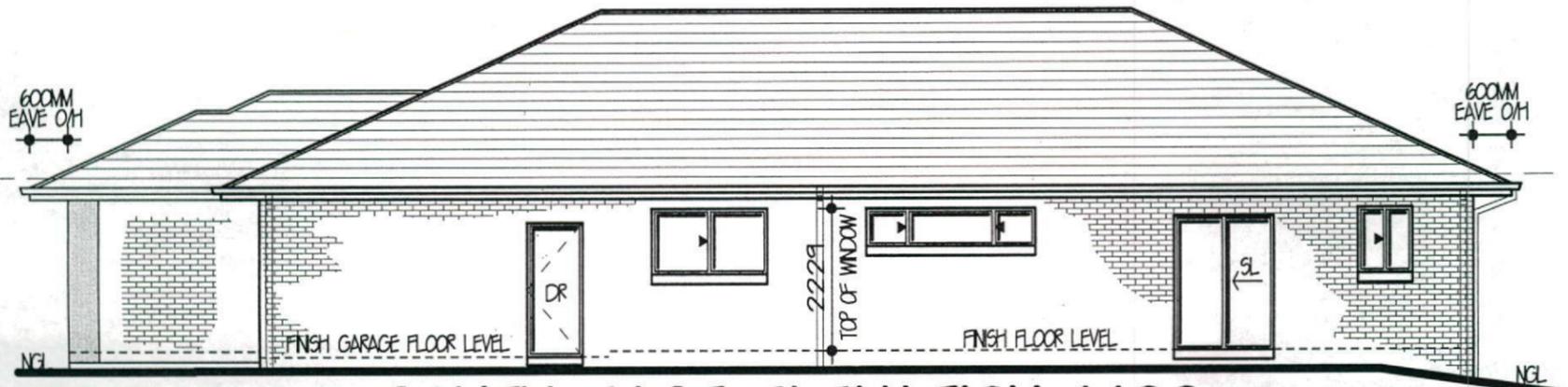
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C	5-03-13	AMEND CONTRACT PLANS	DB
D	22-03-13	AMENDMENTS + RESITE	TM

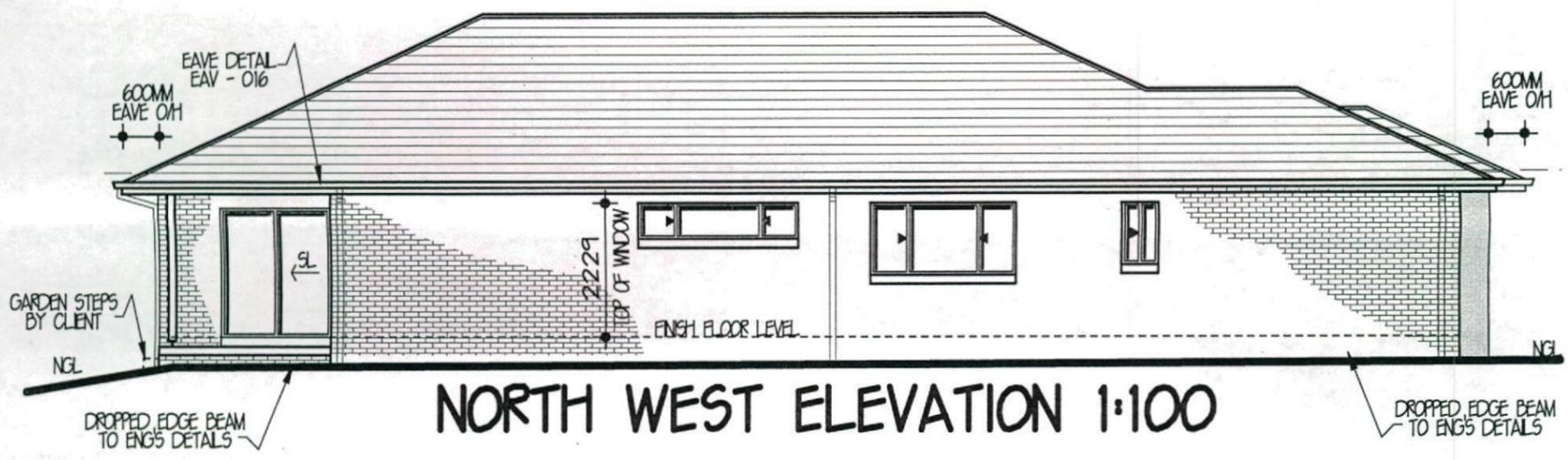
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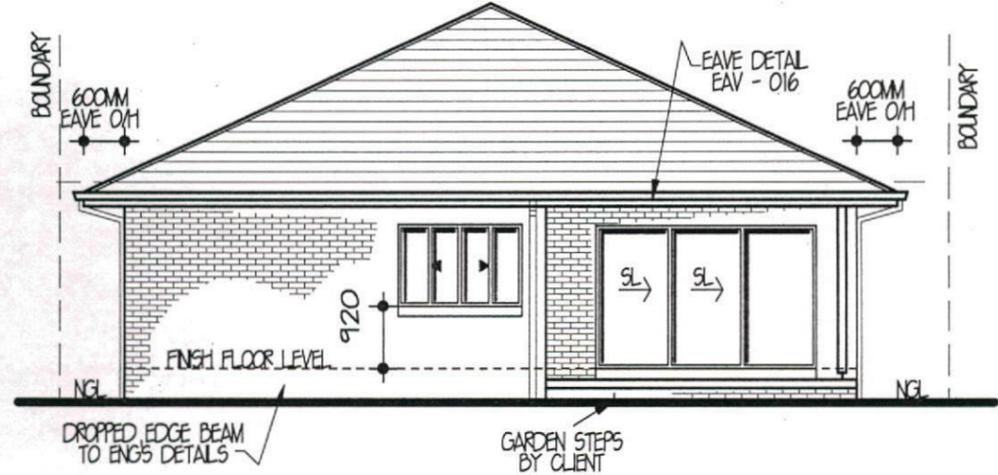
SOUTH WEST ELEVATION 1:100



SOUTH EAST ELEVATION 1:100



NORTH WEST ELEVATION 1:100



NORTH EAST ELEVATION 1:100

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 LEVEL 3
 22 BROOKHOLLOW AVENUE
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FOR **MR STEPHEN MEWETT** UED AREAS/D REVISIONS WAP/163 REFUB

AT LOT 1175 BARTLETT PLACE
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TYPE **MANCHESTER 22** JOB NO. **0016312**
 (CUSTOM)

