

SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASUREMENTS, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AROUND AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 2M CENTRES). FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

- GENERAL NOTES**
- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
 - SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
 - ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER.
 - FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.
 - WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO AS/N DESIGN BEFORE PROCEEDING.
 - SITE CLASSIFICATION M
 - CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL 19-8 GARAGE TO RL 19-8
 - HOUSE FLOOR LEVEL RL 20-110, 310MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL 20-024, 224MM ABOVE PLATFORM LEVEL.
 - TOTAL ROOF AREA = 265-1 M²

SITE DATA
 SITE AREA = 377 M²
 PRIVATE OPEN SPACE REQUIRED 75-4 M² OR 20% OF THE SITE PROVIDED 75-8 M² OR 20-1% OF THE SITE

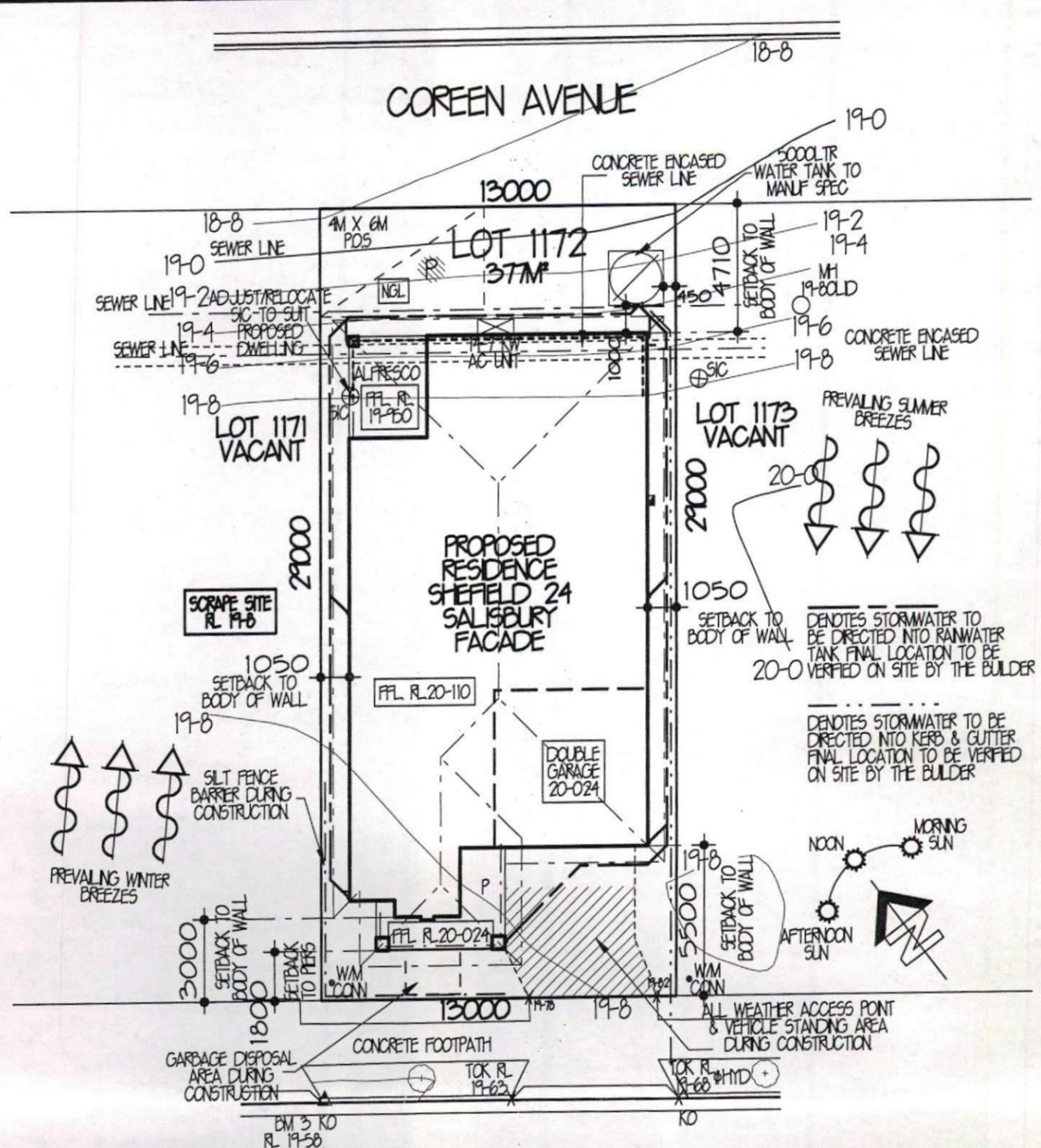
FLOOR AREAS
 GROUND FLOOR AREA = 171 M² (EXCLUDING GARAGE)
 GARAGE FLOOR AREA = 32-3 M²
 PORCH FLOOR AREA = 10-2 M²
 ALFRESCO FLOOR AREA = 10-6 M²

TOTAL FLOOR AREA = 224-1 M² OR 24-1 SQS

Eden Brae Homes
 LEVEL 2 NEXUS BUILDING
 4 COLUMBIA COURT
 NORTHWEST BUSINESS PARK
 BULLHAM HILLS NSW, 2153
 P 8860 9222
 F 8860 9233

FOR EDEN BRAE HOMES
 AT LOT 1172 BARTLETT PLACE
 THORNTON PARK, NORTH PENRITH

TYPE SHEPHERD 24 (CUSTOM) 0016309
 FACADE SALISBURY HAND RH
 DATE AUG' 12 DWG NO. A18825 PAGE NO. 1 OF 7



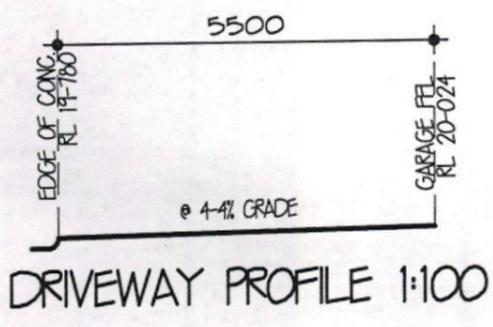
BARTLETT PLACE
SITE ANALYSIS & SITE PLAN 1:200

REFER TO LANDSCAPE PLANS FOR FENCING TYPES LOCATIONS & HEIGHTS TOGETHER WITH LETTERBOX LOCATION & RETAINING WALL DETAILS

SITE ANALYSIS KEY

- OVERLOOKING
- VEWS
- NOISE SOURCE
- PRIVATE OPEN SPACE

LEGEND:
 ○ DENOTES EXISTING TREES TO BE REMOVED
 --- DENOTES RETAINING WALL BY OWNER
 - - - DENOTES SILT FENCE BARRIER
 - - - - DENOTES DROPPED EDGE BEAM
 ||||| DENOTES LINE OF BATTER TO CUT OR FILL



