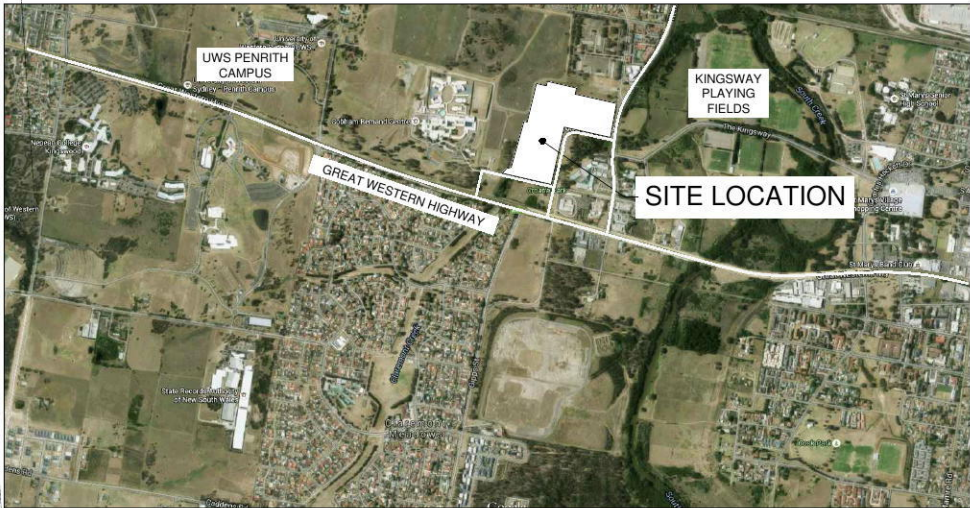
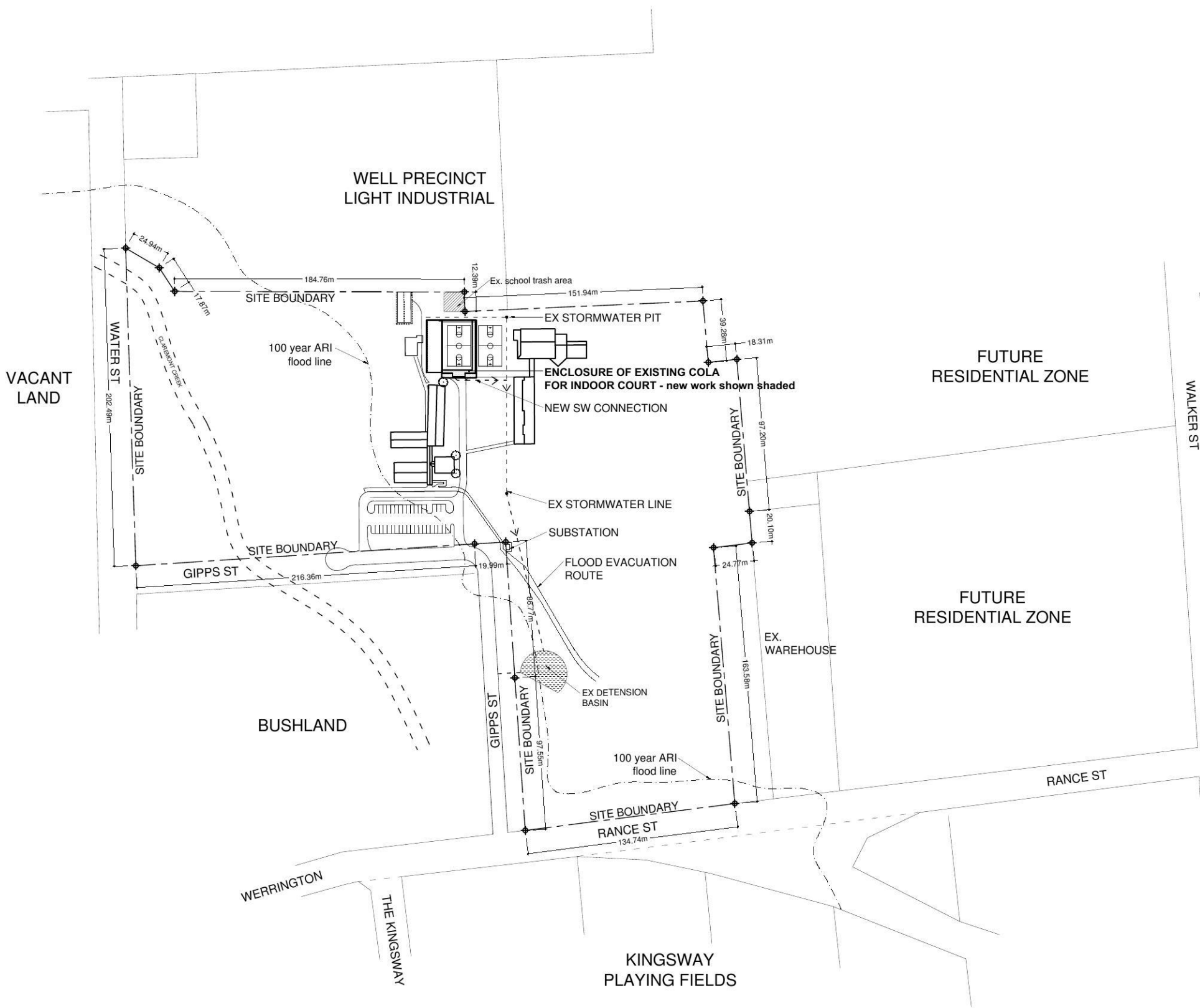