FACADE **ASPEN** HAND **RH**

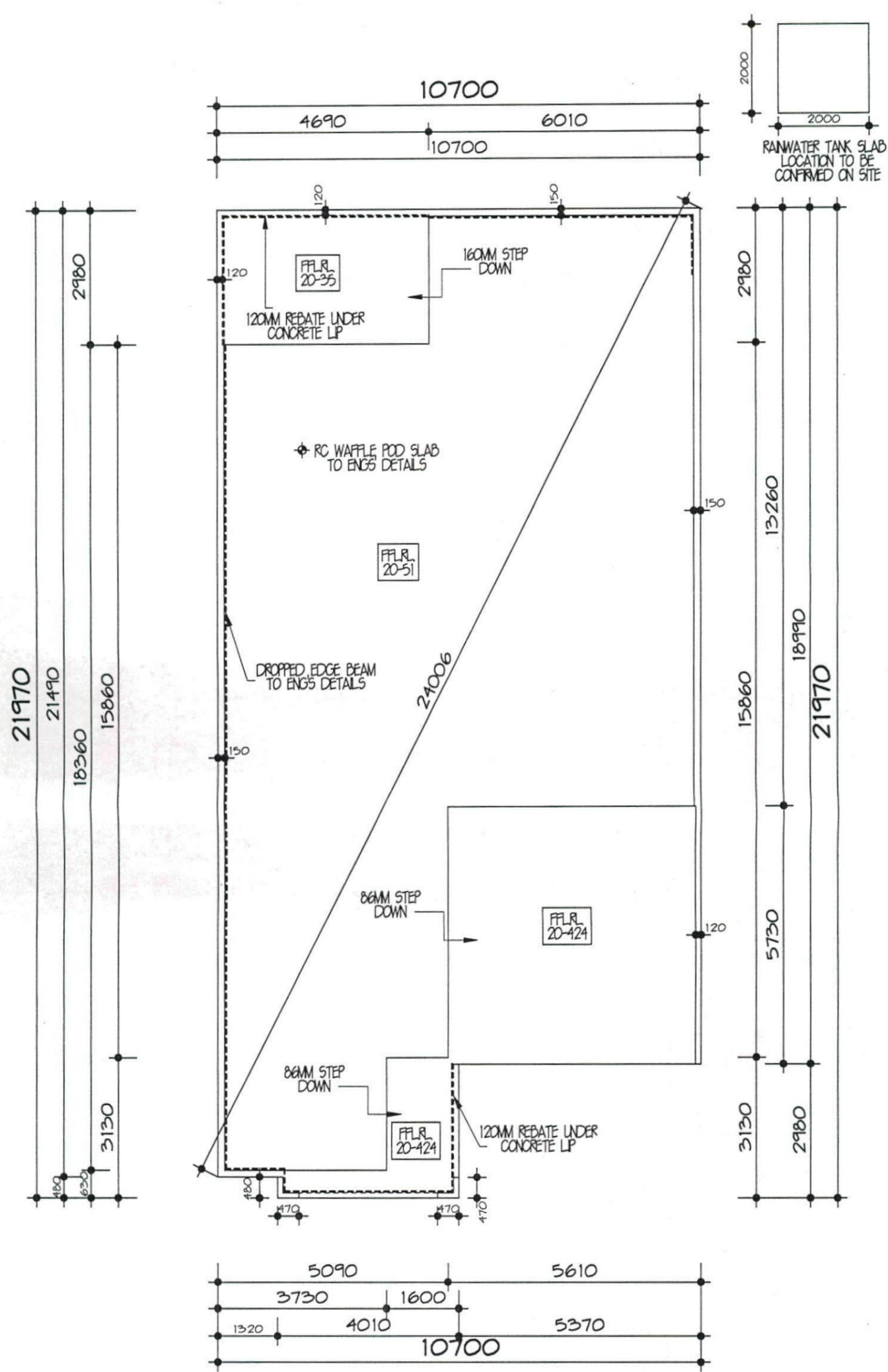
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 EMAIL: INFO@DESIGNSYDNEY.COM.AU

ISSUE	DATE	REVISION	DRAWN
A	31-8-12	SITING + CC PLANS	SI
B	27-9-12	BASIS/AMENDMENTS	CL
C	5-03-13	AMEND CONTRACT PLANS	DB
D	22-03-13	AMENDMENTS + RESITE	TM

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SLAB FLOOR PLAN 1:100

SLAB PLAN TO BE CROSS REFERENCED WITH FLOOR PLANS, ANY DISCREPANCIES ARE TO BE VERIFIED BEFORE PROCEEDING

Eden Brae Homes
 22 BROOKHOLLOW AVENUE, NORWEST BUSINESS PARK, BALKHAM HILLS NSW 2153
 P 8860 9222 F 8860 9233

FOR MR STEPHEN MEWETT
 AT LOT 1175 BARTLETT PLACE THORNTON PARK, NORTH PENRITH
 TYPE MANCHESTER 22 (CUSTOM)
 FACADE ASPEN
 DATE AUG' 12

LEVEL 3
 22 BROOKHOLLOW AVENUE, NORWEST BUSINESS PARK, BALKHAM HILLS NSW 2153
 P 8860 9222 F 8860 9233

JOB NO. 0016312
 HAND RH
 DWG NO. A18828
 PAGE NO. 5 OF 7

AGN SYDNEY

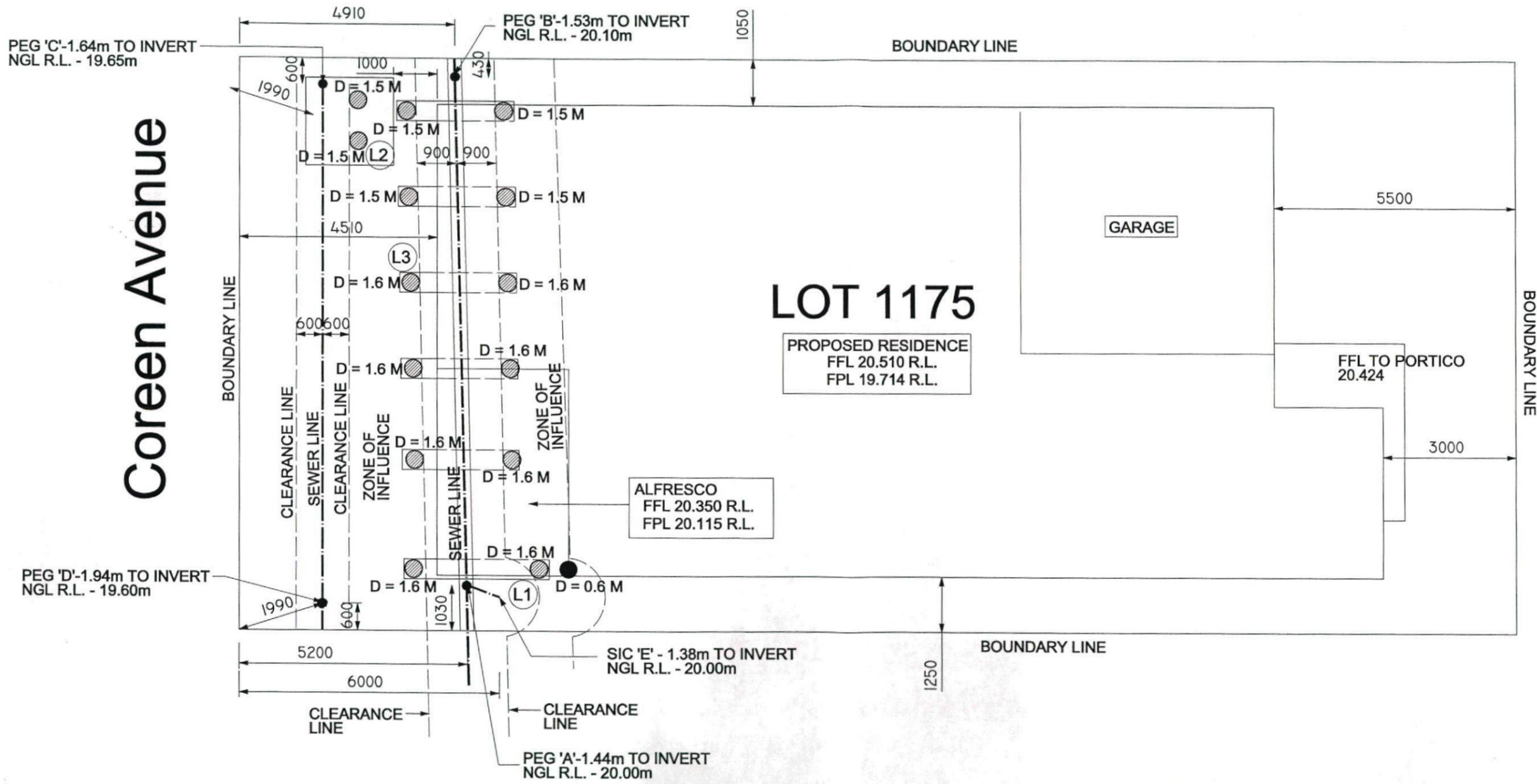
UNIT 39/5 INGLEWOOD PLACE, NORWEST BUSINESS PARK, BALKHAM HILLS NSW 2153
 P.O. BOX 6410 BALKHAM HILLS BUSINESS CENTRE NSW 2153
 PHONE: (02) 8824 3533 FAX: (02) 8824 3544
 EMAIL: INFO@ANDESIGNSYDNEY.COM.AU

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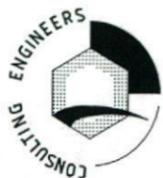
SEWER NOTES:

- * POSITION OF SEWER IS ONLY APPROXIMATE
- * POSITION OF SEWER IS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK
- * PIER DEPTHS AS SHOWN ARE FOR ZONE OF INFLUENCE REQUIREMENTS
- * PIERS ARE TO BE FOUNDED ON NATURAL BEARING AS PER ENGINEERING REQUIREMENTS WHERE NECESSARY



Rafeletos

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EMAIL: admin@rafzan.com.au

B.E., M.I.E. AUST.



