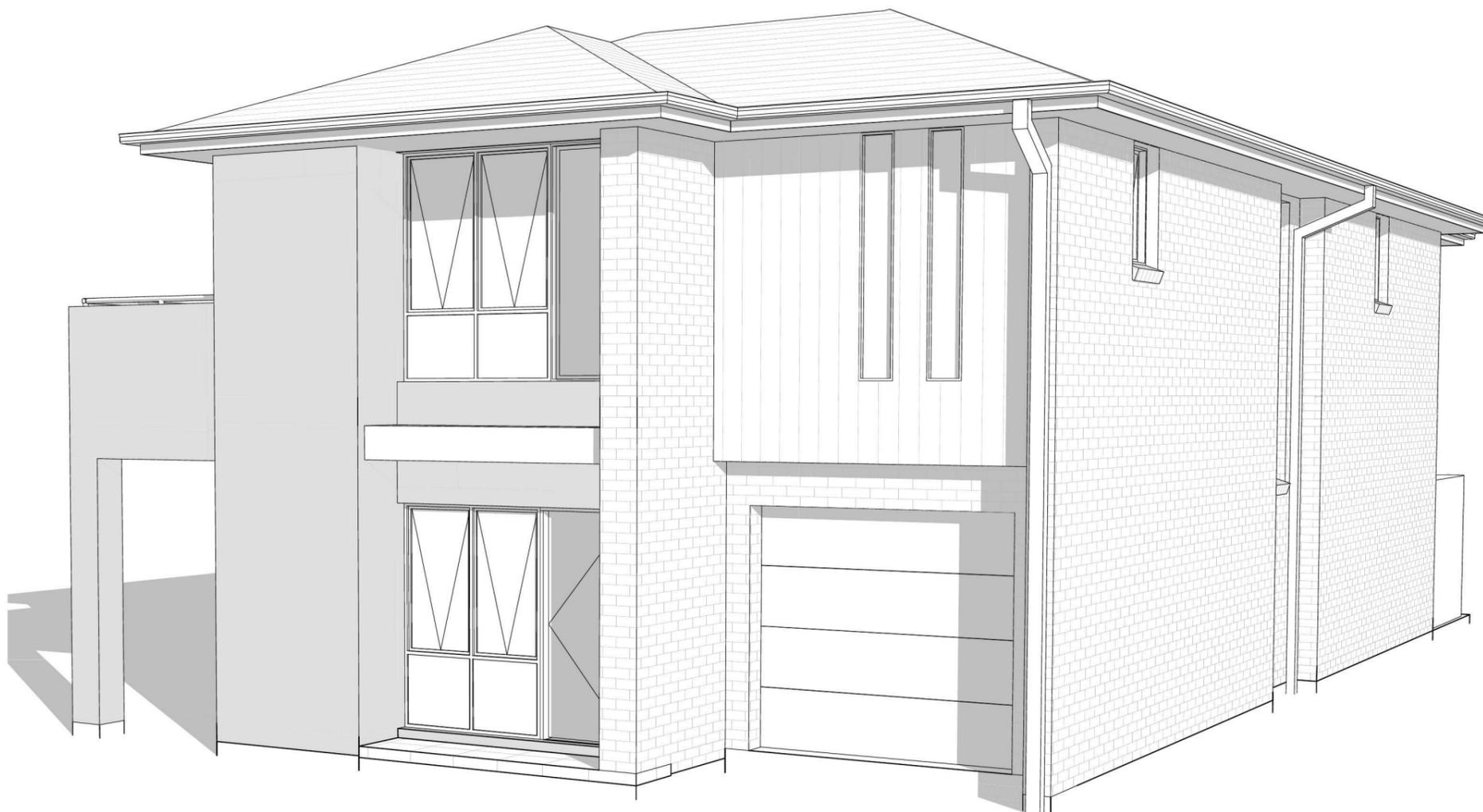


Abode 27 Classic

Page	Drawing
2	SITE PLAN
3	BENCHING PLAN
4	STORMWATER PLAN
5	SITE ANALYSIS PLAN
6	GROUND FLOOR PLAN
7	FIRST FLOOR PLAN
8	ELEVATIONS
9	ELEVATIONS
10	SECTIONS
11	WINDOW/DOOR SCHEDULE
12	ELECTRICAL PLAN
13	GROUND FLOOR WET AREA DETAILS
14	FIRST FLOOR WET AREA DETAILS
15	SHADOW DIAGRAMS



METRO
COLLECTION
by Wisdom

Ph: 4647 1200

Fax: 4647 1233

www.wisdomhomes.com.au

PROPOSED TWO-STOREY BRICK VENEER DWELLING

CLIENT:

Wisdom Homes Pty Ltd

JOB No:

003535

ADDRESS:

**Lot 2360 William Hart Crescent
Thornton Estate, Penrith**

AREAS SCHEDULE

SITE DETAILS

LOT NUMBER: 2360
SITE AREA: 382m²

DWELLING AREAS

GROUND FLOOR LIVING: 106.31m²
FIRST FLOOR LIVING: 127.23m²
GARAGE: 20.15m²
PORCH: 1.68m²
OUTDOOR LEISURE: 14.40m²
TOTAL FLOOR: 268.09m²

DRIVEWAY AND PATH AREA: 35.47m²

ROOF AREA TO R/W TANK: 175.52m²
(ROOF AREA TO R/WATER TANK AS PER BASIX CERTIFICATE)

SITE COVERAGE:

PROPOSED: 178.01m² / 46.5%

FLOOR SPACE RATIO:

PROPOSED: 233.54m² / 61%

LANDSCAPE RATIO:

PROPOSED: 188m² / 49%

PRIVATE OPEN SPACE:

(Min. 2m dimension)
REQUIRED (min.): 76.40m² / 20%
PROPOSED: 76.43m² / 20%

'M' CLASS

(subject to borehole report)

LOT: 2360

AREA: 382m²

STORMWATER DRAINAGE TO STREET.

EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L 00.000 (ASSUMED) DATUM POINT 000mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

(A) EASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)

SITE PLAN

1:200

BASIX NOTES

WATER

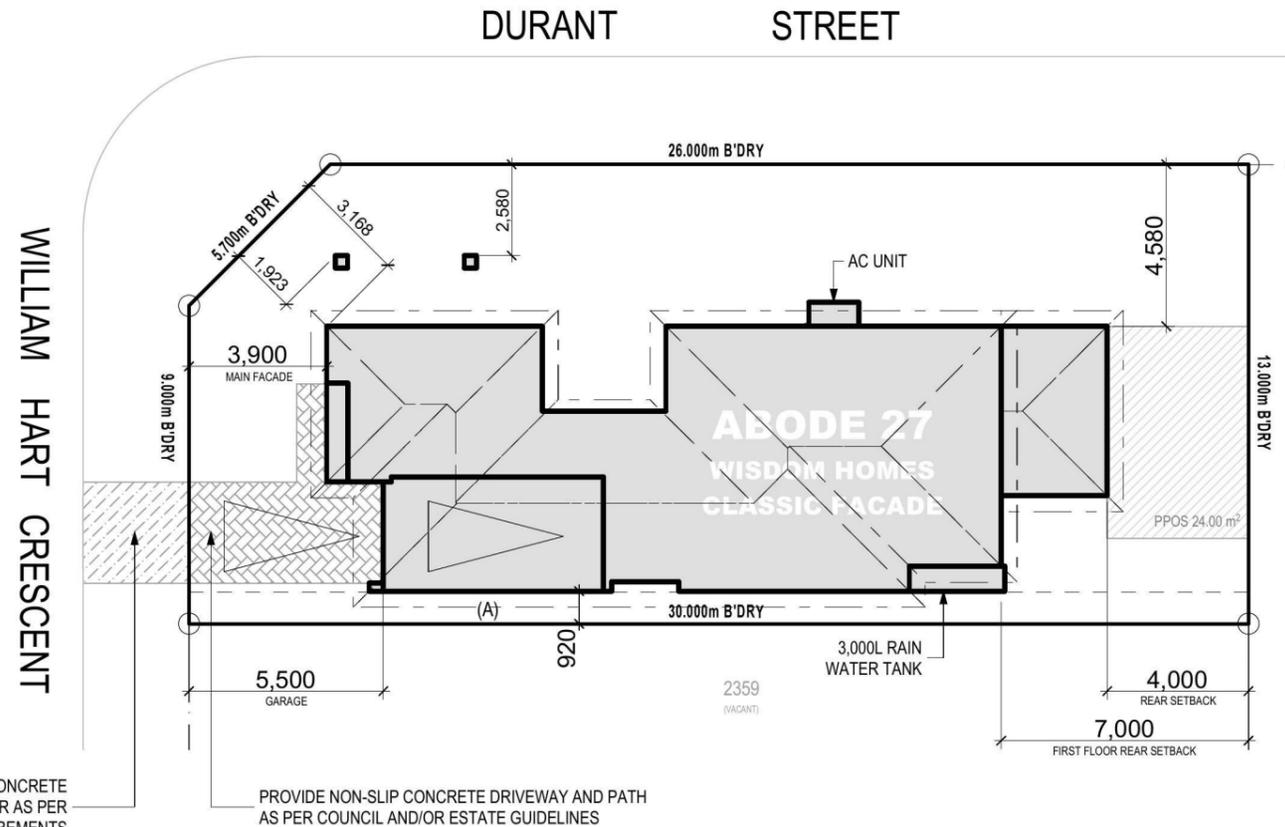
- RAINWATER TANK OF AT LEAST 3,000 LITRES TO BE INSTALLED.
- RAINWATER TANK MUST MEET AND BE INSTALLED IN ACCORDANCE WITH APPLICABLE REGULATORY AUTHORITIES.
- RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 175m² OF ROOF AREA.
- RAINWATER TANK SUPPLY TO BE CONNECT TO ALL TOILETS IN THE DEVELOPMENT.
- KITCHEN TAP FITTING RATING 4 STAR
- SHOWERHEAD RATING 3 STAR
- TOILET RATING (DUAL FLUSH) 4 STAR
- BATHROOM TAP FITTING RATING 6 STAR
- RAINWATER TANK TO BE CONNECTED TO AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

THERMAL COMFORT

EXTERNAL WALLS: BRICK VENEER/TIMBER FRAME
EXTERNAL WALL INSULATION: R2.0
EXTERNAL WALL COLOUR: MEDIUM
ROOFING MATERIAL: CONCRETE ROOF TILES
ROOF INSULATION: SARKING
ROOF COLOUR: MEDIUM
CEILING INSULATION: R3.5

ENERGY

- ACTIVE HEATING AND COOLING TO BE INSTALLED IN LIVING AND BEDROOMS, 3 PHASE A/C SYSTEM (EER 2.5-3.0). TO BE DAY/NIGHT ZONED BETWEEN LIVING AREAS AND BEDROOMS. TO BE INSTALLED PRIOR TO FINAL OCCUPATION CERTIFICATE.
- PROVIDE GAS 6 STAR INSTANTANEOUS HWS.
- PROVIDE GAS COOKTOP TO KITCHEN.
- PROVIDE ELECTRIC OVEN TO KITCHEN.
- ALL REFRIGERATOR SPACES TO BE WELL VENTILATED.
- PROVIDE COMPACT FLUORESCENT ENERGY SAVING LIGHT BULBS TO ALL LIGHT POINTS.
- PROVIDE OUTDOOR CLOTHES LINE BY OWNER.