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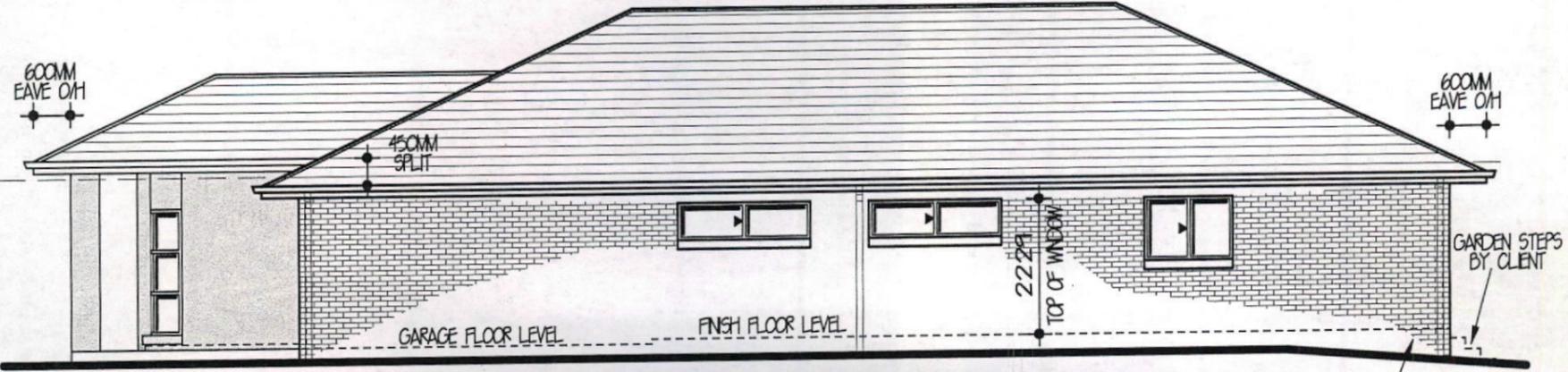
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 NO. 25-27 SOLENT CIRCUIT
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ISSUE	DATE	REVISION	DRAWN
A	31-8-12	SITING + CC PLANS	SK
B	25-9-12	BASIX PLAN	BA
C	3-04-13	RE-SITE/AMENDMENT/BASIX	DB

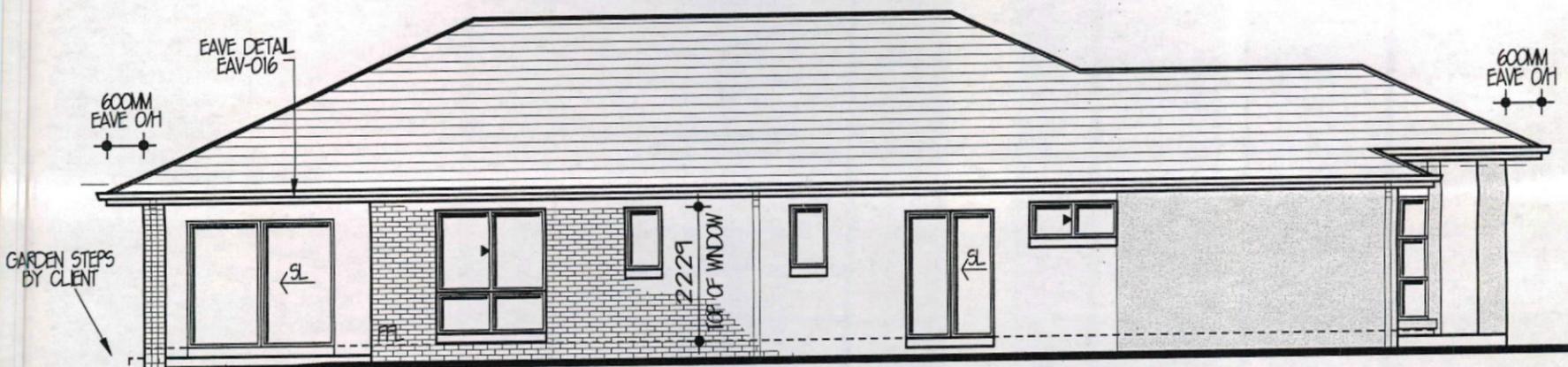
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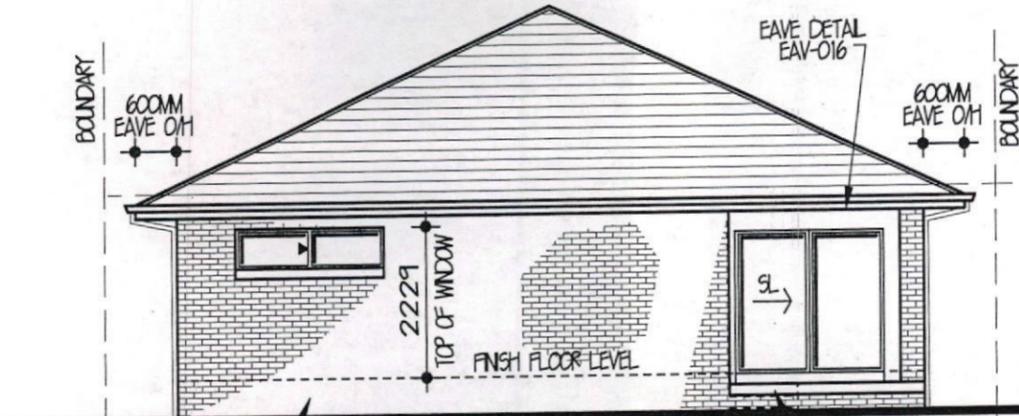
SOUTH WEST ELEVATION 1:100



SOUTH EAST ELEVATION 1:100



NORTH WEST ELEVATION 1:100



NORTH EAST ELEVATION 1:100

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"It's where you want to live"

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FOR EDEN BRAE HOMES LBD ARES5YD REV48 MAP163 REF:JB

AT LOT 1172 BARTLETT PLACE
 THORNTON PARK, NORTH PENRITH

TYPE SHEPHERD 24 (CUSTOM) 0016309

FACADE SALISBURY HAND RH

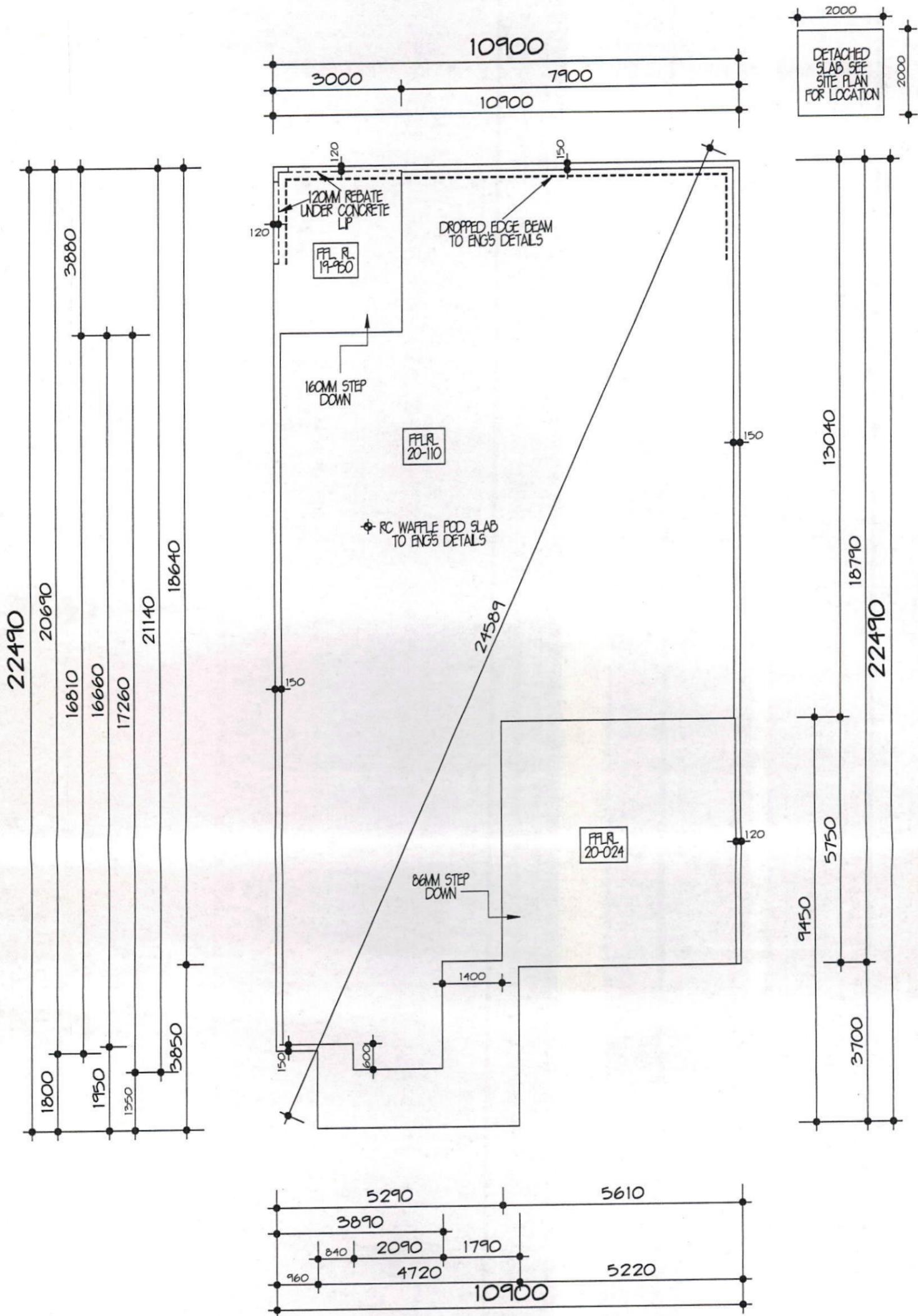
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SLAB FLOOR PLAN 1:100

