

FIRSTYLE HOMES

FIRSTYLE HOMES Pty Ltd
 Lic No. 113412C
 ACH. 087 773 779
 PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 9731 9600
 FAX: (02) 9801 0711
 EMAIL: design@firstyle.com.au

HIA members
 the best in the business

MASTER BUILDERS ASSOCIATION MEMBER

• ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A., RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
 • ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.
 • ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
 • ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK, ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.
 • FIRSTYLE HOMES SITE SAFETY RULES APPLY.
 • DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PREFERENCE.
 • THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.

DEVELOPMENT CALCULATIONS

LOT: 2227 NO: 00 OF SITE AREA: 187.6m²

Itemised Floor Areas:	Totals:
living ground floor:	70.15m ²
first floor: (excl. void 64.04m ²)	70.26m ²
garage: (excess 00.000m ²)	22.56m ²
alfresco:	8.60m ²
porch:	3.08m ²
balcony:	00.00m ²
total floor area:	174.65m²

FLOOR SPACE RATIO CALCULATION:

gross floor areas:	Totals:
living ground floor:	62.70m ²
first floor excl. void: (internal area)	56.46m ²
total gross floor area:	119.16m²
floor space ratio:	0.64:1

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	70.15m ²
garage:	22.56m ²
porch/alfresco:	11.68m ²
driveway/paved area:	18.15m ²
site coverage Area:	104.39m ² (55.6%)
landscape area:	83.21m ² (44.4%)
pervious areas (soft)	65.06m ² (34.7%)
impervious areas (hard)	122.54m ² (65.3%)
front yard landscape area	26.59m ² (14.2%)
front yard hard paved area	1.65m ² (0.88%)
private open space o/a:	41.85m ²
principal private open space:	24.00m ²
total car space incl. carstand:	2 carspace

COUNCIL ZONE: R1

PROMOTION:
 LIVING/STYLE COLLECTION

CLIENT:
 FIRSTYLE

LOCATION:
 LOT 2227 CNR OF WILLIAM HART CRESCENT & WOODROW WAY, PENRITH NSW 2750

DP:	SUBDIVISION OF LOT 1197 DP 1171491	council:	PENRITH
model:	SANDFIELD 19	era:	MILLENNIUM
date:	2/05/2014	sheet:	SK1
drawn:	G.P./L.D.S.	checked:	P.D.
scale:	1:200, 1:100	739-14	

BASIX

= 34.9m² of roof area to discharge to water tank.

= 89.1m² stormwater and overflow to discharge to existing street channel.

o/a= 124m² of roof area.

LEGEND:

○ = SURFACE INLETS AS REQUIRED

—○— = SURFACE INLETS LINE

- - - = STORMWATER LINE

EARTHWORKS

HOUSE: FFL 26.720
 (LIVING) FGL 26.320

GARAGE: FFL 26.550
 FGL 26.150

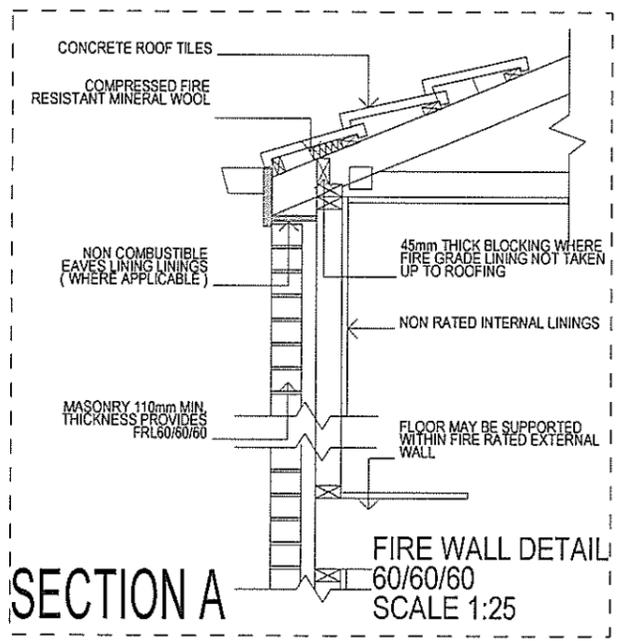
NOTE:
 REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

GENERAL DRAINAGE NOTES

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
2. Stormwater pipes to be 100mm DIA. (Min) at 1 deg. Grade (Min) to AS3500
3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.

note:
 r.l. levels indicative to a building tolerance of +/- 90mm.

NOTE:
 EAVES OH TO ENCROACH AS ALLOWED BY B.C.A:CL3.7.1.7 & FIGURE 3.7.1.9



ABSA Class 1 Building Single-Dwelling Certification

Association of Building Sustainability Assessors

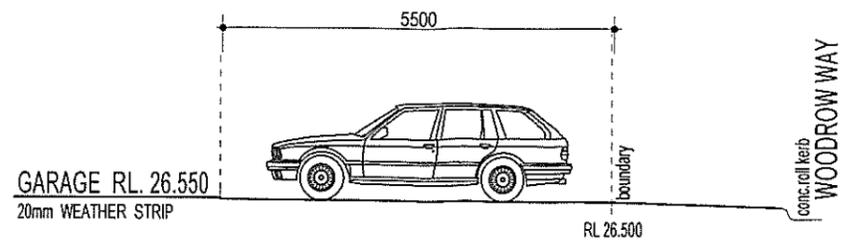
Certification Number	1006295412
Certification Date	05/05/2014
Assessor Name	Vic Vicaretti
Assessor Number	20311
Assessor Signature	<i>[Signature]</i>

Simulated Energy: HEATING: 47.4 MJ/m² pa
 Simulated Energy: COOLING: 49.9 MJ/m² pa
 Rated with Downlights: Yes

NatHERS Rating 97.3 MJ/m² pa

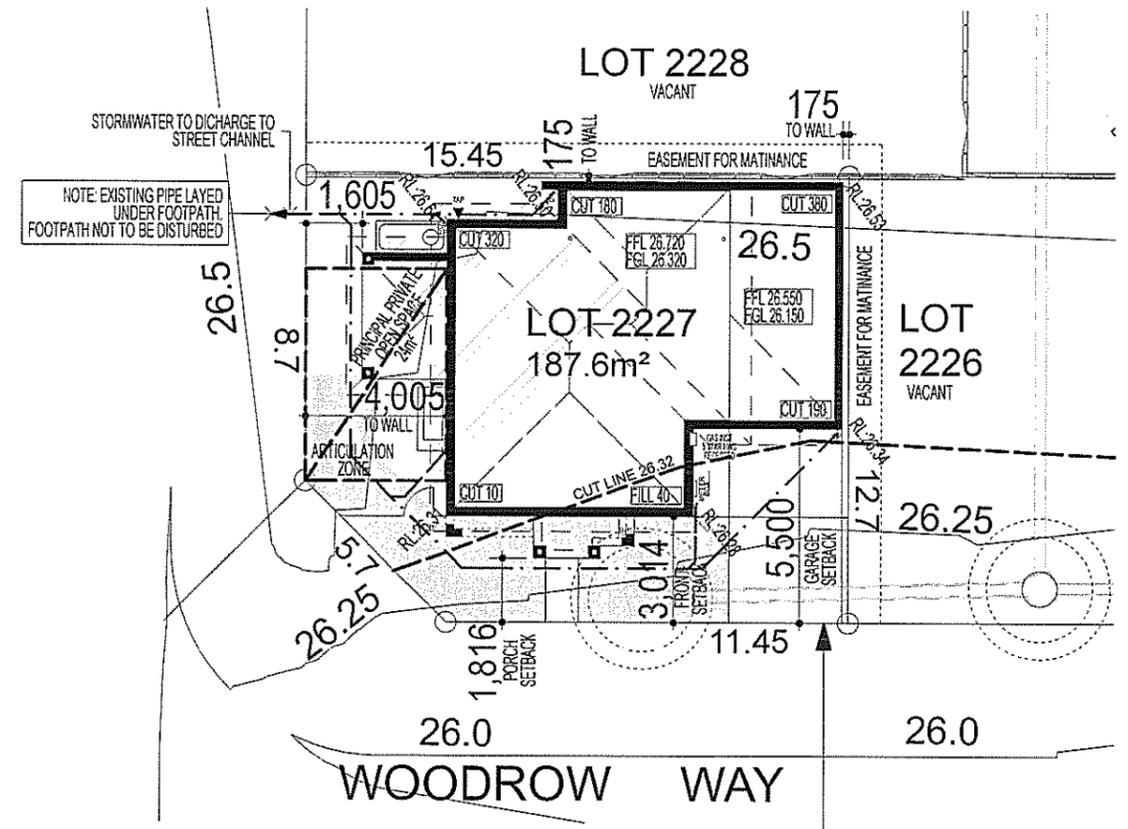
5.5/10

NOTE
 AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
 3-PHASE POWER



DRIVEWAY GRADIENT
 SCALE 1:100

WILLIAM HART CRESCENT



NOTE:
 FINAL GARAGE LEVELS TO BE DETERMINED ON SITE

NOTE:
 DRIVEWAY DESIGN IN ACCORDANCE WITH AS/NZS 2890.1:2004 WITH COUNCIL DCP GUIDELINE
 SIGN:..... DATE:.....

FIBRE OPTIC WIRING PACKAGE

NOTE:
 PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
 ALL COMPONENTS SUCH AS: APPLIANCES; PLUMBING FITTINGS & FIXTURES; DOORS; CABINETS; HANDLES; PC ITEMS; ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS

SITE PLAN & STORMWATER CONCEPT PLAN

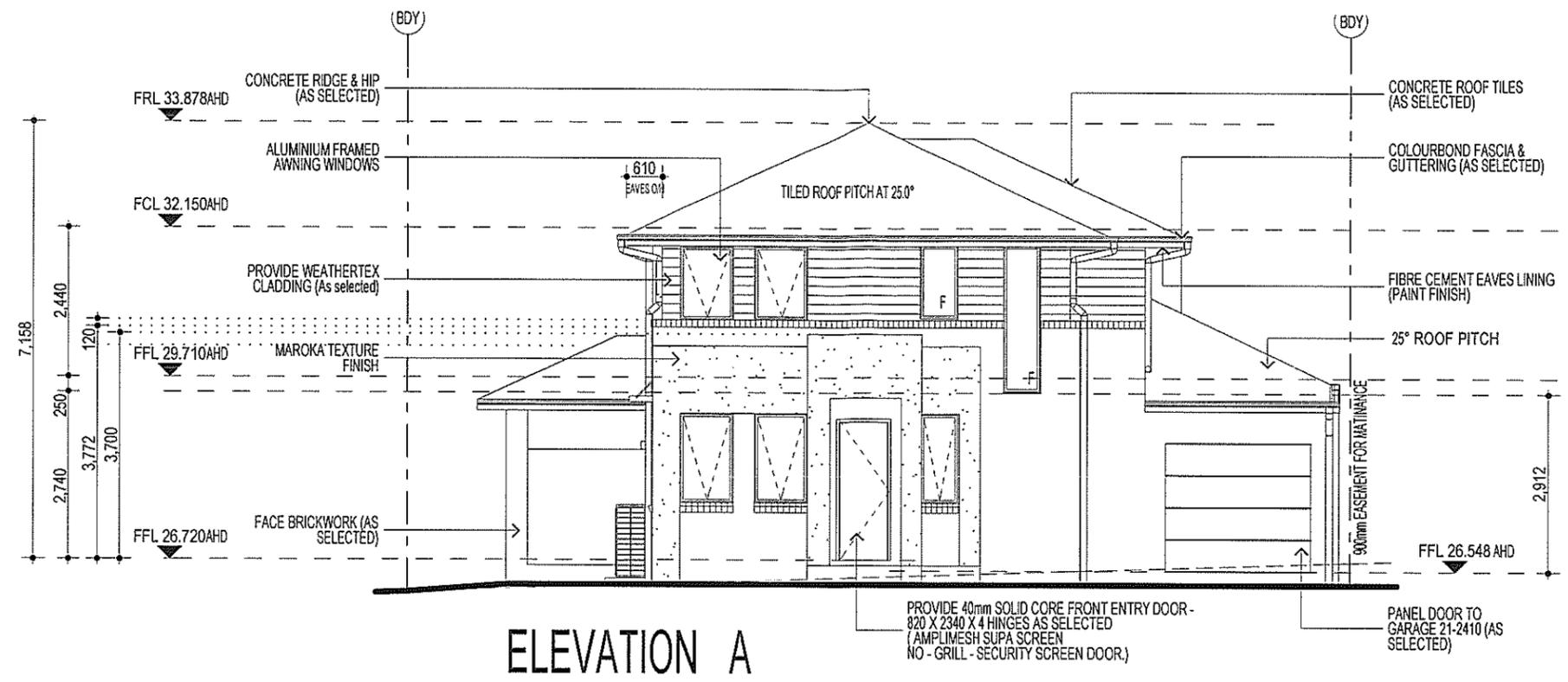
	FACE BRICK (AS SELECTED)
	MOROKA TEXTURE FINISH TO BRICKWORK (AS SELECTED)
	WEATHERTEX CLADDING PAINTED FINISH (AS SELECTED)

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTYLE HOMES

FIRSTYLE HOMES Pty Ltd
 Lic. No. 119412C
 ACN. 087 773 779
 PO BOX 171, HOXTON PARK 2171

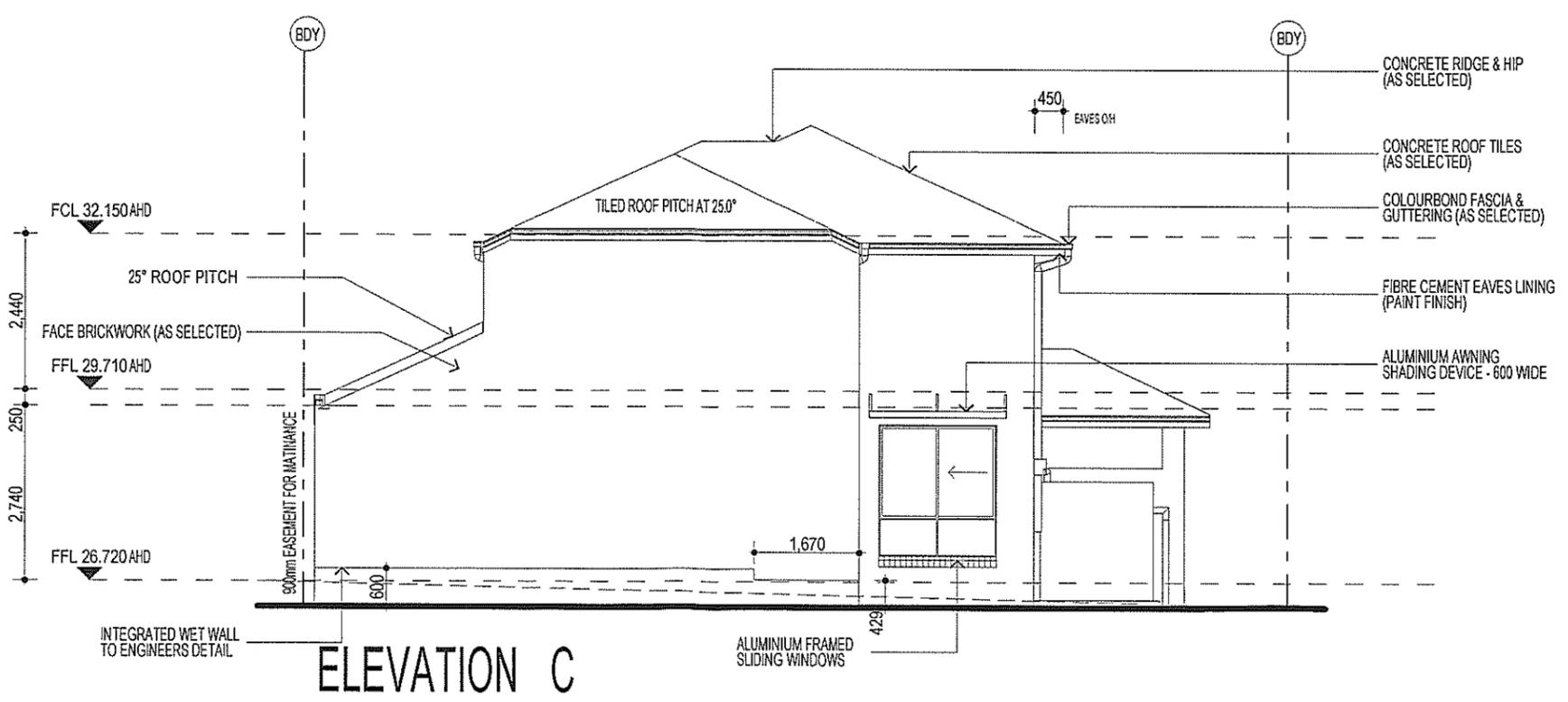
ADMIN: (02) 9731 9500
 FAX: (02) 9531 0711
 EMAIL: design@firstyle.com.au



HIA members
the best in the business

MASTER BUILDERS ASSOCIATION MEMBER

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A., RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
- ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEERS DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.
- ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
- ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK, ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.
- FIRSTYLE HOMES SITE SAFETY RULES APPLY.
- DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PREFERENCE.
- THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.



ABSA Class 1 Building Single-Dwelling Certification
 Association of Building Sustainability Assessors

Certification Number	1006295412
Certification Date	05/05/2014
Assessor Name	Vic Vicaretti
Assessor Number	20311
Assessor Signature	

Simulated Energy: HEATING: 47.4 MJ/m² pa
 Simulated Energy: COOLING: 49.9 MJ/m² pa
 Rated with Downlights: Yes

NATHERS Rating 97.3 MJ/m² pa

5.5/10

NOTE
AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
ALL COMPONENTS SUCH AS: APPLIANCES; PLUMBING FITTINGS & FIXTURES; DOORS; CABINETS; HANDLES; PC ITEMS; ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS.

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTYLE

LOCATION:
LOT 2227 CNR OF WILLIAM HART CRESCENT & WOODROW WAY, PENRITH NSW 2750

DP:	SUBDIVISION OF LOT 1197 DP 1171491	council:	PENRITH
model:	SANDFIELD 19	facade:	MILLENNIUM
Sheet:	6 of 11	date:	2/06/2014
drawn:	G.P./L.D.S.	checked:	P.D.
scale:	1:100		

739-14

CLIENT'S SIGNATURE _____ DATE _____ SP. 00

ELEVATIONS

	FACE BRICK (AS SELECTED)
	MOROKA TEXTURE FINISH TO BRICKWORK (AS SELECTED)
	WEATHERTEX CLADDING PAINTED FINISH (AS SELECTED)

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.



FIRSTSTYLE HOMES Pty Ltd
 Lic No. 113412C
 ACN. 087 773 779
 PO BOX 171, HOXTON PARK 2171
 ADMIN: (02) 9731 9500
 FAX: (02) 9501 0711
 EMAIL: design@firststyle.com.au

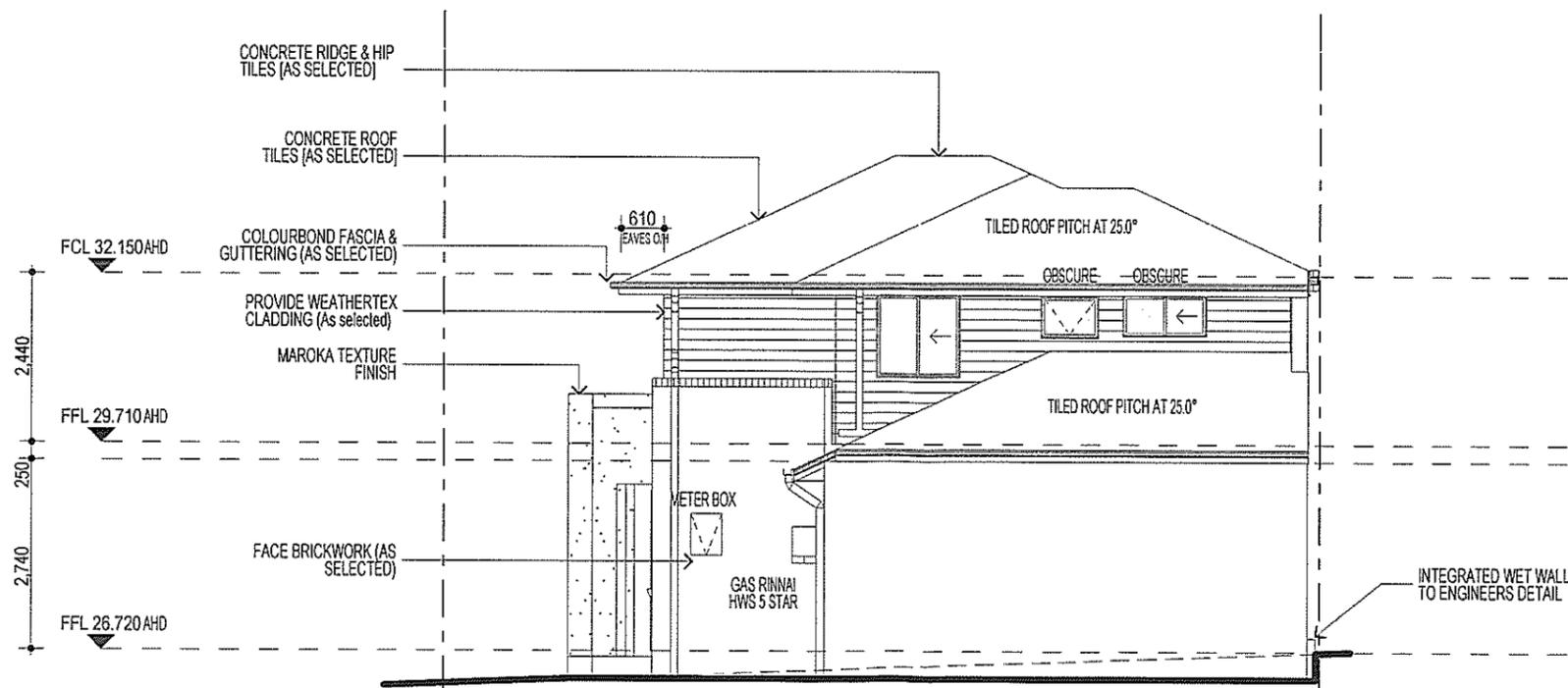
HIA members
the best in the business



• ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A., RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
 • ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.
 • ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
 • ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK, ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.
 • FIRSTSTYLE HOMES SITE SAFETY RULES APPLY.
 • DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PRECEDENCE.
 • THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.