WOLLEMI COLLEGE
ENCLOSURE OF EXISTING COLA
FOR INDOOR COURT

- 01 COVER SHEET
- 02 SITE PLAN
- 03 PLAN & LANDSCAPE & PARTIAL
STORMWATER CONCEPT PLAN
- 04 ELEVATIONS AND COLOUR SCHEDULE
- 05 ELEVATIONS AND COLOUR SCHEDULE
- 06 SECTIONS
- 07 WASTE MANAGEMENT PLAN &
EROSION & SEDIMENT CONTROL PLAN
- 08 SPECIFICATIONS
- 09 SPECIFICATIONS
- 10 SPECIFICATIONS
- 11 SPECIFICATIONS
- 12 WINDOW AND DOOR SCHEDULE



SITE PLAN & PARTIAL STORMWATER CONCEPT PLAN
1:3000 @ A3

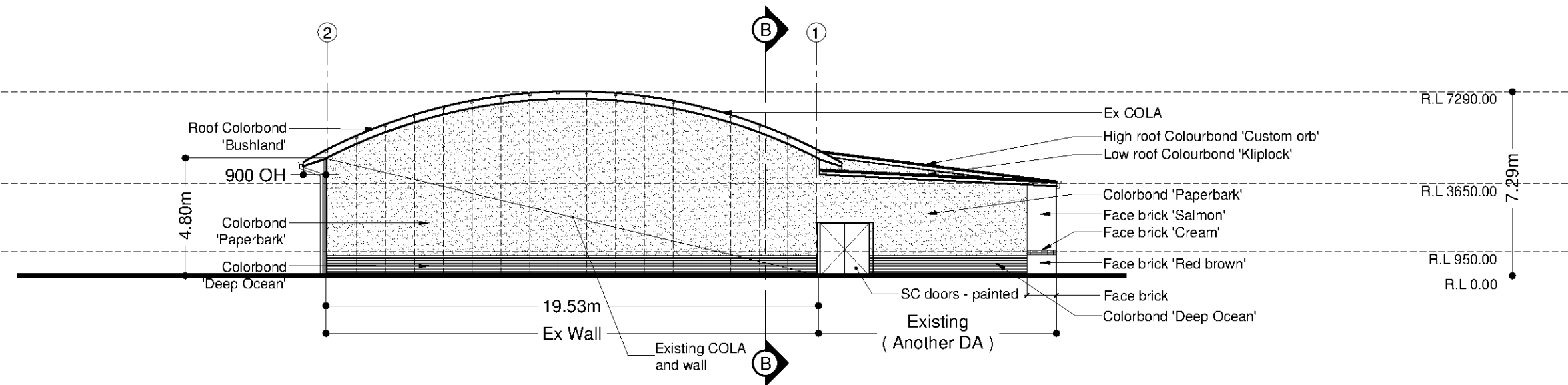
DA SET - COVER

Wollemi College - LOT 2, DP 1176624
Enclosure Of Existing COLA For Indoor Court
Gipps Street, Werrington 2747, NSW

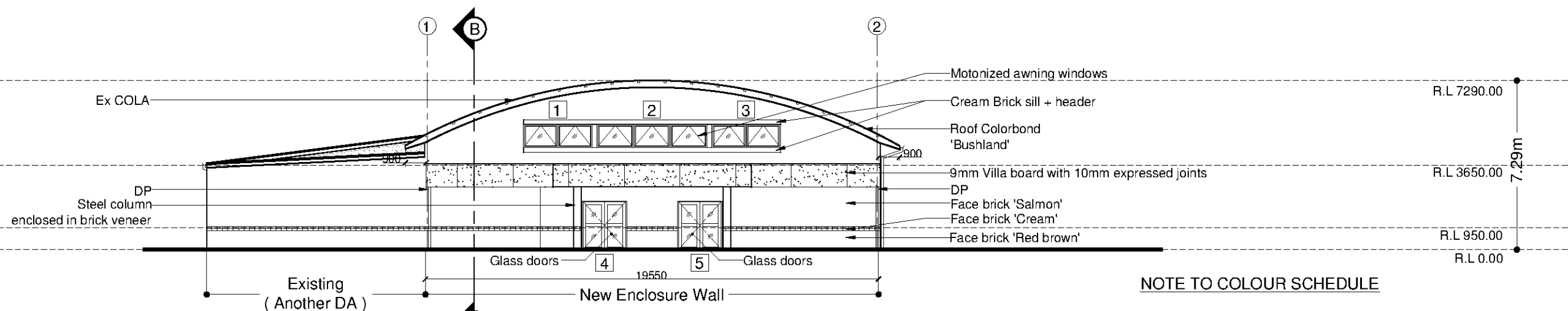
CARROLL AND CARROLL
ARCHITECTS
398, BRONTE RD, WAVERLEY, 2024
tel/ fax: 02 9387 1045