SLAB PLAN TO BE CROSS REFERENCED WITH FLOOR PLANS, ANY DISCREPANCIES ARE TO BE VERIFIED BEFORE PROCEEDING

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FOR EDEN BRAE HOMES
 LBD ARES5YD REV4/8
 MAP163 REF JB

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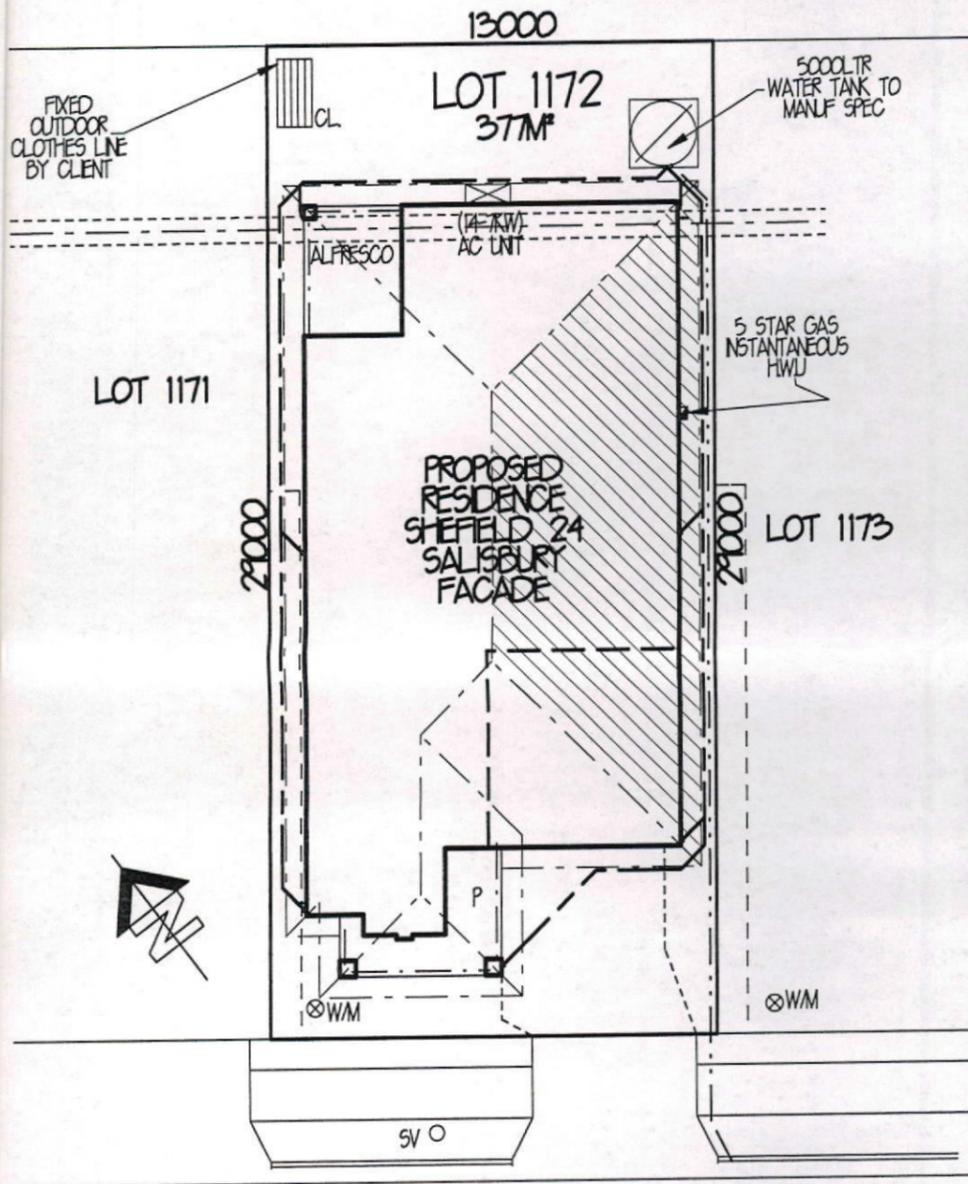
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INSULATION
 R20 WALL INSULATION
 R35 CEILING INSULATION
 FOL (S)ISALATION

BASIX SCORE
 WATER - 40% (TARGET 40%)
 THERMAL COMFORT - PASS (TARGET PASS)
 ENERGY - 40% (TARGET 40%)

☐ DENOTES 86M² OF ROOF TO BE COLLECTED

COREEN AVENUE



BARTLETT PLACE
BASIX PLAN 1:200

STORMWATER / WATER

COLLECTION OF RAINWATER & STORMWATER:
 THE APPLICANT MUST INSTALL A RAINWATER TANK ON THE SITE. THE RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.

RAINWATER TANK:
 THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RUNOFF FROM AT LEAST 86 SQM OF THE ROOF AREA OF THE DWELLING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO ALL THE TOILETS IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR TOILET FLUSHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHING MACHINE IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR CLOTHES WASHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT SO THAT RAINWATER CAN BE USED TO IRRIGATE VEGETATED AREAS OF THE SITE.

THE RAINWATER TANK MUST HAVE A CAPACITY OF AT LEAST 5000 LITRES.

SHOWERHEADS:
 THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (75 BUT ≤9L/MIN) IN ALL SHOWERS IN THE DEVELOPMENT.

TOILETS:
 THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 3 STAR IN EACH TOILET IN THE DEVELOPMENT.

TAP FITTINGS:
 THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM FLOW RATE OF 3 STAR IN THE KITCHEN IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL BATHROOM TAPS (OTHER THAN SHOWERHEADS) WITH A MINIMUM FLOW RATE OF 3 STAR IN EACH BATHROOM IN THE DEVELOPMENT.