ELEVATION B



ELEVATION D

ABSAs Association of Building Sustainability Assessors
Class 1 Building Single-Dwelling Certification

Certification Number	1006295412
Certification Date	05/05/2014
Assessor Name	Vic Vicaretti
Assessor Number	20311
Assessor Signature	

Simulated Energy: HEATING: 47.4 MJ/m² pa
 Simulated Energy: COOLING: 49.9 MJ/m² pa
 Rated with Downlights: Yes
NAHERS Rating 97.3 MJ/m² pa
5.5/10

NOTE
AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
ALL COMPONENTS SUCH AS; APPLIANCES; PLUMBING FITTINGS & FIXTURES; DOORS; CABINETS; HANDLES; PC ITEMS; ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
LOT 2227 CNR OF WILLIAM HART CRESCENT & WOODROW WAY, PENRITH NSW 2750

DP:
SUBDIVISION OF LOT 1197 DP 1171491 council: PENRITH

model: SANDFIELD 19 facade: MILLENNIUM date: 2/06/2014

Sheet: 7 of 11 drawn: G.P./L.D.S. checked: P.D. scale: 1:100

739-14

ELEVATIONS

CLIENT'S SIGNATURE DATE 5P 00

Lot 2227

PLANT SCHEDULE Prepared by ecodeign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Aw	Agapanthus 'White'	White Agapanthus	41	200mm	0.5m
Lcj	Lomandra confertifolia 'Crackerjack'	Fine-leaved Lomandra	6	140mm	0.45m
Lwt	Liriope muscari 'Monroe's White'	Liriope (white flowering)	24	200mm	450mm
Mlg	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	1	25L	4m
Vo	Viburnum odoratissimum	Sweet Viburnum	14	200mm	2.5m

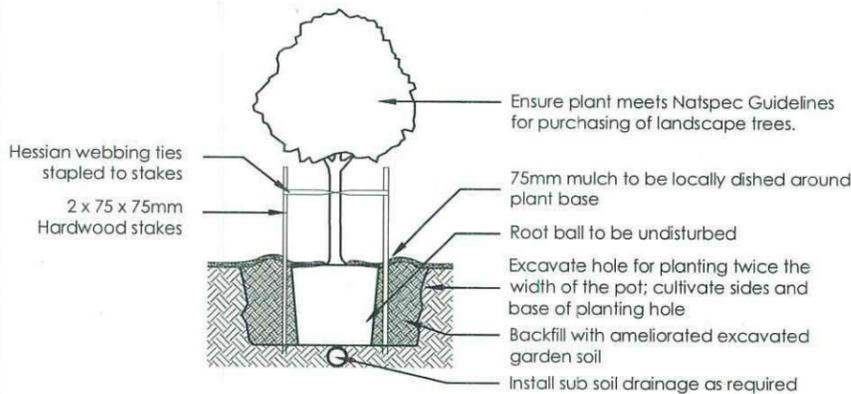
LOT PLANTING SUMMARY

Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
86	14	41	31	1

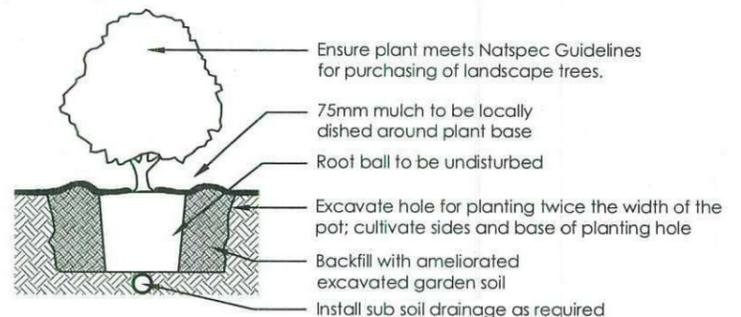
Minimum of 1 tree and 20 shrubs / groundcovers to each front / side yard (excluding fence hedging)

LEGEND

- Proposed trees - refer to plant schedule
- Proposed shrubs - refer to plant schedule
- Proposed accents & grasses - refer to plant schedule
- Proposed groundcovers and grasses - refer to plant schedule
- Existing levels
- Proposed levels
- Proposed Top Of Wall levels
- Boundary
- Garden edging
- Masonry retaining walls
- Existing contours



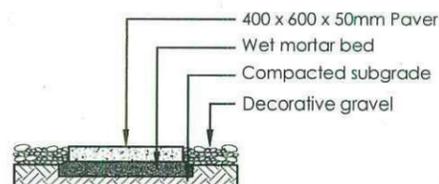
1 Tree Planting Detail
NTS 25L - 100L Pot Size



2 Planting Detail
NTS 150mm, 200mm Pot Size



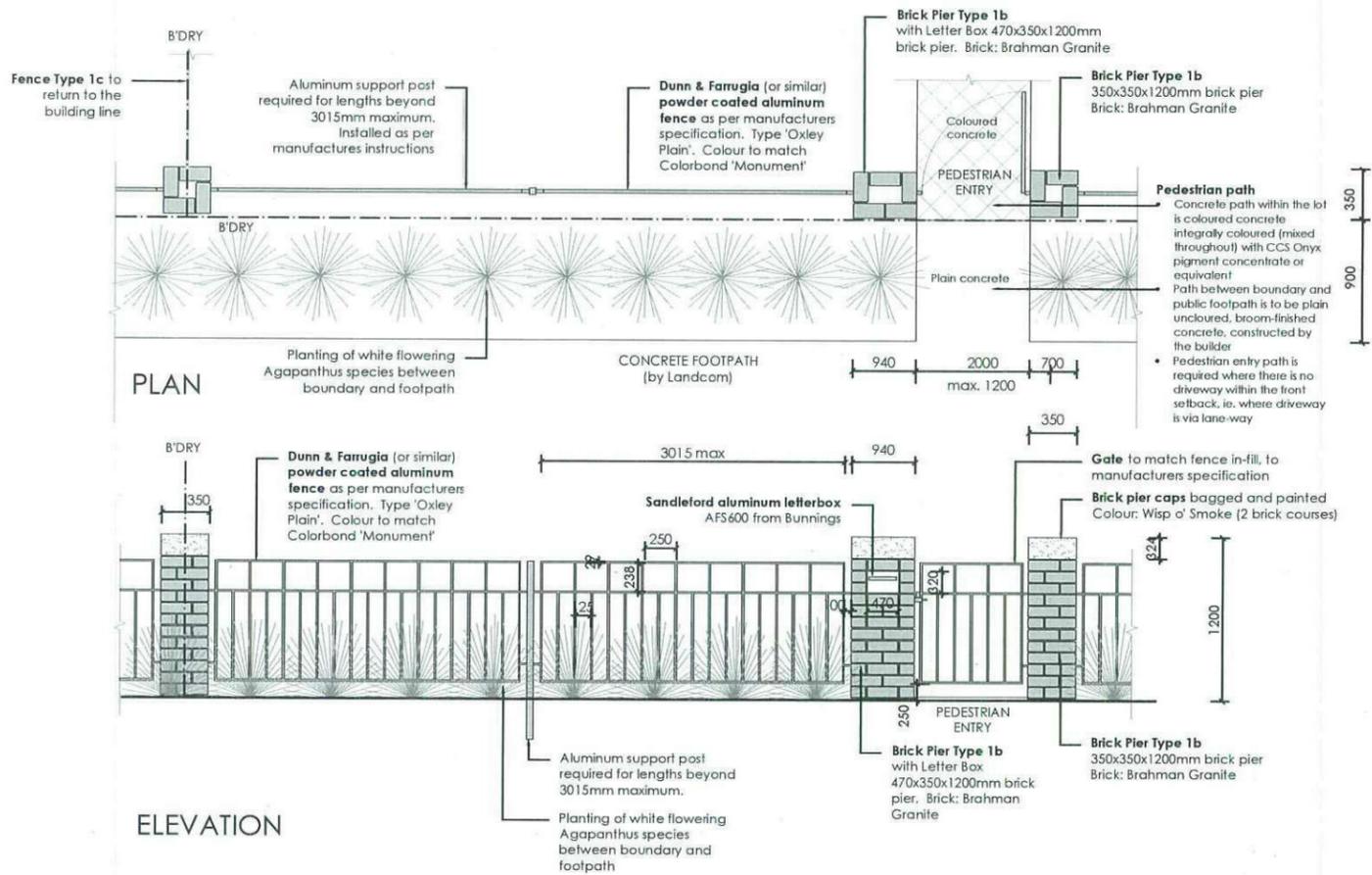
3 Turf Detail
NTS Brick Paver Edge



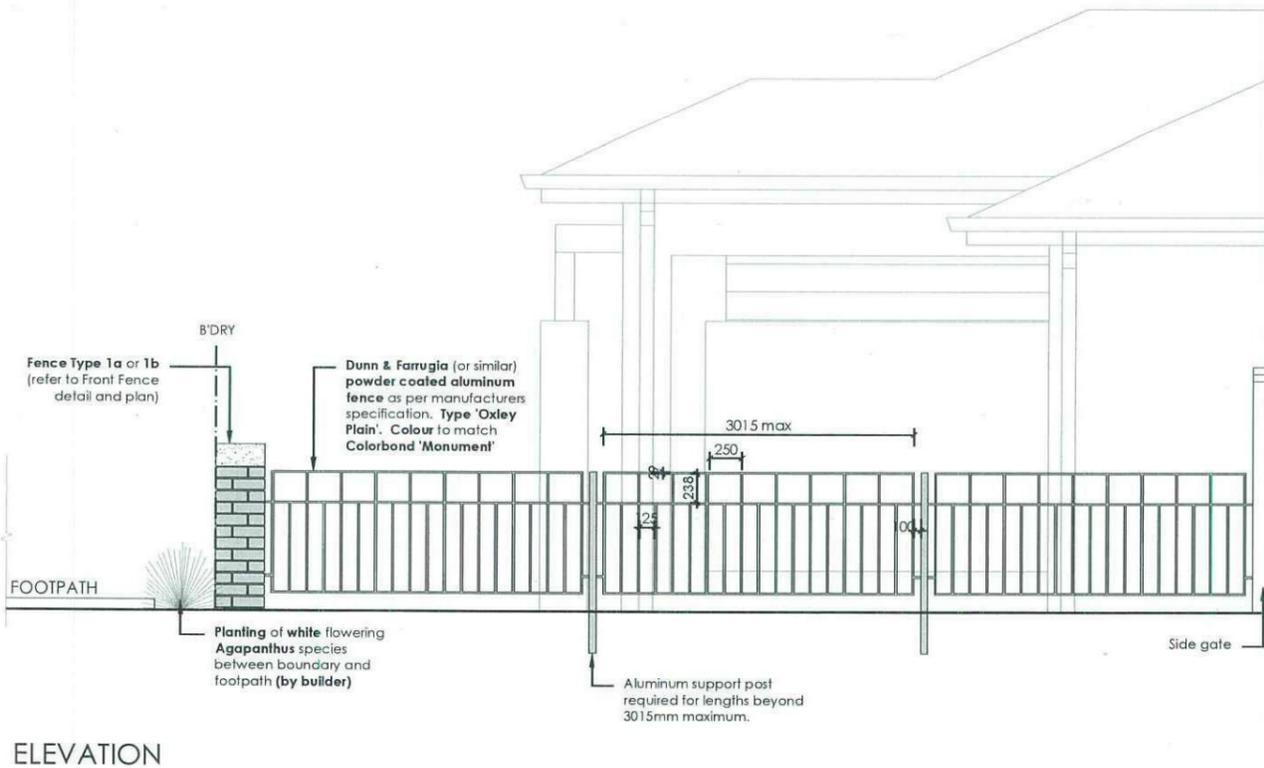
4 Stepping stones in gravel
NTS Low traffic zone