REFERENCE 16312

SITE AND B.A.S/B.O.S DETAIL PLAN

CLIENT LOCATION MR STEPHEN MEWETT
LOT 1175 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH

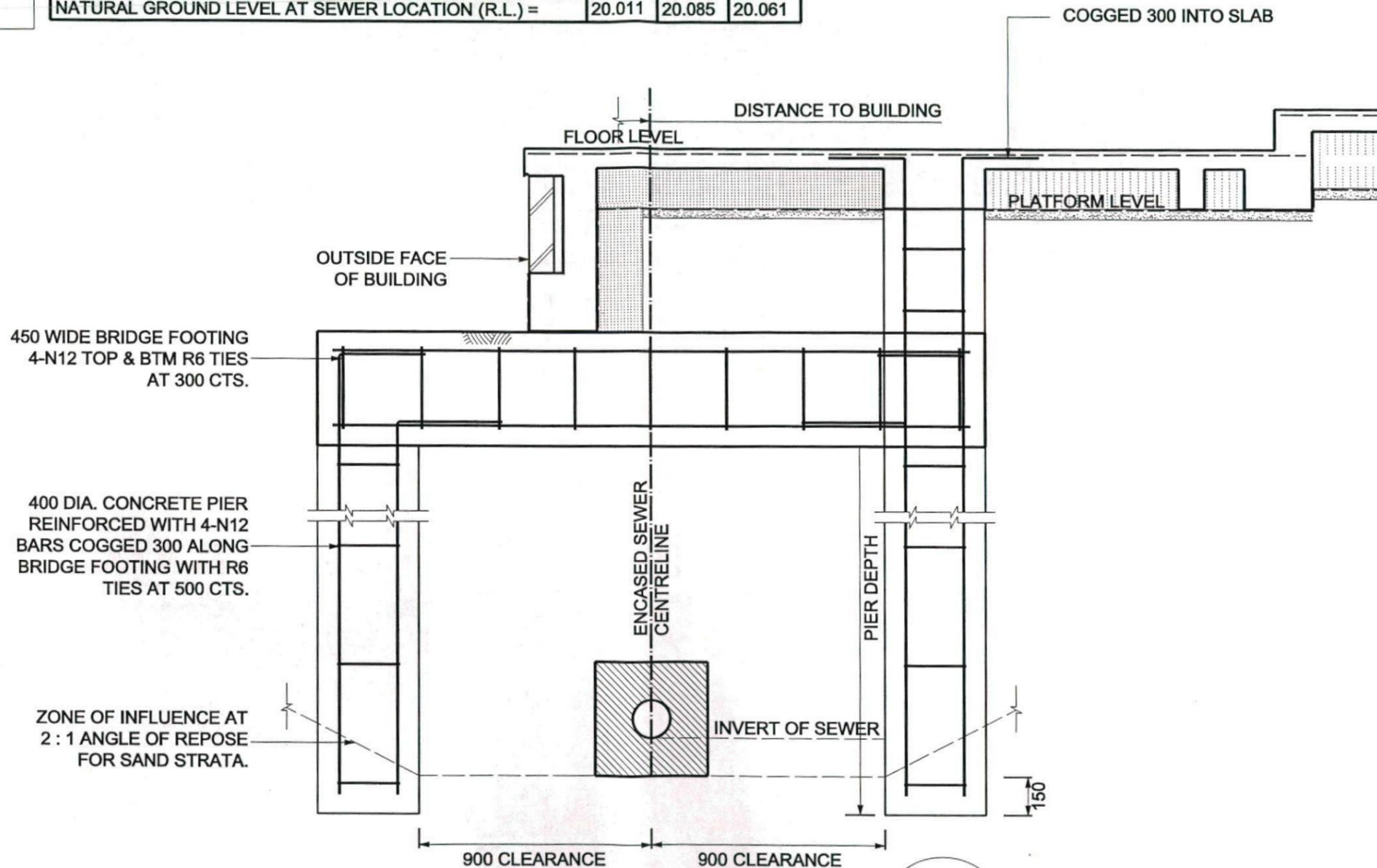
A3

DRAWN	N.P	SCALE	1:100	SHEET No.	4
ISSUE	C	DATE	24/05/13	JOB No.	55045EB

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SEWER CALCULATIONS	L1	L2	L3
PERPENDICULAR DISTANCE FROM SEWER TO PIER (m)	0.900	1.719	0.900
FINISHED PLATFORM LEVEL AT PIER LOCATION (r.l.) =	20.200	20.200	20.200
SEWER INVERT LEVEL PERPENDICULAR AT LOCATION (r.l.) =	18.433	18.522	18.493
PIER DEPTH FROM FINISHED PLATFORM LEVEL (m) =	1.6	0.7	1.6
Z.O.I. EXTENT FROM SEWER USING PLATFORM LEVEL (m) =	2.367	2.278	2.307
NATURAL GROUND LEVEL AT SEWER LOCATION (R.L.) =	20.011	20.085	20.061



SEWER DETAIL

L1

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SEWER SECTION/S PLAN

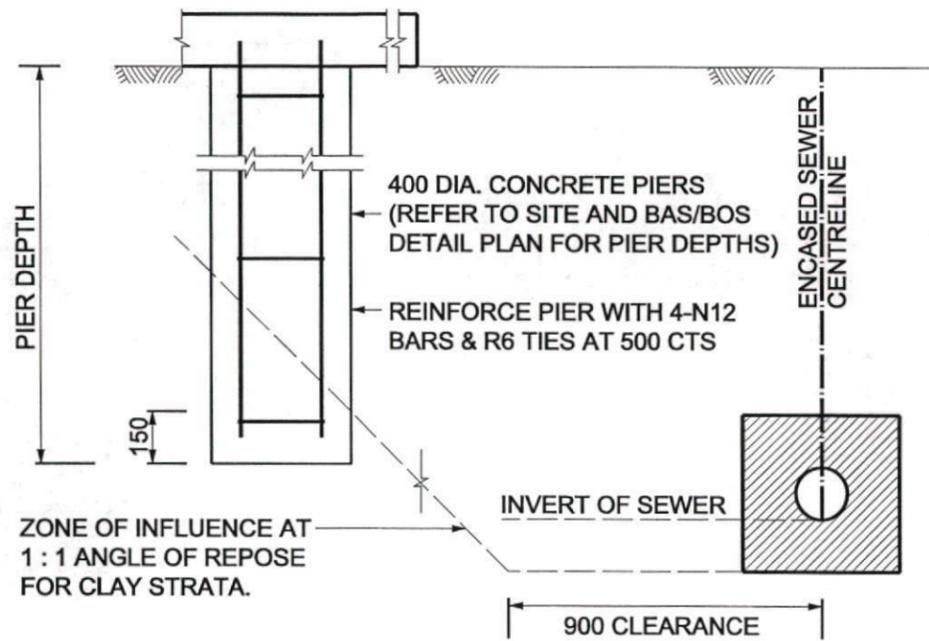
CLIENT MR STEPHEN MEWETT
LOCATION LOT 1175 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH

A3

DRAWN	N.P	SCALE	1:20	SHEET No.	5
ISSUE	C	DATE	24/05/13	JOB No.	55045EB

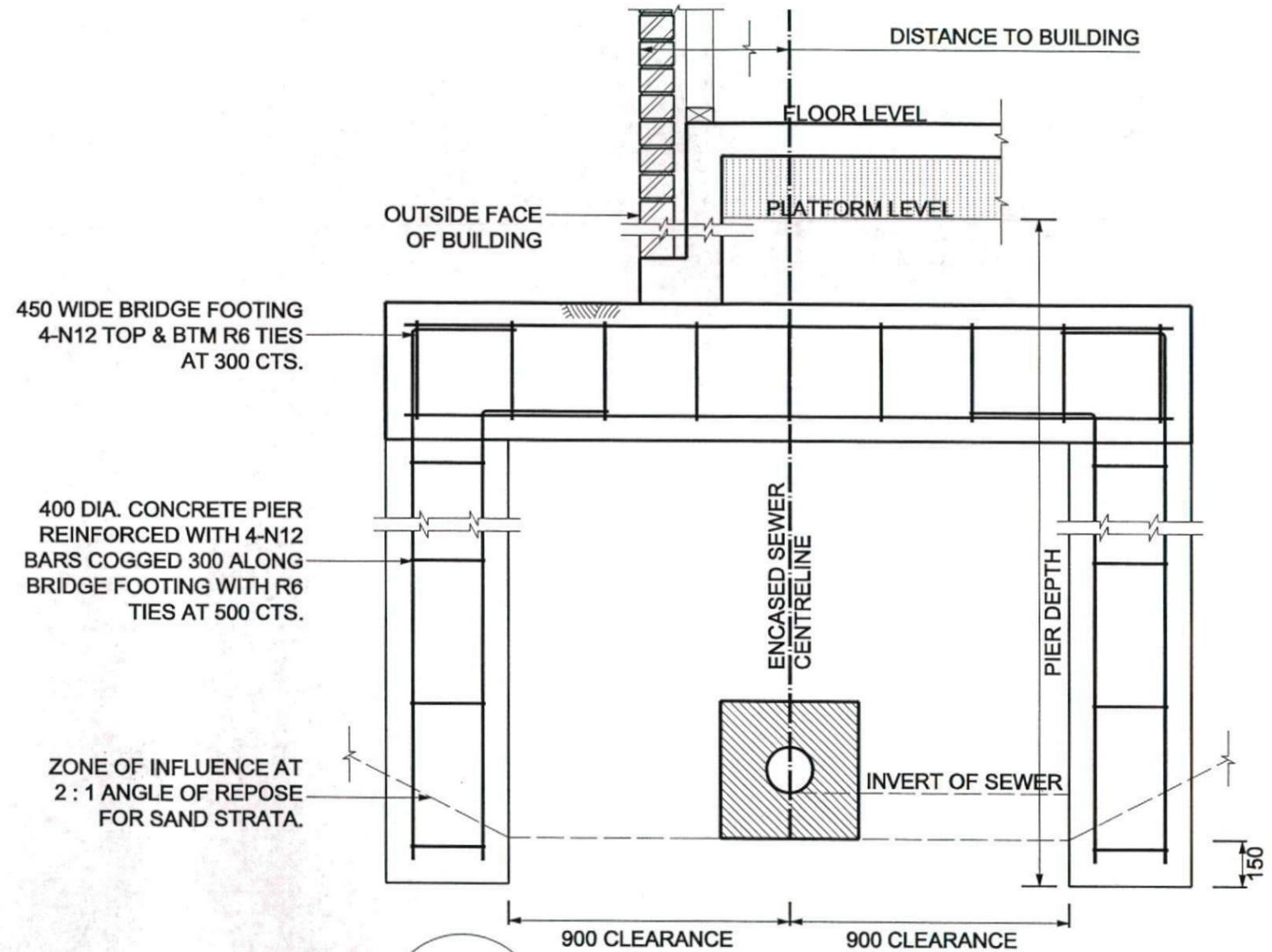
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SEWER DETAIL

L2

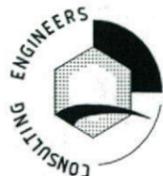


SEWER DETAIL

L3

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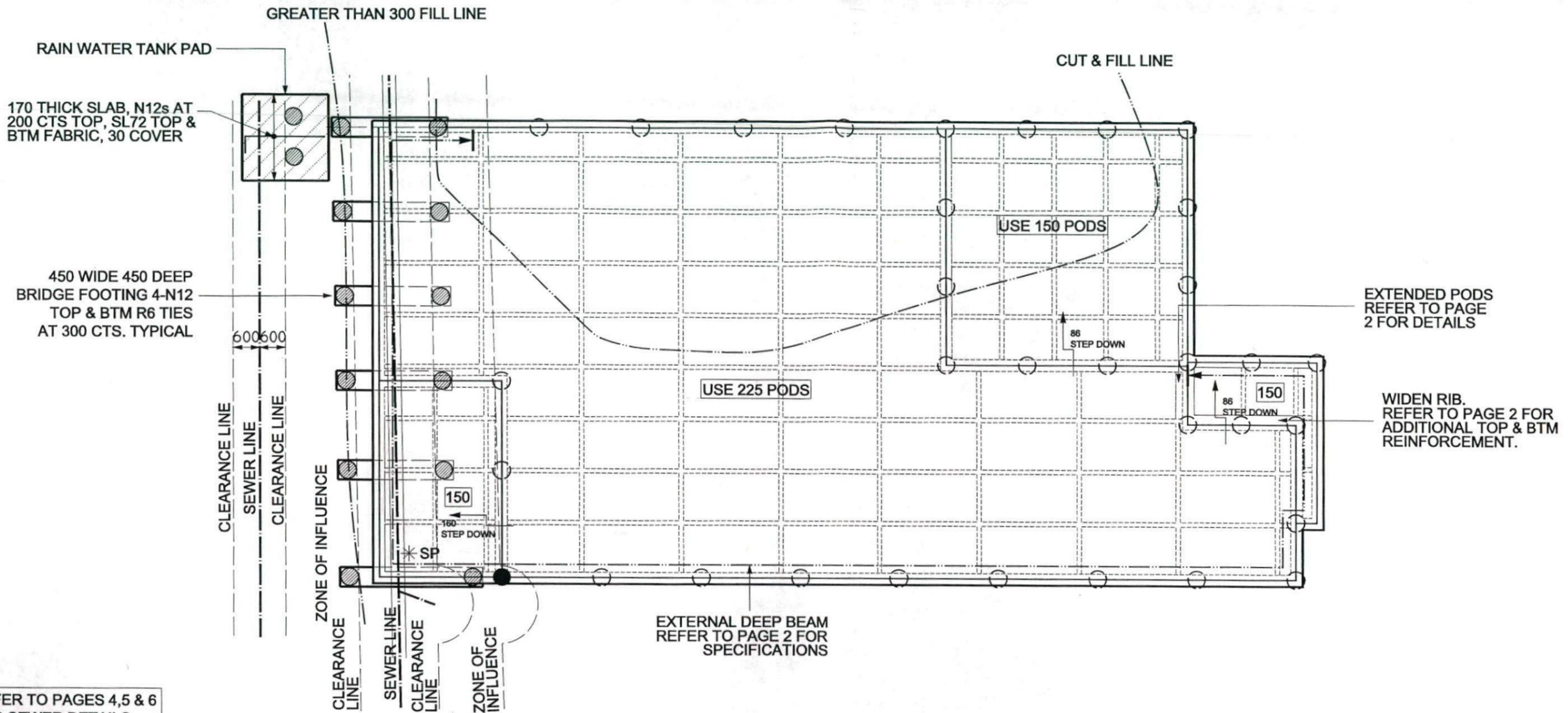
theden brae homes

SEWER SECTION/S PLAN

CLIENT MR STEPHEN MEWETT
LOCATION LOT 1175 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH

A3

REFERENCE	M	DRAWN	N.P	SCALE	1:20	SHEET No.	6
	16312	ISSUE	C	DATE	24/05/13	JOB No.	55045EB



REFER TO PAGES 4,5 & 6 FOR SEWER DETAILS

CONSTRUCTION NOTES

GENERAL: UNLESS NOTED OTHERWISE

THE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER WORKING DRAWINGS AND SPECIFICATIONS AND ANY OTHER WRITTEN INSTRUCTIONS ISSUED DURING CONSTRUCTION. ALL DISCREPANCIES AND VARIATIONS SHALL BE REFERRED TO THE ENGINEER, BEFORE PROCEEDING WITH THE WORK.

DURING CONSTRUCTION THE STRUCTURE AND ANY ADJACENT STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWING ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS.

THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH THE LOCATION, SIZE AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS.

ALL SITE SAFETY MEASURES AND WORK METHOD STATEMENTS PREPARED BY BUILDER/SUB-CONTRACTORS ARE TO BE IMPLEMENTED DURING CONSTRUCTION. NO WORK IS TO COMMENCE UNTIL SUPERVISOR/BUILDER HAS IDENTIFIED AND APPROPRIATELY ACTED ON ANY POTENTIAL HAZARDS.

UNLESS REQUESTED AND PRODUCED ON THE PLANS, BUILDER IS TO ENSURE THAT ARTICULATION JOINTS ARE SHOWN ON THEIR ARCHITECTURAL DRAWINGS AND BE SATISFIED THEY ARE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES.

ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF RELEVANT AUSTRALIAN STANDARD CODES AND THE REGULATIONS OF THE RELEVANT BUILDING AUTHORITY

FOOTINGS ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 100kPa.

PIER HOLES ARE DESIGNED FOR ALLOWABLE BEARING PRESSURE OF 200kPa.

FOUNDATION MATERIAL SHALL BE APPROVED PRIOR TO CONSTRUCTION

ADDITIONAL CONCRETE PIERS MAY BE REQUIRED UNDER SLAB TO EVEN BEARING IN SOIL AS RECOMMENDED BY AUSTRALIAN STANDARD AS 2870.