Date: 2 Feb 2016

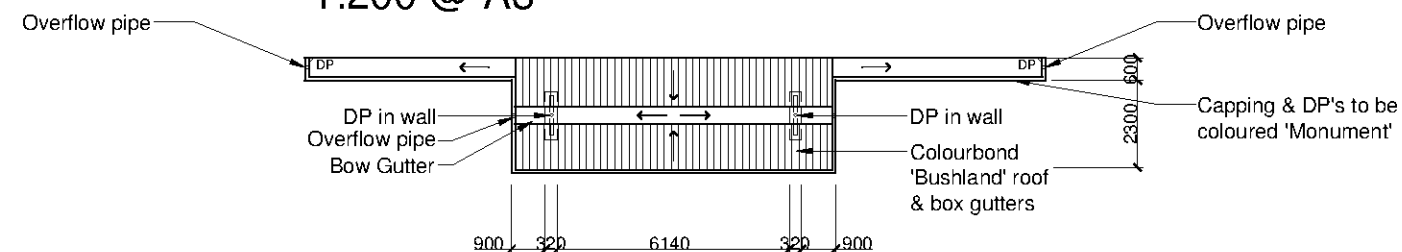




EXISTING NORTH WEST ELEVATION
1:200 @ A3



SOUTH EAST ELEVATION
1:200 @ A3



ROOF PLAN OF ENTRY CANOPY
1:200 @ A3

NOTE TO COLOUR SCHEDULE

1. All brick work colour to match the existing permanent buildings on campus.
2. See color notes on elevations to locate where colors and brickworks apply.
3. Windows to be powdercoated "Ironstone".
4. Gutters DP's and trim to be "Colourbond Ironstone".
5. Door frames to be painted to match "Colourbond Ironstone".
6. Doors to be painted "Dulux Totem Pole P08D8" semi gloss.
7. Colourbond colours of external walls are noted on the plans.

LEGEND

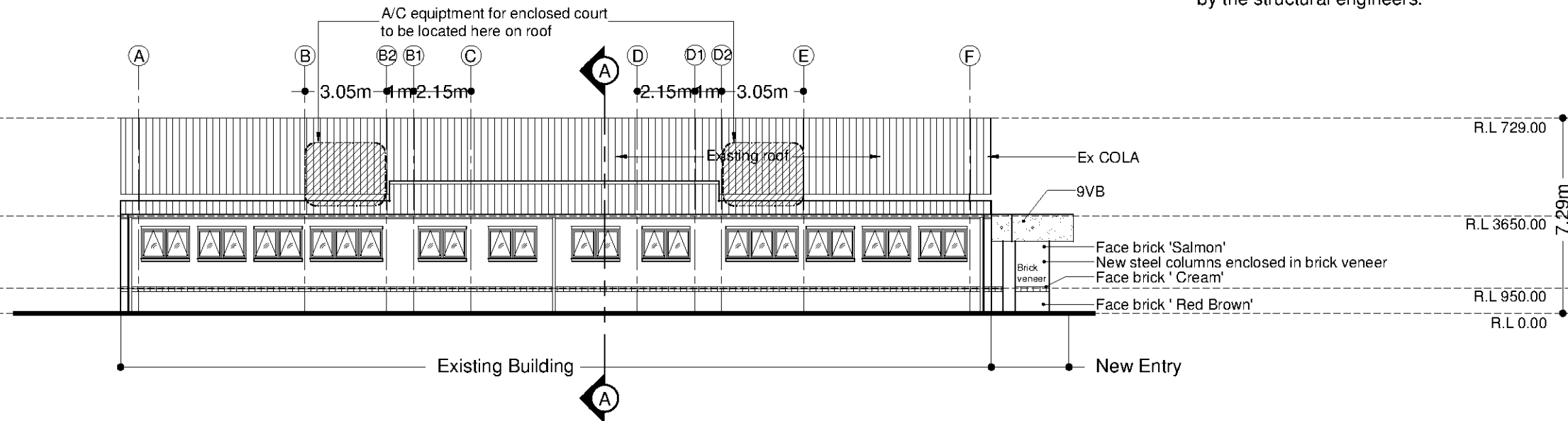
- 1 Window / Glass door numbers

**ENCLOSURE OF EXISTING COLA FOR INDOOR COURT
ELEVATIONS AND COLOUR SCHEDULE**

DA SET - ELEVATIONS AND COLOUR SCHEDULE		
Wollemi College - LOT 2, DP 1176624 Enclosure Of Existing COLA For Indoor Court Gipps Street, Werrington 2747, NSW		
CARROLL AND CARROLL ARCHITECTS 398, BRONTE RD, WAVERLEY, 2024 tel/ fax: 02 9387 1045	Date: 2 Feb 2016	4

NOTE

1. (B2) and (D2) are bracing members required by the structural engineers.

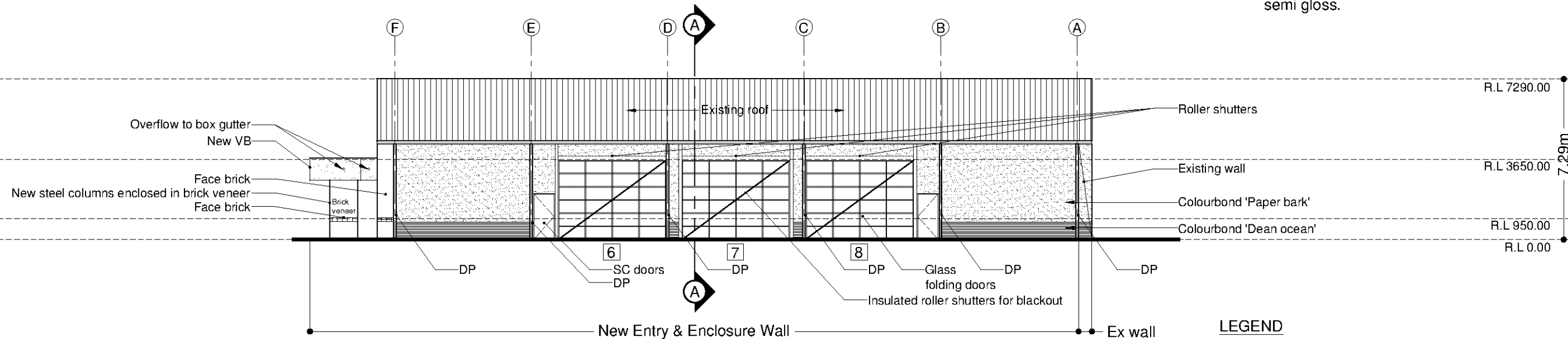


SOUTH WEST ELEVATION

1:200 @ A3

NOTE TO COLOUR SCHEDULE

1. All brick work colour to match the existing permanent buildings on campus.
2. See color notes on elevations to locate where colors and brickworks apply.
3. Windows to be powdercoated "Ironstone".
4. Gutters DPs and trim to be "Colourbond Ironstone".
5. Door frames to be painted to match "Colourbond Ironstone".
6. Doors to be painted "Dulux Totem Pole P08D8" semi gloss.