Reviewed: Date: 20/05/14
LANDCOM
Thornton Design Review Panel

REVISION A ISSUE FOR CLIENT REVIEW B AMEND TO CLIENT COMMENT C ADD DA DETAILS	DRAWN BT BT BT	CHECK RS RS RS	DATE 05-05-14 09-05-14 12-05-14	 PO Box 8136, Southham Hills B.C. NSW 2153 Ph: (02) 9480 7712 Fax: (02) 9480 7705 Email: info@ecodeign.com.au Web: www.ecodeign.com.au Member of the Australian Institute of Landscape Design and Planning	PROJECT LOT 2227 WOODROW WAY, PENRITH	PROJECT NEW RESIDENCE			
				CLIENT FIRSTLYE	DRAWN BT BT	CHECK RS RS		DATE 12-05-14	REVISION C
				PROJECT LANDSCAPE PLAN	SCALE 1:100 @ A3	SHEET DA		TOTAL SHEETS 02	



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

Reviewed: *[Signature]* Date: *24/5/14*
LANDCOM
 Thornton Design Review Panel

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE FOR CLIENT REVIEW	BT	RS	05-05-14
B	AMEND TO CLIENT COMMENT	BT	RS	09-05-14
C	ADD DA DETAILS	BT	RS	12-05-14

ecodesign
outdoor living environments

PO Box 9136, Southport QLD 4215
 Ph: (07) 9450 7712 Fax: (07) 9450 7705
 Email: info@ecodesign.com.au
 Web: www.ecodesign.com.au

1. Do not scale from drawings
 2. Verify all measurements on site
 3. Notify ecodesign of any inconsistencies
 4. Copyright © ecodesign. All rights reserved.
 5. Drawing remains the property of ecodesign

6. All work to comply with relevant Australian Standards or Building Code of Australia
 7. All work to be performed by a suitably qualified tradesperson
 8. For application purposes only - NOT FOR CONSTRUCTION

PROJECT: **LOT 2227 WOODROW WAY, PENRITH**

CLIENT: **FIRSTYLE**

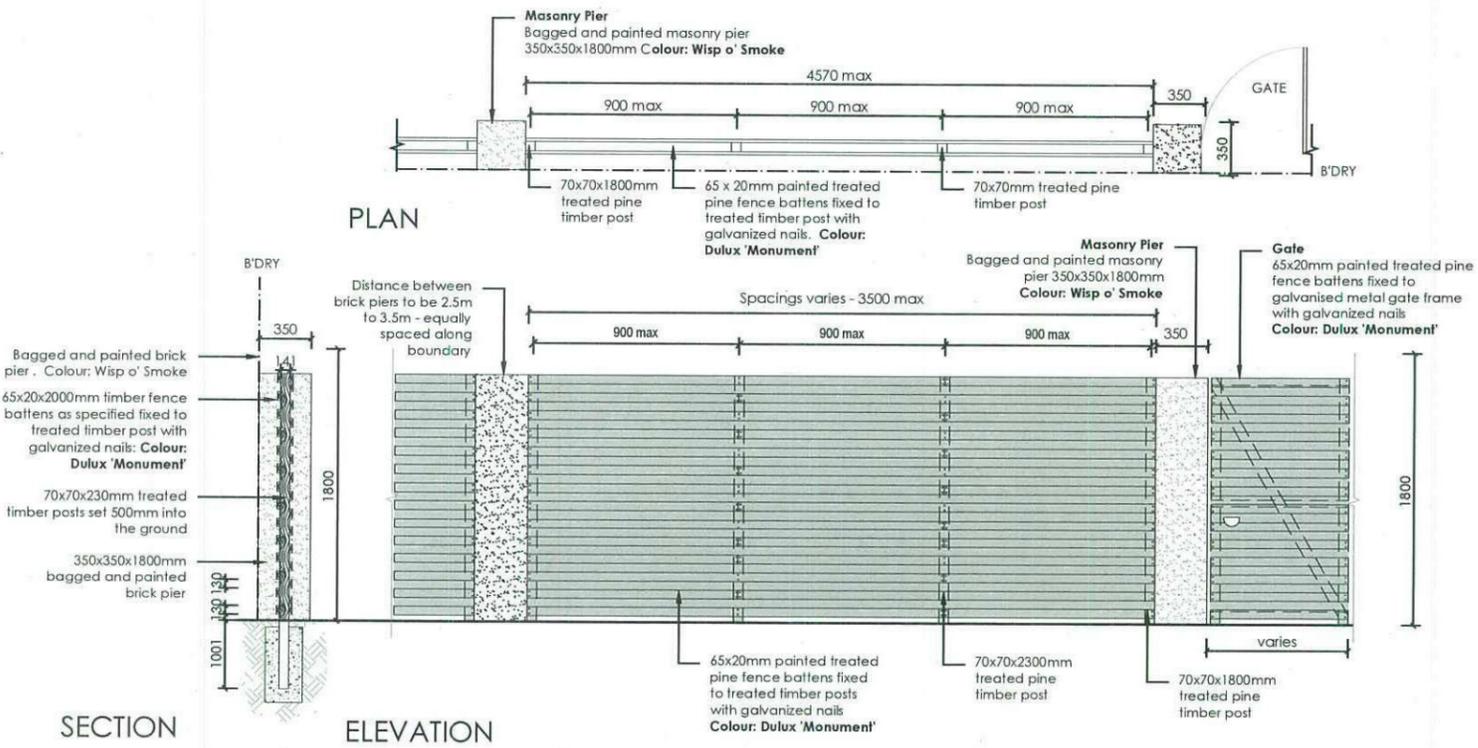
PROJECT: **NEW RESIDENCE**

REVISION: **LANDSCAPE PLAN**

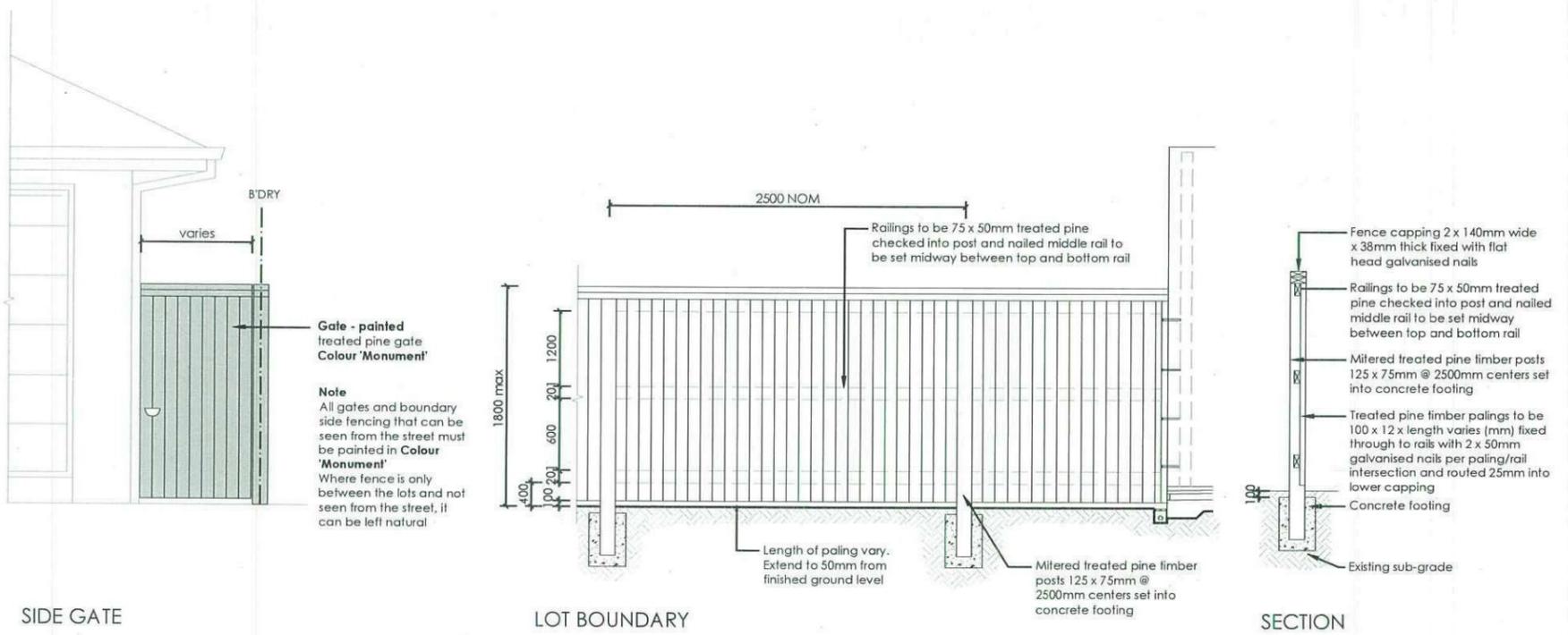
SCALE: **1:100 @ A3** DATE: **DA** SHEET: **03**

DRAWN: **BT** CHECK: **RS** DATE: **12-05-14** DESIGNER: **C**





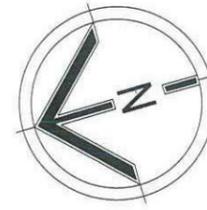
7 FENCE TYPE 2a - Secondary Street Fencing
1:50 Typical detail



8 FENCE TYPE 4a - Side Boundaries
1:50 Typical detail

Reviewed
Date
Thornton Design Review Panel
LANDCOM

REVISION	DESCRIPTION	DRAWN	CHECK	DATE	PROJECT	DATE	BY	DATE	BY
A	ISSUE FOR CLIENT REVIEW	BT	RS	05-05-14	LOT 2227 WOODROW WAY, PENRITH	NEW RESIDENCE	DA	04	BT
B	AMEND TO CLIENT COMMENT	BT	RS	09-05-14					
C	ADD DA DETAILS	BT	RS	12-05-14					
<p>ecodesign outdoor living environments</p> <p>PO Box 8136, Southham Hill BC, NSW 2153 Ph: (02) 9450 7112 Fax: (02) 9450 7705 Email: info@ecodesign.com.au Web: www.ecodesign.com.au</p> <p>1. Do not scale from drawings 2. Verify all measurements on site 3. Notify ecodesign of any inconsistencies 4. Copyright © ecodesign. All rights reserved 5. Drawing remains the property of ecodesign</p> <p>6. All work to comply with relevant Australian Standards or Building Code of Australia 7. All work to be performed by a suitably qualified tradesperson E. For application purposes only - NOT FOR CONSTRUCTION</p>					<p>CLIENT: FIRSTYLE</p>		<p>DATE: 12-05-14</p>		<p>BY: C</p>



HIA members
 the best in the business



• ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A. RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
 • ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.
 • ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
 • ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK. ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.
 • FIRSTYLE HOMES SITE SAFETY RULES APPLY.
 • DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PREFERENCE.
 • THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.

