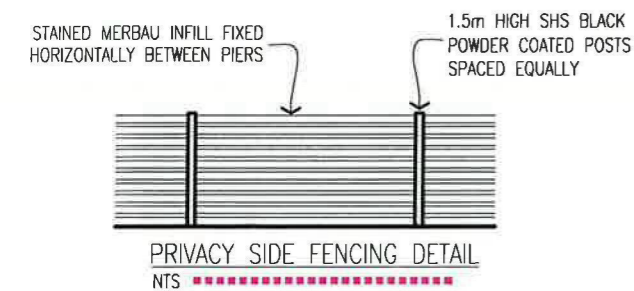
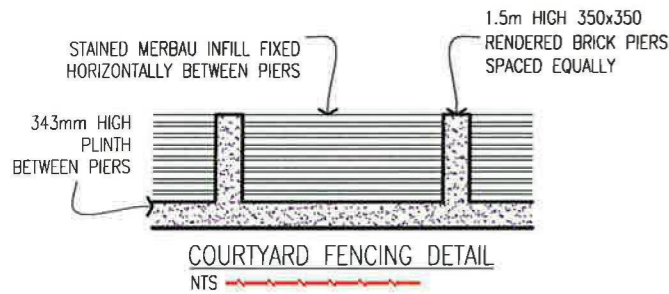


NOTE: THIS SITING IS SUBJECT TO THE DEVELOPERS APPROVAL. BUILDER TO OBTAIN PRIOR TO PERMIT APPLICATION.

NOTE: THIS SITING HAS BEEN PREPARED BASED ON THE ADJOINING PROPERTIES/Y BEING VACANT. SHOULD A SIGNIFICANT AMOUNT OF TIME PASS BEFORE THE BUILDING PERMIT IS APPLIED FOR, AN UPDATED SURVEY MAY BE REQUIRED TO CONFIRM THE ADJOINING PROPERTIES/Y STATUS. THE RESCODE REQUIREMENTS MAY NEED TO BE RE-EVALUATED AND MAY CAUSE CHANGES TO THE SITING/HOUSE.

NOTE: THIS SITING HAS BEEN PREPARED BASED ON THE AVAILABLE INFORMATION FROM THE RELEVANT LOCAL COUNCIL AND/OR OTHER AUTHORITIES THAT IS NOT COMPLETE OR HAVE NOT BEEN FINALISED DUE TO THE TITLES NOT YET BEEN RELEASED IN THIS SUBDIVISION. ONCE THIS INFORMATION IS RELEASED IT WILL BE EXAMINED. THIS MAY REVEAL THE REQUIREMENT FOR ADDITIONAL WORKS AND THE SITING MAY CHANGE.

- (A) EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (C) EASEMENT TO DRAIN WATER 2 WIDE
- (CI) EASEMENT TO DRAIN WATER 2 WIDE (DPH58660)
- (E) RIGHT OF CARRIAGEWAY 7 WIDE
- (Q) RESTRICTION ON THE USE OF LAND (DPH49528)
- (B) EASEMENT TO DRAIN WATER 1.5 WIDE



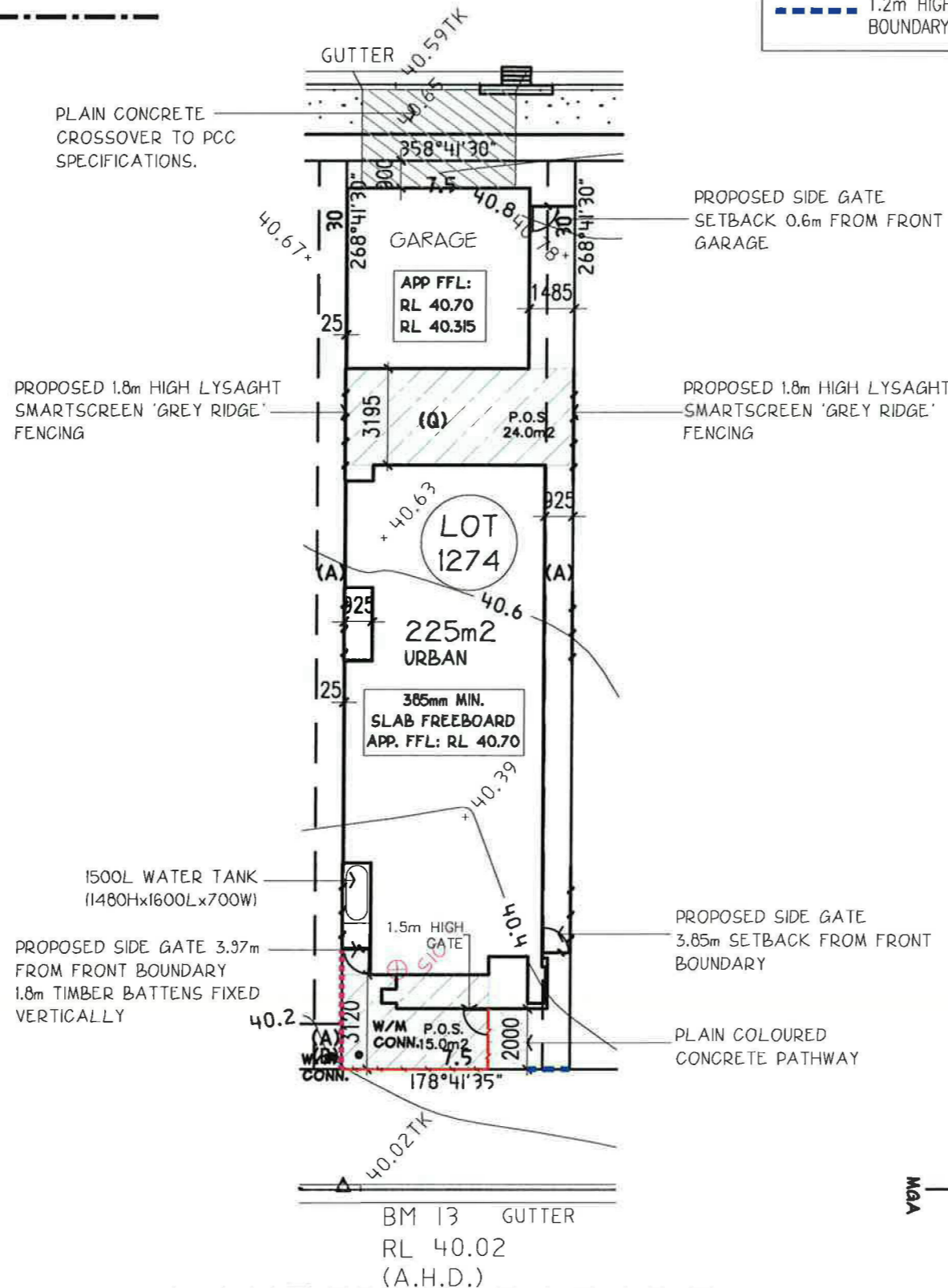
CUT & FILL BUILDING AREA TO RL 40.315 APPROX. TO CREATE LEVEL BUILDING PLATFORM FOR WAFFLE POD SLAB

CUT - LINE

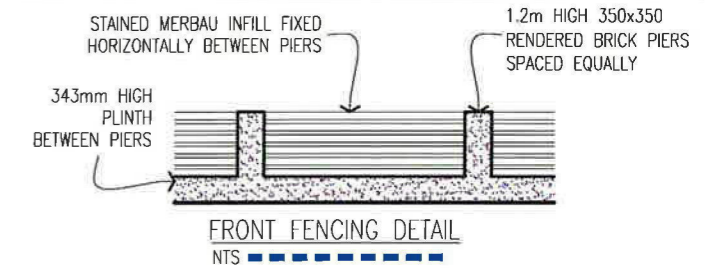
PITT STREET

LEGEND:

- PROPOSED 1.8m HIGH LYSAGHT SMARTSCREEN FENCING
- 1.5m HIGH COURTYARD FENCING
- 1.2m HIGH FRONT BOUNDARY FENCING



| TABLE OF BASIS COMMITMENTS | | |
|---|--|--|
| PROJECT ADDRESS: LOT 1274 LAKESIDE PARADE JORDAN SPRINGS | | |
| CERTIFICATE NO.: 4776435 | | |
| WATER | | |
| - DEVELOPMENT TO BE CONNECTED TO 1500LT RAINWATER TANK, | | |
| - RAINWATER TANK CONFIGURED TO COLLECT AT LEAST 150m2 ROOF RUN OFF. | | |
| - TOILETS, WASHING MACHINE AND 1 OUTDOOR TAP TO BE CONNECTED TO THE RAINWATER TANK. | | |
| - 3 STAR SHOWER HEADS & KITCHEN TAPS, 4 STAR TOILETS, AND 5 STAR BASIN TAPS. | | |
| THERMAL | | |
| - ROOF INSULATION: NONE. | | |
| - CEILING INSULATION: R3.5 | | |
| - WALL INSULATION: R2.0 | | |
| - EXTERNAL WALL: BRICK VENEER COLOUR: DARK | | |
| - ROOFING: TILED COLOUR: DARK | | |
| - GLAZING: ALL ALUMINIUM WINDOWS TO BE SINGLE CLEAR GLAZED WITH U VALUE OF 6.57 & SHGC OF 0.74 | | |
| - TIMBER WINDOWS TO MASTER SUITE AND REAR FAMILY / DINING STACKER DOORS TO BE SINGLE, CLEAR GLAZED, TIMBER FRAMED WITH A U VALUE OF 5.55 AND SHGC OF 0.73 | | |
| ENERGY | | |
| - HOT WATER SYSTEM: GAS INSTANTANEOUS HWS WITH A PERFORMANCE OF 5 STARS OR BETTER. | | |
| - AC DUCTING ONLY TO BE INSTALLED. | | |
| - KITCHEN: INDIVIDUAL FAN, DUCTED (RANGEHOOD). OPERATION CONTROL, MANUAL SWITCH. | | |
| - BATHROOM (1): INDIVIDUAL FAN, NOT DUCTED. OPERATION CONTROL, MANUAL SWITCH. | | |
| - LAUNDRY: INDIVIDUAL FAN, DUCTED TO FACADE.. | | |
| - WINDOW AND/OR SKYLIGHT TO KITCHEN FOR NATURAL LIGHTING. | | |
| - WINDOW AND/OR SKYLIGHT TO BATHROOMS (2)/TOILET (5) FOR NATURAL LIGHTING. | | |
| - GAS COOKTOP AND ELECTRIC OVEN TO BE INSTALLED IN THE KITCHEN. | | |
| - OUTDOOR CLOTHES LINE. | | |
| - FLUORESCENT LIGHTING TO 4 BEDROOMS, BATHROOMS/TOILETS & LAUNDRY | | |
| - WELL EVNTILATED FRIDGE SPACE | | |