ENERGY

HOT WATER:
 THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT:
 GAS INSTANTANEOUS - 5 STARS. (OR ONE WITH A HIGHER STAR RATING)

ACTIVE COOLING:
 THE APPLICANT MUST INSTALL THE FOLLOWING COOLING SYSTEMS IN THE DEVELOPMENT, OR SYSTEMS WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING ENERGY RATING EER 2.5 - 3.0, 1 BEDROOM: 3 PHASE AIRCONDITIONING ENERGY RATING EER 2.5 - 3.0

ACTIVE HEATING:
 THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEMS IN THE DEVELOPMENT, OR SYSTEMS WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING ENERGY RATING EER 3.0 - 3.5, 1 BEDROOM: 3 PHASE AIRCONDITIONING ENERGY RATING EER 3.0 - 3.5

VENTILATION:
 THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:
 AT LEAST 1 BATHROOM: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF OPERATION CONTROL: MANUAL SWITCH ON/OFF
 KITCHEN: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF OPERATION CONTROL: MANUAL SWITCH ON/OFF
 LAUNDRY: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF OPERATION CONTROL: MANUAL SWITCH ON/OFF

NATURAL LIGHTING:
 THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 2 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING.

COOKING:
 THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.

OTHER:
 THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT.

THERMAL COMFORT

THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE CERTIFICATE N 4478155 AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OR APPLICATION FOR COMPLYING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THE VALUES SHOWN IN THE CERTIFICATE N 4478155.

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FOR EDEN BRAE HOMES LBD ARES6YD REV418 MAP163 REFUB

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FACADE SALISBURY HAND RH

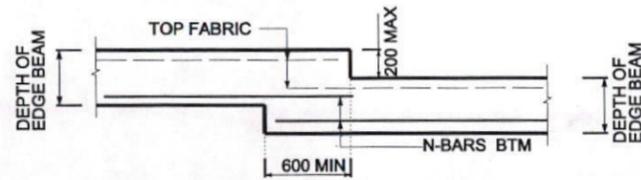
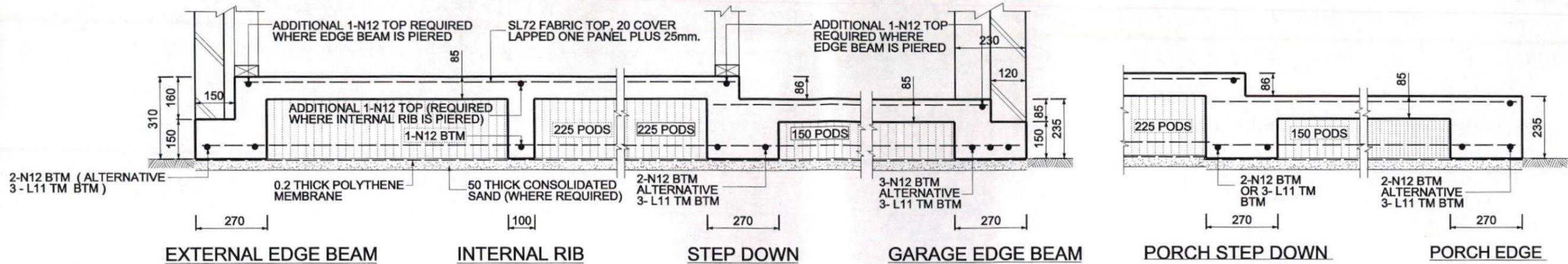
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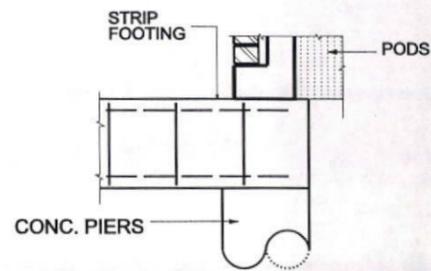
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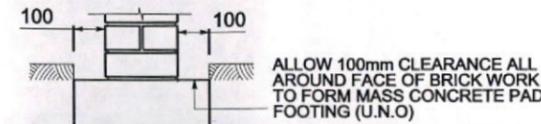
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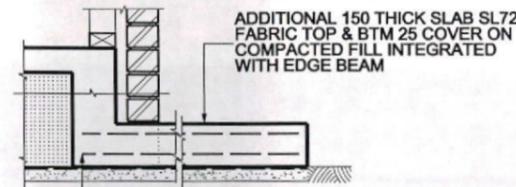
EXTERNAL BEAM STEP DOWN DETAIL
NOTE: STEP TO OCCUR ON TOP OF PIER



STRIP FOOTING CONNECTION



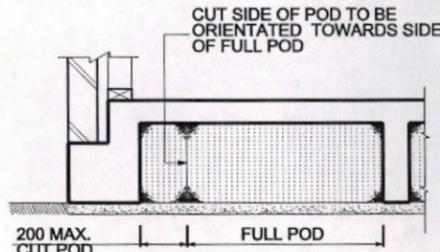
TYPICAL MASS CONCRETE PAD CONSTRUCTION



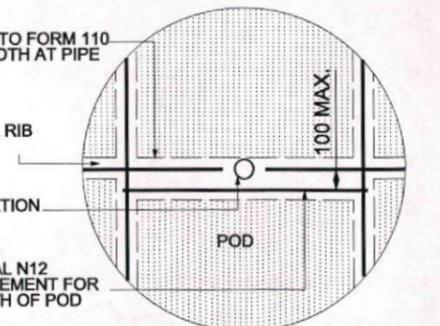
EXTERNAL EDGE BEAM SIZE AND REINFORCEMENT TO SUIT LOCATION OF PAD.

PAD DETAIL

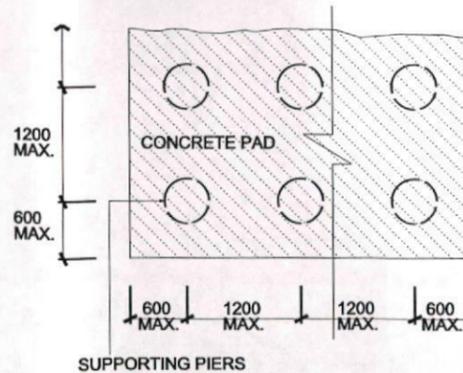
- FOR RAINWATER TANK, LPG & A/C UNITS ETC. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- SPACE PIERS AS REQUIRED TO SUIT PAD SIZE:
- 500 MAXIMUM TO EDGE OF SLAB FOR PERIMETER PIERS.
- 1000 MAXIMUM CENTRES IF ADDITIONAL INTERNAL PIERS ARE REQUIRED FOR PAD SIZE.