DEVELOPMENT CALCULATIONS

LOT: 2227 NO: 00 OF SITE AREA: 187.6m²

Itemised Floor Areas:	Totals:
living ground floor:	70.15m ²
first floor: (excl. void 64.04m ²)	70.26m ²
garage: (excess 00.000m ²)	22.56m ²
alfresco:	8.60m ²
porch:	3.08m ²
balcony:	00.00m ²
total floor area:	174.65m²

FLOOR SPACE RATIO CALCULATION:

gross floor areas:	Totals:
living ground floor: (internal area)	62.70m ²
first floor excl. void: (internal area)	56.46m ²
total gross floor area:	119.16m²
floor space ratio:	0.64:1

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	70.15m ²
garage:	22.56m ²
porch/alfresco:	11.68m ²
driveway/paved area:	18.15m ²
site coverage Area:	104.39m ² (55.6%)
landscape area:	83.21m ² (44.4%)
pervious areas (soft)	65.06m ² (34.7%)
impervious areas (hard)	122.54m ² (65.3%)
front yard landscape area	26.59m ² (14.2%)
front yard hard paved area	1.65m ² (0.88%)
private open space o/a:	41.85m ²
principal private open space:	24.00m ²
total car space incl. carstand:	2 carspace

COUNCIL ZONE: R1

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTYLE

LOCATION:
 LOT 2227 CNR OF WILLIAM HART CRESCENT & WOODROW WAY, PENRITH NSW 2750

DP:	SUBDIVISION OF LOT 1197 DP 1171491	council:	PENRITH
model:	SANDFIELD 19	facade:	MILLENNIUM
date:	27/05/2014	valuation assessment:	SK1
Sheet:	1 of 11	drawn:	G.P./L.D.S.
checked:	P.D.	scale:	1:200, 1:100
739-14			

CLIENT'S SIGNATURE _____ DATE _____ 8 P. 00

BASIX
 = 34.9m² of roof area to discharge to water tank.
 =89.1m² stormwater and overflow to discharge to existing street channel.
 o/a= 124m² of roof area.

LEGEND:
 ○ = SURFACE INLETS AS REQUIRED
 —○— = SURFACE INLETS LINE
 - - - = STORMWATER LINE

EARTHWORKS
 HOUSE: FFL 26.720
 (LIVING) FGL 26.320
 GARAGE: FFL 26.550
 FGL 26.150

NOTE:
 REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

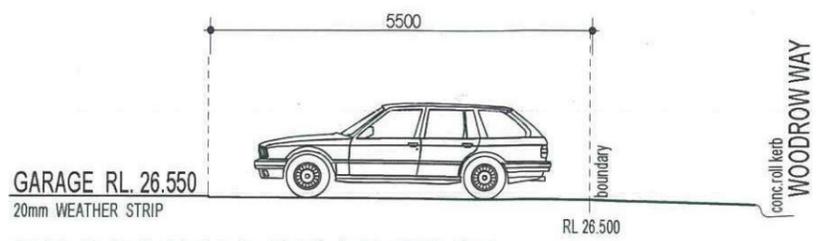
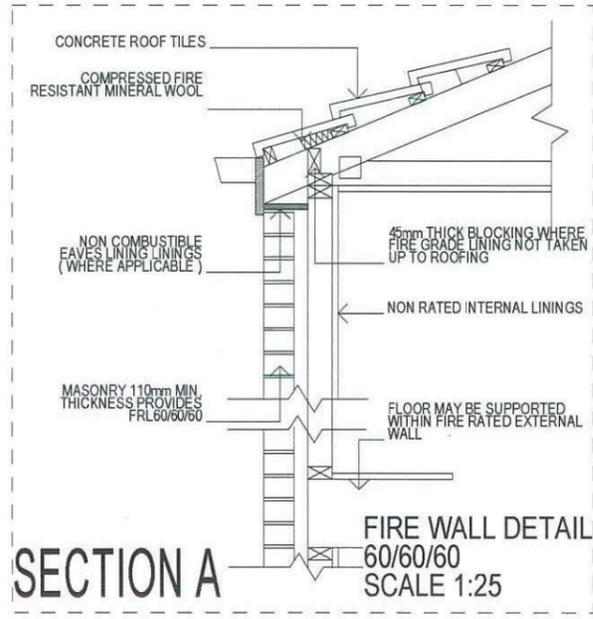
GENERAL DRAINAGE NOTES

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
 2. Stormwater pipes to be 100mm DIA.(Min) at 1 deg. Grade (Min) to AS3500
 3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
 4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
 5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.
- note:
 r.l. levels indicative to a building tolerance of +/- 90mm.
- NOTE:**
 EAVES O/H TO ENCROACH AS ALLOWED BY B.C.A. CL3.7.1.7 & FIGURE 3.7.1.9

FIBRE OPTIC WIRING PACKAGE

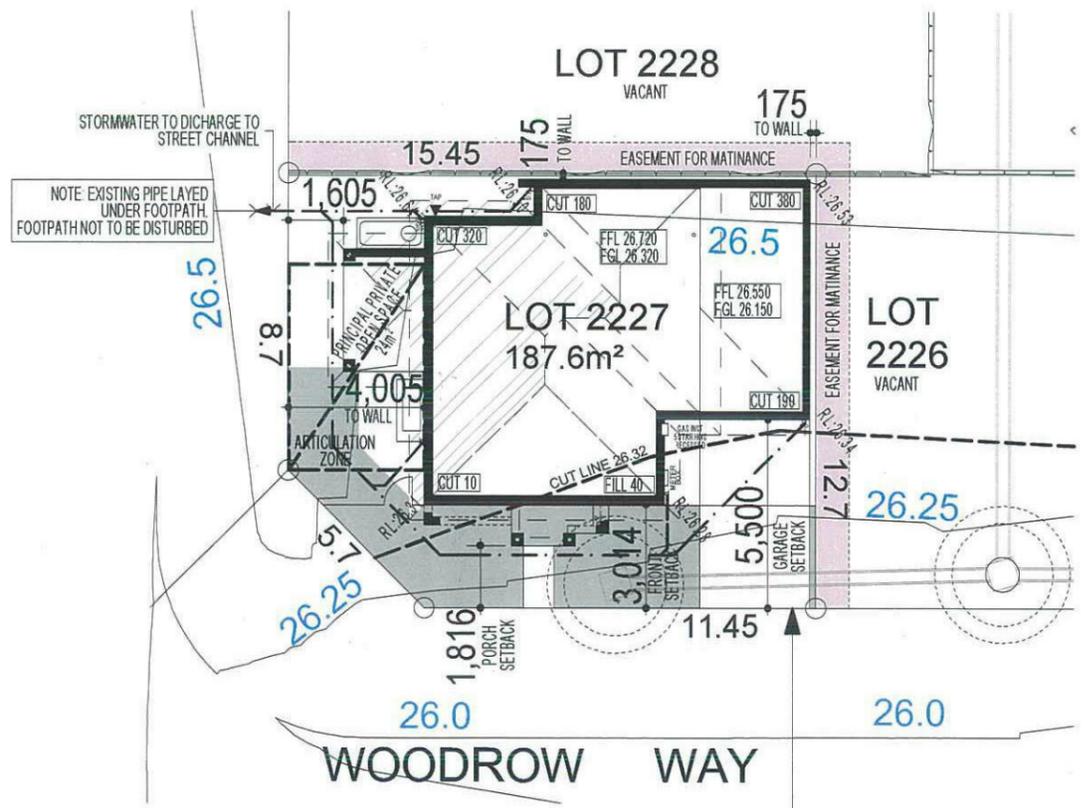
NOTE:
 PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
 ALL COMPONENTS SUCH AS: APPLIANCES; PLUMBING FITTINGS & FIXTURES; DOORS; CABINETS; HANDLES; PC ITEMS; ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS



DRIVEWAY GRADIENT
 SCALE 1:100

WILLIAM HART CRESCENT



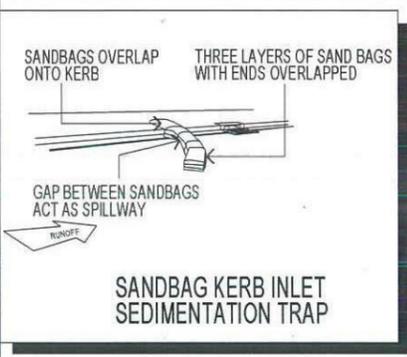
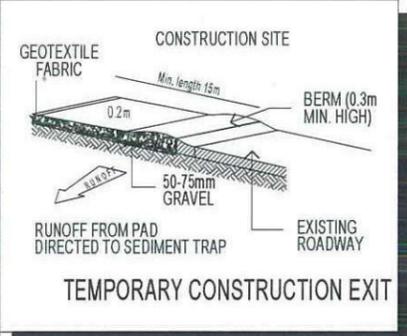
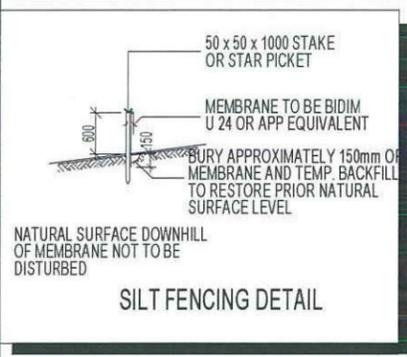
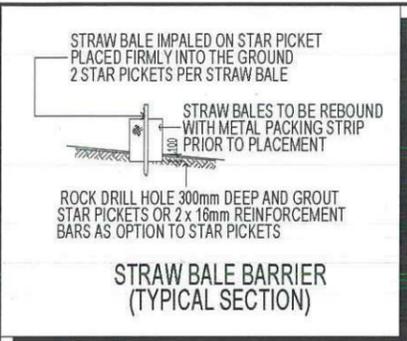
NOTE:
 FINAL GARAGE LEVELS TO BE DETERMINED ON SITE

NOTE:
 DRIVEWAY DESIGN IN ACCORDANCE WITH AS/NZS 2890.1:2004 WITH COUNCIL DCP GUIDELINE
 SIGN:..... DATE:.....