SITE COVERAGE ANALYSIS

| Category | Area (sqm) | Percentage (%) |
|--------------------|------------|----------------|
| Roof Area | 172.2 sqm | 76.5 % |
| Ground Floor | 103.0 sqm | |
| First Floor | 90.8 sqm | |
| Garage | 35.8 sqm | |
| Porch | 5.9 sqm | |
| Balcony | 5.2 sqm | |
| Building | 144.7 sqm | 64.3 % |
| Hard Surface | 8.9 sqm | 4.0 % |
| Permeable | 71.4 sqm | 31.7 % |
| Total Area | 225.0 sqm | 100.0 % |
| Overall Block Size | 225.0 sqm | |

| DATE | REVISION | DRAWN |
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| | | | |
|---------------------|---------|---------|--|
| SITE PLAN | SHEET 1 | HAND LH | Townhouse 6 - Stage 3 (7.5m) Urban |
| DRAWN BK 28/03/2013 | | | For EDGEWATER HOMES |
| CHECKED | | | At LOT 1274 LAKESIDE PARADE JORDAN SPRINGS |
| SCALE | | | |

EDGEWATER HOMES

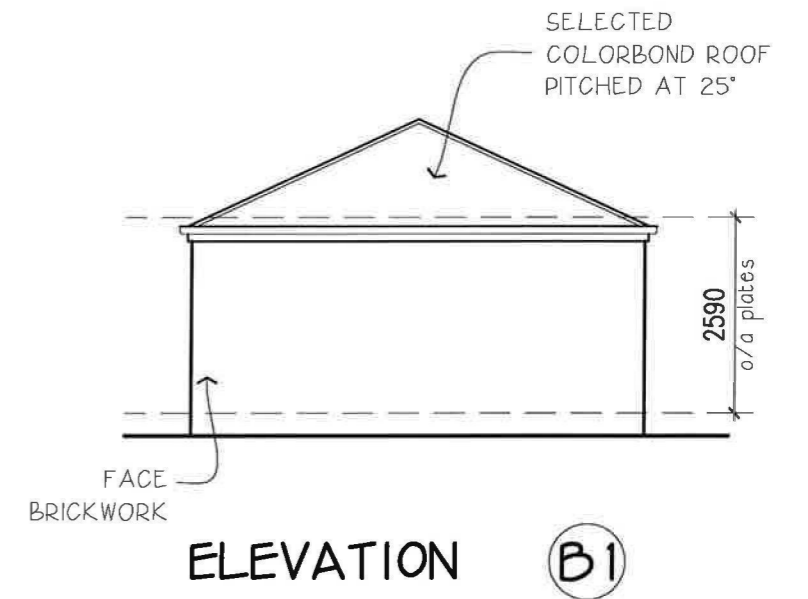
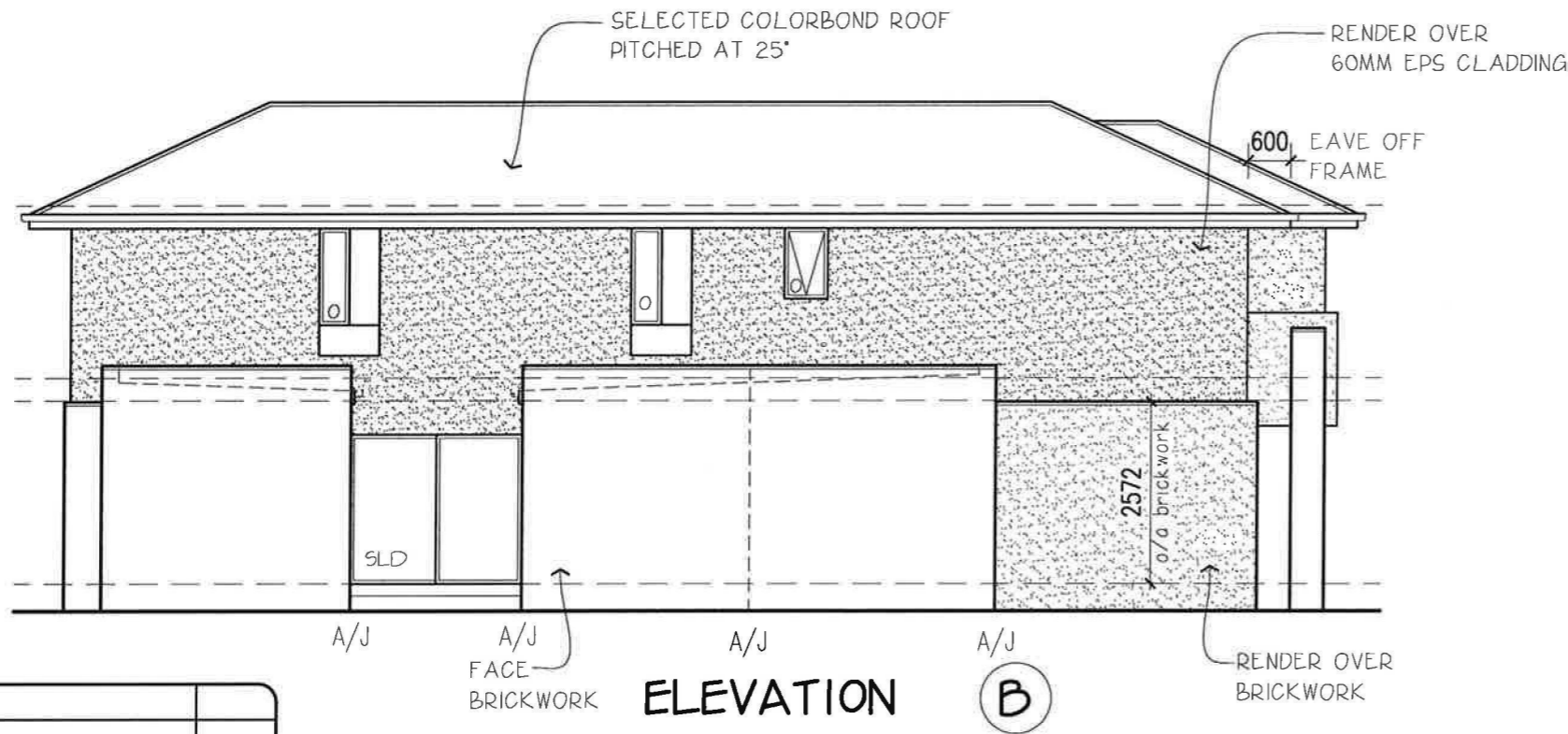
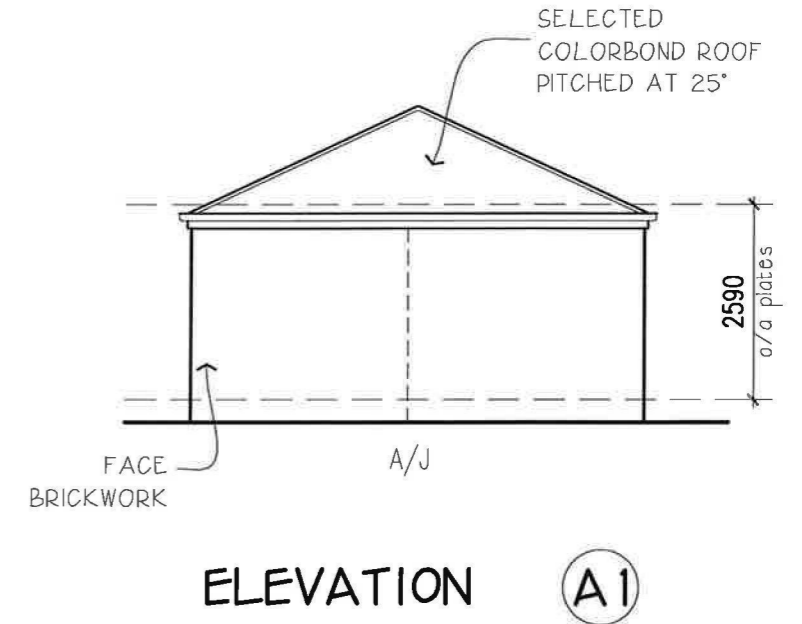
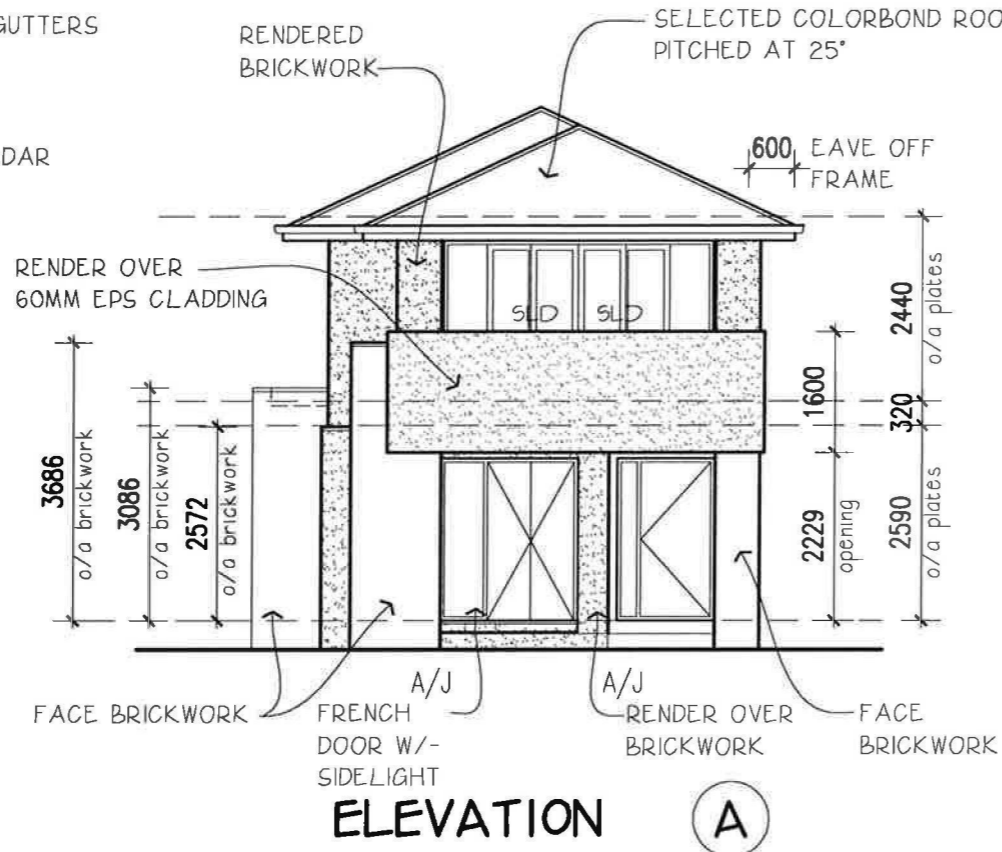
PO Box 550 Moorebank NSW 1875
Ph: 9623 7526 Fax:9673 5560