ADDITIONAL PIERS IN THE CUT SECTION OF BUILDING PLATFORM MAY ALSO BE REQUIRED TO ACHIEVE THE SAME BEARING AS PIERS IN THE FILL SECTION.

A 1 METRE WIDE APRON, WITH 25 CROSS FALL AWAY FROM SLAB EDGE IS TO BE FORMED ALL AROUND THE RAFT SLAB WHERE APPLICABLE

IF THE LOCATION OF THE SLAB IS NEXT TO AN ABOVE OR BELOW ON SITE DETENTION SYSTEM OR BELOW GROUND RAINWATER TANK, THE BUILDER IS TO ADVISE ENGINEER IN ORDER TO ENSURE THAT CONCRETE PIERS ARE TAKEN 500mm BELOW THE INVERT LEVEL OF TANK OR THE FOOTING OF THE SUPPORTING WALL FOR AN ABOVE GROUND DETENTION SYSTEM.

ALL SITE FILLING PLACED BENEATH SLAB TO BE TREATED IN ACCORDANCE WITH CLAUSE 6.4. OF AS 2870.2 - 2011.

REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF RAINWATER TANK AC, HWS AND LPG UNITS.

CONCRETE SPECIFICATION (F_c 28 DAYS) TO BE AS FOLLOWS: ADOPT TYPE 'A' CEMENT WITH MAX AGGREGATE SIZE OF 20mm AND 80mm SLUMP

LOCATION	NORMAL F _c	SALINE AFFECTED F _c
PIERS	15 MPa	32 MPa
SLAB	20 MPa	32 MPa
STRIP FOOTINGS	25 MPa	32 MPa

CLEAR COVER TO REINFORCEMENT TO BE AS FOLLOWS:

LOCATION	FORMED & SHELTERED	FORMED & EXPOSED	POURED ON GROUND
SLABS & WALLS	20	30	65
BEAMS	25	40	65
COLUMNS	40	50	—
STRIP FOOTING	—	—	65

REINFORCEMENT SYMBOLS ARE AS FOLLOWS:
(N) - HOT ROLLED DEFORMED BARS (400 n)
(SL) - HARD-DRAWN WIRE REINFORCING FABRIC (450 st)
(S) - STRUCTURAL GRADE DEFORMED BARS

NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS ARE TO BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR ENGINEERS APPROVAL
CONSTRUCTION JOINTS THAT ARE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.

ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED IN ITS REQUIRED POSITION AND COVER DURING PLACEMENT OF CONCRETE

PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.

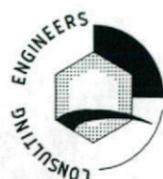
ALL CONCRETE TO BE MECHANICALLY VIBRATED AND SHALL BE CAREFULLY WORKED AROUND THE REINFORCEMENT AND INTO THE CORNERS OF FORMWORK

BUILDER TO ADHERE TO ANY GEOTECHNICAL REPORT RECOMMENDATIONS PREPARED FOR THE SITE.

⊗ REINFORCED CONC. PIER ● SEWER AFFECTED PIER ⊕ SCREW PIER
○ UNREINFORCED CONC. PIER ♀ ARTICULATION JOINT * STARTING POINT
DESIGNED TO AS 2870 - 2011 SLAB AND FOOTING CODE

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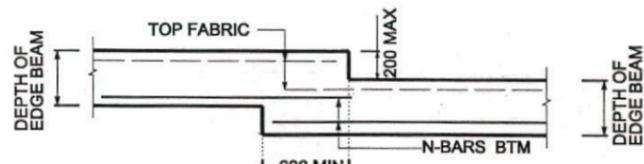
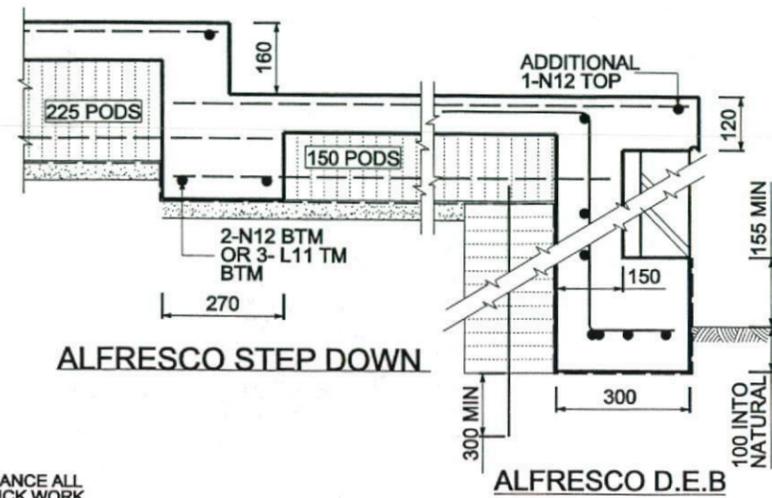
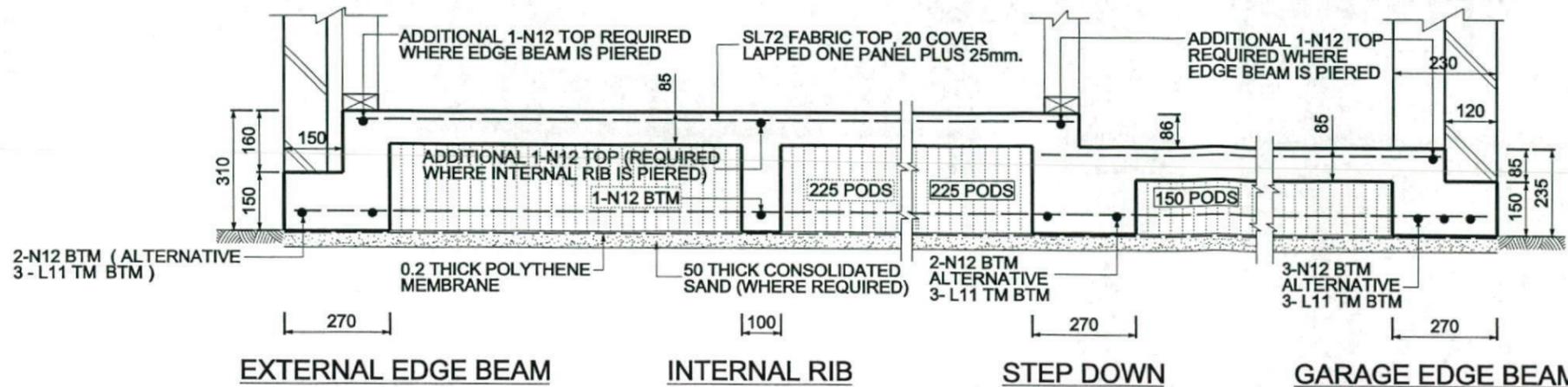
Theden brae homes

STRUCTURAL SLAB DETAIL PLAN

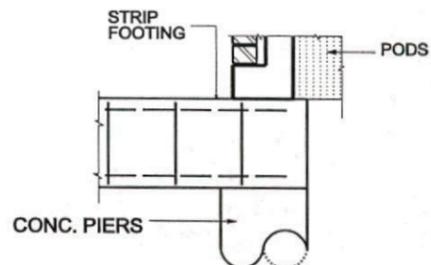
CLIENT MR STEPHEN MEWETT
LOCATION LOT 1175 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH

A3

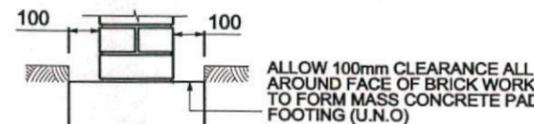
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				DATE	24/05/13	JOB No.	55045EB



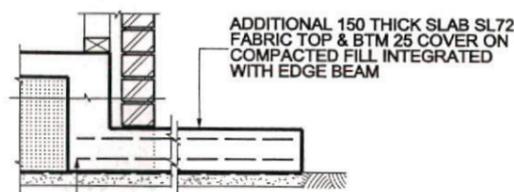
EXTERNAL BEAM STEP DWN. DETAIL
NOTE: STEP TO OCCUR ON TOP OF PIER