NORTH EAST ELEVATION

1:200 @ A3

LEGEND

- 1 Window / Glass door numbers

ENCLOSURE OF EXISTING COLA FOR INDOOR COURT ELEVATIONS AND COLOUR SCHEDULE

DA SET - ELEVATIONS AND COLOUR SCHEDULE		
Wollemi College - LOT 2, DP 1176624 Enclosure Of Existing COLA For Indoor Court Gipps Street, Werrington 2747, NSW		
CARROLL AND CARROLL ARCHITECTS 398, BRONTE RD, WAVERLEY, 2024 tel/ fax: 02 9387 1045	Date: 2 Feb 2016	5

PRELIMINARIES & GENERAL

- 1. Builder shall check & verify on site, all dimensions before proceeding or ordering any materials.
- 2. Builder to provide & pay for all necessary tools, equipment and temporary services unless agreed otherwise with owner.
- 3. Builder to co-ordinate all of the work and sub-trades and specialist sub-contractors required to complete the job.
- 4. Builder to clean the site regularly and on completion thoroughly clean new works inside & out (windows included) and remove all rubbish from site.
- 5. Builder to be responsible for a structurally sound & watertight job.
- 6. Builder to contact architect should unforeseen circumstances occur & for any required clarifications.
- 7. Building to comply with CDC and Construction Certificate & to comply with the Building Code of Australia (BCA) and all relevant Australian standards.
- 8. Builder to make good at his own expense any damage resulting, from demolition & /or construction, to the existing structure or new work.
- 9. Builder is generally to make good to all new and existing finishes and materials and junctions thereof to match existing.
- 10. Refer to structural and other architect's drawings for additional specification notes.
- 11. Five precaution during construction to comply with BCA E1.9.

STEELWORK & METALWORK

- 1. Refer to structural drawings and structural specifications.
- 2. Builder to supply & install steel structural members: dimensions and construction details as specified by structural engineer.
- 3. Builder to supply & fit all metalwork and fittings required to complete works ie. column shoes, ties, brackets, angles, hinges, locks, straps, screws, bolts, nails etc. All external items to be hot dip galvanised.
- 4. Builder shall install all flashings necessary to ensure a watertight job.
Flashing not seen to be Alcore.
Exposed flashings to be 0.7mm zinc minimum or colorbond bent to required shape.
(Match colour of adj materials or as noted)
- 5. Interlock, lap & silicon seal joints on all flashings.
- 6. Aluminium window joinery to be Dulux Powdercoated "Ironstone".
- 7. "Black out" roller shutters will be supplied and installed by the builder where shown on the drawing - colourbond finish.
- 10.All windows & doors to comply with 'Section J' : Glazing calculation and comply with AS 2047 - requirements for resistance to water penetration and comply with BCA F1.13 - glazed assemblies.
- 11.Folding glass doors to be "Sovereign bi fold doors" - powder coated charcoal.

EXCAVATION AND BACKFILLING

- 1. Builder to carry out all necessary excavation and backfilling, as required to complete the works.
- 2. Backfilling to be carried out as per engineer's instructions.
- 3. All retaining walls and drainage behind them to be to engineer's details.
- 4. All new work to be termite protected to AS 3660 via "KORDON" membrane or approved equal under all new conc. slabs
Use ant caps under flooring where exposed.
- 5. Make good all finishes walls, floors & ceilings where walls, floors or ceilings are demolished, all generally to match the existing details.
- 6. Waterproof the near face of all retaining walls with bitumen based waterproofing.
- 7. Install agriculture lines,etc. as detailed by the civil engineers.

BRICKWORK & MASONRY

- 1. Refer to structural drawings & specifications.
- 2. Lintels. All lintels to be hot dip galvanised and painted before installation - All major lintels + beams to engineers req..

Maximum Span	Lintel Size
1200	75 x 8 flat
1500	75 x 75 x 8 angle
1880	102 x 76 x 8 angle
2440	127 x 76 x 8 angle
2770	152 x 89 x 8 angle
3050	152 x 102 x 10 angle
- 3. Bricks. Construct new brickwork as shown on architectural drawings - All brickworks to be rendered except garage interior.
- 4. Build in brick joints and control joints as necessary.
- 5. Mortar to be 1:1.6 cement, lime, sand above DPC and 1:1.4 below DPC.
- 6. Install DPC, ties, fixings, lugs, straps, brackets, flashings etc as required to complete the job. Flashings to be 1 mm zinc & all fillings to be hot dip galvanised.
- 7. Rake out joints as required to take cement render.
- 8. All non exposed brickwork or brickwork to be rendered over is to be selected common.