EXTERNAL COLOUR SCHEDULE

- FACE BRICK AUSTRAL SYMMETRY ASPHALT
- COLORBOND SURFMIST ROOFING, FASCIA AND GUTTERS
- ALUMINIUM WINDOWS JASPER
- TIMBER WINDOWS INTERGRAIN DARK OAK
- FRONT DOOR DULUX GOLDEN BROWN PILLES
- GARAGE PANEL DOOR COLORBOND CLASIC CEDAR
- GARAGE ACCESS DOOR BRISTOL OAK FLATS

- RENDER COLOURS:

-  DULUX MALI
-  DULUX STOWE WHITE
-  BRISTOL LINSEED



| DATE | REVISION | DRAWN |
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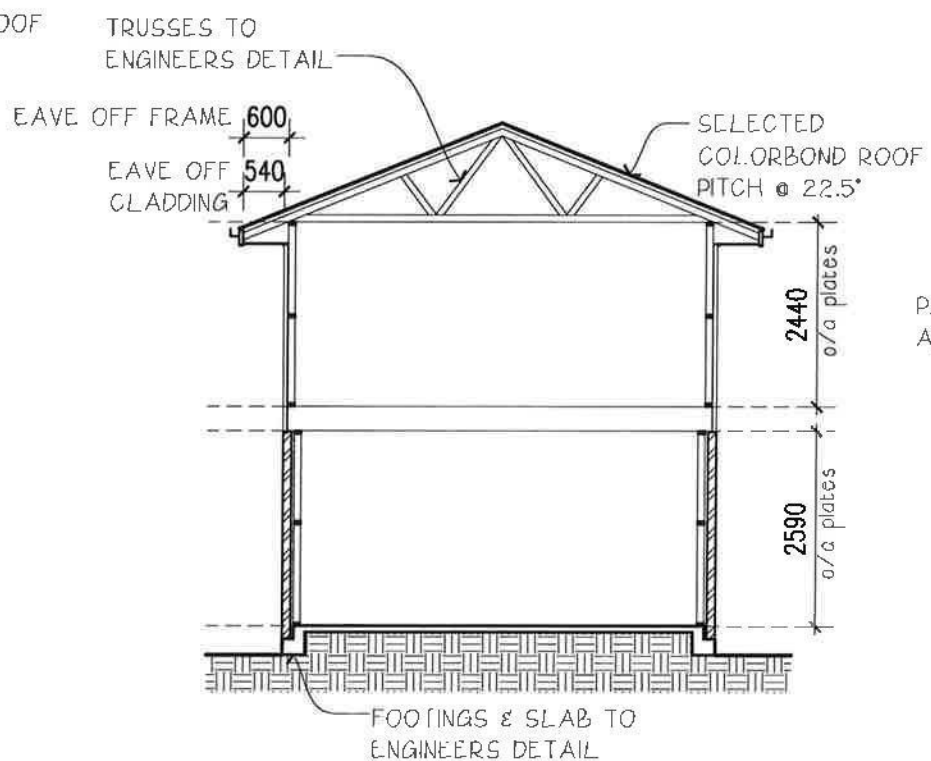
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|---|---------------------|---------------------|---------|--|------------------------------------|---|
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| | DRAWN BK 28/03/2013 | For EDGEWATER HOMES | | At LOT 1274 LAKESIDE PARADE JORDAN SPRINGS | | |
| | CHECKED ** | SCALE 1:100 | | | | |



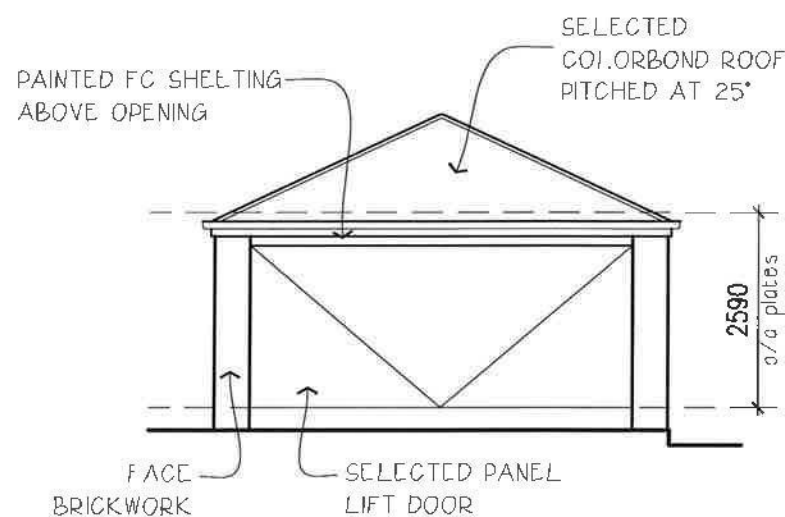
ELEVATION

(C)

TIMBER COVERPLATE

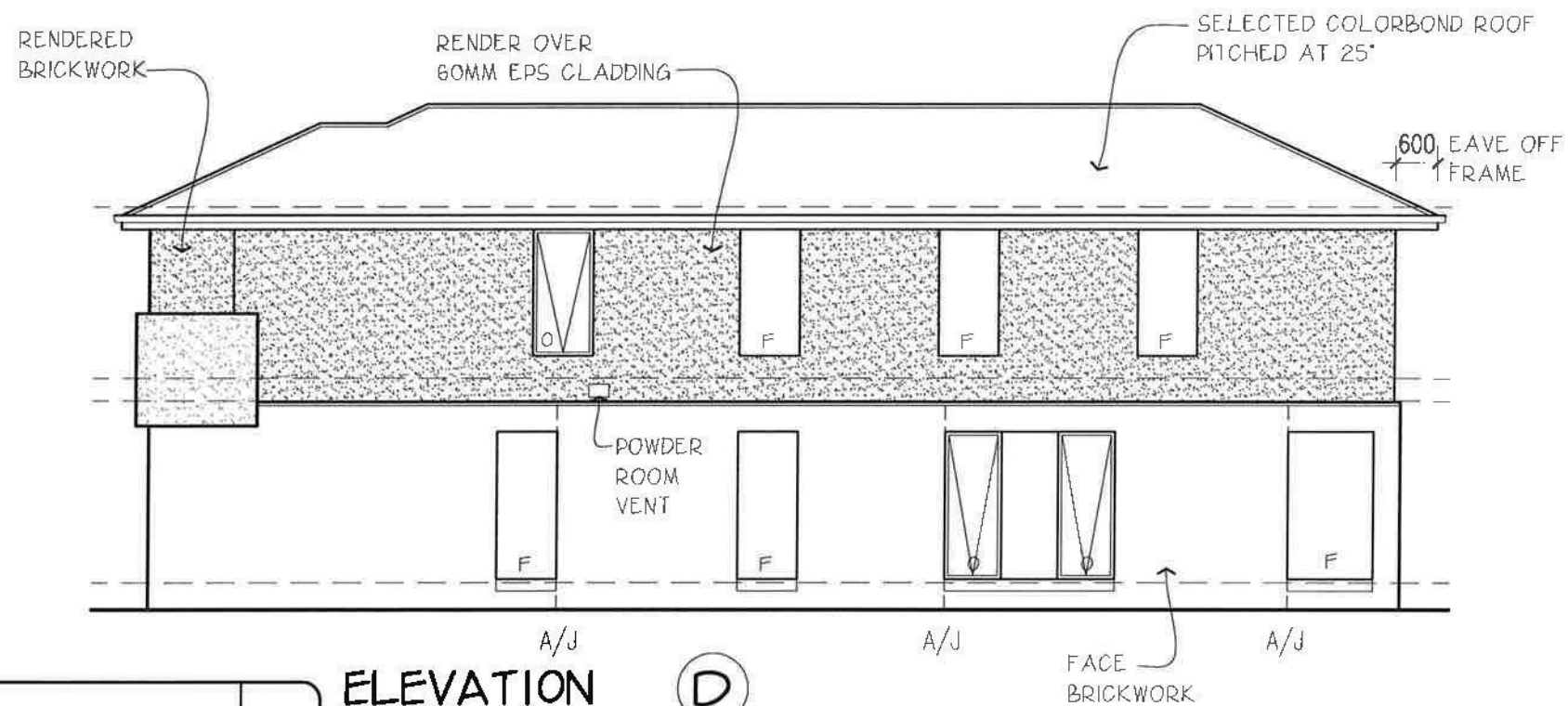


TYPICAL_SECTION



ELEVATION

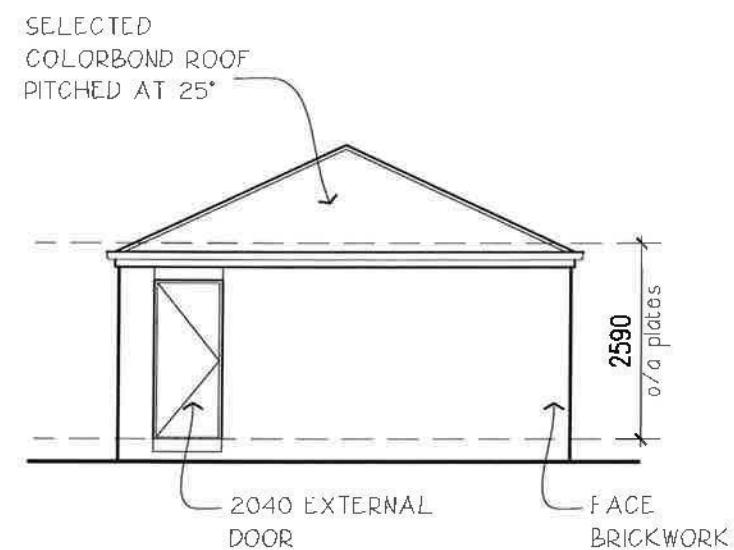
(C1)



ELEVATION

(D)

FACE BRICKWORK



ELEVATION

(D1)

| DATE | REVISION | DRAWN |
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| | | | | |
|-------------------|---------------|-----------------|----------------|---|
| ELEVATIONS | | SHEET 3A | HAND LH | Townhouse 6 - Stage 3 (7.5m) Urban |
| DRAWN | BK 28/03/2013 | For | | EDGEWATER HOMES |
| CHECKED | ** | At | | LOT 1274 LAKESIDE PARADE JORDAN SPRINGS |
| SCALE | 1:100 | | | |

EDGEWATER HOMES

PO Box 550 Moorebank NSW 1875
Ph: 9623 7526 Fax:9673 5560

NOTE: THIS SITING IS SUBJECT TO THE DEVELOPERS APPROVAL. BUILDER TO OBTAIN PRIOR TO PERMIT APPLICATION.