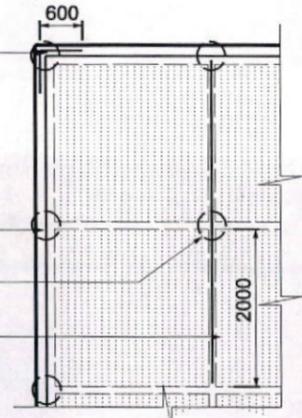
POD EXTENSION DETAIL



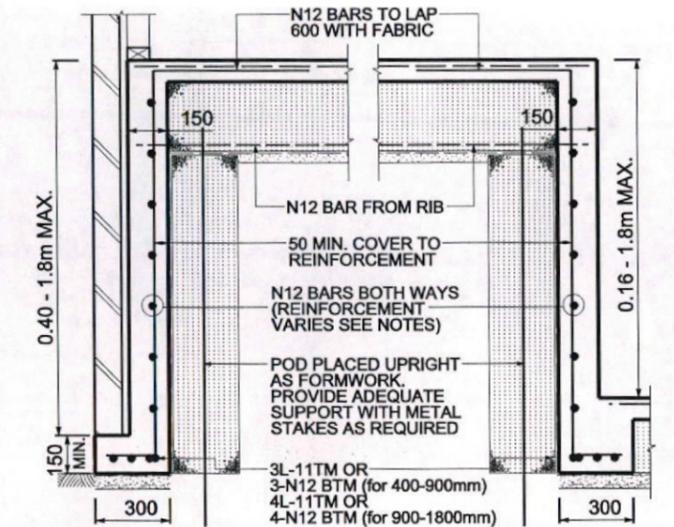
PIPE PENETRATION THROUGH RIB



- AT ALL EXTERNAL BEAM CORNER LOCATIONS: (TOP & BTM)
- PROVIDE ADDITIONAL 1200 LONG BENT CORNER LAP BARS AROUND CORNER WHERE BOTTOM N12 EDGE BEAM REINFORCEMENT IS DISCONTINUOUS.
- OR
- BEND BOTTOM N12 EDGE BEAM REINFORCEMENT AROUND CORNER TO PROVIDE 600 MINIMUM LAP.
- EXTERNAL LOAD BEARING BEAM AND PIERS.
- INTERNAL RIB BEAM PIERS.
- WHERE INTERNAL RIB BEAMS OR CONCRETE PADS ARE PIERED, THEN ADDITIONAL 1-N12 TOP BAR ALONG THE RIB IS REQUIRED IN ONE DIRECTION ONLY AND IS TO BEGIN FROM THE EXTERNAL EDGE BEAM AND EXTEND 2000 BEYOND LAST PIER.



- PROVIDE 400 DIA. CONCRETE PIERS TO CLAY AND SAND, OR 300 DIA. TO ROCK OR SHALE.
- SPACE PIERS AT 2400 CTS AS SHOWN ALONG EXTERNAL EDGE BEAM, UNLESS NOTED OTHERWISE
- PIERS REQUIRED UNDER INTERNAL RIB BEAMS WHEN CONSTRUCTED ON MORE THAN 300mm OF UNCONTROLLED/NON-COMPACTED MATERIAL, OR AS SHOWN.
- N12 BARS CAN BE REPLACED WITH 10.65mm HDW (450MPa STRESS GRADE)



EXTERNAL DEEP BEAM

INTERNAL DEEP BEAM

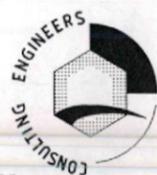
DEEP BEAM DEPTH	BEAM REINFORCEMENT
160 - 400mm	N12 BARS AT 1200 CENTRES & 1-N12 HORIZONTAL
400 - 900mm	N12 BARS AT 600 CENTRES & 1-N12 CENTRALLY
900 - 1500mm	N12 BARS AT 300 CENTRES BOTH WAYS
1500 - 1800mm	N12 BARS AT 200 CENTRES BOTH WAYS

REINFORCEMENT FOR RIBS AND BEAMS

WIDTH	TOP STEEL	BTM STEEL
271-330	1-N12	3-N12
331-440	2-N12	4-N12
441-550	3-N12	5-N12
551-660	4-N12	6-N12

RAFELETOS

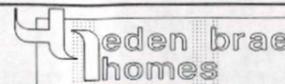
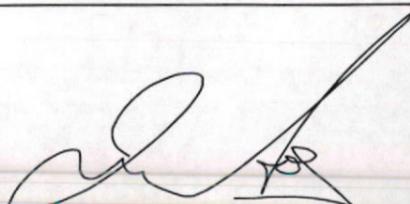
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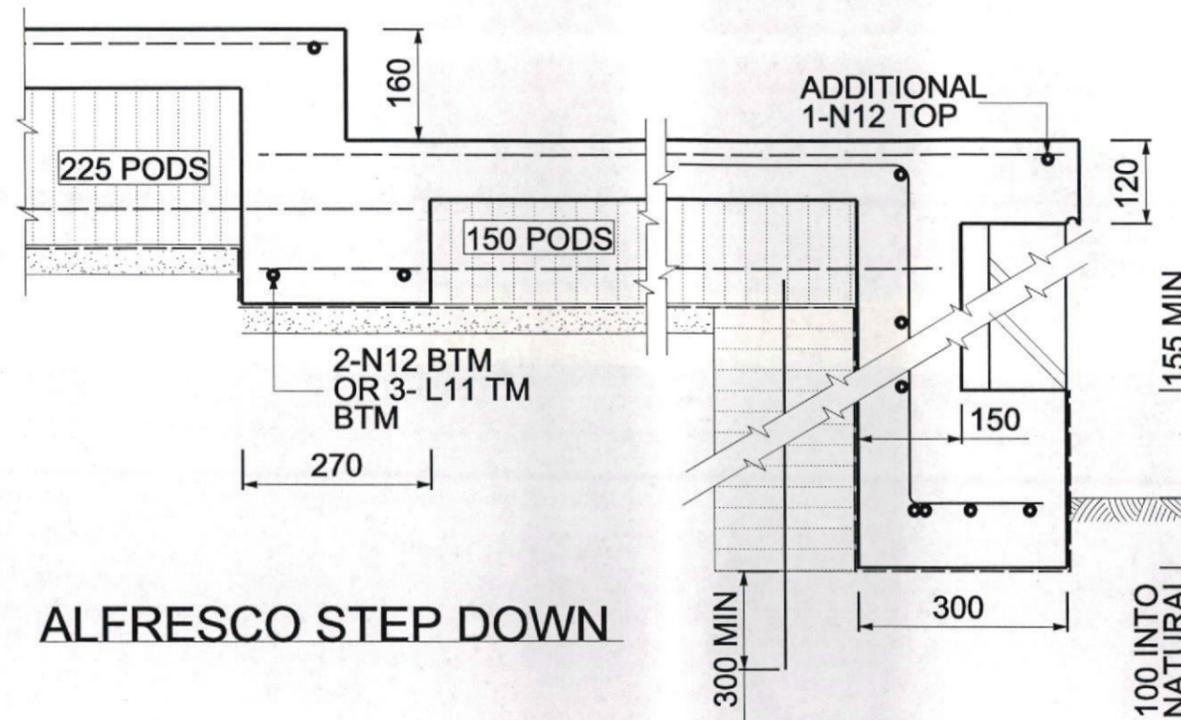
FORMWORK LEVEL CHECK BOOKED
FORMWORK LEVEL CHECK COMPLETE

225.72.2.N 225.150.86.2 225.150.86.2

STRUCTURAL DETAIL PLAN

CLIENT EDEN BRAE HOMES
LOCATION LOT 1172 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH

CLASSIFICATION	M	SCALE	NTS.	SHEET No.	2
ISSUE	A	DATE	14/05/13	JOB No.	55042EB



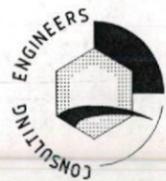
ALFRESCO STEP DOWN

ALFRESCO D.E.B

(REFER TO EXTERNAL DEEP BEAM DETAILS FOR REINFORCEMENT SPECIFICATIONS)

RAFELETOS

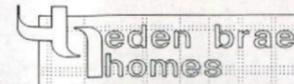
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B.E., M.I.E. AUST.