PROVIDE PLAIN CONCRETE TO CROSSOVER AS PER REQUIREMENTS

PROVIDE NON-SLIP CONCRETE DRIVEWAY AND PATH AS PER COUNCIL AND/OR ESTATE GUIDELINES

NOTES:

- *REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
- *REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
- *REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
- *REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
- *A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
- *FLOOR FINISHES AS SELECTED AS PER TENDER.



METRO
COLLECTION
by Wisdom

Ph: 4647 1200
Fax: 4647 1233

www.wisdomhomes.com.au

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.

PROJECT:
PROPOSED TWO-STOREY BRICK VENEER DWELLING

ADDRESS:
**Lot 2360 William Hart Crescent
Thornton Estate, Penrith**

CLIENT:
Wisdom Homes Pty Ltd

LODGEMENT:
D.A/C.C

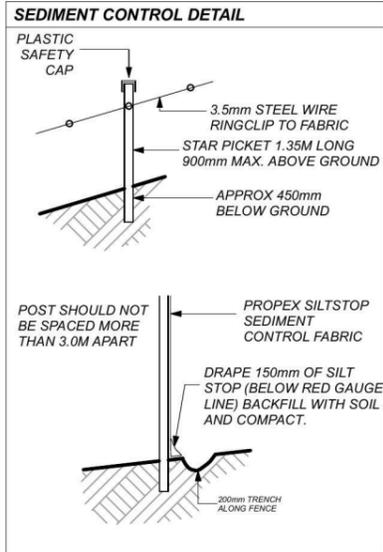
- ⊗ EXHAUST FAN
- ⊗ SMOKE DETECTOR. AS 3786-1993

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	25/02/14
A-1	AMENDED CONTRACT PLAN	DC	10/03/14
B	DA PLANS	AS	13/05/14
-	-	-	-
-	-	-	-
-	-	-	-

JOB No: 003535	DRAWN: DC
DATE: 25/02/14	SITE CLASSIFICATION: M' CLASS (subject to borehole report)
LGA: PENRITH	FAÇADE: Classic
DESCRIPTION: ABODE 27	SHEET: 2
CODE: WH-ABOD27D CL RH	



ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO MANUFACTURERS SPECIFICATIONS.

PROVIDE 1.80m HIGH SECURITY FENCE TO PERIMETER OF SITE AS PER COUNCIL REQUIREMENTS.

PROVIDE TEMPORARY STABILISED VEHICLE ACCESS DRIVEWAY (GRAVEL/ROCK AGGREGATE)

PROVIDE SEDIMENT CONTROL FENCE AS PER COUNCIL REQUIREMENTS.

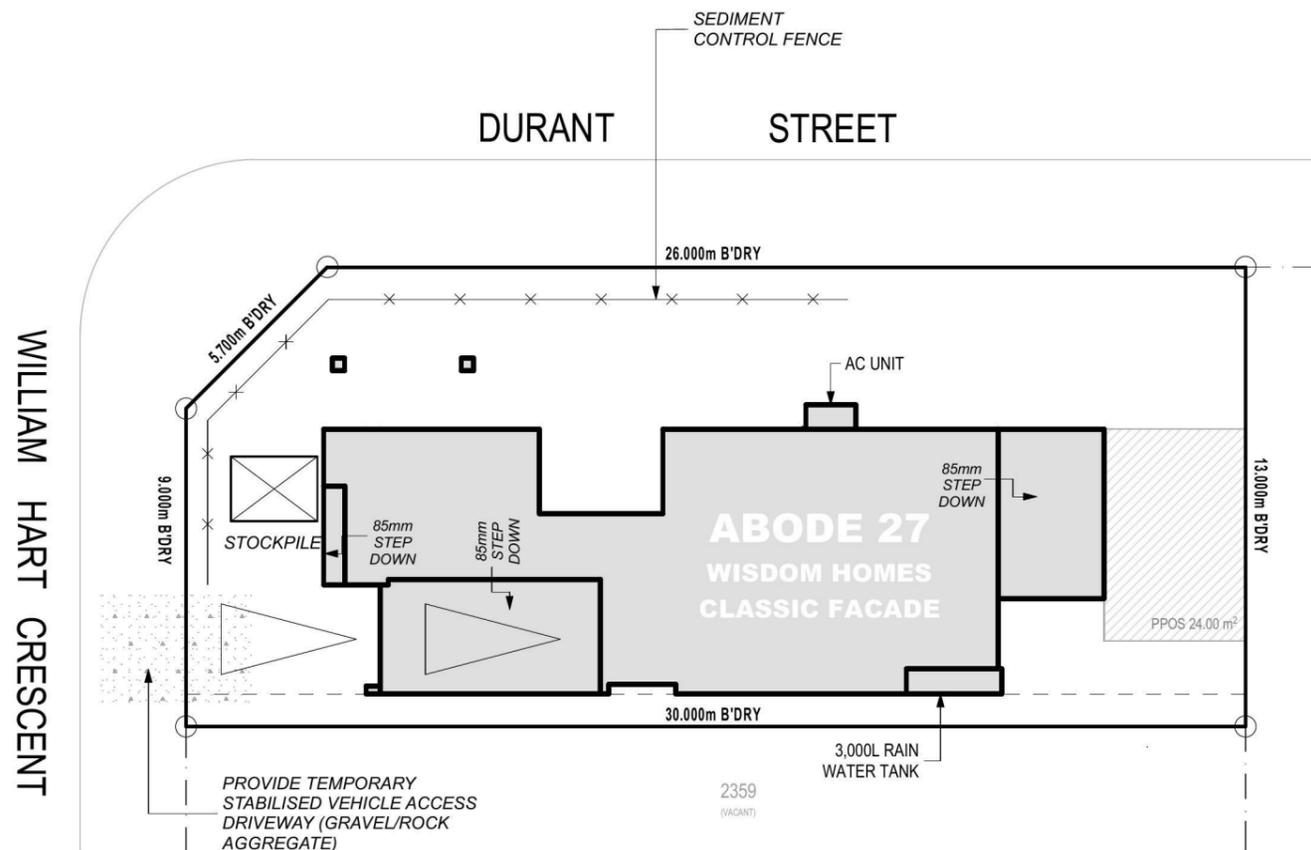
'M' CLASS
(subject to borehole report)

LOT: 2360
AREA: 382m²

STORMWATER DRAINAGE TO STREET.

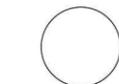
EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L 00.000 (ASSUMED) DATUM POINT 000mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

(A) EASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)



BENCHING PLAN
1:200

NOTES:
 *REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
 *REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
 *REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
 *REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
 *A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
 *FLOOR FINISHES AS SELECTED AS PER TENDER.



Ph: 4647 1200
Fax: 4647 1233
www.wisdomhomes.com.au

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.

PROJECT: PROPOSED TWO-STOREY BRICK VENEER DWELLING	LODGE MENT: D.A/C.C
ADDRESS: Lot 2360 William Hart Crescent Thornton Estate, Penrith	CLIENT: Wisdom Homes Pty Ltd
EXHAUST FAN	SMOKE DETECTOR. AS 3786-1993

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE			
ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	25/02/14
A-1	AMENDED CONTRACT PLAN	DC	10/03/14
B	DA PLANS	AS	13/05/14
-	-	-	-
-	-	-	-
-	-	-	-

JOB No: 003535	DRAWN: DC
LGA: PENRITH	DATE: 25/02/14
DESCRIPTION: ABODE 27	SITE CLASSIFICATION: M' CLASS (subject to borehole report)
CODE: WH-ABOD27D CL RH	FACADE: Classic
	SHEET: 3

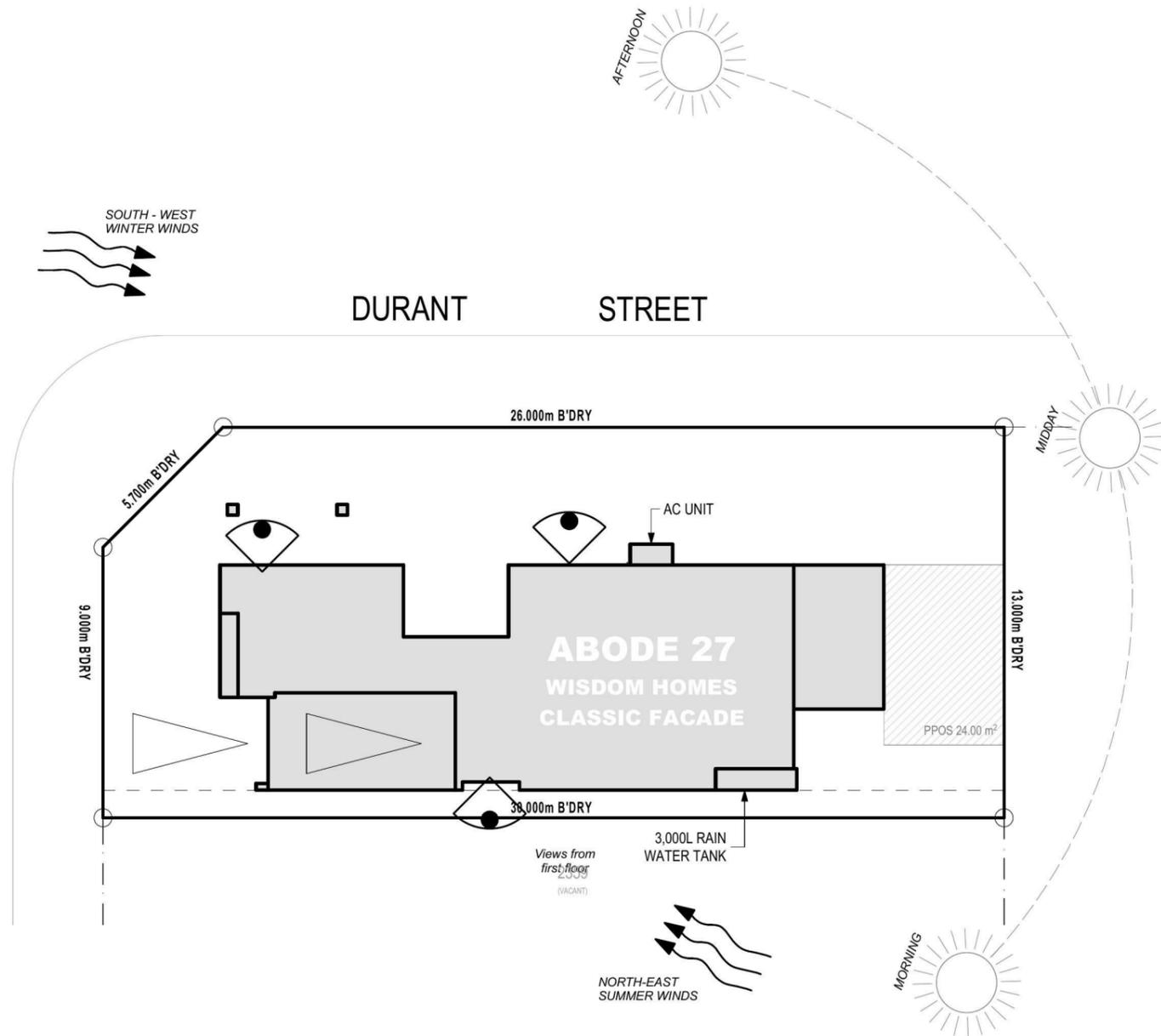
'M' CLASS
(subject to borehole report)

LOT: 2360
AREA: 382m²

STORMWATER DRAINAGE TO STREET.

EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L 00.000 (ASSUMED) DATUM POINT 000mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

(A) EASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)



SITE ANALYSIS PLAN
1:200

NOTES:
*REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
*REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
*REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
*REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
*A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
*FLOOR FINISHES AS SELECTED AS PER TENDER.



METRO
COLLECTION
by Wisdom

Ph: 4647 1200
Fax: 4647 1233
www.wisdomhomes.com.au

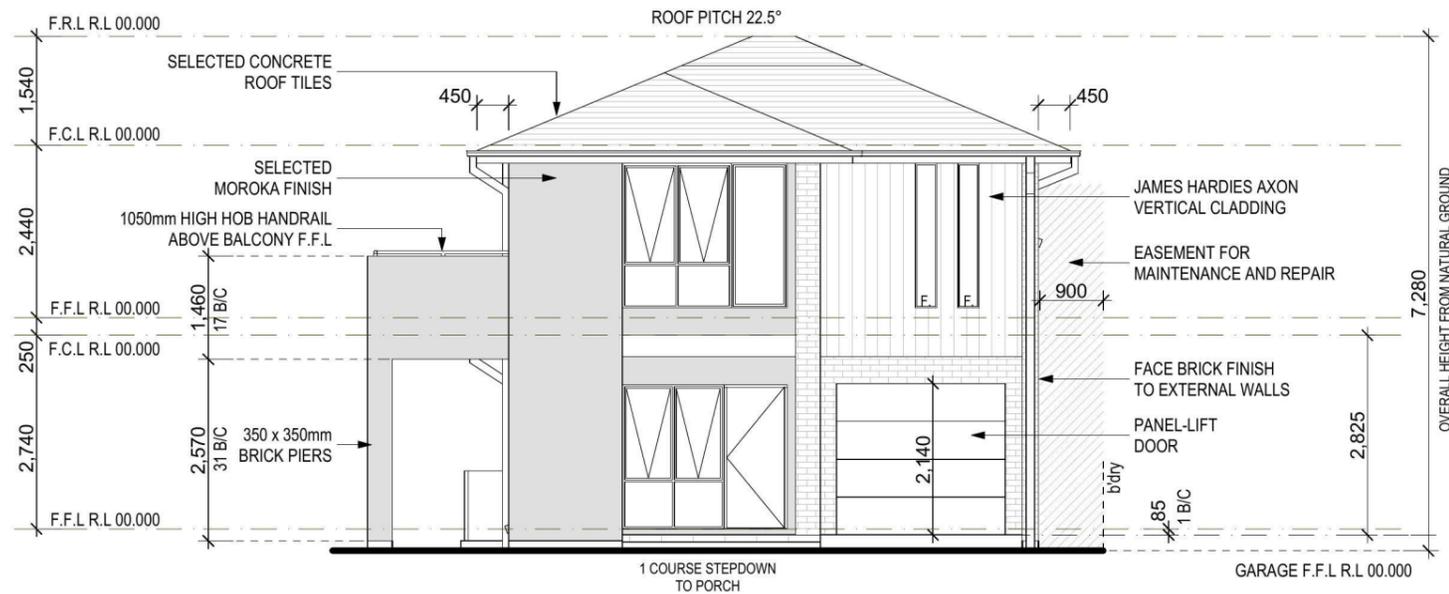
*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.

PROJECT: PROPOSED TWO-STOREY BRICK VENEER DWELLING	LODGE MENT: D.A/C.C
ADDRESS: Lot 2360 William Hart Crescent Thornton Estate, Penrith	EXHAUST FAN SMOKE DETECTOR. AS 3786-1993
CLIENT: Wisdom Homes Pty Ltd	

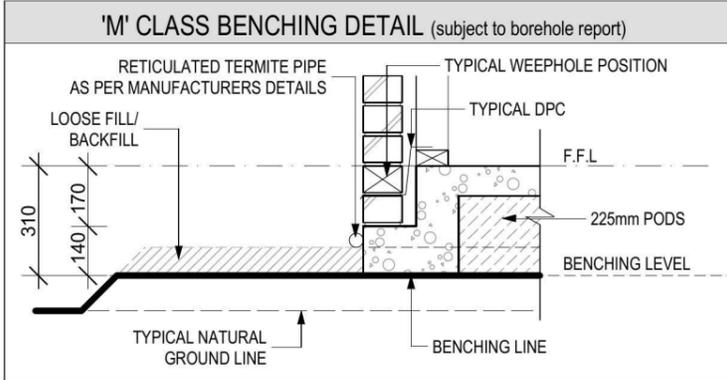
NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE			
ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	25/02/14
A-1	AMENDED CONTRACT PLAN	DC	10/03/14
B	DA PLANS	AS	13/05/14
-	-	-	-
-	-	-	-
-	-	-	-

JOB No: 003535	DRAWN: DC
DATE: 25/02/14	DATE: 25/02/14
LGA: PENRITH	SITE CLASSIFICATION: M' CLASS (subject to borehole report)
DESCRIPTION: ABODE 27	FACADE: Classic
CODE: WH-ABOD27D CL RH	SHEET: 5



NOTE:
 OPENABLE TO BE IN ACCORANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 -
 FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm
 IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.



FRONT/SOUTH ELEVATION
 1:100



LEFT/WEST ELEVATION
 1:100

NOTES:
 *REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
 *REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
 *REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
 *REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
 *A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
 *FLOOR FINISHES AS SELECTED AS PER TENDER.

Ph: 4647 1200
 Fax: 4647 1233
 www.wisdomhomes.com.au

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.

PROJECT:
 PROPOSED TWO-STOREY BRICK VENEER DWELLING

ADDRESS:
 Lot 2360 William Hart Crescent
 Thornton Estate, Penrith

CLIENT:
 Wisdom Homes Pty Ltd

LODGEMENT:
 D.A/C.C

⊗ EXHAUST FAN
 ⊗ SMOKE DETECTOR. AS 3786-1993

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE			
ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	25/02/14
A-1	AMENDED CONTRACT PLAN	DC	10/03/14
B	DA PLANS	AS	13/05/14
-	-	-	-
-	-	-	-
-	-	-	-

JOB No:
003535

LGA:
 PENRITH

DESCRIPTION:
 ABODE 27

CODE:
 WH-ABOD27D CL RH

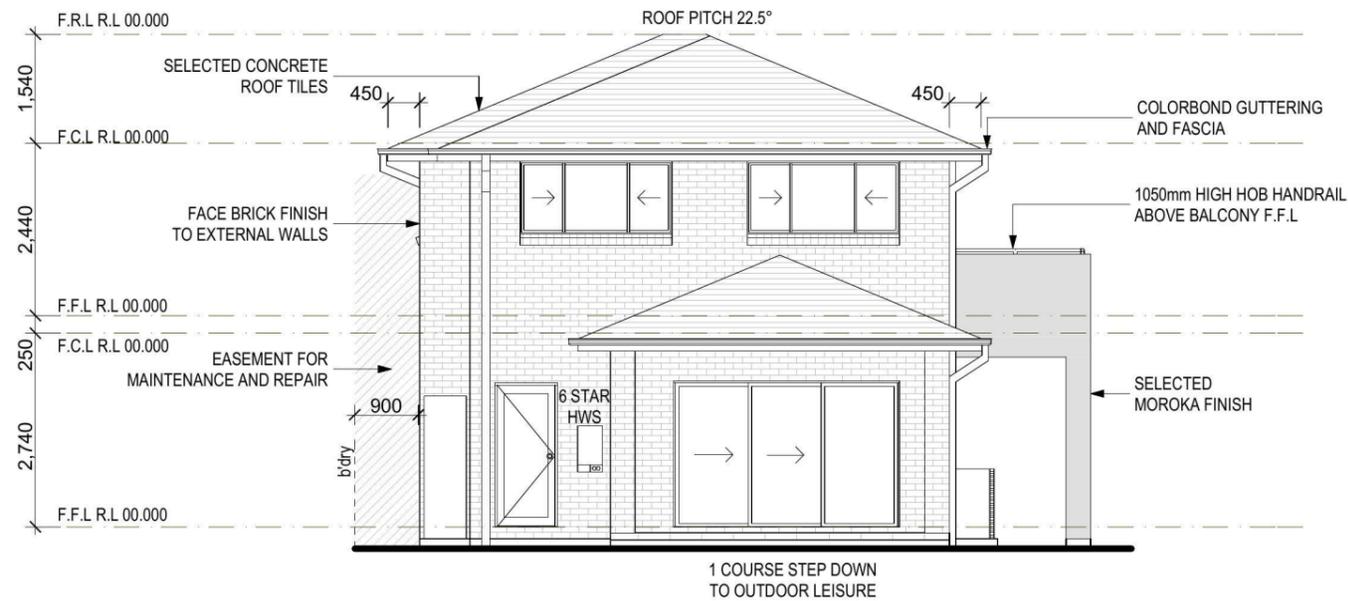
DRAWN:
 DC

DATE:
 25/02/14

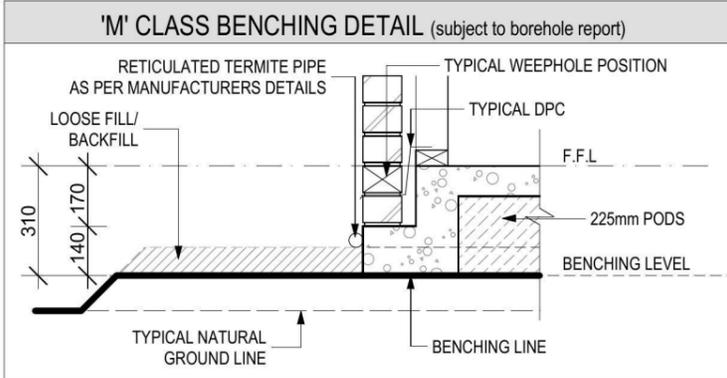
SITE CLASSIFICATION:
 M' CLASS (subject to borehole report)

FAÇADE:
 Classic

SHEET:
8



NOTE:
 OPENABLE TO BE IN ACCORANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 -
 FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.