DA SET - SPECIFICATION

Wollemi College - LOT 2, DP 1176624
Enclosure Of Existing COLA For Indoor Court
Gipps Street, Werrington 2747, NSW

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tel/ fax: 02 9387 1045

DATE: 2 Feb 2016

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SITEWORKS & LANDSCAPING

- 1. Builder to protect all existing plants & to save topsoil from all excavated areas for reuse as required.
- 2. All waste materials are to be removed from site upon completion of the job and the job site is to be suitably cleaned.
- 3. Landscaping of all gardens and planter boxes shall be by owners. All flat areas to be raked clean ready for planting, and topped with 50mm topsoil.
- 4. Remove & properly dispose of all construction debris from site.
- 5. Repair paving as required to match the existing.
- 6. Paver at entry to be reworked as required by the new work.

CARPENTRY & JOINERY

- 1. All timber wall framing shall be in accordance with the light timber framing code / AS 1684 - use termite treated timber throughout. Provide blocking, etc as required to complete works.
- 2. All exterior timberwork to be WRC or pressure treated pine, for paint finished or as directed. Timber beams & cols to be hardwood.
- 3. Doors / Gates:
exit doors on west wall to be solid core doors(external grade) for paint finish - provide latches to BCA D2.21. All doors to have latches/ handles to comply with BCA D 2.21.
- 4. Windows & External class doors:
New doors & windows to be 6mm plastic laminated glass, (minimum) Colorbond Aluminium windows & frames and comply with Section J.
- 5. Hardware:
Hinges for new doors to be 100mm aluminium - stainless satin steel (SSS) finish.
All doors to have ss & black rubber door stops and/ or cabin hooks as required.
All external glass & timber doors to have lever hardware and locks of the type required to suite the situation SCP plated.
Doors to be dead locked at exterior and lever hardware at interior, which will always be open.
- 6. Other Internal Joinery
Architraves & skirtings are generally to match existing.
- 7. Signage: Braille and tactile signage must identify each door required to have an exit sign & state "Exit" and "Level" in accordance with BCA 2013, D3.6.

FORMWORK & CONCRETE

- 1. Builder to carry out all work shown on architectural & structural drawings. Refer to structural drawings for additional specification items.
- 2. All formwork shall be straight & true to required sizes
- 3. Concrete to be 1:2:4 or as shown on engineer's drawings.
- 4. All concrete exposed to view shall have bevel edges and shall be filled and worked smooth and prepared for painting.
- 5. All slab dimensions and reinforcing to engineer's details.
- 6. Concrete beams, strip & pad footings to engineer's details.
- 7. Builder to tank all walls below grade before pouring slabs and backfilling behind retaining walls.

DA SET - SPECIFICATION		
Wollemi College - LOT 2, DP 1176624 Enclosure Of Existing COLA For Indoor Court Gipps Street, Werrington 2747, NSW		
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ROOFER, ROOF PLUMBING & SKYLIGHTS

1. Entry roof to be Colourbond Custom Orb "Bushland".
2. Gutters and Box Gutters & capping to entry canopy upstand to also be Colorbond "Ironstone".
3. Insulate roof to entry canopy using 1.8 foil faced blanket.

FLOOR FINISHES

1. All materials shall be installed to the highest standards, best of workmanship & with the proper preparation.
2. Surfaces of concrete slabs should be suitable to take finishes, all to match the existing concrete floors.
3. Install pavers where shown on the drawings to match existing pavers on site. Rework existing pavers as required.
4. Install Gerflor in hall to manufacture's insulation on base material as required by manufacturer.

HYDRAULICS & MECHANICAL WORK

1. All new plumbing pipes, vents etc. to be enclosed in a satisfactory manner. No pipe work to be run down external wall.
2. All hydraulic work shall be in accordance with the requirements of the MWs & DB. Water supply to be in copper pipe, drainage & sewerage to be in approved UPVC pipe - all to code requirements.
3. All new & reworked pipe work is to be concealed.
4. Allow to take out existing plumbing and drainage fittings no longer required by the new walls and floor.
5. Install drainage as required to drain the works. Connect all drains to ex SW system.
6. All hydraulics work to be in accordance with the consultant engineers drawings and specifications.

GLAZIER & BUILDING SEALING

1. All glazing shall be in accordance with the appropriate A.S.A. codes, AS 1288, BCA, SAA & Glass Insulation Code.
2. All windows to be 6mm clear plastic laminated or toughened glass minimum and as required to comply with section J & all code requirements. (All glass must be safety glass in schools.)
3. Windows and doors to be sealed to comply with BCA J3.1 and AS 2047 seals to be fitted to the edge of external doors. Door closers to be fitted to all external doors.
4. Roof, ceiling, walls and floors need to be sealed to minimise air leakage to comply with J3.6.

GAS

Not Used

DA SET - SPECIFICATION

Wollemi College - LOT 2, DP 1176624
Enclosure Of Existing COLA For Indoor Court
Gipps Street, Werrington 2747, NSW

CARROLL AND CARROLL
ARCHITECTS
398, BRONTE RD., WAVERLEY, 2024
tel/ fax: 02 9387 1045

DATE: 2 Feb 2016

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ELECTRICAL

- 1. All electrical work shall be in strict and complete compliance with the all authorities requirements.
Builder to provide all labour & materials to complete the works.
- 2. All wiring to comply with relevant SAA standards and codes.
- 3. All wiring to be concealed.
- 4. Mark all locations of lights, switches and general power outlets for owner's approval of location before proceeding.
- 5. All switches, lighting etc shall be by builder & in accordance with the electrical plan.
- 6. Builder to install new safety switches to all circuits to code/council's requirements.
- 7. Connect power and provide switches / handsets to electric blinds, roller shutters and awning windows.
- 8. Builder to protect all existing security system. Owner shall arrange & pay for any relocation necessary or expansion of the system if they so choose - builder to co-operate & support this sub-trade as required to complete the system.
- 9. Provide & install all necessary exit signs, emergency lighting, smoke alarm etc. as required by the codes.
- 10.Refer to electrical consultant's drawing & specification.