CLASSIFICATION M
REFERENCE

STRUCTURAL SLAB DETAIL PLAN

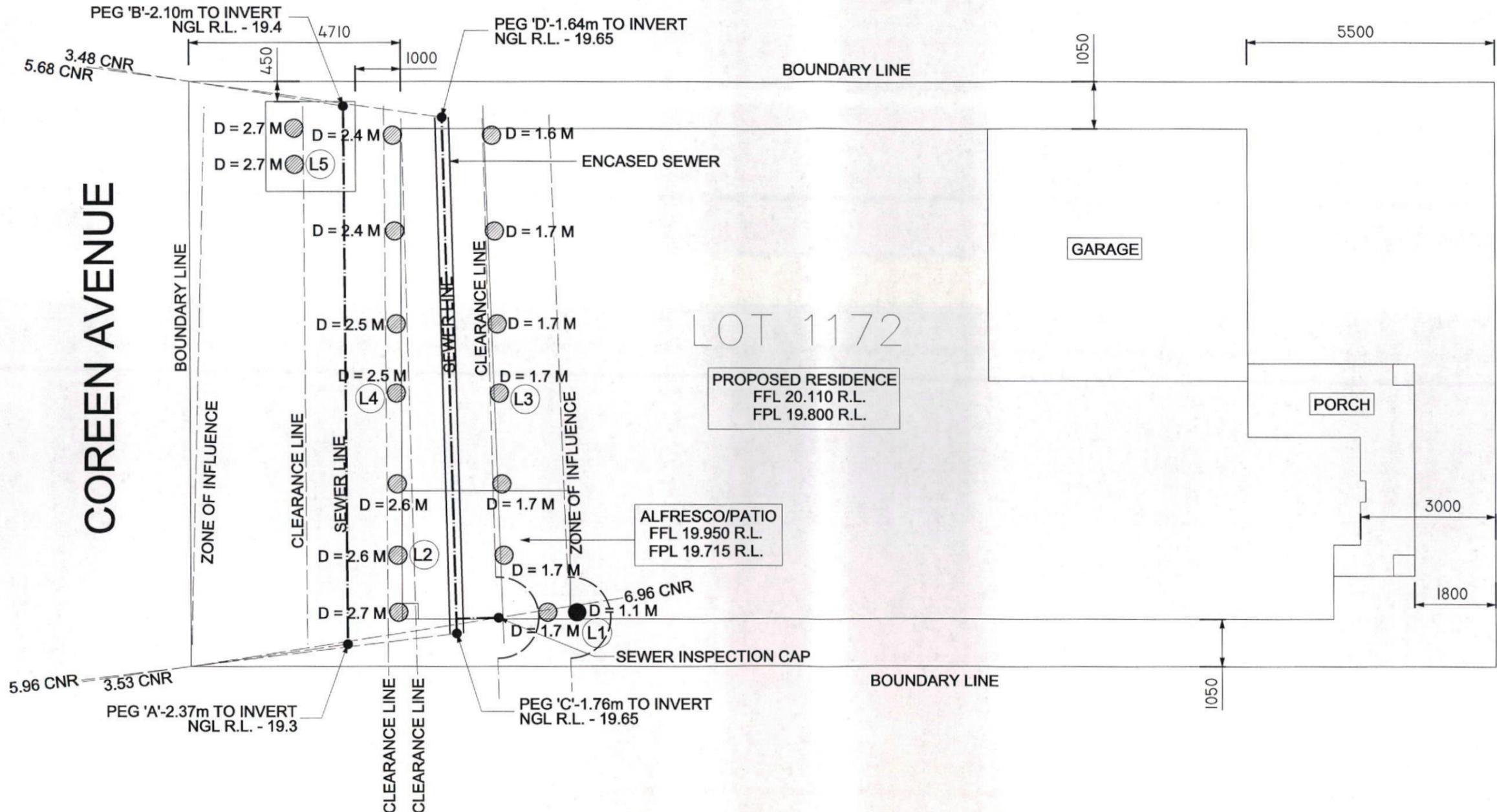
CLIENT EDEN BRAE HOMES
LOCATION LOT 1172 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH

A3

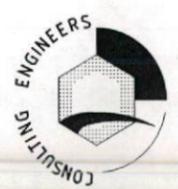
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ISSUE	A	DATE	14/05/13	JOB No.	55042EB

SEWER NOTES:

- * POSITION OF SEWER IS ONLY APPROXIMATE
- * POSITION OF SEWER IS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK
- * PIER DEPTHS AS SHOWN ARE FOR ZONE OF INFLUENCE REQUIREMENTS
- * PIERS ARE TO BE FOUNDED ON NATURAL BEARING AS PER ENGINEERING REQUIREMENTS WHERE NECESSARY



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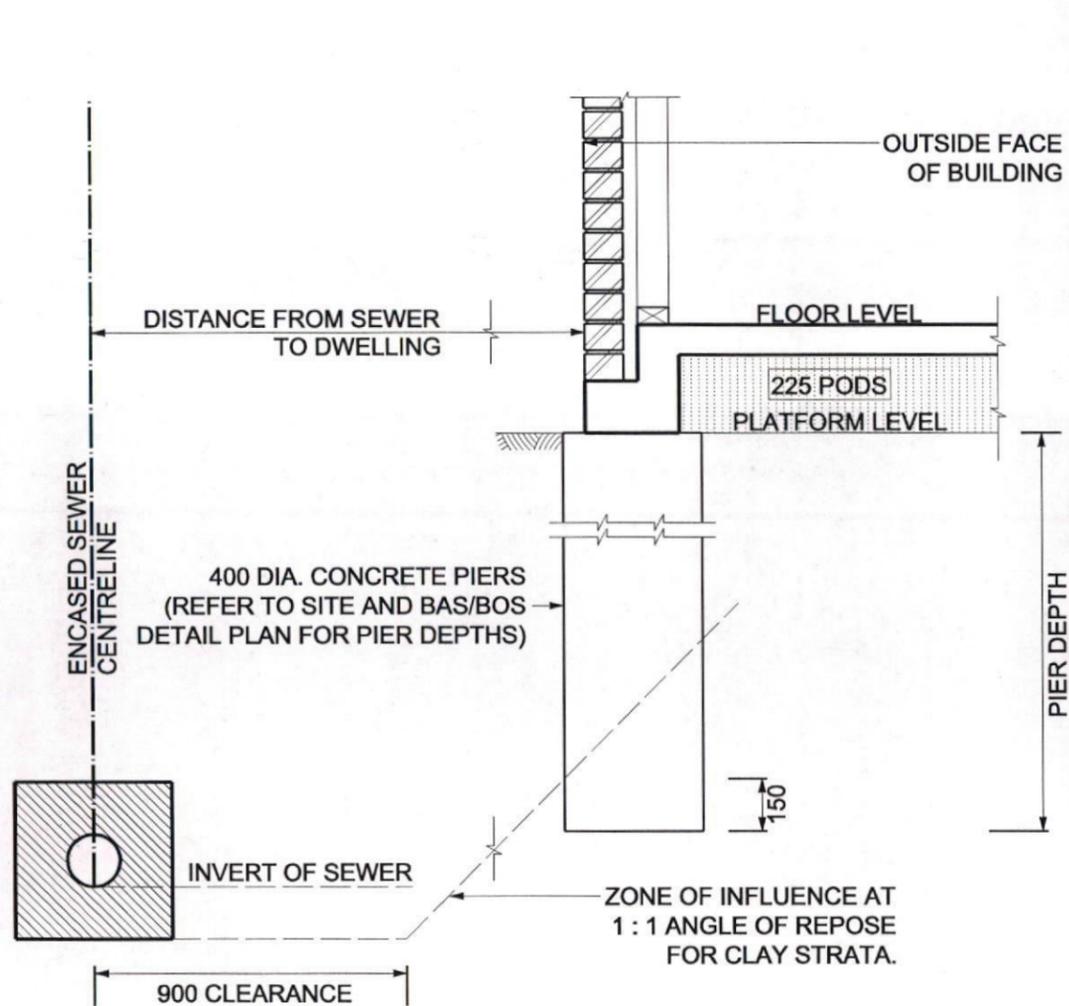
Eden brae homes
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 REFERENCE 16309