REAR/NORTH ELEVATION
 1:100



RIGHT/EAST ELEVATION
 1:100

NOTES:
 *REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
 *REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
 *REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
 *REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
 *A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
 *FLOOR FINISHES AS SELECTED AS PER TENDER.

PROJECT:
 PROPOSED TWO-STOREY BRICK VENEER DWELLING

ADDRESS:
 Lot 2360 William Hart Crescent
 Thornton Estate, Penrith

CLIENT:
 Wisdom Homes Pty Ltd

LODGEMENT:
 D.A/C.C

- ⊗ EXHAUST FAN
- ⊗ SMOKE DETECTOR. AS 3786-1993

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	25/02/14
A-1	AMENDED CONTRACT PLAN	DC	10/03/14
B	DA PLANS	AS	13/05/14
-	-	-	-
-	-	-	-
-	-	-	-

JOB No:
003535
 LGA:
PENRITH
 DESCRIPTION:
ABODE 27
 CODE:
WH-ABOD27D CL RH

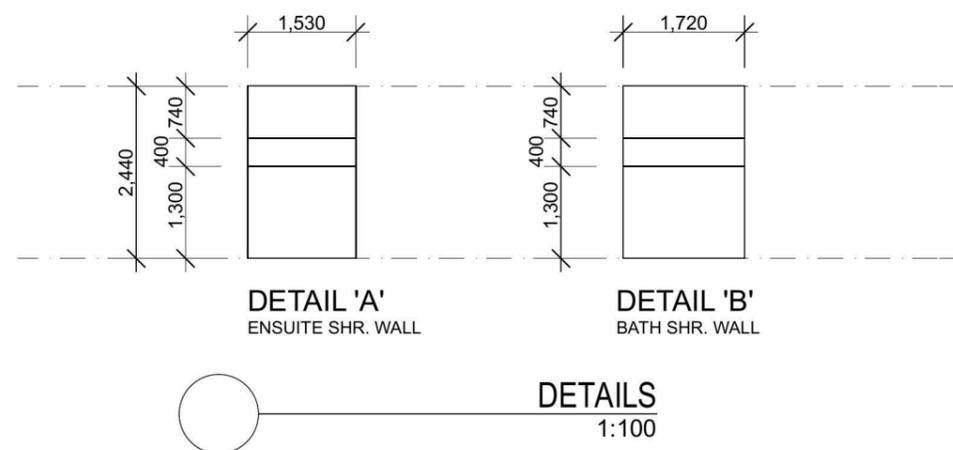
DRAWN:
DC
 DATE:
25/02/14
 SITE CLASSIFICATION:
M' CLASS (subject to borehole report)
 FACADE:
Classic
 SHEET:
9

Ph: 4647 1200
 Fax: 4647 1233
 www.wisdomhomes.com.au

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.

Window Schedule									
Window No.	Type	Window Size		Plan View	Elev. View	Glazing	Frame & Reveal	Flyscreens	Others
		Height	Width						
W1	AA2314T Special	2,040	1,440			Single Clear	240mm Brick veneer	-	-
W2	AF3010Special	3,000	1,000			Single Clear	240mm Brick veneer	-	-
W3	AS2027T Special	2,042	2,750			Single Clear	240mm Brick veneer	-	-
W4	AS2027T Special	2,042	2,750			Single Clear	240mm Brick veneer	-	-
W5	AS2018T	2,042	1,791			Single Clear	240mm Brick veneer	-	-
W6	AS2018T	2,042	1,791			Single Clear	240mm Brick veneer	-	-
W7	AS2015T	2,042	2,330			Single Clear	240mm Brick veneer	-	-
W8	AAAF2023T Special	2,042	1,545			Single Clear	240mm Brick veneer	-	-
W9	AF2005 Special	2,042	300			Single Clear	90mm TF	-	-
W10	AF2005 Special	2,042	300			Single Clear	90mm TF	-	-
W11	AA1007	1,020	724			Single Obs.	240mm Brick veneer	-	-
W12	AA1007	1,020	724			Single Obs.	240mm Brick veneer	-	-
W13	AS1022	1,020	2,153			Single Clear	240mm Brick veneer	-	-
W14	AS1022	1,020	2,153			Single Clear	240mm Brick veneer	-	-
W15	AS0626	590	2,630			Single Clear	240mm Brick veneer	-	-
W16	AS1218	1,191	1,791			Single Clear	240mm Brick veneer	-	-
W17	AS1226	1,191	2,630			Single Clear	240mm Brick veneer	-	-
W18	AS1218	1,191	1,791			Single Clear	240mm Brick veneer	-	-

Door Schedule									
Door No.	Type	Door Size		Plan View	Elev. View	Glazing	Frame & Reveal	Flyscreens	Others
		Height	Width						
D1	MEF5	2,040	820			-	240mm Brick veneer	-	-
D2	MEF5	2,040	820			-	240mm Brick veneer	-	-
D3	TSD2032	2,065	3,195			Single Clear	240mm Brick veneer	-	-
D4	TSD2032	2,065	3,000			Single Clear	240mm Brick veneer	-	-
D5	Int. 820mm hung door	2,040	820			-	90mm TF	-	-
D6	Int. 720mm hung door	2,040	720			-	90mm TF	-	-
D7	Int. 720mm hung door	2,040	1,040			-	90mm TF	-	-
D8	Int. 820mm hung door	2,040	820			-	90mm TF	-	-
D9	TXD2015	2,065	1,500			-	240mm Brick veneer	-	-
D10	Int. 820mm cavity sliding door	2,040	820			-	90mm TF	-	-
D11	Int. 820mm hung door	2,040	820			-	70mm TF	-	-
D12	Int. 820mm hung door	2,040	820			-	70mm TF	-	-
D13	Int. 720mm hung door	2,040	720			-	70mm TF	-	-
D14	Int. 2 x 820mm hung door	2,040	1,640			-	70mm TF	-	-
D15	Int. 820mm hung door	2,040	820			-	70mm TF	-	-
D16	Int. 820mm hung door	2,040	820			-	70mm TF	-	-
D17	Int. 2 x 720mm hung door	2,040	1,440			-	70mm TF	-	-
D18	Int. 720mm hung door	2,040	720			-	70mm TF	-	-



NOTES:
 *REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
 *REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
 *REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
 *REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
 *A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
 *FLOOR FINISHES AS SELECTED AS PER TENDER.

Ph: 4647 1200
 Fax: 4647 1233
 www.wisdomhomes.com.au

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.

PROJECT:
 PROPOSED TWO-STOREY BRICK VENEER DWELLING

ADDRESS:
 Lot 2360 William Hart Crescent
 Thornton Estate, Penrith

CLIENT:
 Wisdom Homes Pty Ltd

LODGE MENT:
 D.A/C.C

⊗ EXHAUST FAN
 ⊗ SMOKE DETECTOR. AS 3786-1993

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE			
ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	25/02/14
A-1	AMENDED CONTRACT PLAN	DC	10/03/14
B	DA PLANS	AS	13/05/14
-	-	-	-
-	-	-	-
-	-	-	-

JOB No:
003535

LGA:
 PENRITH

DESCRIPTION:
 ABODE 27

CODE:
 WH-ABOD27D CL RH

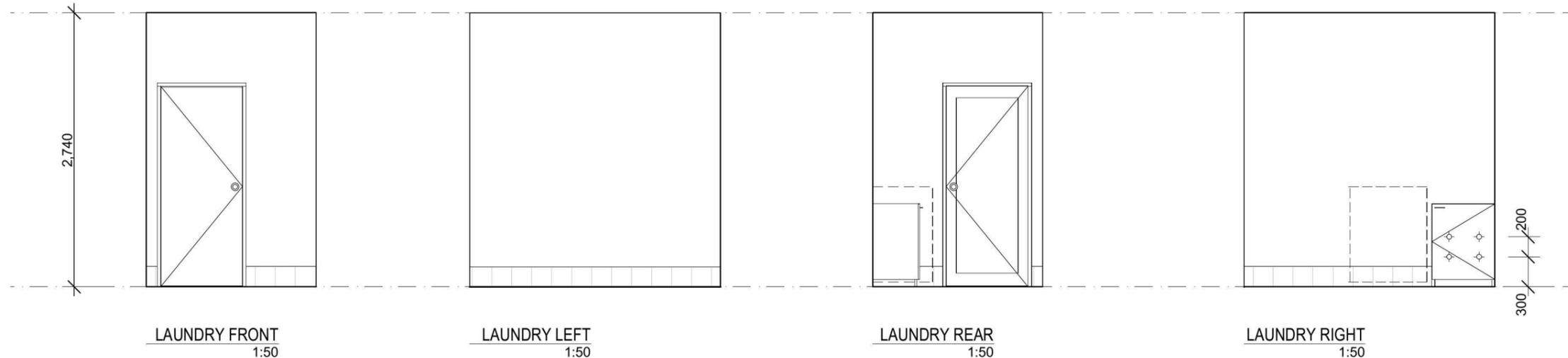
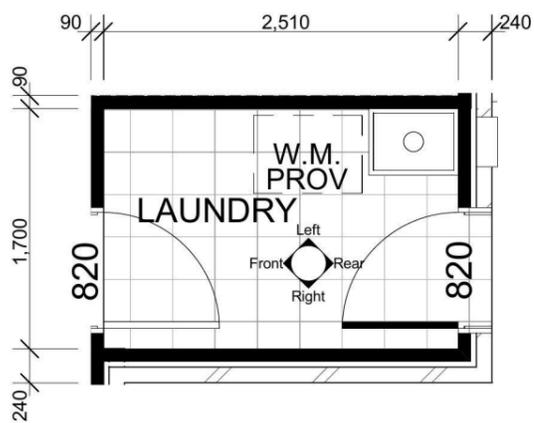
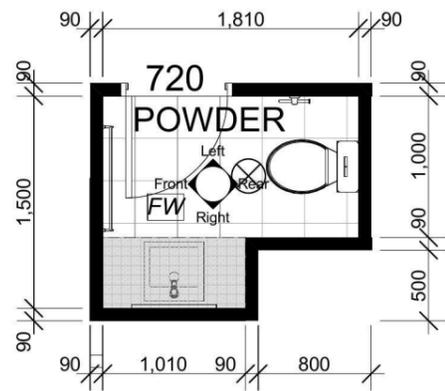
DRAWN:
 DC

DATE:
 25/02/14

SITE CLASSIFICATION:
 M' CLASS (subject to borehole report)

FAÇADE:
 Classic

SHEET:
11



GROUND FLOOR WET AREA DETAILS
1:50



Ph: 4647 1200
Fax: 4647 1233
www.wisdomhomes.com.au
*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.