STRIP FOOTING CONNECTION



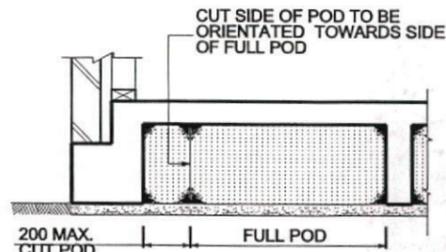
TYPICAL MASS CONCRETE PAD CONSTRUCTION



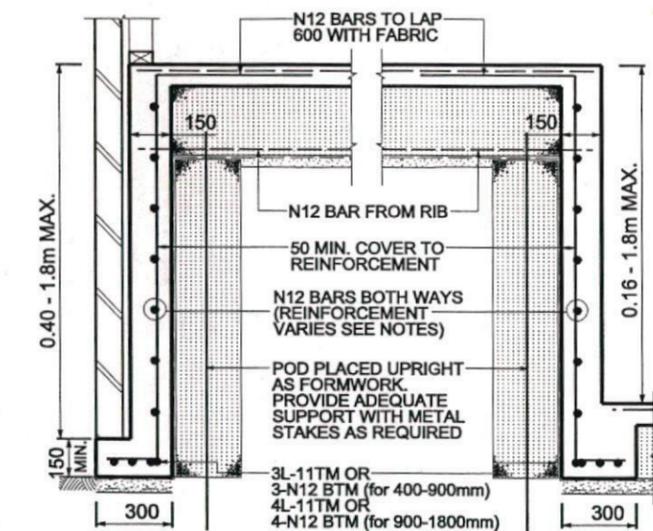
EXTERNAL EDGE BEAM SIZE AND REINFORCEMENT TO SUIT LOCATION OF PAD.

PAD DETAIL

- FOR RAINWATER TANK, LPG & A/C UNITS ETC. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- SPACE PIERS AS REQUIRED TO SUIT PAD SIZE:
- 500 MAXIMUM TO EDGE OF SLAB FOR PERIMETER PIERS.
- 1000 MAXIMUM CENTRES IF ADDITIONAL INTERNAL PIERS ARE REQUIRED FOR PAD SIZE.

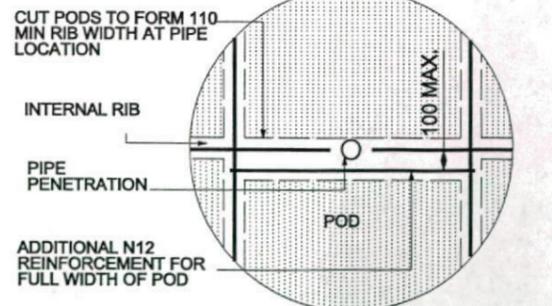


POD EXTENSION DETAIL

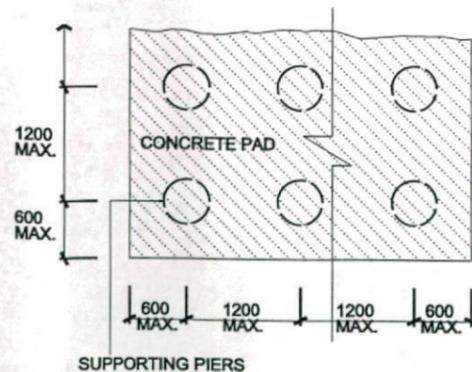


EXTERNAL DEEP BEAM INTERNAL DEEP BEAM

DEEP BEAM DEPTH	BEAM REINFORCEMENT
160 - 400mm	N12 BARS AT 1200 CENTRES & 1-N12 HORIZONTAL
400 - 900mm	N12 BARS AT 600 CENTRES & 1-N12 CENTRALLY
900 - 1500mm	N12 BARS AT 300 CENTRES BOTH WAYS
1500 - 1800mm	N12 BARS AT 200 CENTRES BOTH WAYS

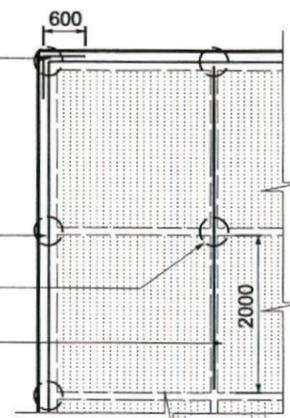


PIPE PENETRATION THROUGH RIB



SUPPORTING PIERS

- AT ALL EXTERNAL BEAM CORNER LOCATIONS: (TOP & BTM)
- PROVIDE ADDITIONAL 1200 LONG BENT CORNER LAP BARS AROUND CORNER WHERE BOTTOM N12 EDGE BEAM REINFORCEMENT IS DISCONTINUOUS.
- OR
- BEND BOTTOM N12 EDGE BEAM REINFORCEMENT AROUND CORNER TO PROVIDE 600 MINIMUM LAP.
- EXTERNAL LOAD BEARING BEAM AND PIERS.
- INTERNAL RIB BEAM PIERS.
- WHERE INTERNAL RIB BEAMS OR CONCRETE PADS ARE PIERED, THEN ADDITIONAL 1-N12 TOP BAR ALONG THE RIB IS REQUIRED IN ONE DIRECTION ONLY AND IS TO BEGIN FROM THE EXTERNAL EDGE BEAM AND EXTEND 2000 BEYOND LAST PIER.



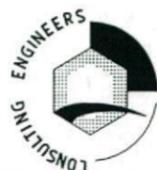
- PROVIDE 400 DIA. CONCRETE PIERS TO CLAY AND SAND, OR 300 DIA. TO ROCK OR SHALE.
- SPACE PIERS AT 2400 CTS AS SHOWN ALONG EXTERNAL EDGE BEAM, UNLESS NOTED OTHERWISE
- PIERS REQUIRED UNDER INTERNAL RIB BEAMS WHEN CONSTRUCTED ON MORE THAN 300mm OF UNCONTROLLED/NON-COMPACTED MATERIAL, OR AS SHOWN.
- N12 BARS CAN BE REPLACED WITH 10.65mm HDW (450MPa STRESS GRADE)

REINFORCEMENT FOR RIBS AND BEAMS

WIDTH	TOP STEEL	BTM STEEL
271-330	1-N12	3-N12
331-440	2-N12	4-N12
441-550	3-N12	5-N12
551-660	4-N12	6-N12

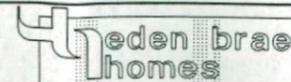
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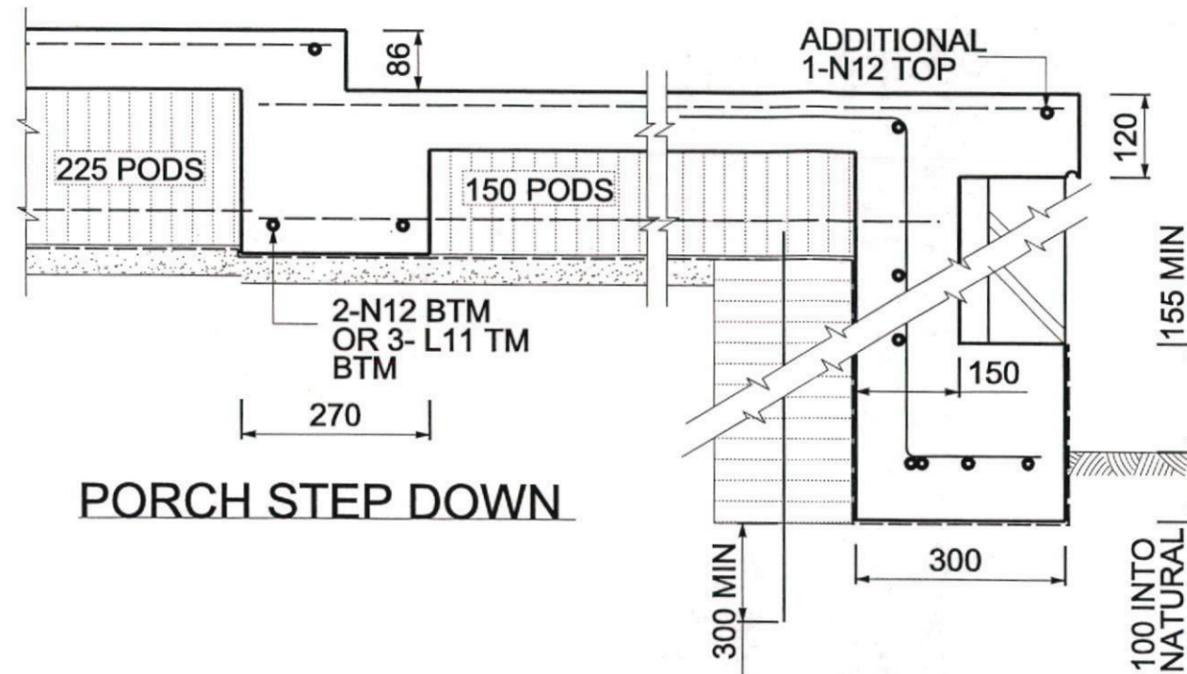
FORMWORK LEVEL CHECK BOOKED
FORMWORK LEVEL CHECK COMPLETE