SITE AND B.A.S/B.O.S DETAIL PLAN					
CLIENT	EDEN BRAE HOMES				
LOCATION	LOT 1172 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH				
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				SHEET No.	4
				JOB No.	55042EB

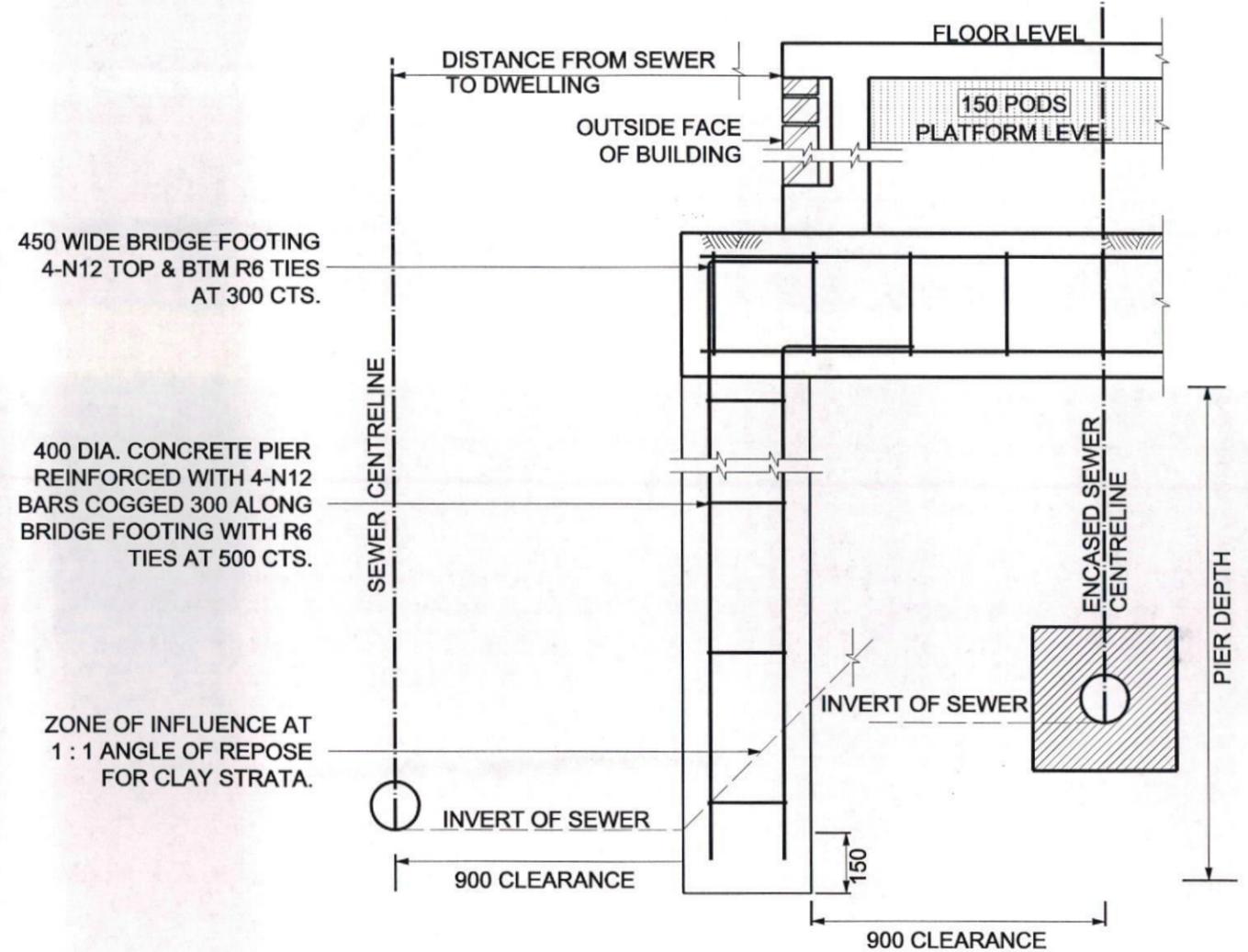
SEWER NOTES:

- * POSITION OF SEWER IS ONLY APPROXIMATE
- * POSITION OF SEWER IS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK
- * PIER DEPTHS AS SHOWN ARE FOR ZONE OF INFLUENCE REQUIREMENTS
- * PIERS ARE TO BE FOUNDED ON NATURAL BEARING AS PER ENGINEERING REQUIREMENTS WHERE NECESSARY

SEWER CALCULATIONS	L1	L2	L3	L4	L5
PERPENDICULAR DISTANCE FROM SEWER TO PIER (m)	1.549	0.930	0.900	0.930	0.900
FINISHED PLATFORM LEVEL AT PIER LOCATION (r.l.) =	19.800	19.800	19.800	19.800	19.800
SEWER INVERT LEVEL PERPENDICULAR AT LOCATION (r.l.) =	17.891	16.991	17.946	17.102	17.260
PIER DEPTH FROM FINISHED PLATFORM LEVEL (m) =	1.1	2.6	1.7	2.5	2.4
Z.O.I. EXTENT FROM SEWER USING PLATFORM LEVEL (m) =	2.509	3.409	2.454	3.298	3.140
NATURAL GROUND LEVEL AT SEWER LOCATION (R.L.) =	19.650	19.316	19.650	19.347	19.389



SEWER DETAIL **L1**



SEWER DETAIL **L2**

RAFELETOS

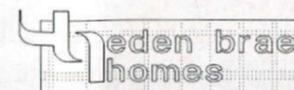
ABN: 35 079 047 466
LEVEL 2, 103 VANESSA STREET
KINGSGROVE NSW 2208
PO BOX 91 KINGSGROVE NSW 2208