NOTE: THIS SITING HAS BEEN PREPARED BASED ON THE ADJOINING PROPERTIES/Y BEING VACANT. SHOULD A SIGNIFICANT AMOUNT OF TIME PASS BEFORE THE BUILDING PERMIT IS APPLIED FOR, AN UPDATED SURVEY MAY BE REQUIRED TO CONFIRM THE ADJOINING PROPERTIES/Y STATUS. THE RESCODE REQUIREMENTS MAY NEED TO BE RE-EVALUATED AND MAY CAUSE CHANGES TO THE SITING/HOUSE.

NOTE: THIS SITING HAS BEEN PREPARED BASED ON THE AVAILABLE INFORMATION FROM THE RELEVANT LOCAL COUNCIL AND/OR OTHER AUTHORITIES THAT IS NOT COMPLETE OR HAVE NOT BEEN FINALISED DUE TO THE TITLES NOT YET BEEN RELEASED IN THIS SUBDIVISION. ONCE THIS INFORMATION IS RELEASED IT WILL BE EXAMINED. THIS MAY REVEAL THE REQUIREMENT FOR ADDITIONAL WORKS AND THE SITING MAY CHANGE.

- (A) EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (C) EASEMENT TO DRAIN WATER 2 WIDE
- (CI) EASEMENT TO DRAIN WATER 2 WIDE (DPII58660)
- (E) RIGHT OF CARRIAGEWAY 7 WIDE
- (Q) RESTRICTION ON THE USE OF LAND (DPII49528)
- (B) EASEMENT TO DRAIN WATER 1.5 WIDE

CUT & FILL BUILDING AREA TO RL 40.50 APPROX. TO CREATE LEVEL BUILDING PLATFORM FOR WAFFLE POD SLAB

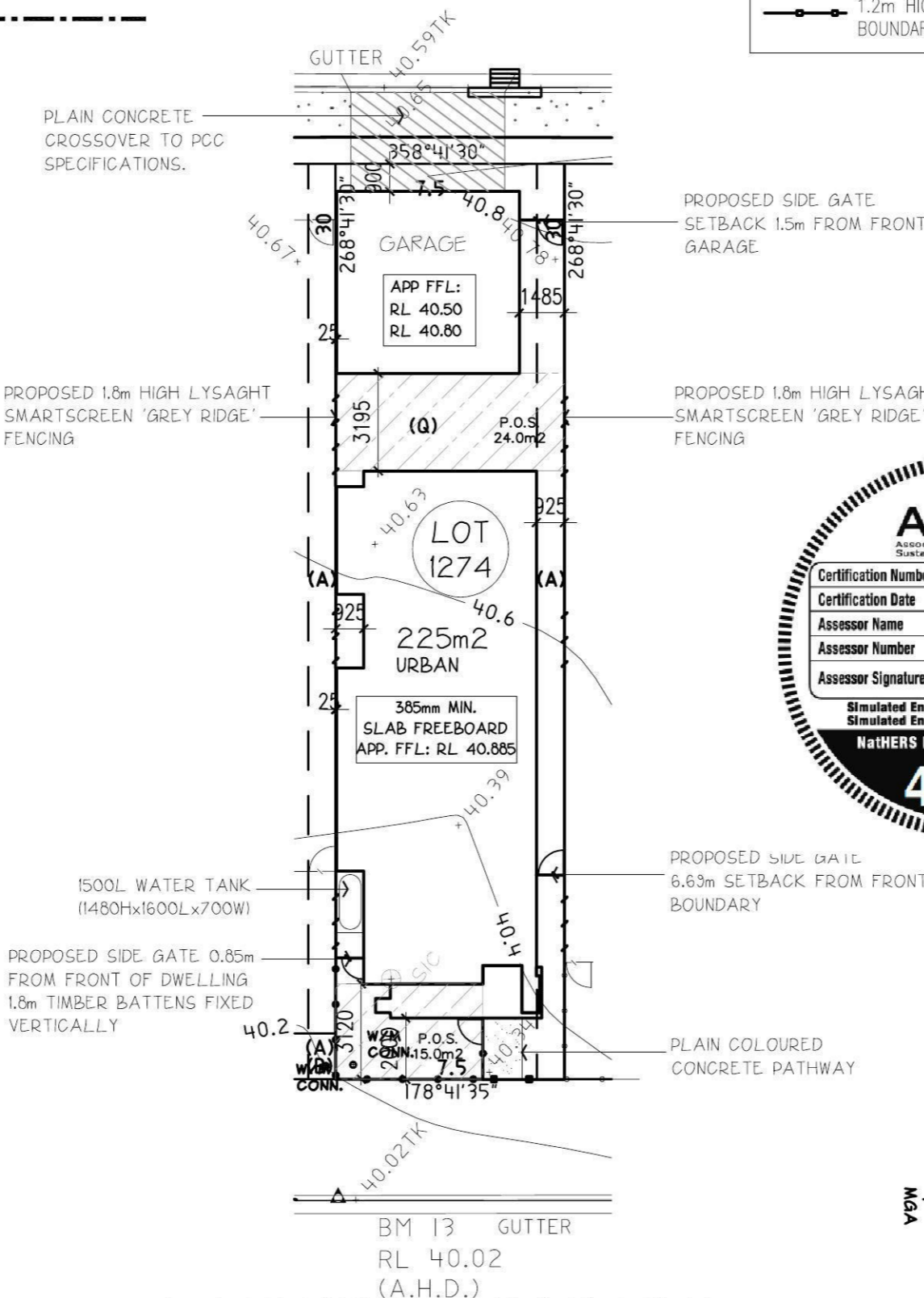
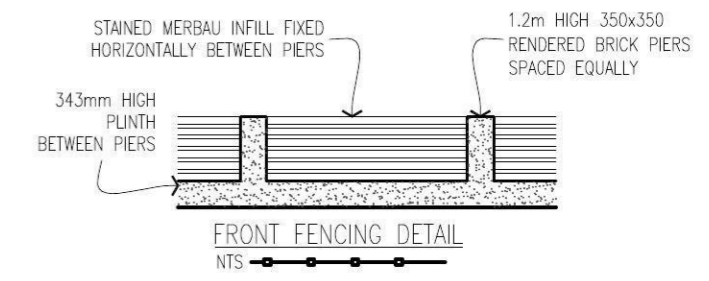
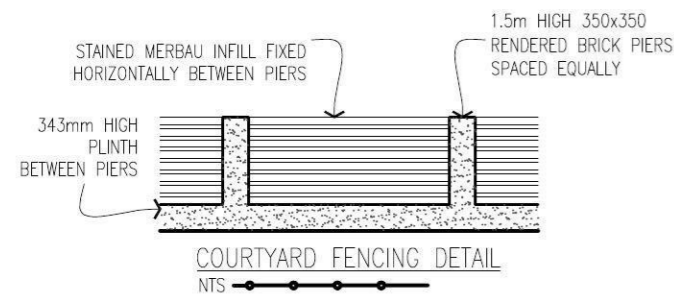
CUT - LINE

PITT STREET

LEGEND:

- PROPOSED 1.8M HIGH LYSAGHT SMARTSCREEN FENCING
- 1.5M HIGH COURTYARD FENCING
- 1.2M HIGH FRONT BOUNDARY FENCING

| TABLE OF BASIX COMMITMENTS | |
|---|--|
| PROJECT ADDRESS: LOT 1274 LAKESIDE PARADE JORDAN SPRINGS | |
| CERTIFICATE NO.: S | |
| WATER | |
| - DEVELOPMENT TO BE CONNECTED TO 1700LIT RAINWATER TANK. | |
| - RAINWATER TANK CONFIGURED TO COLLECT AT LEAST 165m ² ROOF RUN OFF. | |
| - TOILETS, WASHING MACHINE AND 1 OUTDOOR TAP TO BE CONNECTED TO THE RAINWATER TANK. | |
| - 3 STAR SHOWER HEADS & KITCHEN TAPS, 4 STAR TOILETS, AND 5 STAR BASIN TAPS. | |
| THERMAL | |
| - ROOF INSULATION: NONE. | |
| - CEILING INSULATION: R3.5 | |
| - WALL INSULATION: R2.0 | |
| - EXTERNAL WALL: BRICK VENEER COLOUR: DARK | |
| - ROOFING: TILED COLOUR: DARK | |
| - GLAZING: ALL ALUMINIUM WINDOWS TO BE SINGLE CLEAR GLAZED WITH U VALUE OF 6.57 & SHGC OF 0.74 | |
| - TIMBER WINDOWS TO MASTER SUITE AND REAR FAMILY / DINING STACKER DOORS TO BE SINGLE, CLEAR GLAZED, TIMBER FRAMED WITH A U VALUE OF 5.55 AND SHGC OF 0.73 | |
| ENERGY | |
| - HOT WATER SYSTEM: GAS INSTANTANEOUS HWS WITH A PERFORMANCE OF 5 STARS OR BETTER. | |
| - AC DUCTING ONLY TO BE INSTALLED. | |
| - KITCHEN: INDIVIDUAL FAN, DUCTED (RANGEHOOD). OPERATION CONTROL, MANUAL SWITCH. | |
| - BATHROOM (1): INDIVIDUAL FAN, NOT DUCTED. OPERATION CONTROL, MANUAL SWITCH. | |
| - LAUNDRY: INDIVIDUAL FAN, DUCTED TO FACADE.. | |
| - WINDOW AND/OR SKYLIGHT TO KITCHEN FOR NATURAL LIGHTING. | |
| - WINDOW AND/OR SKYLIGHT TO BATHROOMS (2)/TOILET (S) FOR NATURAL LIGHTING. | |
| - GAS COOKTOP AND ELECTRIC OVEN TO BE INSTALLED IN THE KITCHEN. | |
| - OUTDOOR CLOTHES LINE. | |



ABSA
Association of Building Sustainability Assessors

| | |
|----------------------|------------|
| Certification Number | 1005205628 |
| Certification Date | 14/04/2013 |
| Assessor Name | Brad Hoad |
| Assessor Number | 20731 |
| Assessor Signature | |

Simulated Energy: HEATING: 72.4 MJ/m² pa
Simulated Energy: COOLING: 59.4 MJ/m² pa
NATHERS Rating 131.8 MJ/m² pa