PAINTER

- 1. All painting to be carried out in accordance with manufacturer's directions for the type of paint being used.
Allow for good preparation.
- 2. Use drop sheets, masking tape etc. to protect furnishings and finishes. Upon completion clean off all paint splatter.
- 3. Allow four (4) weeks for architect or owner to provide a colour schedule.
- 4. Clean all paint off floor and where spilled and remove all empty containers from site.
- 5. All timber work to be painted with undercoat and two finishing coats in low sheen, wash + wear acrylic paint.
- 6. All exterior walls to be prepared and waterproofed & sealed with one coat and 2 coats of acrylic paint finish.
- 7. All new work to be painted up to a logical cut-off point to produce a first class job internally & externally.
- 8. Match existing colour on the block walls.

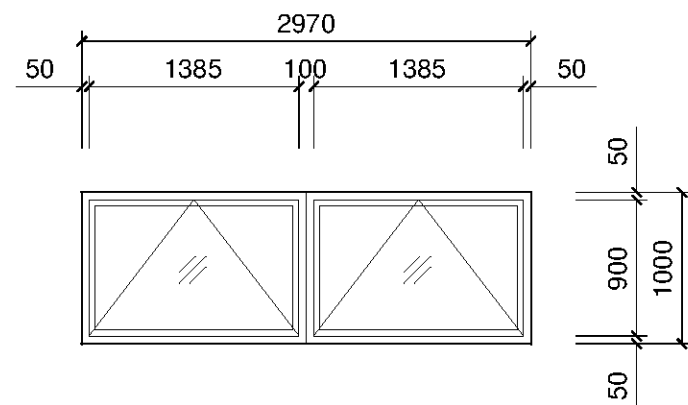
WALL & CEILING FINISHES

- 1. All materials shall be installed in accordance with the best of workmanship, preparation and materials to the architect's approval.
- 2. North East external wall : The lower section to be Colorbond "Deep Ocean" and the upper wall to be Colorbond "Paperbark".
- 3. South East external wall : The lower section to be face brick " Red Brown, the upper section to be "face brick " Salmon" and the band between the lower section and upper section to be face brick " Cream".
- 4. Make good to brick walls as required to match existing.
- 5. In all areas where making good, match existing surfaces & finishes.
- 6. Make good existing wall finishes where damaged by construction. Match existing finishes.
- 7. All wall and ceiling linings and floor material and floor coverings to have fire rating and properties that comply with C 1.10.
- 9. All walls, ceilings to be insulated to section 'J' requirements.
All perimeter walls = R = 2.8 of new work.
All ceilings = R = 3.2 upwards.
External entry ceiling to be insulated with R 1.8 foil faced blanket only.

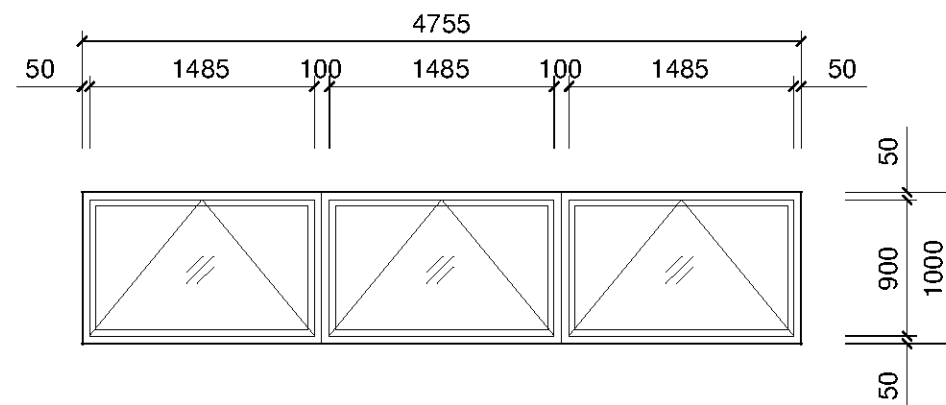
MISCELLANEOUS, SPECIAL & P.C ITEMS

- 1. Refer to drawings for additional specification notes.
- 2. Builder to allow for all items to complete job.
- 3. Builder to retain certificates of completion, council, etc; all guarantees for work, appliances & equipment; and maintenance instructions and is to handover to owners upon completion.

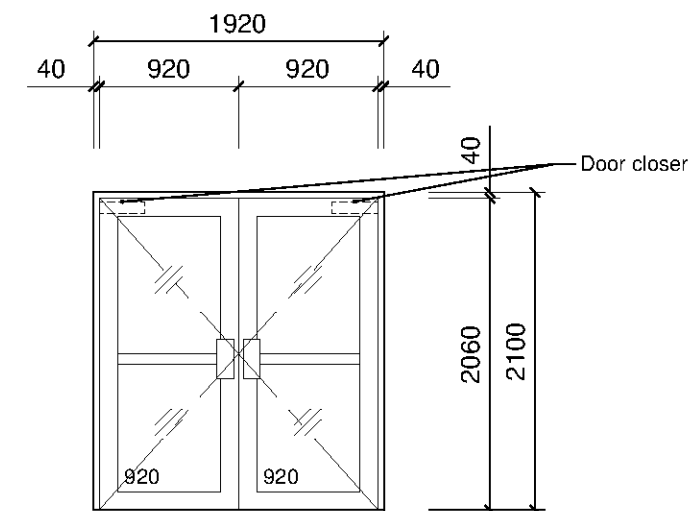
DA SET - SPECIFICATION		
Wollemi College - LOT 2, DP 1176624 Enclosure Of Existing COLA For Indoor Court Gipps Street, Werrington 2747, NSW		
CARROLL AND CARROLL ARCHITECTS 398, BRONTE RD , WAVERLEY, 2024 tel/ fax: 02 9387 1045	DATE: 2 Feb 2016	11