PROJECT:
PROPOSED TWO-STOREY BRICK VENEER DWELLING
ADDRESS:
**Lot 2360 William Hart Crescent
Thornton Estate, Penrith**
CLIENT:
Wisdom Homes Pty Ltd

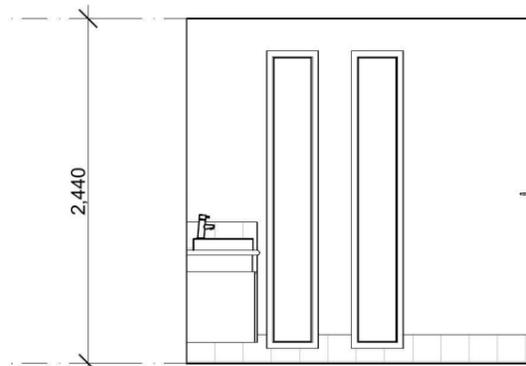
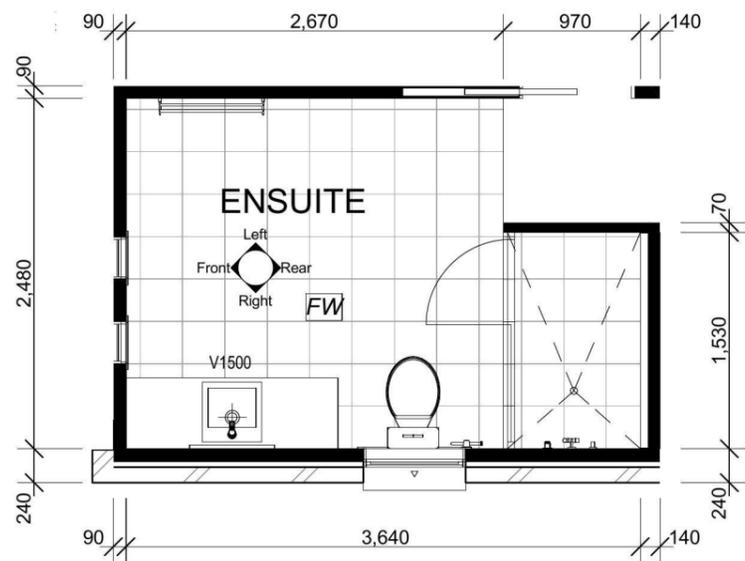
LODGEMENT:
D.A/C.C
⊗ EXHAUST FAN
⊗ SMOKE DETECTOR. AS 3786-1993

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

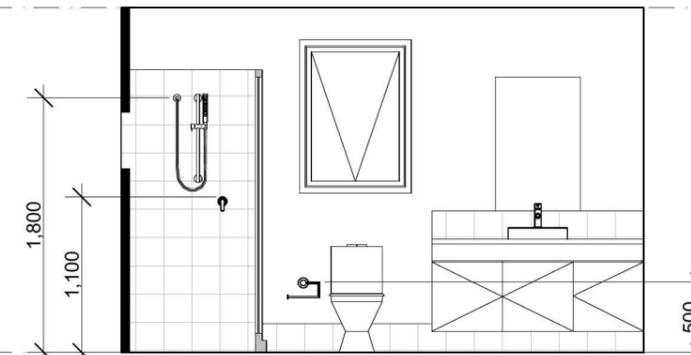
REVISION SCHEDULE			
ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	25/02/14
A-1	AMENDED CONTRACT PLAN	DC	10/03/14
B	DA PLANS	AS	13/05/14
-	-	-	-
-	-	-	-
-	-	-	-

JOB No:
003535
LGA:
PENRITH
DESCRIPTION:
ABODE 27
CODE:
WH-ABOD27D CL RH

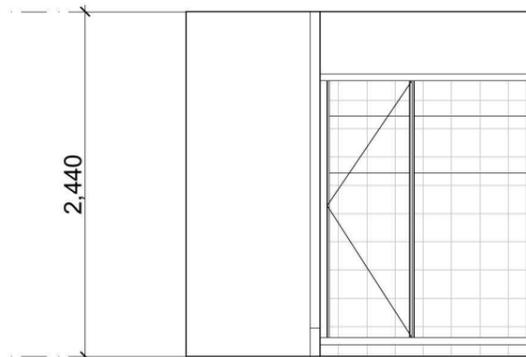
DRAWN:
DC
DATE:
25/02/14
SITE CLASSIFICATION:
M' CLASS (subject to borehole report)
FACADE:
Classic
SHEET:
13



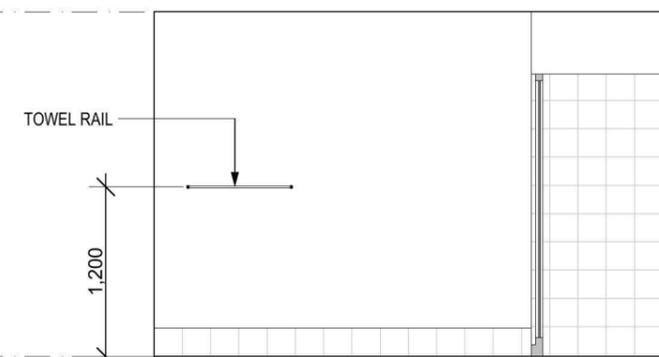
ENSUITE FRONT
1:50



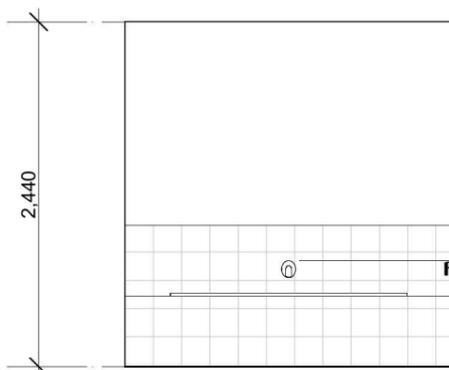
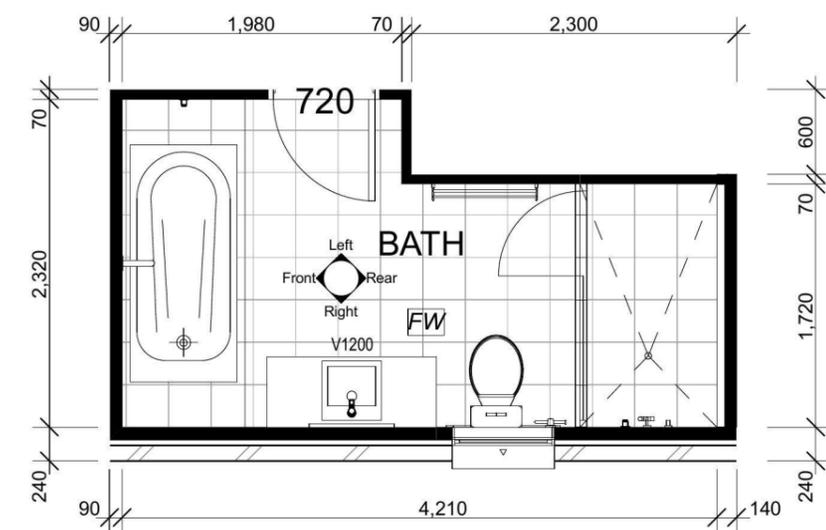
ENSUITE LEFT
1:50



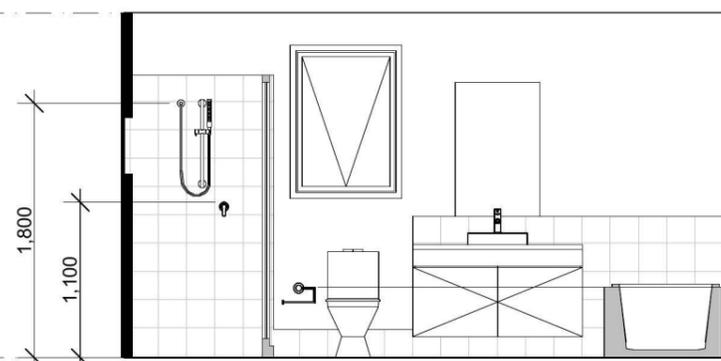
ENSUITE REAR
1:50



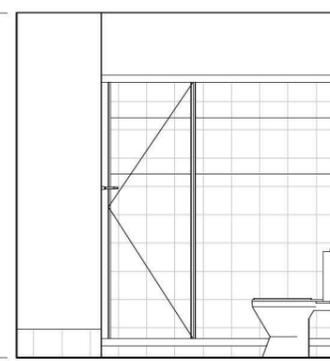
ENSUITE RIGHT
1:50



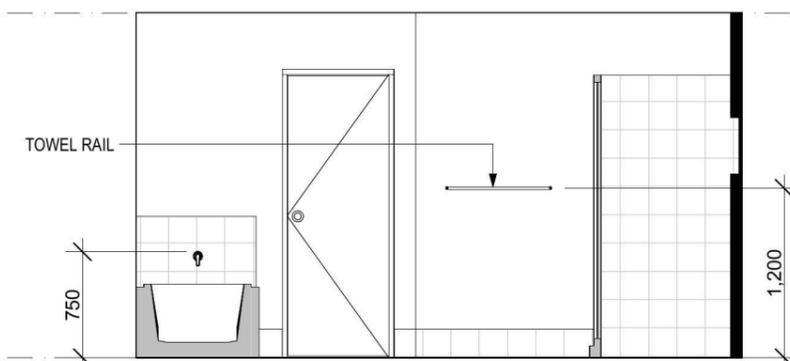
BATH FRONT
1:50



BATH LEFT
1:50



BATH REAR
1:50



BATH RIGHT
1:50

FIRST FLOOR WET AREA DETAILS
1:50



Ph: 4647 1200
Fax: 4647 1233
www.wisdomhomes.com.au
*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.