4.0

SITE COVERAGE ANALYSIS

| Category | Area (sqm) | % |
|--------------------|--------------|--------------|
| Roof Area | 172.2 | 76.5 |
| Ground Floor | 103.0 | |
| First Floor | 90.8 | |
| Garage | 35.8 | |
| Porch | 5.9 | |
| Balcony | 5.2 | |
| Building | 144.7 | 64.3 |
| Hard Surface | 8.9 | 4.0 |
| Permeable | 71.4 | 31.7 |
| Total Area | 225.0 | 100.0 |
| Overall Block Size | 225.0 sqm | |

| DATE | REVISION | DRAWN |
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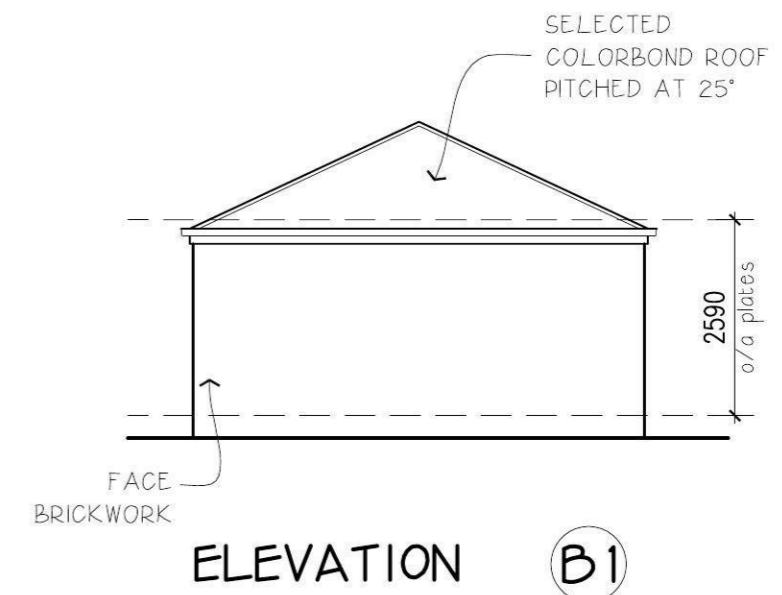
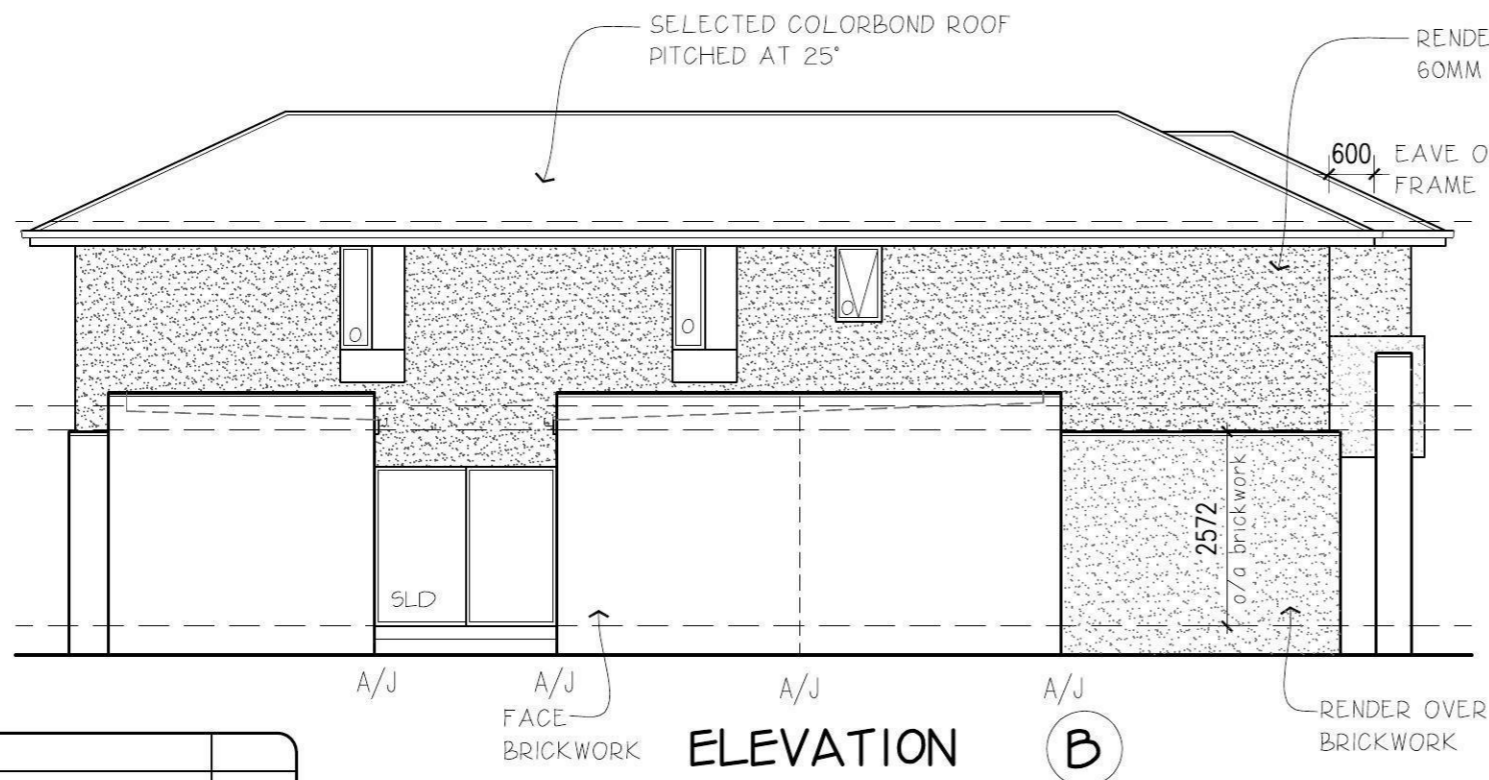
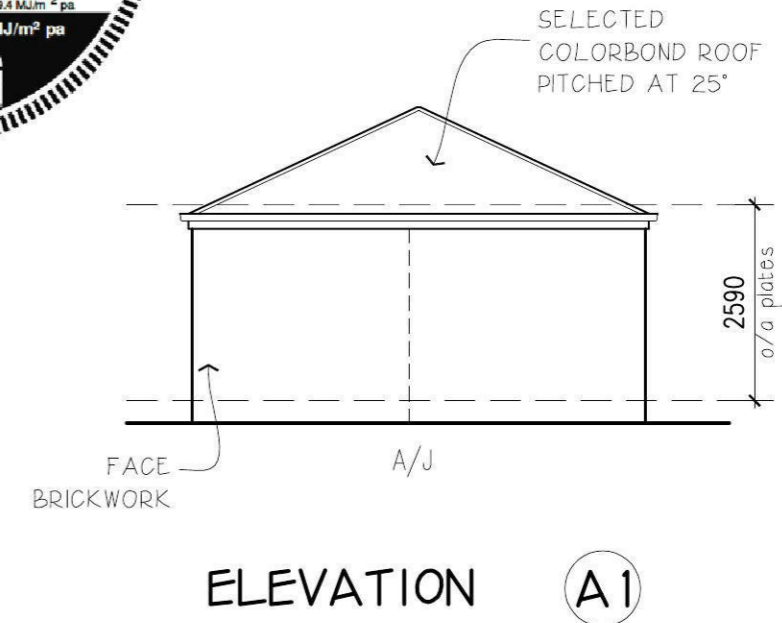
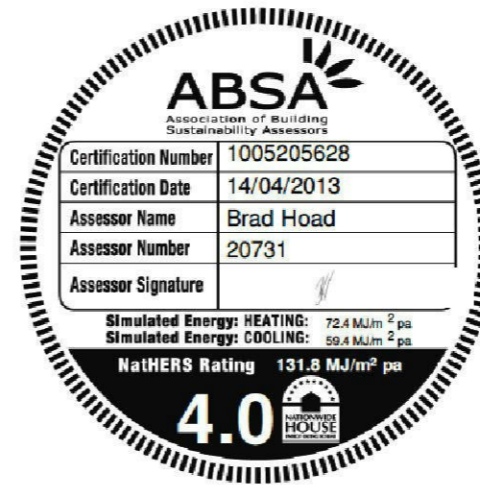
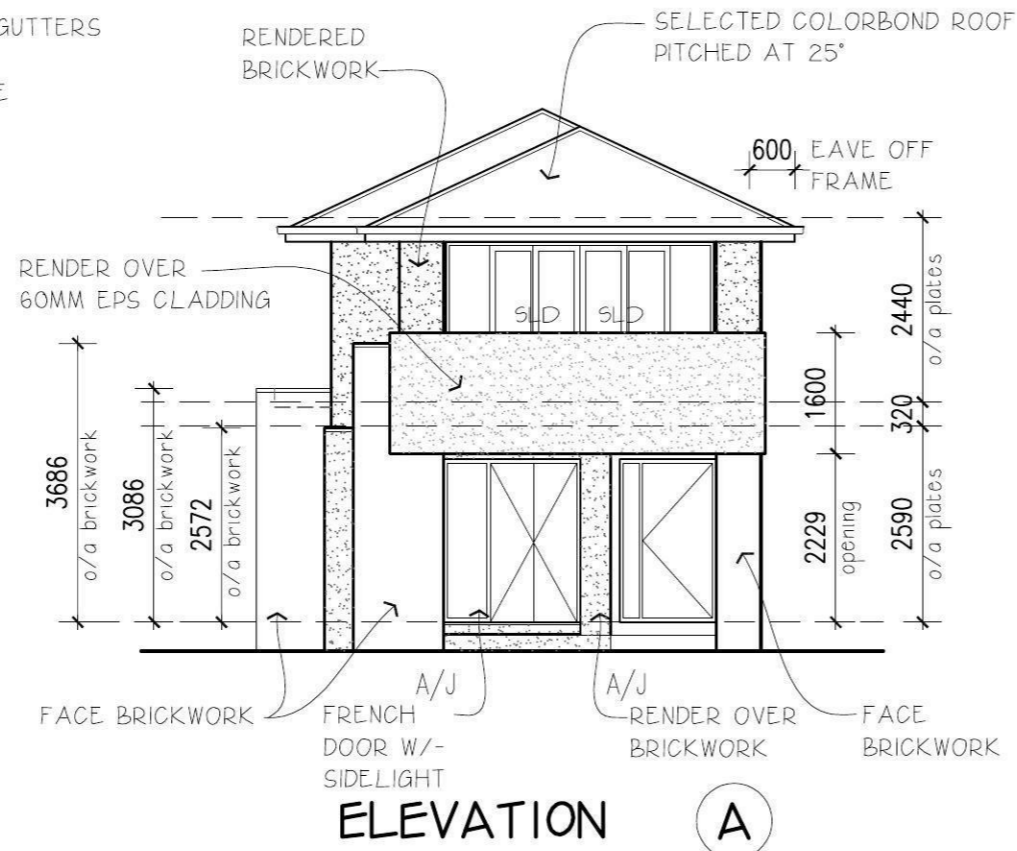
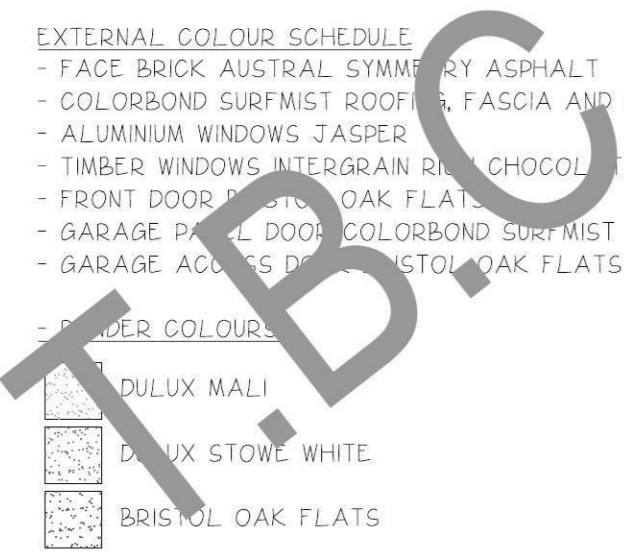
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|--|---------------------|---------|---------|--|--|
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| | DRAWN BK 28/03/2013 | | | For EDGEWATER HOMES | |
| | CHECKED | | | At LOT 1274 LAKESIDE PARADE JORDAN SPRINGS | |
| SCALE 1:200 | | | | | |