Thorton Design Review Panel
 LANDCOM
 Reviewed: _____ Date: 3/6/14

NOTE
 AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
 3-PHASE POWER

SITE PLAN & STORMWATER CONCEPT PLAN



DUST CONTROL MEASURES:

IF THE SITE BECOMES DUSTY DURING HOTTER MONTHS (FIRSTYLE) WILL SPRINKLE WATER ON THE DUST

ANY AREA OF ROAD BASE WILL BE POSITIONED FOR HEAVY VEHICLES TO REDUCE & PROVIDE AN AREA TO WASH TRUCKS OFF (IF REQUIRED)

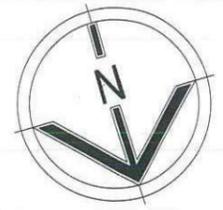
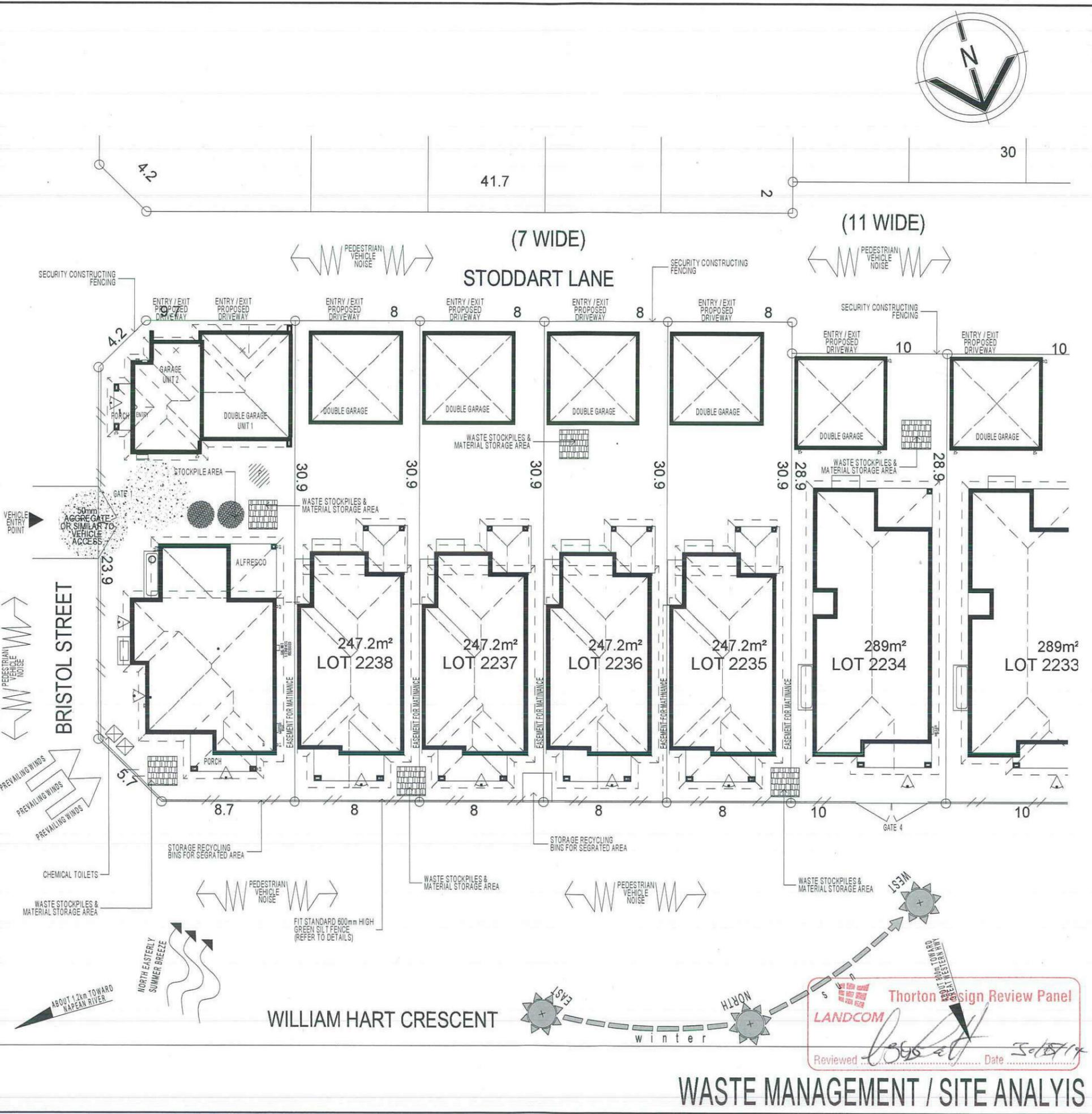
NOISE & VIBRATION MEASURES:

ALL EXCAVATION WILL BE CARRIED OUT BETWEEN THE TIME SETOUT IN THE COUNCIL CONDITIONS

MACHINERY SIZE WILL BE KEPT TO A MINIMUM REQUIRED FOR THE JOB

NOTE:

ALL COMPONENTS SUCH AS; APPLIANCES; PLUMBING FITTINGS & FIXTURES; DOORS; CABINETS; HANDLES; PC ITEMS; ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS



FIRSTYLE HOMES

FIRSTYLE HOMES Pty Ltd
Lic No. 113412C
ACN 087 773 779
PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 9731 9600
FAX: (02) 9601 0711
EMAIL: design@firstyle.com.au

HIA members
the best in the business

MASTER BUILDERS ASSOCIATION
MEMBER

• ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A., RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.

• ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.

• ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.

• ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK, ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.

• FIRSTYLE HOMES SITE SAFETY RULES APPLY.

• DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PRECEDENCE.

• THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.

KEY	
	SOLAR ACCESS
	NUMBER OF STOREYS
	PREVAILING WINDS
	EXISTING TREES
	TREES TO BE REMOVED
	DIRECTION & DISTANCES
	NOISE
	VEHICULAR SITE ENTRY
	HWS
	VIEWS
	PRIVATE OPEN SPACE
	OVERLOOKING
	RAINWATER TANK (Underground)
	A/C UNIT (if required)

PROMOTION: **LIVING/STYLE COLLECTION**

CLIENT: **FIRSTYLE**

LOCATION: **LOT 2227 CNR OF WILLIAM HART CRESCENT & WOODROW WAY, PENRITH NSW 2750**

DP: SUBDIVISION OF LOT 1197 DP 1171491 council: PENRITH

model: facade: MILLENNIUM date: 27/05/2014 quotation assessment: SK1

Sheet: drawn: G.P./L.D.S. checked: P.D. scale: 1:250

2 of 11 **739-14**

CLIENTS SIGNATURE: _____ DATE: _____ SP: 0.0

WASTE MANAGEMENT / SITE ANALYSIS

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE FINISH TO BRICKWORK (AS SELECTED)
-  WEATHERTEX CLADDING PAINTED FINISH (AS SELECTED)

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTYLE HOMES

FIRSTYLE HOMES Pty Ltd
Lic No: 1134120
ACN: 087 773 779
PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 8731 2600
FAX: (02) 9601 0711
EMAIL: design@firstyle.com.au

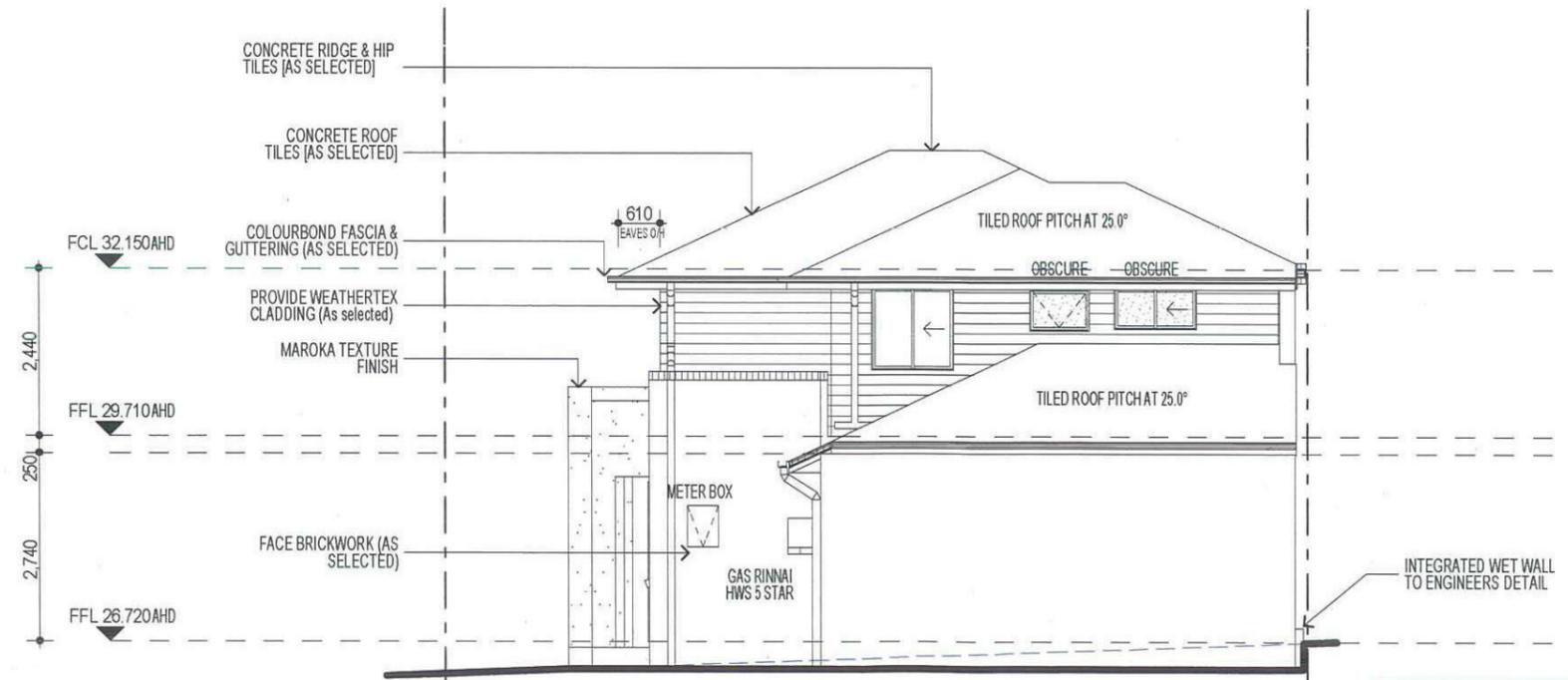
HIA members
the best in the business



• ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A. RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED
• ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL
• ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION
• ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK, ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR
• FIRSTYLE HOMES SITE SAFETY RULES APPLY
• DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PREFERENCE
• THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.