225.72.2.N 225.150.86.2 225.150.160.2

STRUCTURAL DETAIL PLAN

CLIENT MR STEPHEN MEWETT
LOCATION LOT 1175 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH

CLASSIFICATION	M	SCALE	NTS.	SHEET No.	2
ISSUE	C	DATE	24/05/13	JOB No.	55045EB



PORCH STEP DOWN

PORCH D.E.B

(REFER TO EXTERNAL DEEP BEAM DETAILS FOR REINFORCEMENT SPECIFICATIONS)

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STRUCTURAL SLAB DETAIL PLAN

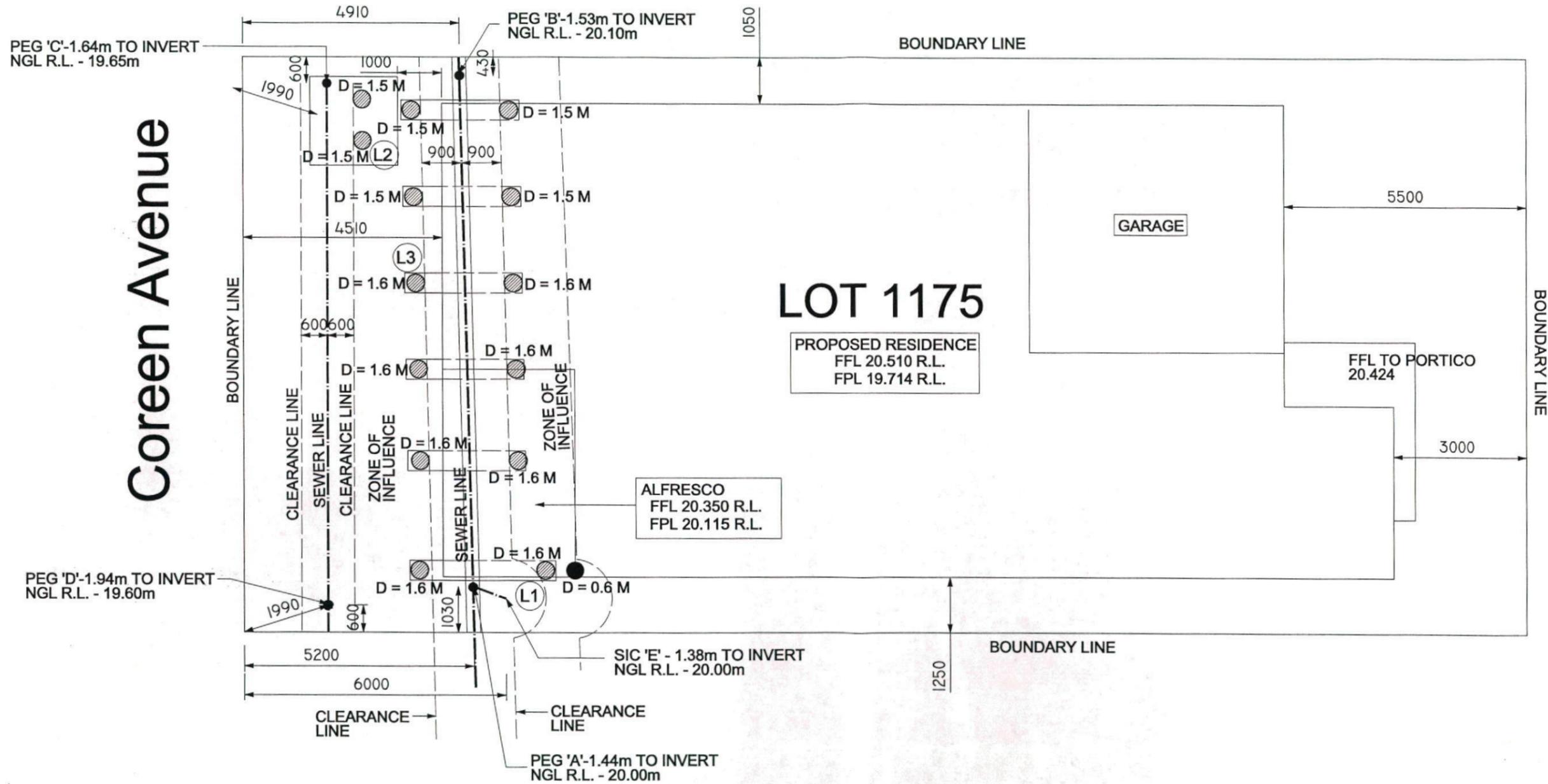
CLIENT MR STEPHEN MEWETT
LOCATION LOT 1175 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH

A3

REFERENCE	M	DRAWN	N.P	SCALE	1:100	SHEET No.	3
	16312	ISSUE	C	DATE	24/05/13	JOB No.	55045EB

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SITE AND B.A.S/B.O.S DETAIL PLAN

CLIENT: MR STEPHEN MEWETT
LOCATION: LOT 1175 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH

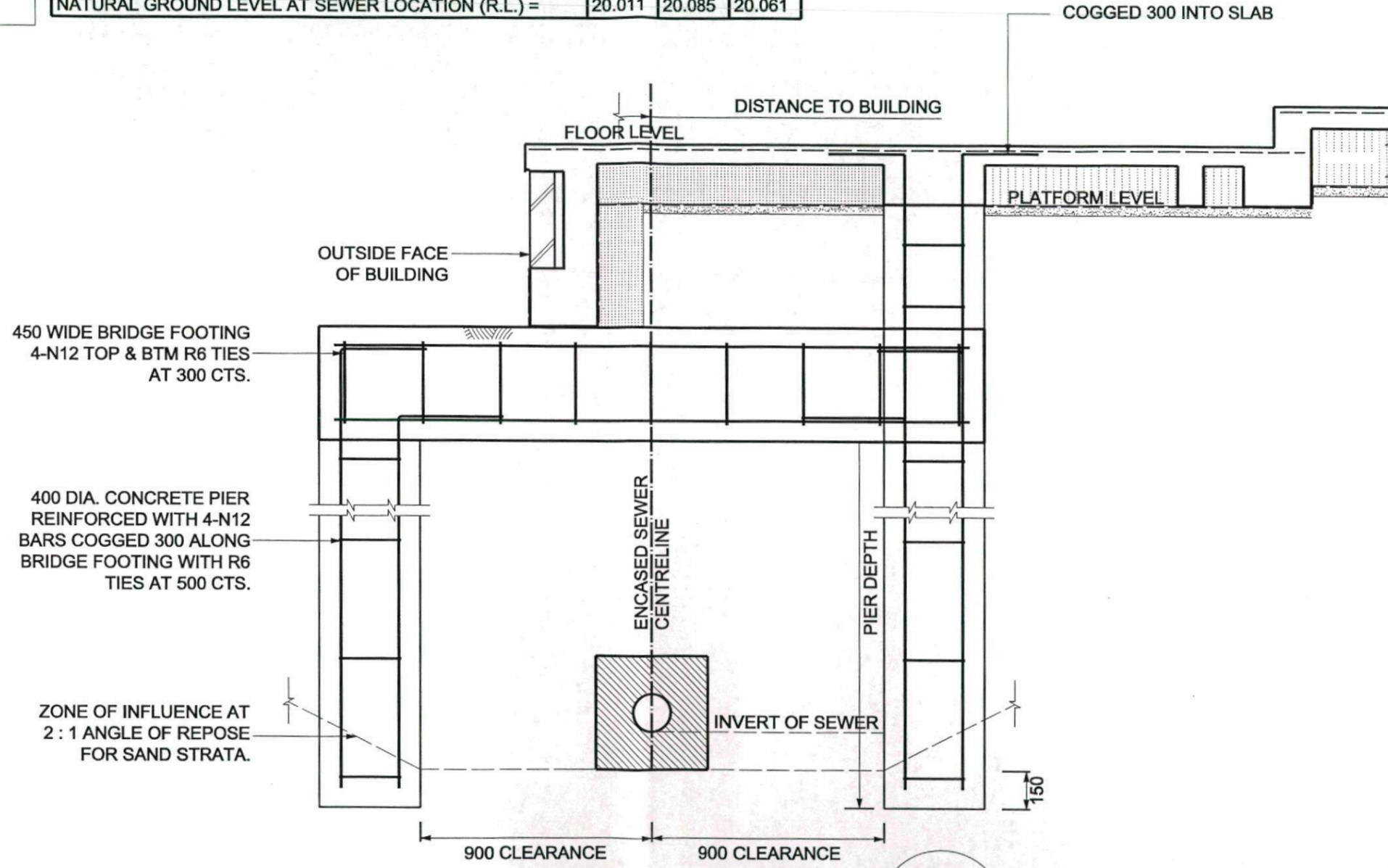
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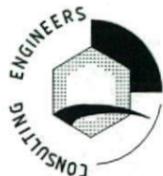