EXTERNAL COLOUR SCHEDULE

- FACE BRICK AUSTRAL SYMMETRY ASPHALT
- COLORBOND SURFMIST ROOFING, FASCIA AND GUTTERS
- ALUMINIUM WINDOWS JASPER
- TIMBER WINDOWS INTERGRAIN RICH CHOCOLATE
- FRONT DOOR BOSTON OAK FLATS
- GARAGE PANEL DOOR COLORBOND SURFMIST
- GARAGE ACCESS DOOR BOSTON OAK FLATS

RENDER COLOURS

- DULUX MALI
- DULUX STOWE WHITE
- BRISTOL OAK FLATS

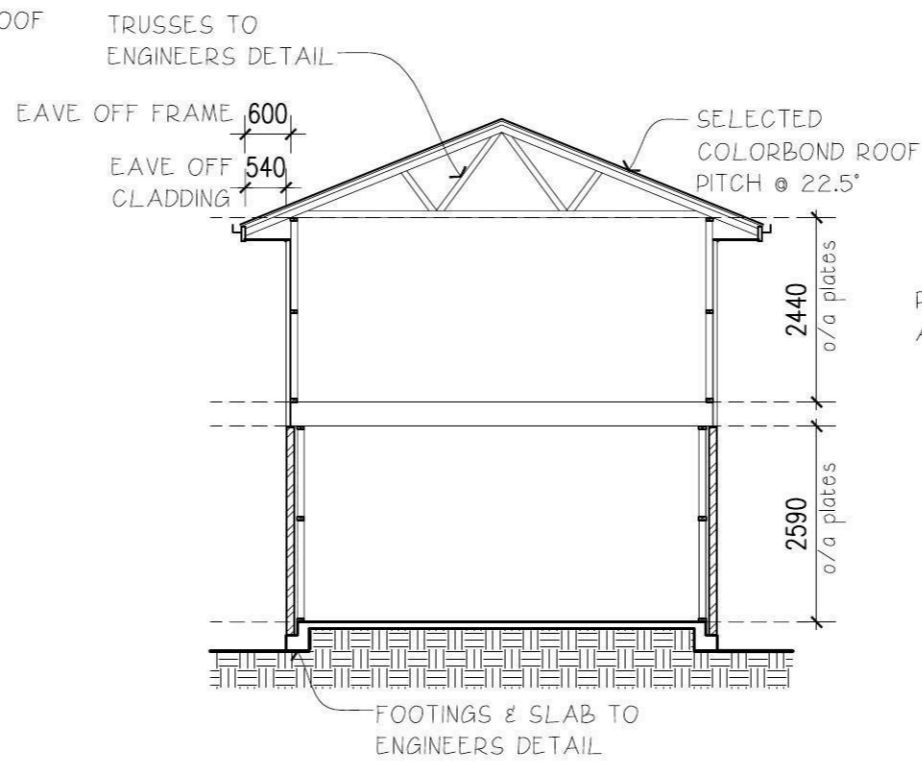


| DATE | REVISION | DRAWN |
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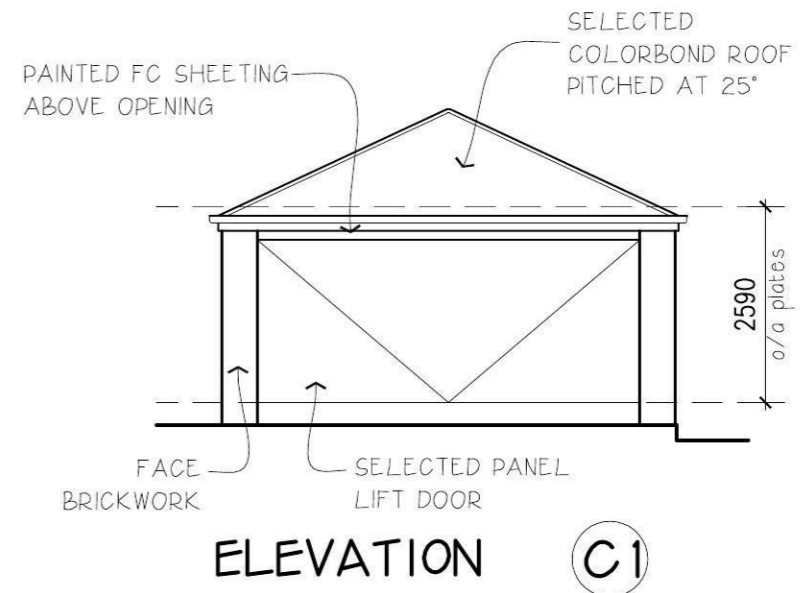
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|--|---------------------|------------|---------|-----------------|------------------------------------|--|---|
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| | DRAWN BK 28/03/2013 | CHECKED ** | For | EDGEWATER HOMES | At | | LOT 1274 LAKESIDE PARADE JORDAN SPRINGS |
| | SCALE 1:100 | | | | | | |



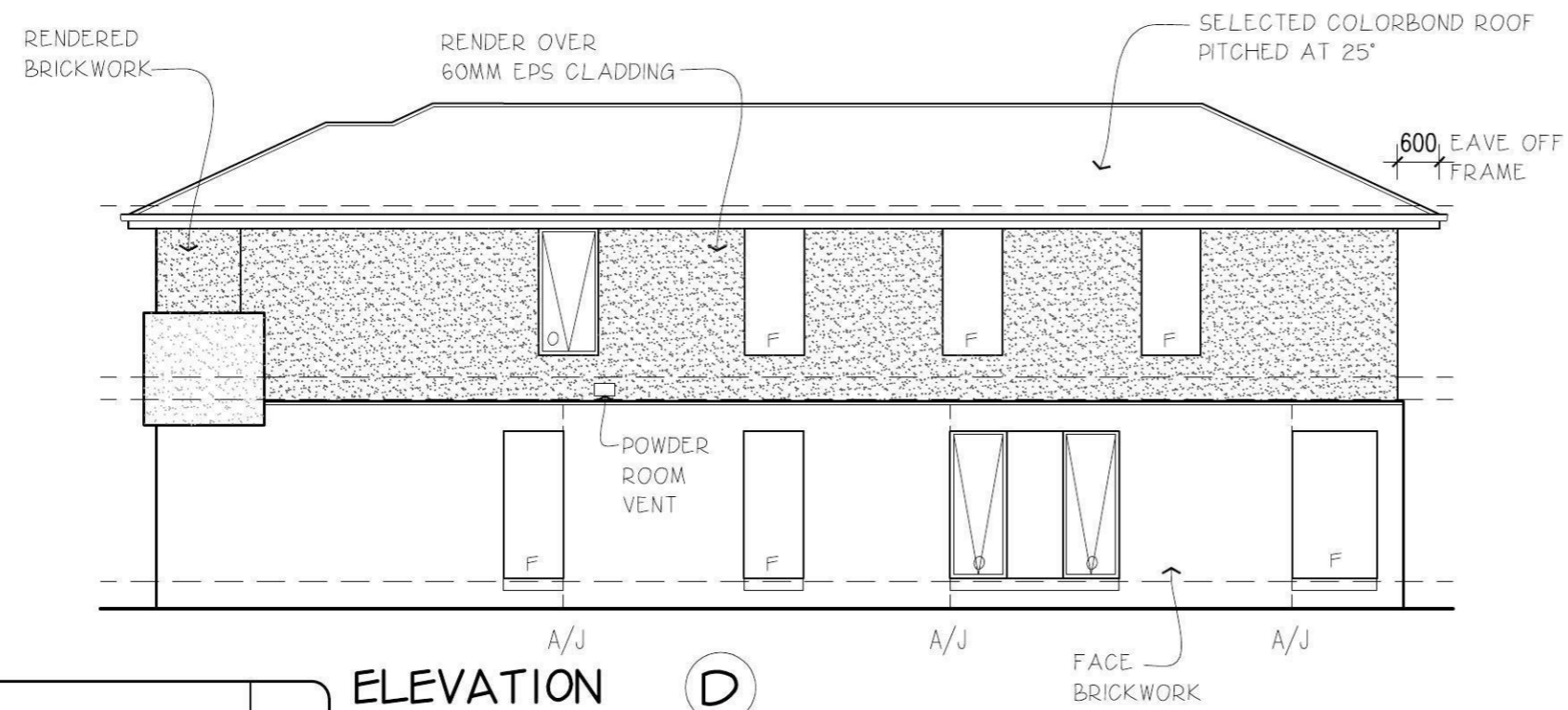
ELEVATION C



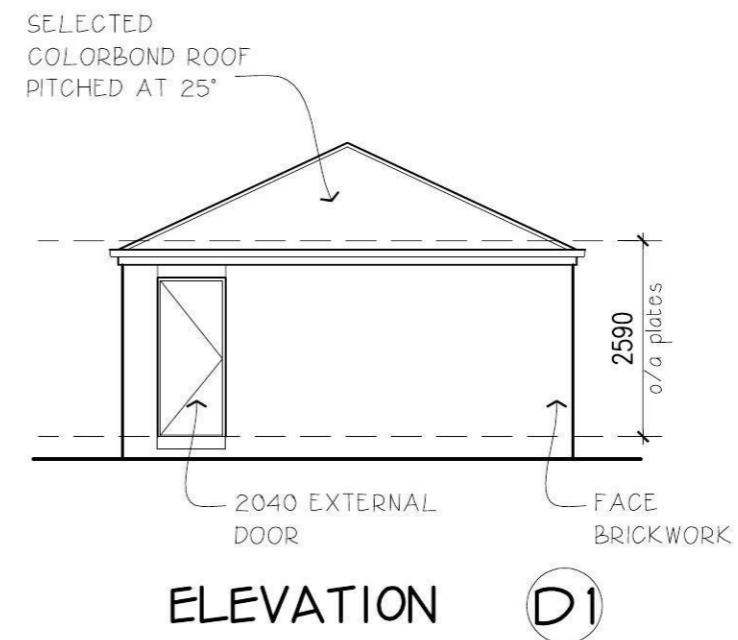
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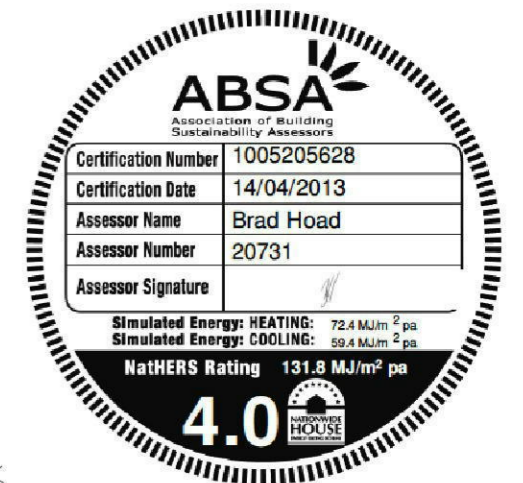
ELEVATION C1