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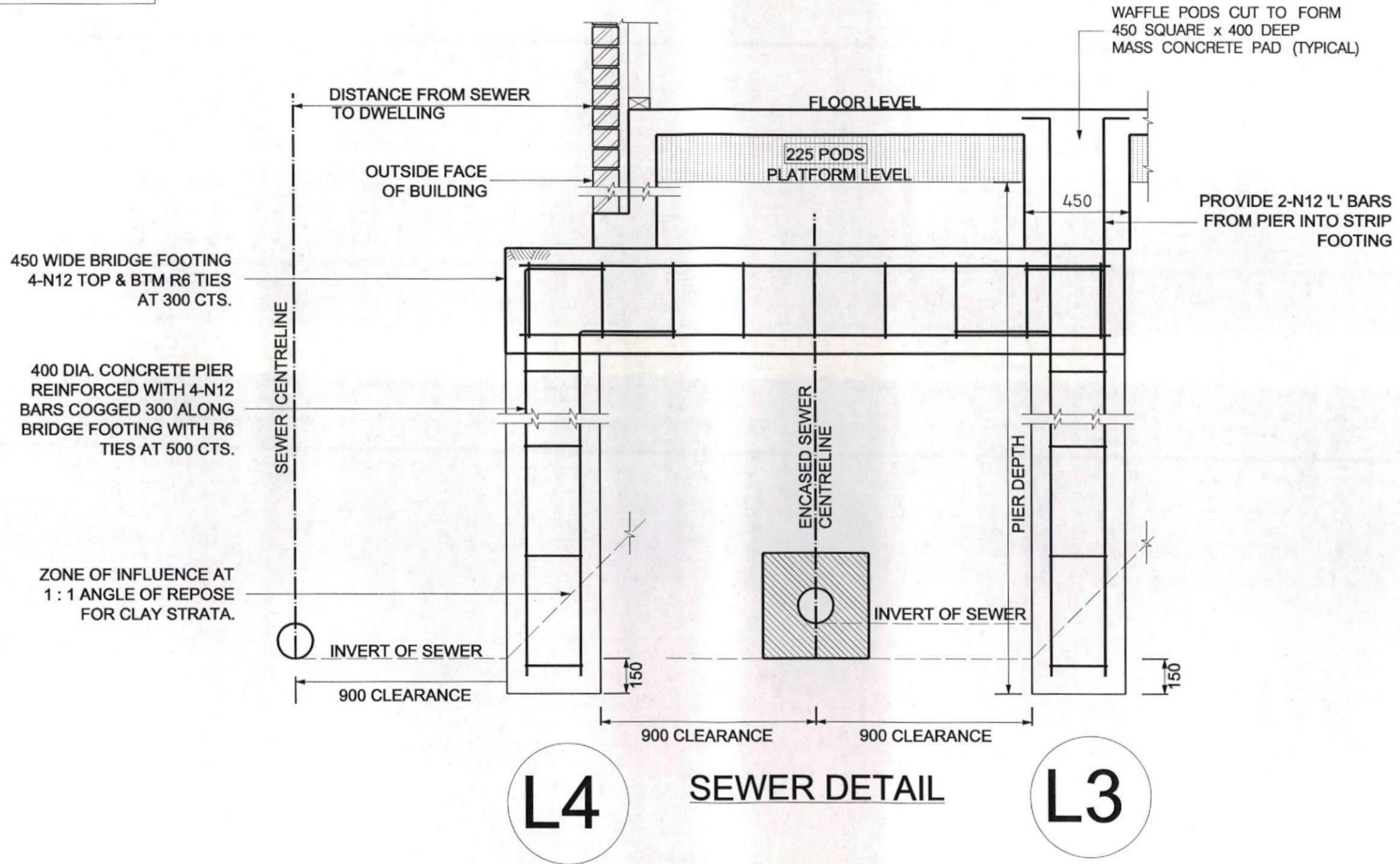
CLASSIFICATION M
REFERENCE 16309

SEWER SECTION/S PLAN

CLIENT LOCATION	EDEN BRAE HOMES LOT 1172 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH				A3
DRAWN	N.P	SCALE	1:20	SHEET No.	5
ISSUE	A	DATE	14/05/13	JOB No.	55042EB

SEWER NOTES:

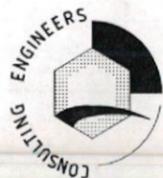
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L4 **SEWER DETAIL** **L3**

Rafletos

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CLASSIFICATION M
REFERENCE 16309

SEWER SECTION/S PLAN

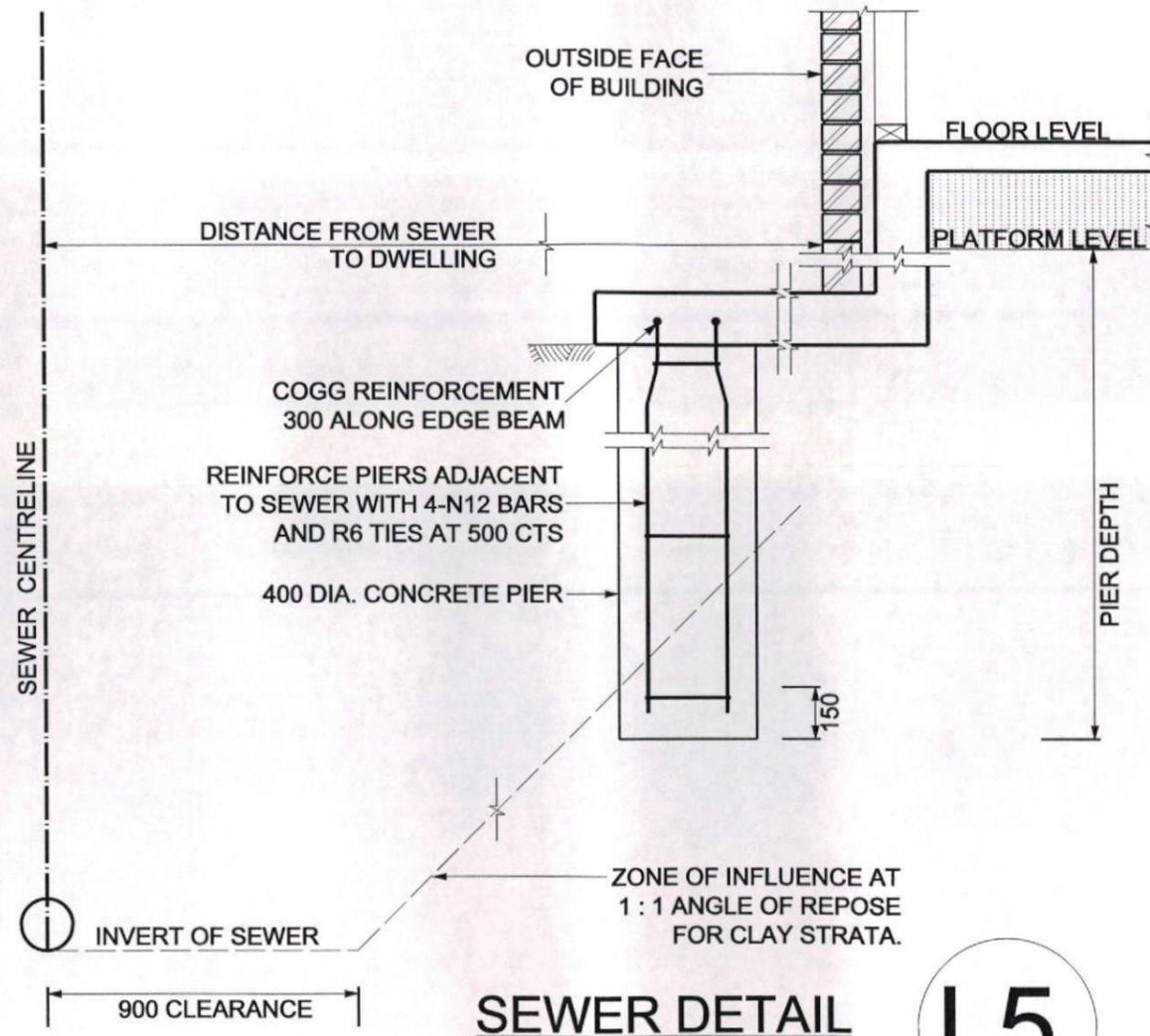
CLIENT EDEN BRAE HOMES
LOCATION LOT 1172 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH

A3

DRAWN	N.P	SCALE	1:20	SHEET No.	6
ISSUE	A	DATE	14/05/13	JOB No.	55042EB

SEWER NOTES:

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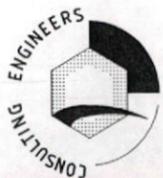


SEWER DETAIL

L5

RAFELETOS

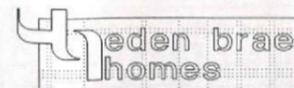
ABN: 35 079 047 466
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STRUCTURAL STEEL DETAIL PLAN

CLIENT	EDEN BRAE HOMES			A3			
LOCATION	LOT 1172 BARTLETT PLACE, THORNTON PARK, NORTH PENRITH						
CLASSIFICATION	M	DRAWN	N.P	SCALE	1:10	SHEET No.	7
REFERENCE	16309	ISSUE	A	DATE	14/05/13	JOB No.	55042EB