PROJECT:
PROPOSED TWO-STOREY BRICK VENEER DWELLING
ADDRESS:
**Lot 2360 William Hart Crescent
Thornton Estate, Penrith**
CLIENT:
Wisdom Homes Pty Ltd

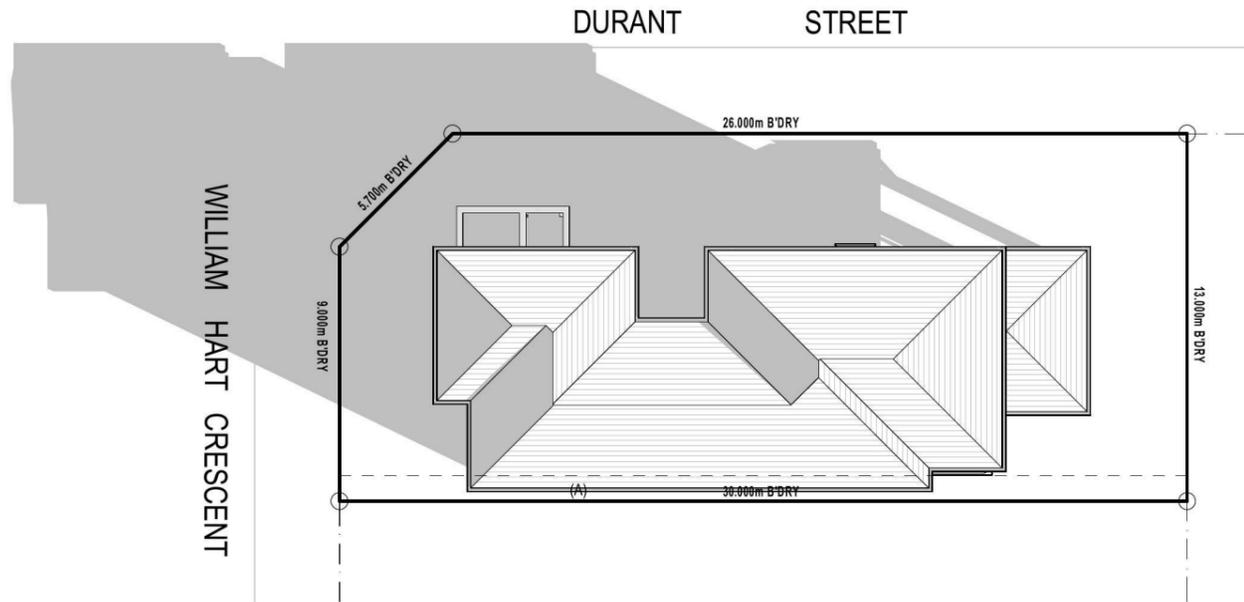
LODGEMENT:
D.A/C.C
⊗ EXHAUST FAN
⊗ SMOKE DETECTOR. AS 3786-1993

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

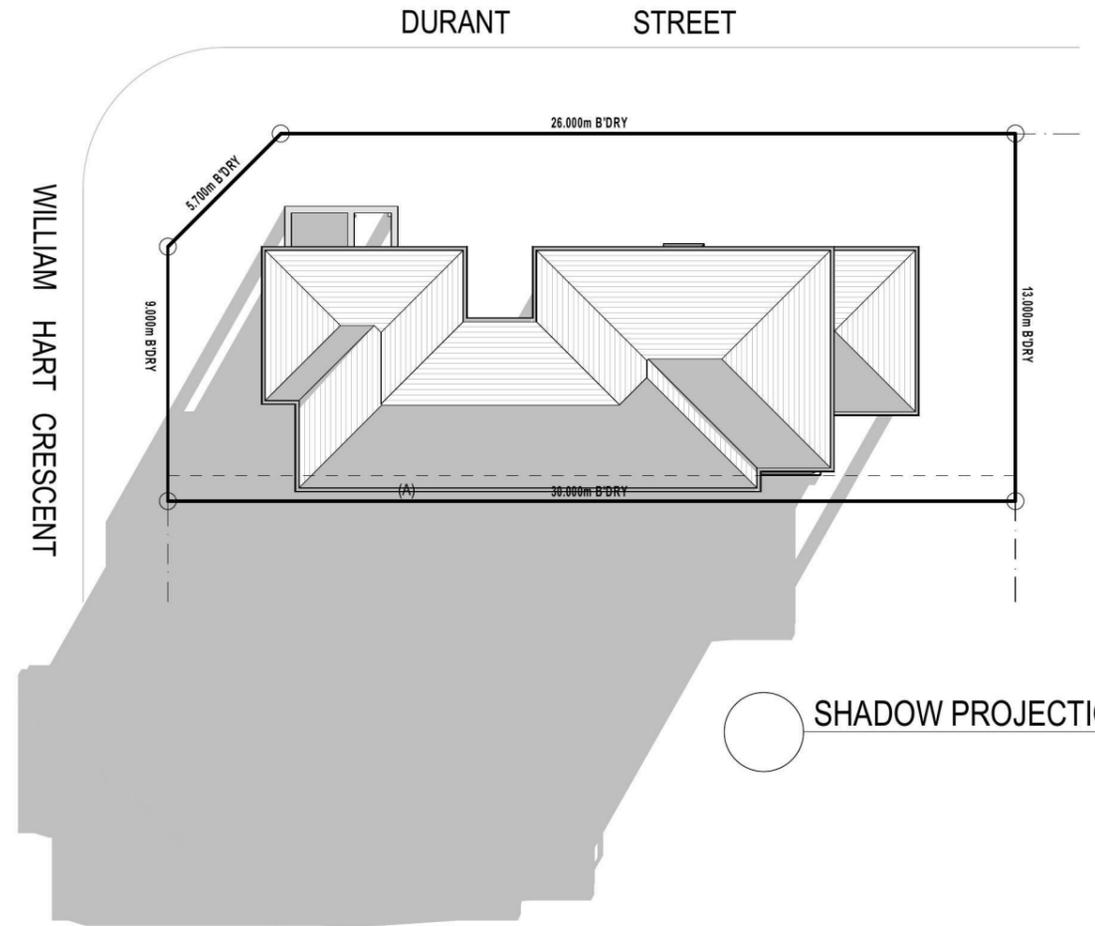
REVISION SCHEDULE			
ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	25/02/14
A-1	AMENDED CONTRACT PLAN	DC	10/03/14
B	DA PLANS	AS	13/05/14
-	-	-	-
-	-	-	-
-	-	-	-

JOB No:
003535
LGA:
PENRITH
DESCRIPTION:
ABODE 27
CODE:
WH-ABOD27D CL RH

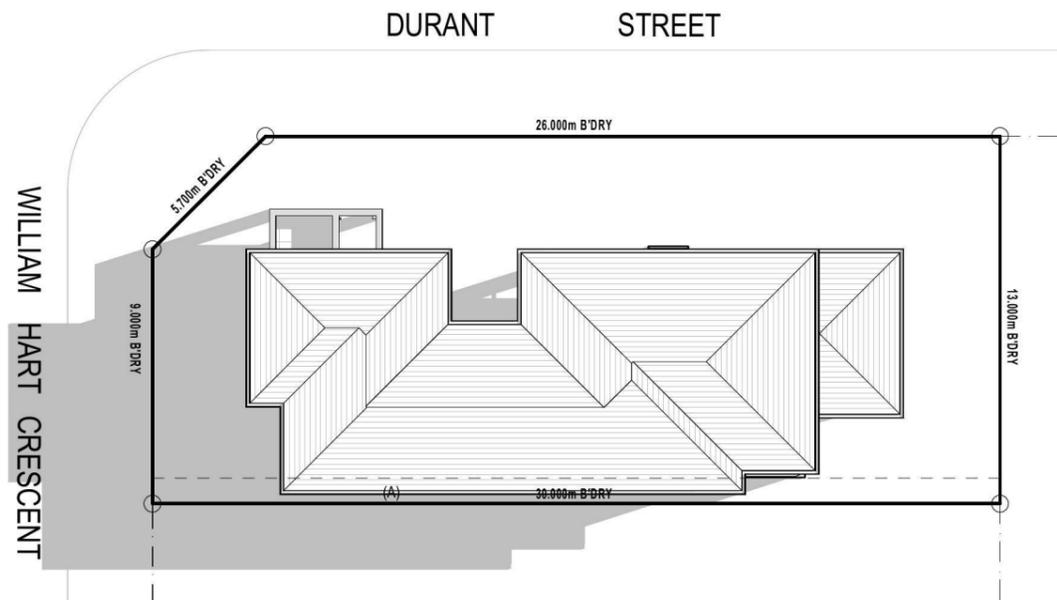
DRAWN:
DC
DATE:
25/02/14
SITE CLASSIFICATION:
M' CLASS (subject to borehole report)
FACADE:
Classic
SHEET:
14



SHADOW PROJECTION 9AM
1:250



SHADOW PROJECTION 3PM
1:250



SHADOW PROJECTION 12PM
1:250



SHADOW PROJECTIONS 21st JUNE

NOTES:
 *REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
 *REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
 *REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
 *REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
 *A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
 *FLOOR FINISHES AS SELECTED AS PER TENDER.

Ph: 4647 1200
 Fax: 4647 1233
 www.wisdomhomes.com.au

*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.