SEWER DETAIL

L1

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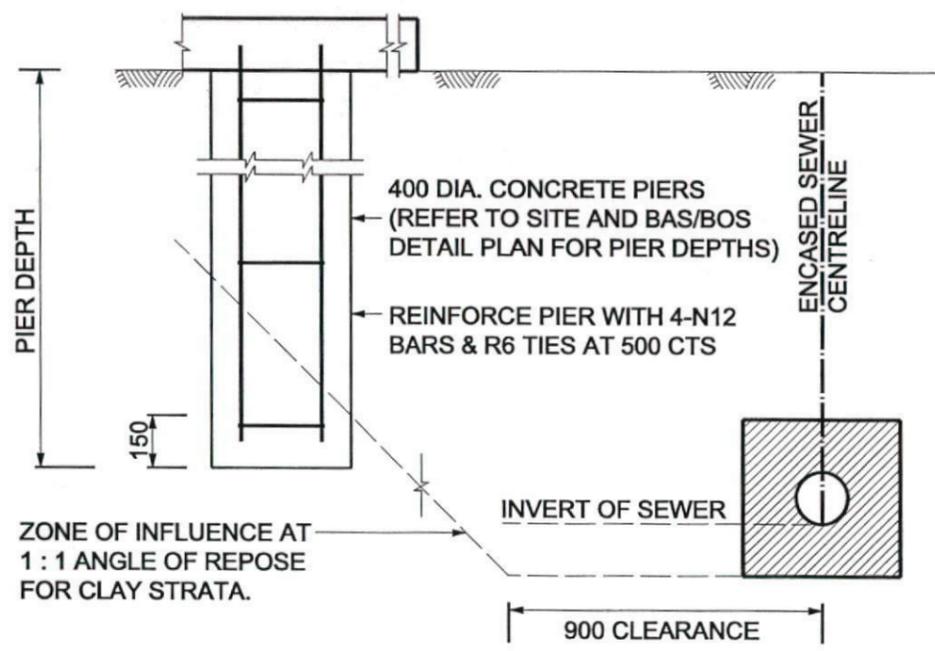
CLIENT LOCATION MR STEPHEN MEWETT
LOT 1175 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH

A3

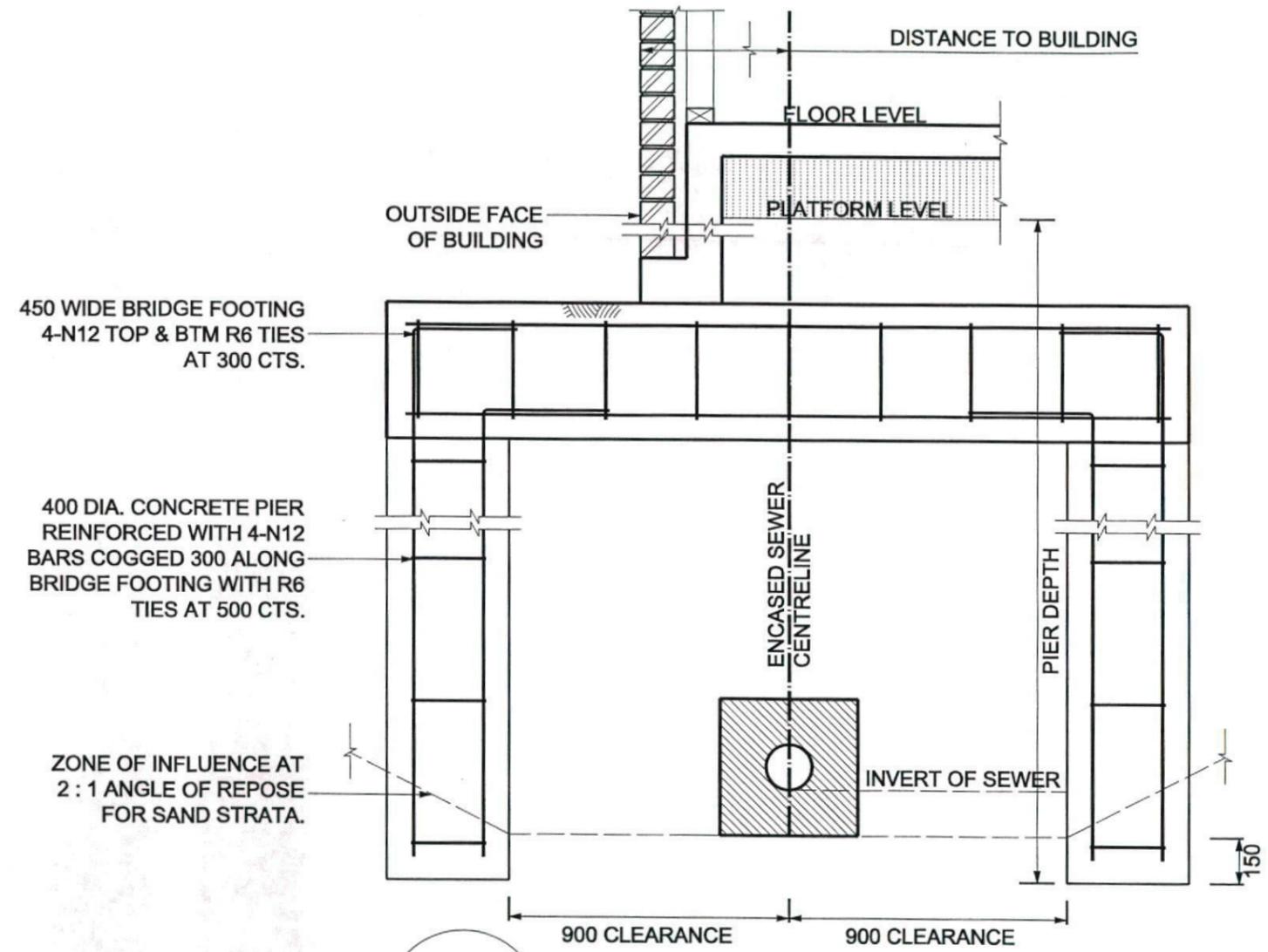
DRAWN	N.P	SCALE	1:20	SHEET No.	5
ISSUE	C	DATE	24/05/13	JOB No.	55045EB

SEWER NOTES:

- * POSITION OF SEWER IS ONLY APPROXIMATE
- * POSITION OF SEWER IS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK
- * PIER DEPTHS AS SHOWN ARE FOR ZONE OF INFLUENCE REQUIREMENTS
- * PIERS ARE TO BE FOUNDED ON NATURAL BEARING AS PER ENGINEERING REQUIREMENTS WHERE NECESSARY



SEWER DETAIL **L2**



L3 **SEWER DETAIL**

RAFELETOS
 ABN: 35 079 047 466
 LEVEL 2, 103 VANESSA STREET
 KINGSGROVE NSW 2208
 PO BOX 91 KINGSGROVE NSW 2208



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 EMAIL: admin@rafzan.com.au

[Signature]
 B.E., M.I.E. AUST.



REFERENCE M 16312

SEWER SECTION/S PLAN					
CLIENT	MR STEPHEN MEWETT				A3
LOCATION	LOT 1175 BARTLETT PLACE, THORNTON PARK. NORTH PENRITH				
DRAWN	N.P	SCALE	1:20	SHEET No.	6
ISSUE	C	DATE	24/05/13	JOB No.	55045EB