ELEVATION D



ELEVATION D1



| DATE | REVISION | DRAWN |
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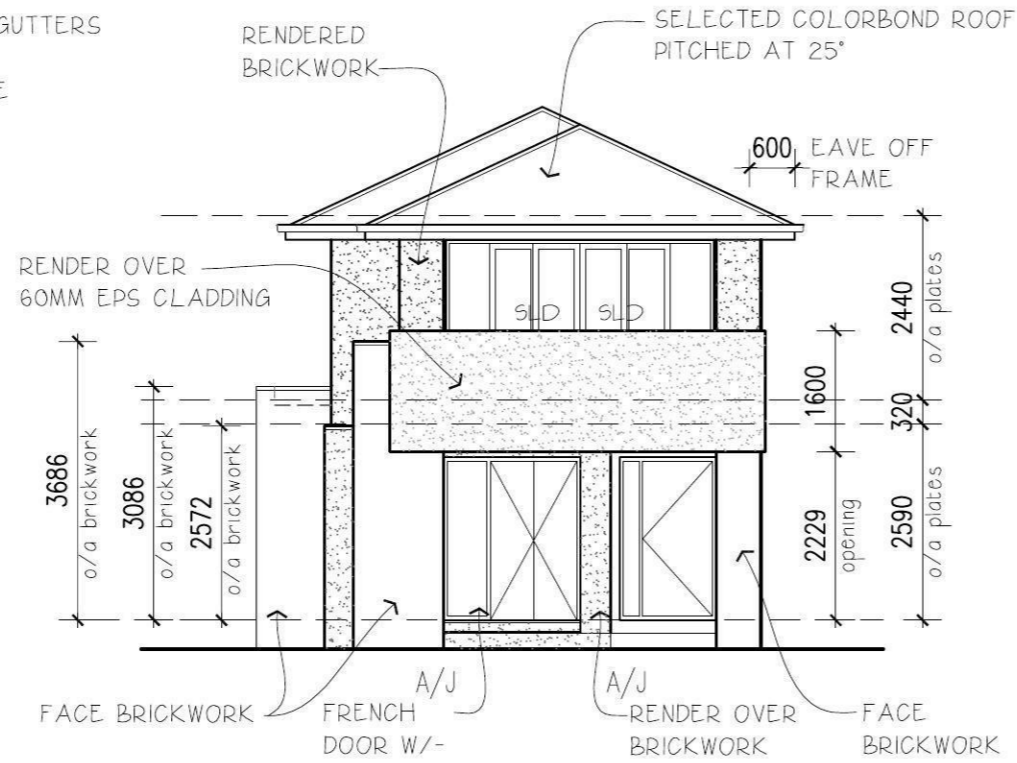
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|---|--------------------------------|---|---|--|--|
| ELEVATIONS DRAWN BK 28/03/2013 CHECKED ** SCALE 1:100 | SHEET 3A HAND LH | Townhouse 6 - Stage 3 (7.5m) Urban | | EDGEWATER HOMES PO Box 550 Moorebank NSW 1875 Ph: 9623 7526 Fax:9673 5560 | |
| | | For | EDGEWATER HOMES | | |
| | | At | LOT 1274 LAKESIDE PARADE JORDAN SPRINGS | | |

EXTERNAL COLOUR SCHEDULE

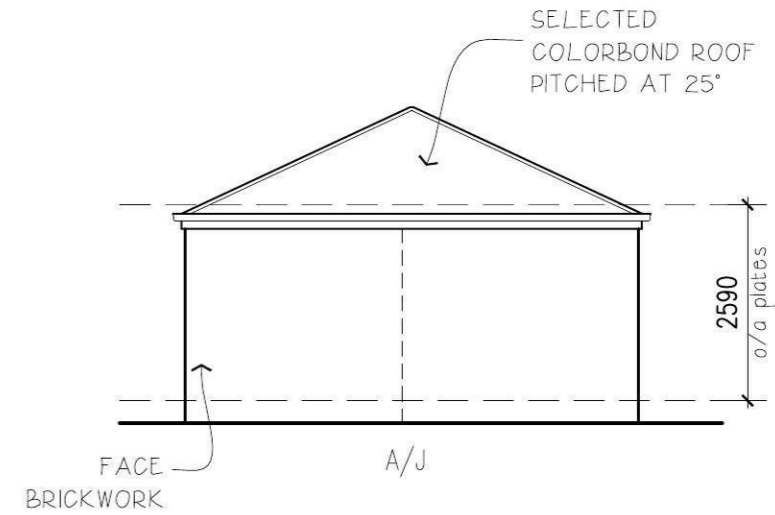
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- COLORBOND SURFMIST ROOFING, FASCIA AND GUTTERS
- ALUMINIUM WINDOWS JASPER
- TIMBER WINDOWS INTERGRAIN RICH CHOCOLATE
- FRONT DOOR BRISTOL OAK FLATS
- GARAGE PANEL DOOR COLORBOND SURFMIST
- GARAGE ACCESS DOOR BRISTOL OAK FLATS

RENDER COLOURS

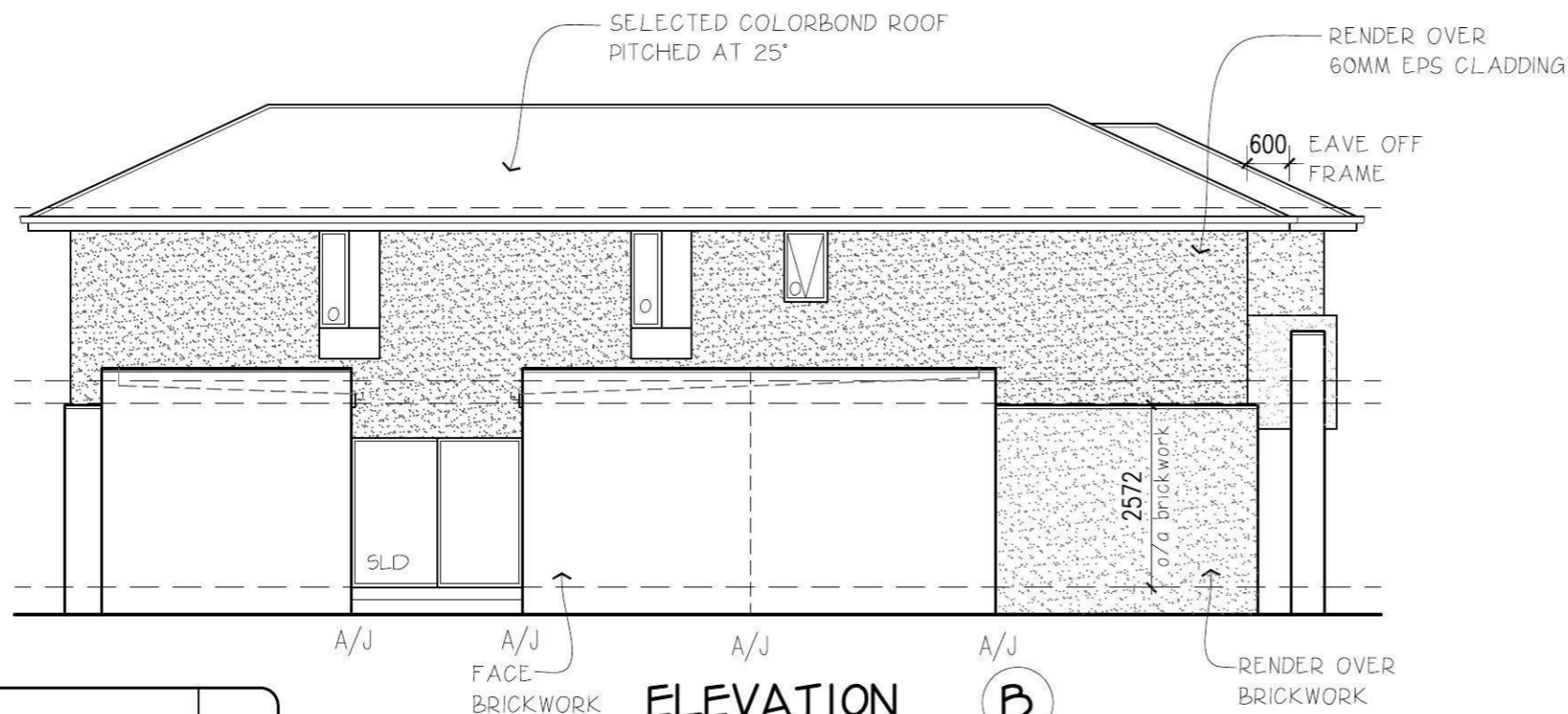
- DULUX MALI
- DULUX STOWE WHITE
- BRISTOL OAK FLATS