PROJECT:
 PROPOSED TWO-STOREY BRICK VENEER DWELLING

ADDRESS:
 Lot 2360 William Hart Crescent
 Thornton Estate, Penrith

CLIENT:
 Wisdom Homes Pty Ltd

LODGEMENT:
 D.A/C.C

⊗ EXHAUST FAN
 ⊗ SMOKE DETECTOR. AS 3786-1993

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE			
ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	25/02/14
A-1	AMENDED CONTRACT PLAN	DC	10/03/14
B	DA PLANS	AS	13/05/14
-	-	-	-
-	-	-	-
-	-	-	-

JOB No:
003535

LGA:
 PENRITH

DESCRIPTION:
 ABODE 27

CODE:
 WH-ABOD27D CL RH

DRAWN:
 DC

DATE:
 25/02/14

SITE CLASSIFICATION:
 M' CLASS (subject to borehole report)

FACADE:
 Classic

SHEET:
15

Lot 2360 William Hart

PLANT SCHEDULE Prepared by ecodeign Pty Ltd

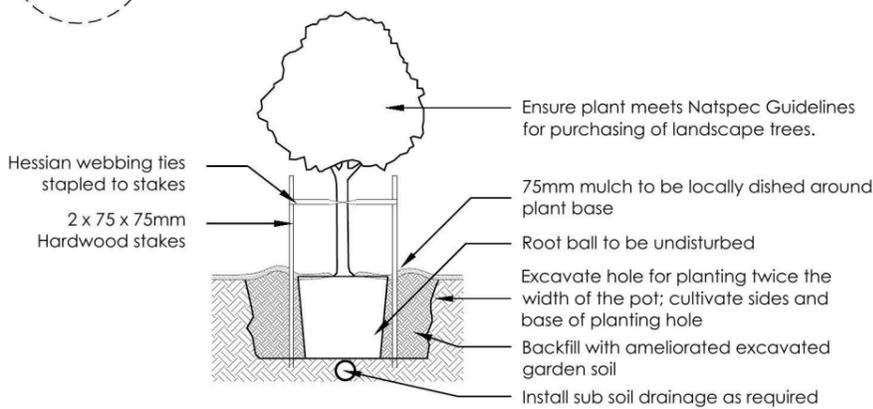
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Aw	Agapanthus 'White'	White Agapanthus	27	200mm	0.5m
Dg	Dietes grandiflora	Wild Iris	14	200mm	1m
Fzk	Fraxinus omus 'Meczek'	Designer Flowering Ash	1	75L	5m
Gar	Gardenia augusta 'Radicans'	Rock Gardenia	10	200mm	0.5m
Lcr	Loropetalum chinense 'Rubrum'	Pink Fringe Flower	2	300mm	2m
Vo	Viburnum odoratissimum	Sweet Viburnum	17	300mm	2.5m
Vh	Viola hederacea	Native Violet	36	150mm	0.1m

LOT PLANTING SUMMARY

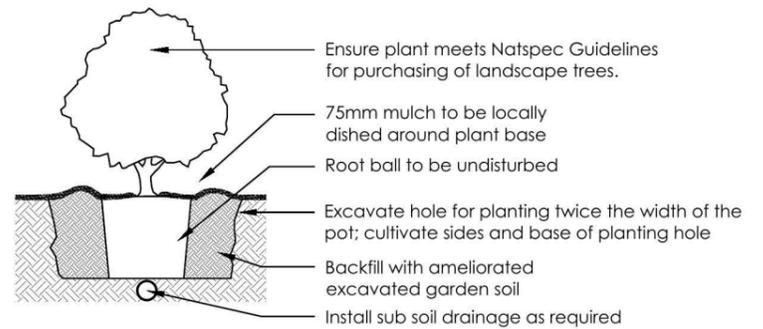
Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
107	17	27	63	1

LEGEND

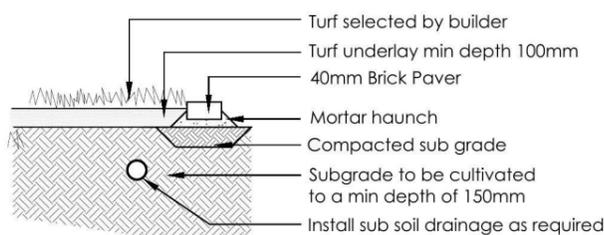
- Proposed trees - refer to plant schedule
- Proposed shrubs - refer to plant schedule
- Proposed accents & grasses - refer to plant schedule
- Proposed groundcovers and grasses - refer to plant schedule
- Boundary
- Garden edging
- Masonry retaining walls
- Existing contours
- Existing levels
- Proposed levels
- Proposed Top Of Wall levels
- Existing tree to be retained
- Existing tree to be removed



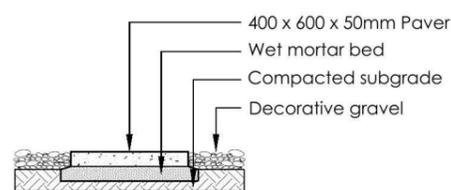
1 Tree Planting Detail
NTS 25L - 100L Pot Size



2 Planting Detail
NTS 150mm, 200mm Pot Size

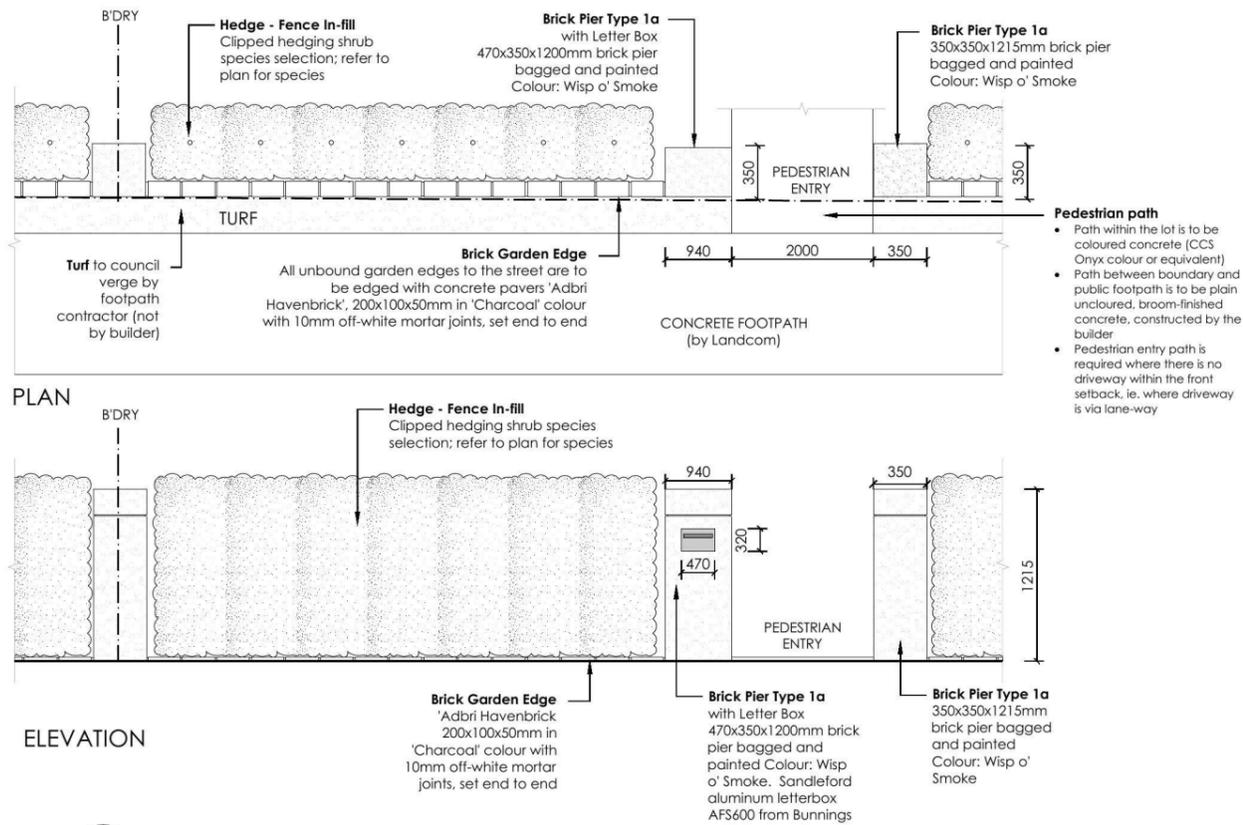


3 Turf Detail
NTS Brick Paver Edge



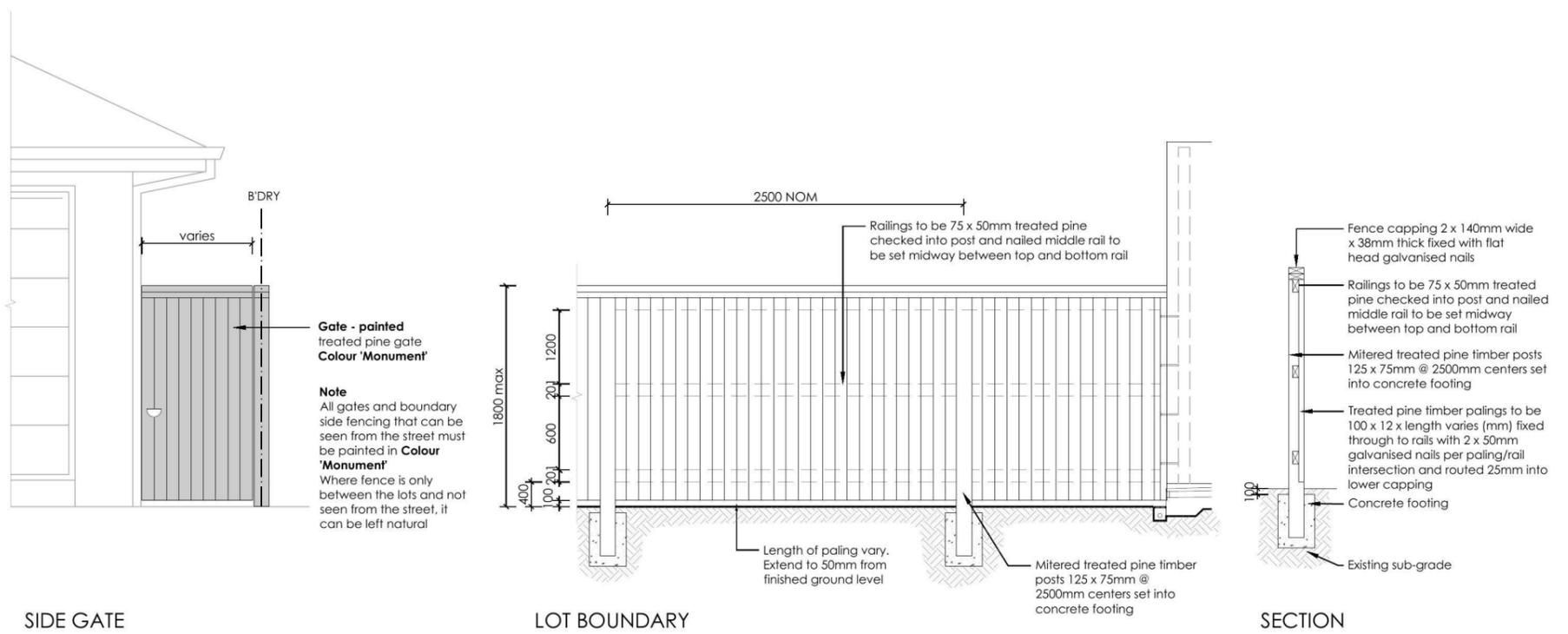
4 Stepping stones in gravel
NTS Low traffic zone