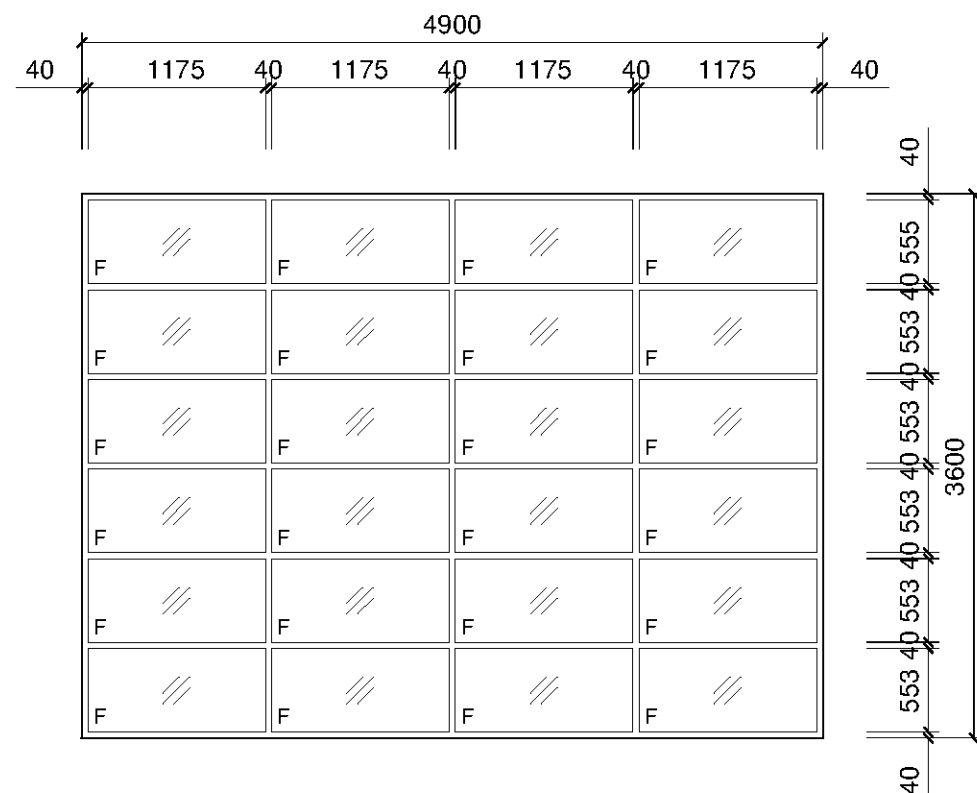
1 3 On South East Elevation



2 On South East Elevation



4 5 Door to Hall



6 7 8 Glass Folding Doors (Sovereign bi fold door, 4900 width)

ENCLOSURE OF EXISTING COLA FOR INDOOR COURT WINDOW & DOOR SCHEDULE

DA SET - WINDOW AND DOOR SCHEDULE		
Wollemi College - LOT 2, DP 1176624 Enclosure Of Existing COLA For Indoor Court Gipps Street, Werrington 2747, NSW		
CARROLL AND CARROLL ARCHITECTS 398, BRONTE RD, WAVERLEY, 2024 tel/ fax: 02 9387 1045	Date: 2 Feb 2016	12

SURVEYING & SPATIAL INFORMATION REGULATION 2006 (CLAUSE 6K2) M.G.A. CO ORDINATES (ZONE 56)						
MARK	EASTING	NORTHING	CLASS	ORDER	METHOD	ORIGIN
SSH26077 X	292396.02	626420.608	B	2	CAD. TRAY	SCIMS
SSH26078	292358.09	626445.446	B	2	CAD. TRAY	SCIMS
SSH26079	291872.448	626457.00	B	2	CAD. TRAY	SCIMS
PH4943 Y	292423.375	626235.733	B	2	CAD. TRAY	SCIMS
PH19532	292446.075	626208.479	B	2	CAD. TRAY	SCIMS
DATE 8-8-2011 SCALE FACTOR 1.00028 ZONE 56						