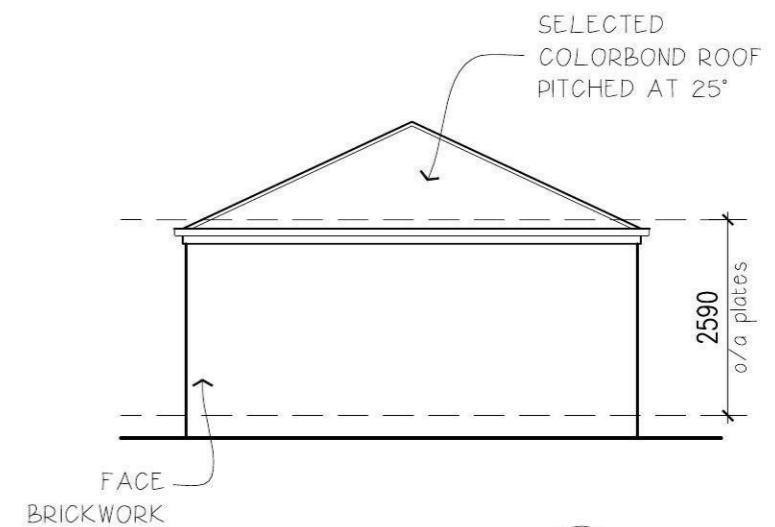
ELEVATION A



ELEVATION A1



ELEVATION B

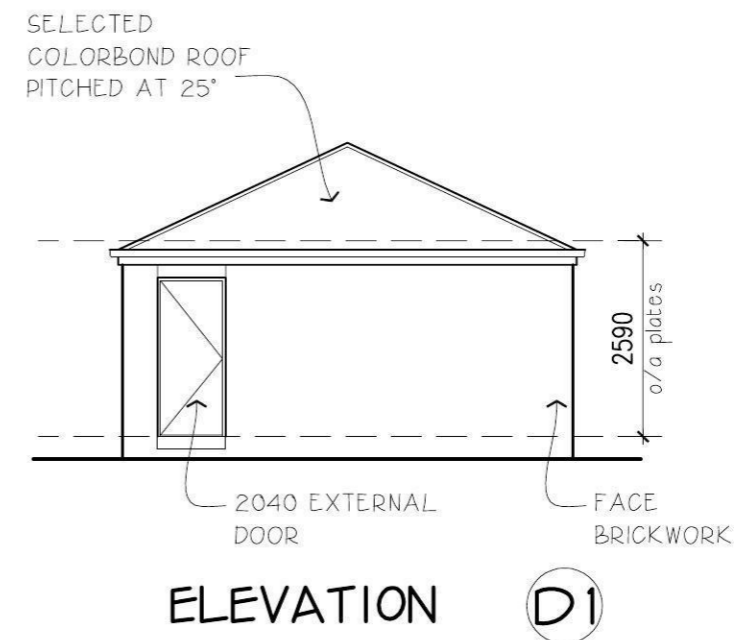
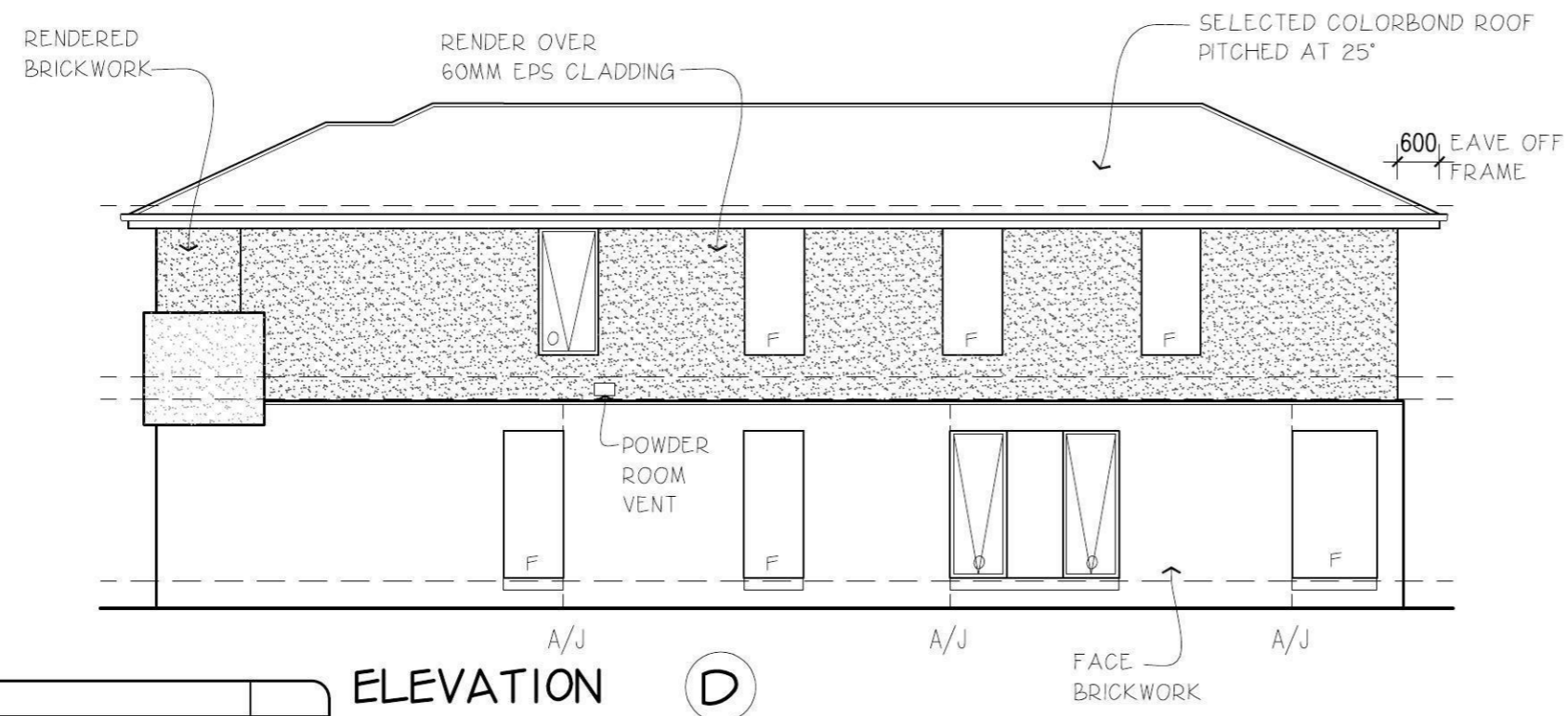
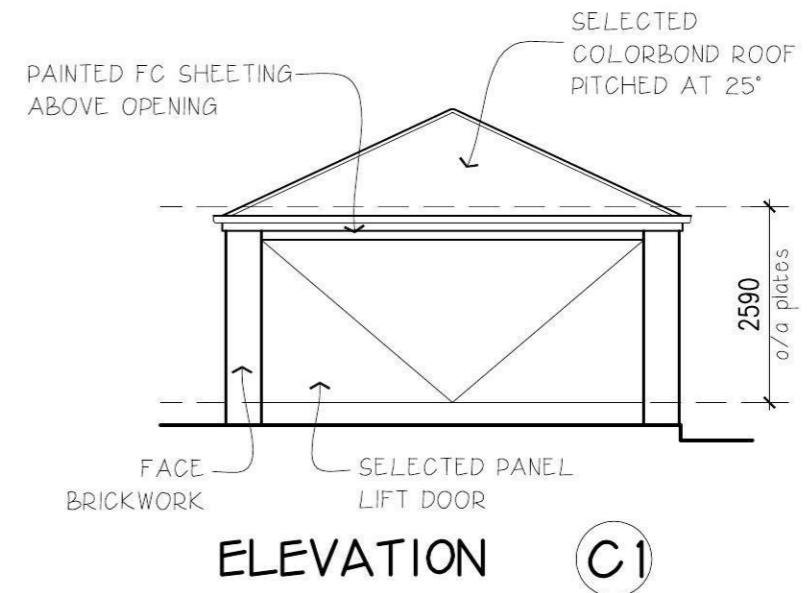
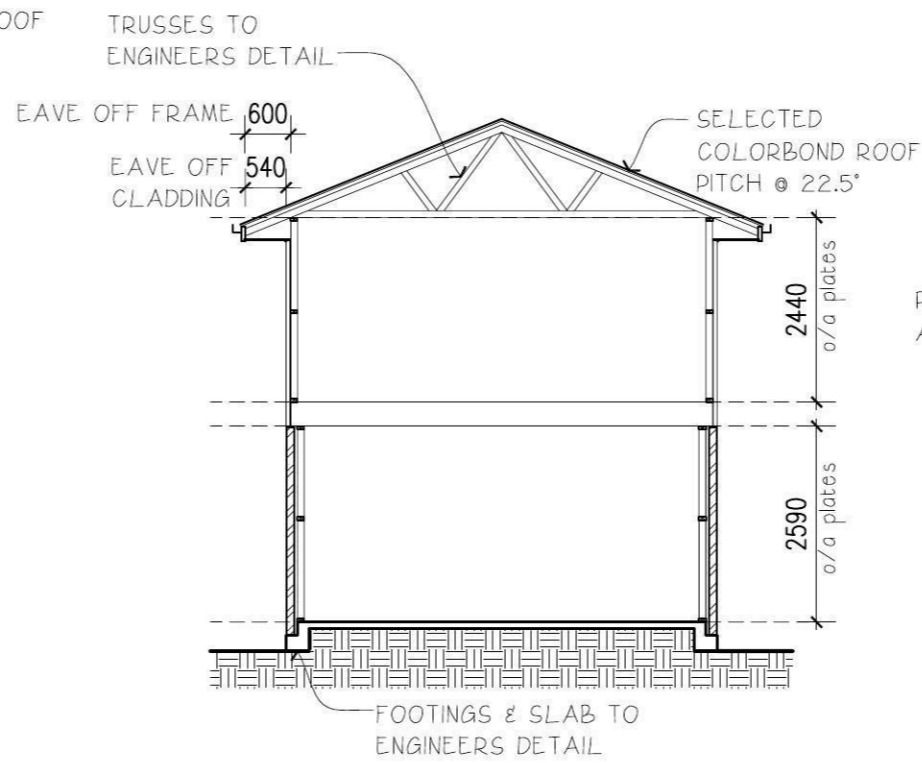


ELEVATION B1

| DATE | REVISION | DRAWN |
|------|----------|-------|
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|-------------------|------------|--|---------|------------------------------------|--|--|
| ELEVATIONS | | SHEET 3 | HAND LH | Townhouse 6 - Stage 3 (7.5m) Urban | EDGEWATER HOMES PO Box 550 Moorebank NSW 1875 Ph: 9623 7526 Fax:9673 5560 | |
| DRAWN BK | 28/03/2013 | For EDGEWATER HOMES | | | | |
| CHECKED ** | | At LOT 1274 LAKESIDE PARADE JORDAN SPRINGS | | | | |
| SCALE | 1:100 | | | | | |



| DATE | REVISION | DRAWN |
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|---------------------|------------|
| ELEVATIONS | |
| DRAWN BK 28/03/2013 | CHECKED ** |
| SCALE 1:100 | |

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|----------|---------|
| SHEET 3A | HAND LH |
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| | |
|---|---|
| Townhouse 6 - Stage 3 (7.5m) Urban | |
| For | EDGEWATER HOMES |
| At | LOT 1274 LAKESIDE PARADE JORDAN SPRINGS |

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| EDGEWATER HOMES |
| PO Box 550 Moorebank NSW 1875 Ph: 9623 7526 Fax:9673 5560 |