<table border="1"> <tr> <th>REVISION</th> <th>DESCRIPTION</th> <th>DRAWN</th> <th>CHECK</th> <th>DATE</th> </tr> <tr> <td>A</td> <td>ISSUE FOR CLIENT REVIEW</td> <td>RS</td> <td>BT</td> <td>17-03-14</td> </tr> <tr> <td>B</td> <td>ADD STREET PLANTING ALONG TYPE 2A FENCING</td> <td>RS</td> <td>RS</td> <td>18-03-14</td> </tr> </table>	REVISION	DESCRIPTION	DRAWN	CHECK	DATE	A	ISSUE FOR CLIENT REVIEW	RS	BT	17-03-14	B	ADD STREET PLANTING ALONG TYPE 2A FENCING	RS	RS	18-03-14	<p>ecodeign outdoor living environments</p> <p>PO Box 8136, Boultham Hills BC, NSW 2153 Ph: (02) 9480 7712 Fax: (02) 9480 7705 Email: info@ecodeign.com.au Web: www.ecodeign.com.au Member of the Australian Institute of Landscape Designers and Managers</p>	<p>ADDRESS LOT 2360 WILLIAM HART CRESCENT, PENRITH</p>	<p>PROJECT NEW RESIDENCE</p> <p>DRAWING LANDSCAPE PLAN</p> <p>SCALE 1:100 @ A3</p> <p>DATE 18-03-14</p>	<p>CLIENT WISDOM HOMES</p>	<p>ISSUE DA</p> <p>SHEET 02</p> <p>DRAWN RS</p> <p>CHECK RS</p> <p>REVISION B</p>
REVISION	DESCRIPTION	DRAWN	CHECK	DATE																
A	ISSUE FOR CLIENT REVIEW	RS	BT	17-03-14																
B	ADD STREET PLANTING ALONG TYPE 2A FENCING	RS	RS	18-03-14																



- Pedestrian path**
- Path within the lot is to be coloured concrete (CCS Onyx colour or equivalent)
 - Path between boundary and public footpath is to be plain uncoloured, broom-finished concrete, constructed by the builder
 - Pedestrian entry path is required where there is no driveway within the front setback, i.e. where driveway is via lane-way

5 FENCE TYPE 5 - Front Fence
1:50 Typical detail



6 FENCE TYPE 4a - Side Boundaries
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE FOR CLIENT REVIEW	RS	BT	17-03-14
B	ADD STREET PLANTING ALONG TYPE 2A FENCING	RS	RS	18-03-14

ecodesign
outdoor living environments

PO Box 8136, Baulkham Hills BC, NSW 2153
Ph: (02) 9480 7712 Fax: (02) 9480 7705
Email: info@ecodesign.com.au
Web: www.ecodesign.com.au
Member of the Australian Institute of Landscape Designers and Managers

1. Do not scale from drawings
2. Verify all measurements on site
3. Notify ecodesign of any inconsistencies
4. Copyright © ecodesign. All rights reserved
5. Drawing remains the property of ecodesign

6. All work to comply with relevant Australian Standards or Building Code of Australia
7. All work to be performed by a suitably qualified tradesperson
8. For application purposes only - NOT FOR CONSTRUCTION

ADDRESS
LOT 2360 WILLIAM HART CRESCENT, PENRITH

CLIENT
WISDOM HOMES

PROJECT
NEW RESIDENCE

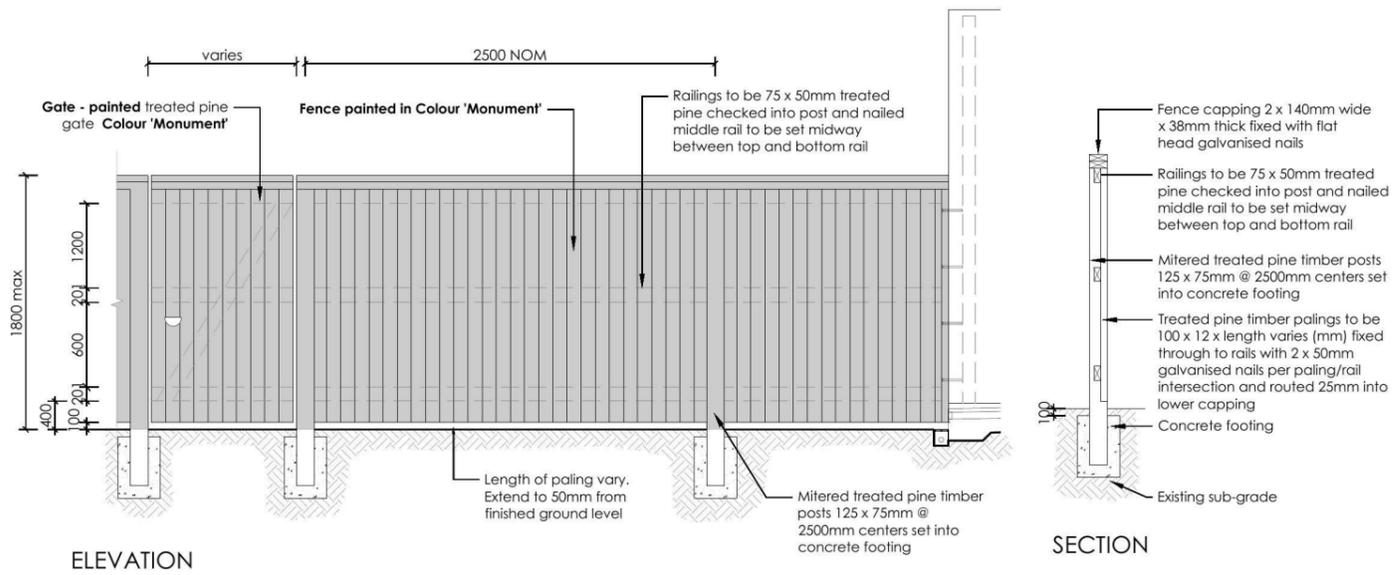
DRAWING
LANDSCAPE PLAN

SCALE
1:100 @ A3

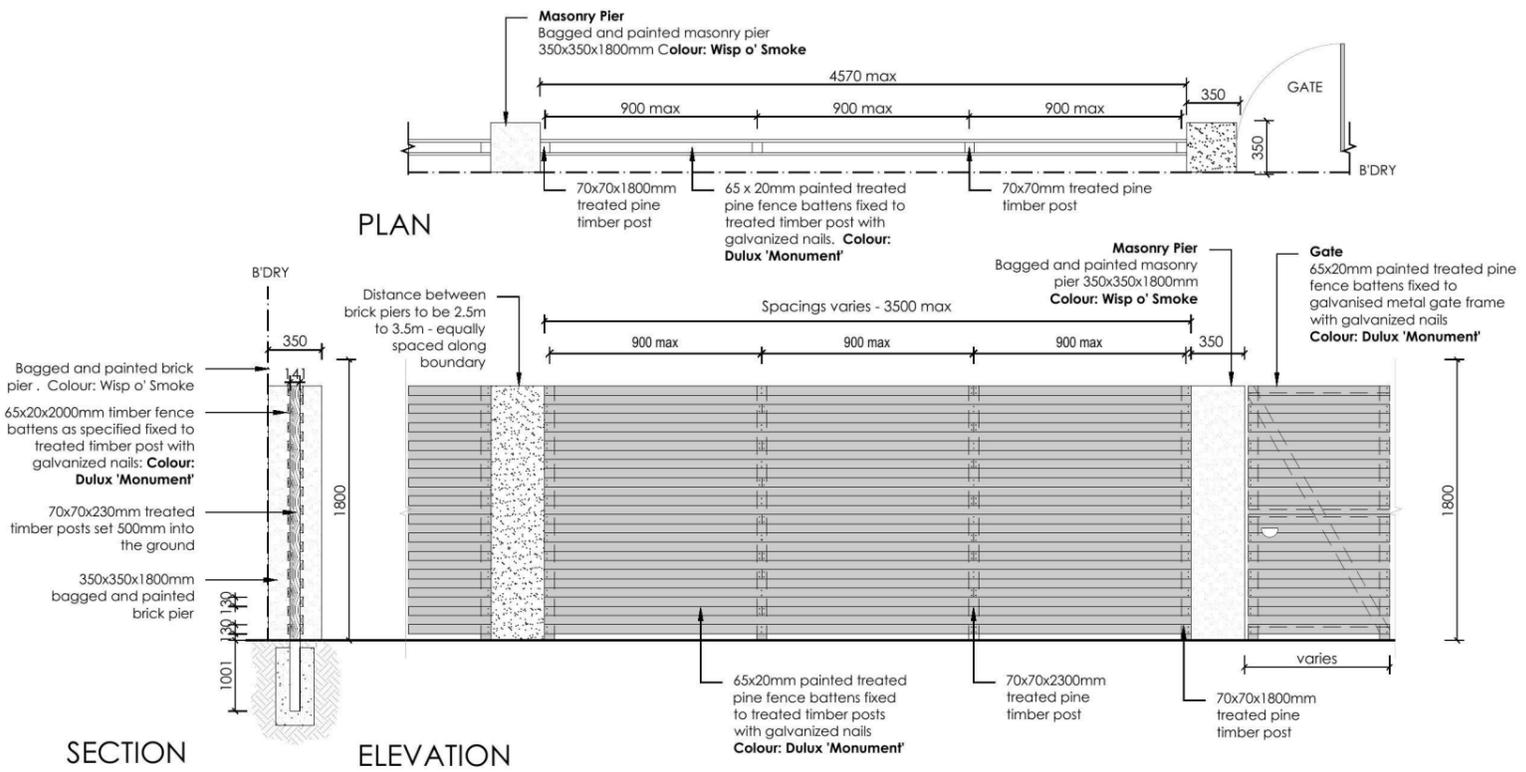
DATE
18-03-14

REVISION
B





7 **FENCE TYPE 4b - Rear Boundary**
 1:50 All Laneways (except Barlett Lane)
 Typical detail



8 **FENCE TYPE 2a - Secondary Street Fencing**
 1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE FOR CLIENT REVIEW	RS	BT	17-03-14
B	ADD STREET PLANTING ALONG TYPE 2A FENCING	RS	RS	18-03-14

ecodesign
 outdoor living environments

PO Box 8136, Baulkham Hills BC, NSW 2153
 Ph: (02) 9480 7712 Fax: (02) 9480 7705
 Email: info@ecodesign.com.au
 Web: www.ecodesign.com.au
 Member of the Australian Institute of Landscape Designers and Managers

1. Do not scale from drawings
 2. Verify all measurements on site
 3. Notify ecodesign of any inconsistencies
 4. Copyright © ecodesign. All rights reserved
 5. Drawing remains the property of ecodesign

6. All work to comply with relevant Australian Standards or Building Code of Australia
 7. All work to be performed by a suitably qualified tradesperson
 8. For application purposes only - NOT FOR CONSTRUCTION

ADDRESS
LOT 2360 WILLIAM HART CRESCENT, PENRITH

CLIENT
WISDOM HOMES

PROJECT
NEW RESIDENCE

DRAWING
LANDSCAPE PLAN

SCALE
1:100 @ A3

DATE
18-03-14

ISSUE
DA

SHEET
04

DRAWN
RS

CHECK
RS

REVISION
B