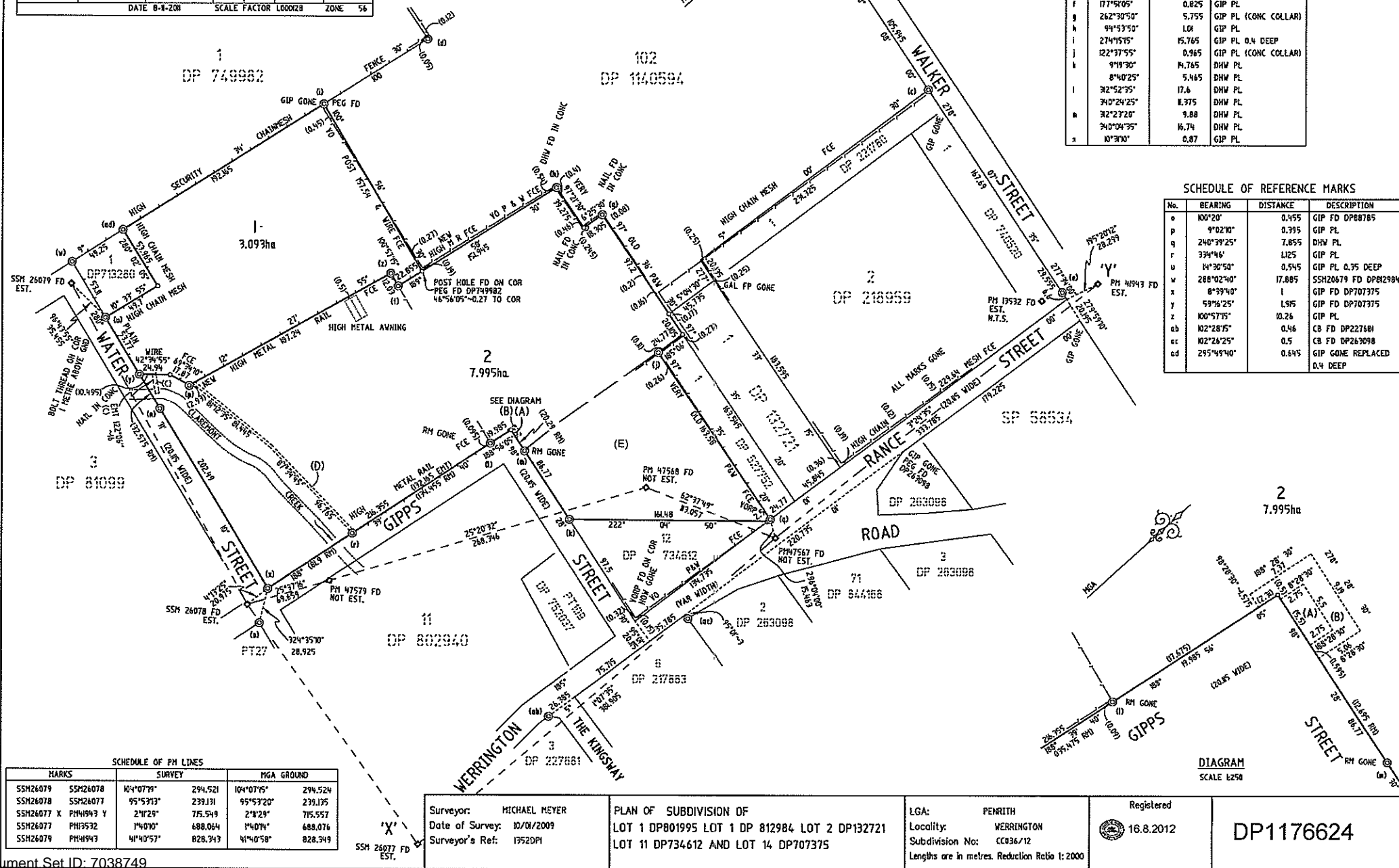
(A) EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE
 (B) RESTRICTION ON THE USE OF LAND
 (C) EASEMENT TO DRAIN WATER 3 WIDE
 (D) EASEMENT FOR WATER SUPPLY 2.25 WIDE
 (E) COVENANT -X745573

SCHEDULE OF REFERENCE MARKS

No.	BEARING	DISTANCE	DESCRIPTION
a	225°38'10"	24.565	DHW FD DP736179
b	280°06'40"	14.625	DHW FD DP736179
c	185°40'25"	3.74	DHW FD DP749982
d	283°02'10"	1.01	GIP FD DP749982
e	277°04'10"	6.765	PH19532 FD DP740520
f	177°58'05"	0.825	GIP PL
g	262°30'50"	5.755	GIP PL (CONC COLLAR)
h	94°53'50"	1.01	GIP PL
i	274°15'15"	15.765	GIP PL 0.4 DEEP
j	122°37'55"	0.965	GIP PL (CONC COLLAR)
k	9°19'30"	14.765	DHW PL
l	8°40'25"	5.165	DHW PL
m	32°52'25"	17.6	DHW PL
n	340°24'25"	18.375	DHW PL
o	32°23'20"	9.88	DHW PL
p	340°04'35"	16.74	DHW PL
q	10°3'10"	0.87	GIP PL

SCHEDULE OF REFERENCE MARKS

No.	BEARING	DISTANCE	DESCRIPTION
o	100°20'	0.555	GIP FD DP80785
p	9°02'10"	0.395	GIP PL
q	240°39'25"	7.855	DHW PL
r	334°46'	1.125	GIP PL
u	14°30'50"	0.545	GIP PL 0.35 DEEP
w	288°02'40"	17.885	SSH26079 FD DP812984
x	8°39'40"	1.595	GIP FD DP707375
y	59°16'25"	1.595	GIP FD DP707375
z	100°57'15"	10.26	GIP PL
ab	102°28'15"	0.46	CB FD DP227481
ac	102°28'25"	0.5	CB FD DP263098
ad	295°49'40"	0.845	GIP GONE REPLACED 0.4 DEEP



SCHEDULE OF PH LINES

MARKS	SURVEY	MGA GROUND
SSH26079	SSH26078	104°07'19"
SSH26078	SSH26077	95°53'13"
SSH26077 X	PH4943 Y	2°12'29"
SSH26077	PH19532	1°40'10"
SSH26079	PH4943	41°40'57"

Surveyor: MICHAEL MEYER
 Date of Survey: 10/01/2009
 Surveyor's Ref: 1952DPI

PLAN OF SUBDIVISION OF
 LOT 1 DP801995 LOT 1 DP 812984 LOT 2 DP132721
 LOT 11 DP734612 AND LOT 14 DP707375

LGA: PENRITH
 Locality: WERRINGTON
 Subdivision No: CC836/12
 Lengths are in metres. Reduction Ratio 1:2000

Registered
 16.8.2012

DP1176624