ELEVATION B



ELEVATION D

NOTE
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

NOTE:
ALL COMPONENTS SUCH AS: APPLIANCES, PLUMBING FITTINGS & FIXTURES, DOORS, CABINETRY, HANDLES, P.C ITEMS, ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS

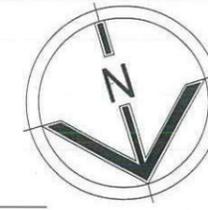
Thorton Design Review Panel

LANDCOM

Reviewed: *[Signature]* Date: 3/5/14

PROMOTION: LIVING/STYLE COLLECTION			
CLIENT: FIRSTYLE			
LOCATION: LOT 2227 CNR OF WILLIAM HART CRESCENT & WOODROW WAY, PENRITH NSW 2750			
DP: SUBDIVISION OF LOT 1197 DP 1171491	council: PENRITH		
model: SANDFIELD 19	facade: MILLENNIUM	date: 27/05/2014	quotation assessment: SK1
Sheet: 7 of 11	drawn: G.P./L.D.S.	checked: P.D.	scale: 1:100
			739-14
CLIENT'S SIGNATURE			DATE

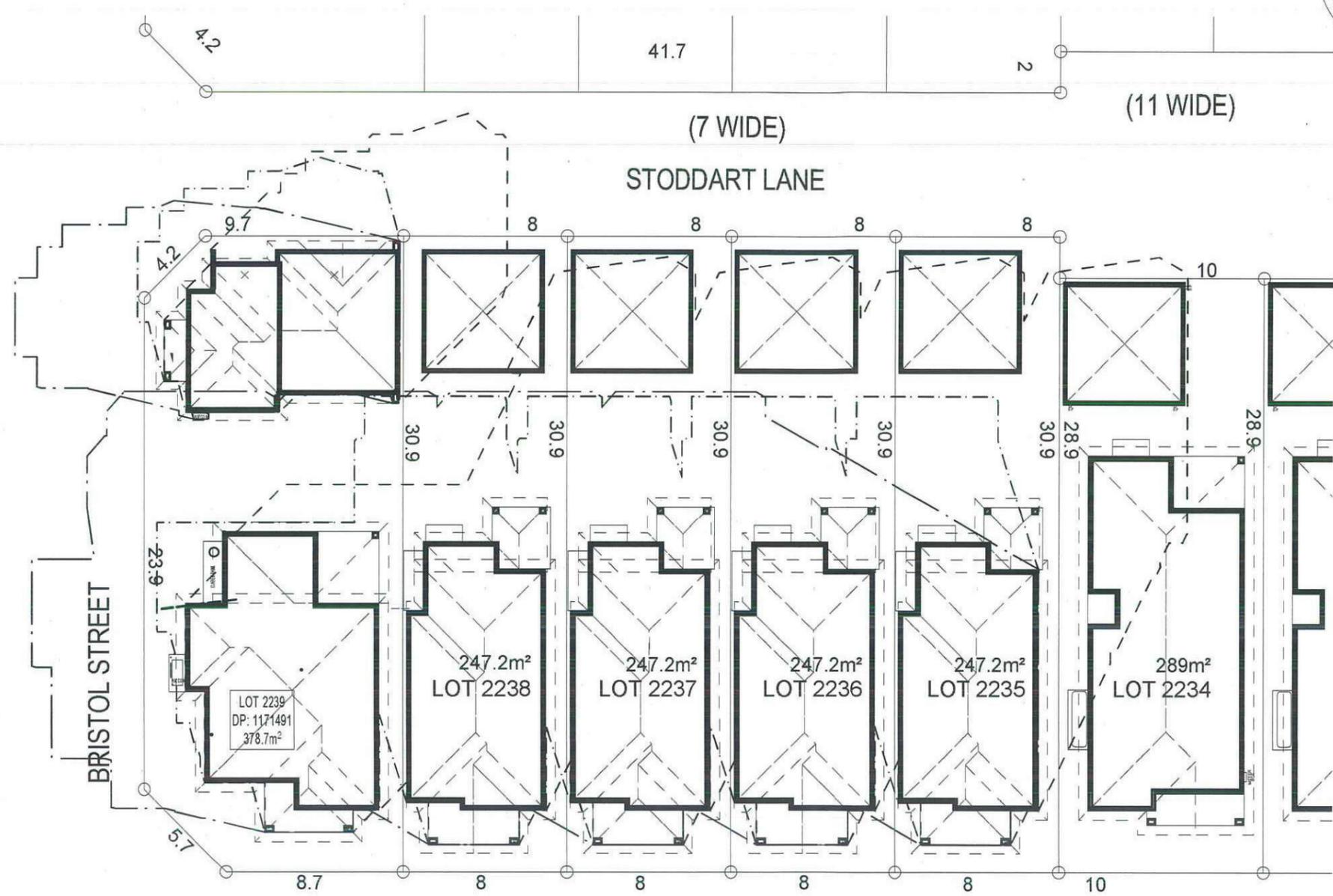
ELEVATIONS



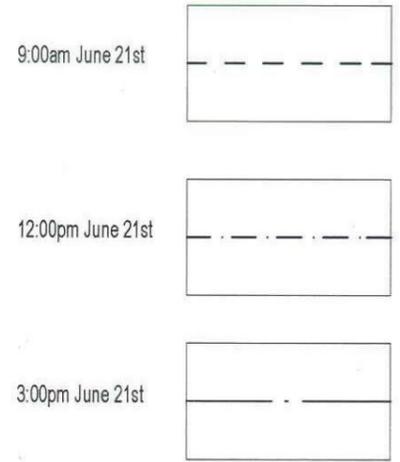
HIA members
 the best in the business



• ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A., RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
 • ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.
 • ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
 • ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK. ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.
 • FIRSTYLE HOMES SITE SAFETY RULES APPLY.
 • DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PRECEDENCE.
 • THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.



SHADOW DIAGRAM

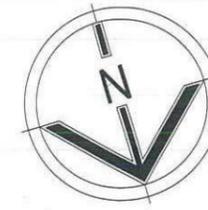


Thorton Design Review Panel
 LANDCOM
 Reviewed: *[Signature]* Date: 30/5/14

NOTE:
 ALL COMPONENTS SUCH AS: APPLIANCES, PLUMBING FITTINGS & FIXTURES, DOORS, CABINETRY, HANDLES, PC ITEMS, ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS

PROMOTION: LIVING/STYLE COLLECTION			
CLIENT: FIRSTYLE			
LOCATION: LOT 2227 CNR OF WILLIAM HART CRESCENT & WOODROW WAY, PENRITH NSW 2750			
DP: SUBDIVISION OF LOT 1197 DP 1171491	facade: MILLENNIUM	council: PENRITH	date: 27/05/2014
model: SANDFIELD 19	drawn: G.P./L.D.S.	checked: P.D.	population assessment: SK 1
Sheet: 9 of 11	scale: 1:250	739-14	
CLIENTS SIGNATURE		DATE	

SHADOW DIAGRAM

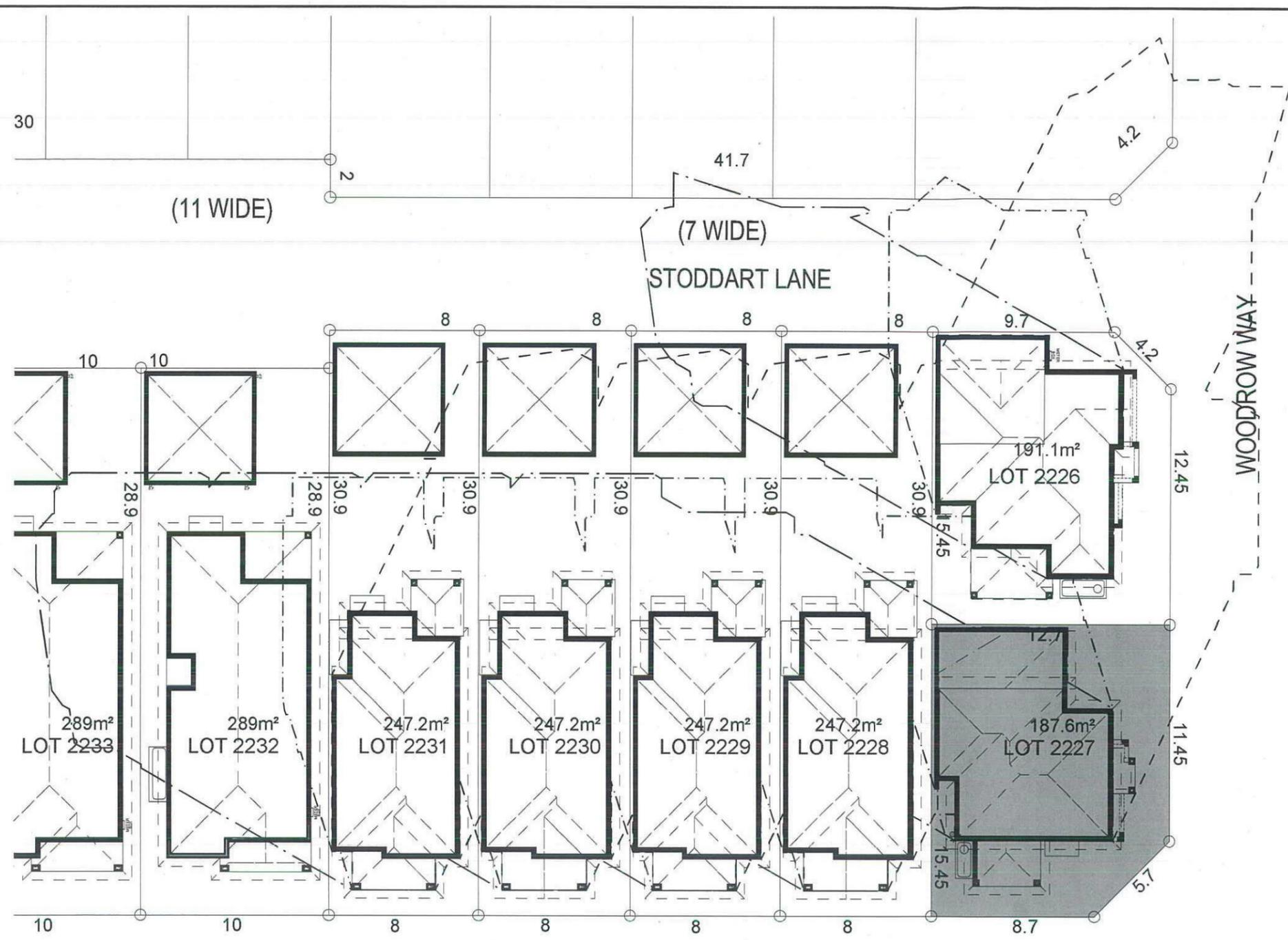
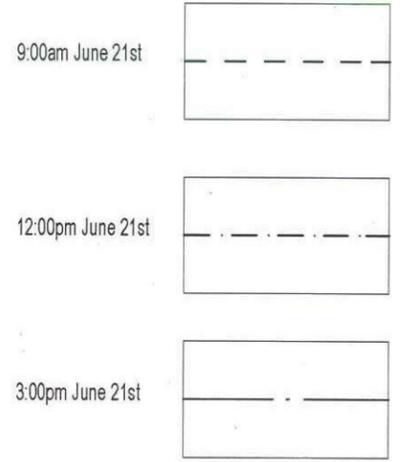


HIA members
 the best in the business



• ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A., RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
 • ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATIONS AS PER REQUIRED BY COUNCIL.
 • ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
 • ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK, ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.
 • FIRSTYLE HOMES SITE SAFETY RULES APPLY.
 • DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PRECEDENCE.
 • THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.

SHADOW DIAGRAM



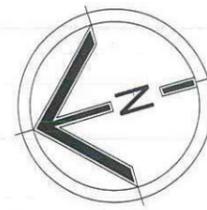
WILLIAM HART CRESCENT

Thorton Design Review Panel
 LANDCOM
 Reviewed *[Signature]* Date 30/6/14

NOTE:
 ALL COMPONENTS SUCH AS: APPLIANCES; PLUMBING FITTINGS & FIXTURES; DOORS; CABINETS; HANDLES; PC ITEMS; ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS

PROMOTION: LIVING/STYLE COLLECTION			
CLIENT: FIRSTYLE			
LOCATION: LOT 2227 CNR OF WILLIAM HART CRESCENT & WOODROW WAY, PENRITH NSW 2750			
DP: SUBDIVISION OF LOT 1197 DP 1171491	council: PENRITH		
model: SANDFIELD 19	facade: MILLENNIUM	date: 27/05/2014	position assessment: SK1
Sheet: 10 of 11	drawn: G.P./D.S.	checked: P.D.	scale: 1:250
			739-14
CLIENT'S SIGNATURE		DATE	

SHADOW DIAGRAM (2)



HIA members
 the best in the business



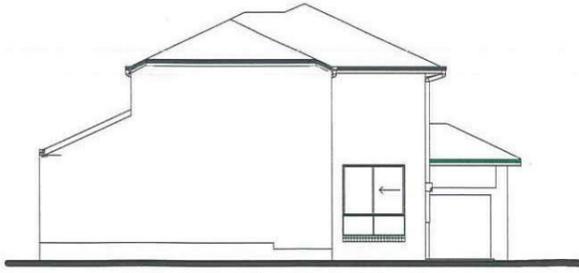
• ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A. RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
 • ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.
 • ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
 • ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK, ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.
 • FIRSTYLE HOMES SITE SAFETY RULES APPLY.
 • DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PREFERENCE.
 • THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.



ELEVATION A



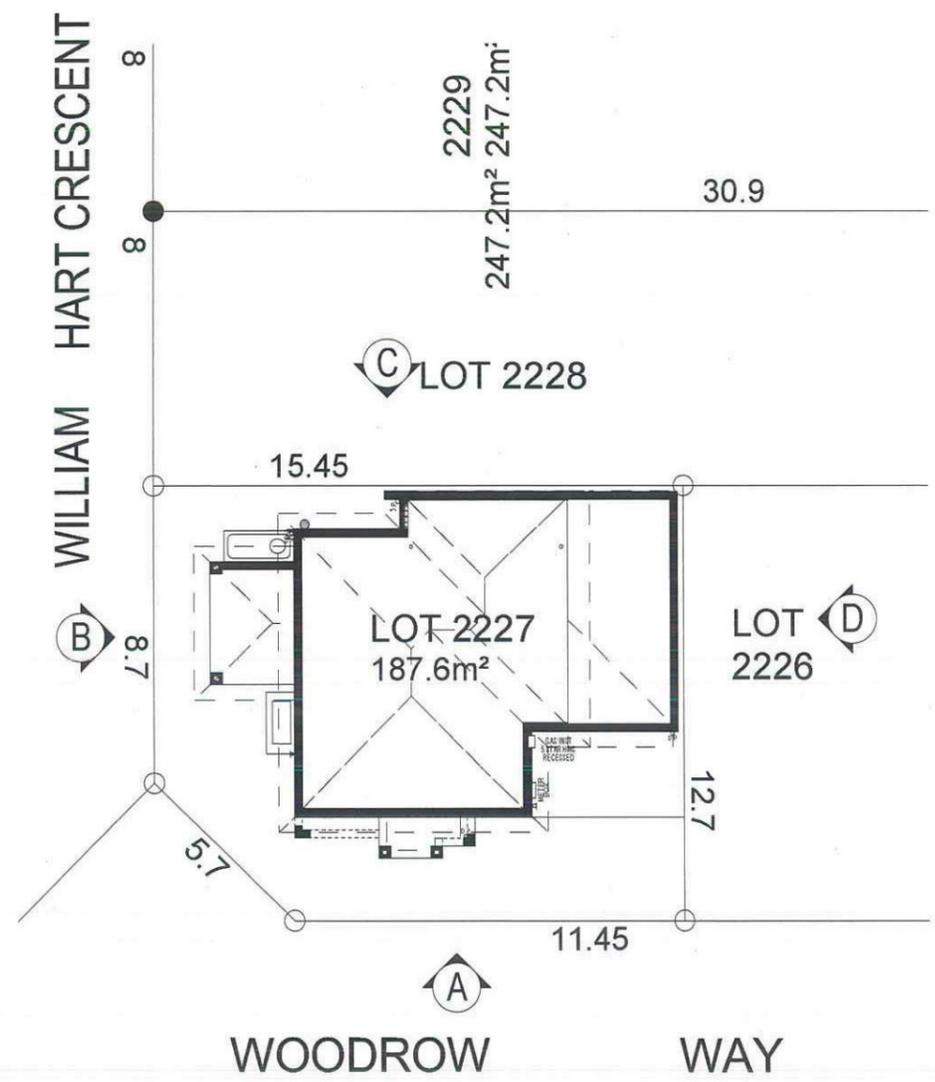
ELEVATION B



ELEVATION C



ELEVATION D



NOTE:
 ALL COMPONENTS SUCH AS: APPLIANCES, PLUMBING FITTINGS & FIXTURES, DOORS, CABINETRY, HANDLES, P.C ITEMS, ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS

Thorton Design Review Panel
 LANDCOM
 Reviewed: *[Signature]* Date: 30/5/14

PROMOTION: LIVING/STYLE COLLECTION			
CLIENT: FIRSTYLE			
LOCATION: LOT 2227 CNR OF WILLIAM HART CRESCENT & WOODROW WAY, PENRITH NSW 2750			
DP: SUBDIVISION OF LOT 1197 DP 1171491	facade: MILLENNIUM	council: PENRITH	date: 27/05/2014
model: SANDFIELD 19	checked: G.P./L.D.S.	scale: NTS	qualification assessment: SK1
Sheet: A	drawn: G.P./L.D.S.	checked: P.D.	739-14
CLIENT'S SIGNATURE		DATE	

NOTIFICATION PLAN



**PRELIMINARY SUREVEY
 LOTS 2226-239 NORTH PENRITH**

Lot 2227

PLANT SCHEDULE Prepared by ecodesign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Aw	Agapanthus 'White'	White Agapanthus	41	200mm	0.5m
Lcj	Lomandra confertifolia 'Crackerjack'	Fine-leaved Lomandra	6	140mm	0.45m
Lwf	Liriope muscari 'Monroe's White'	Liriope (white flowering)	24	200mm	450mm
Mlg	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	1	25L	4m
Vo	Viburnum odoratissimum	Sweet Viburnum	14	200mm	2.5m

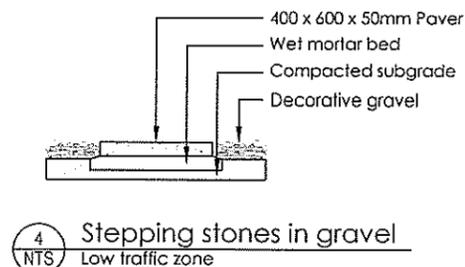
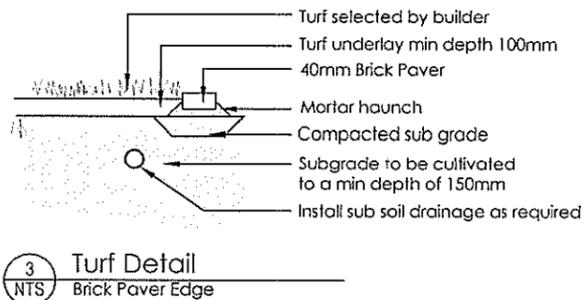
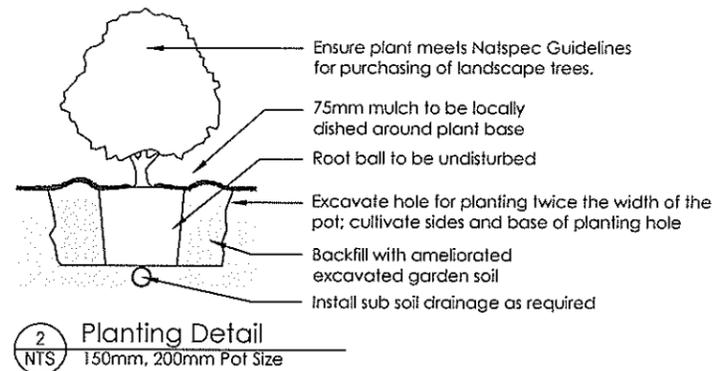
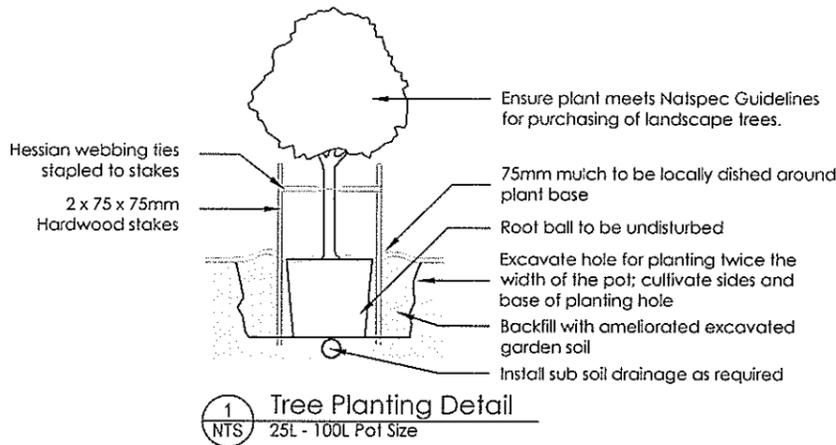
LOT PLANTING SUMMARY

Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
86	14	41	31	1

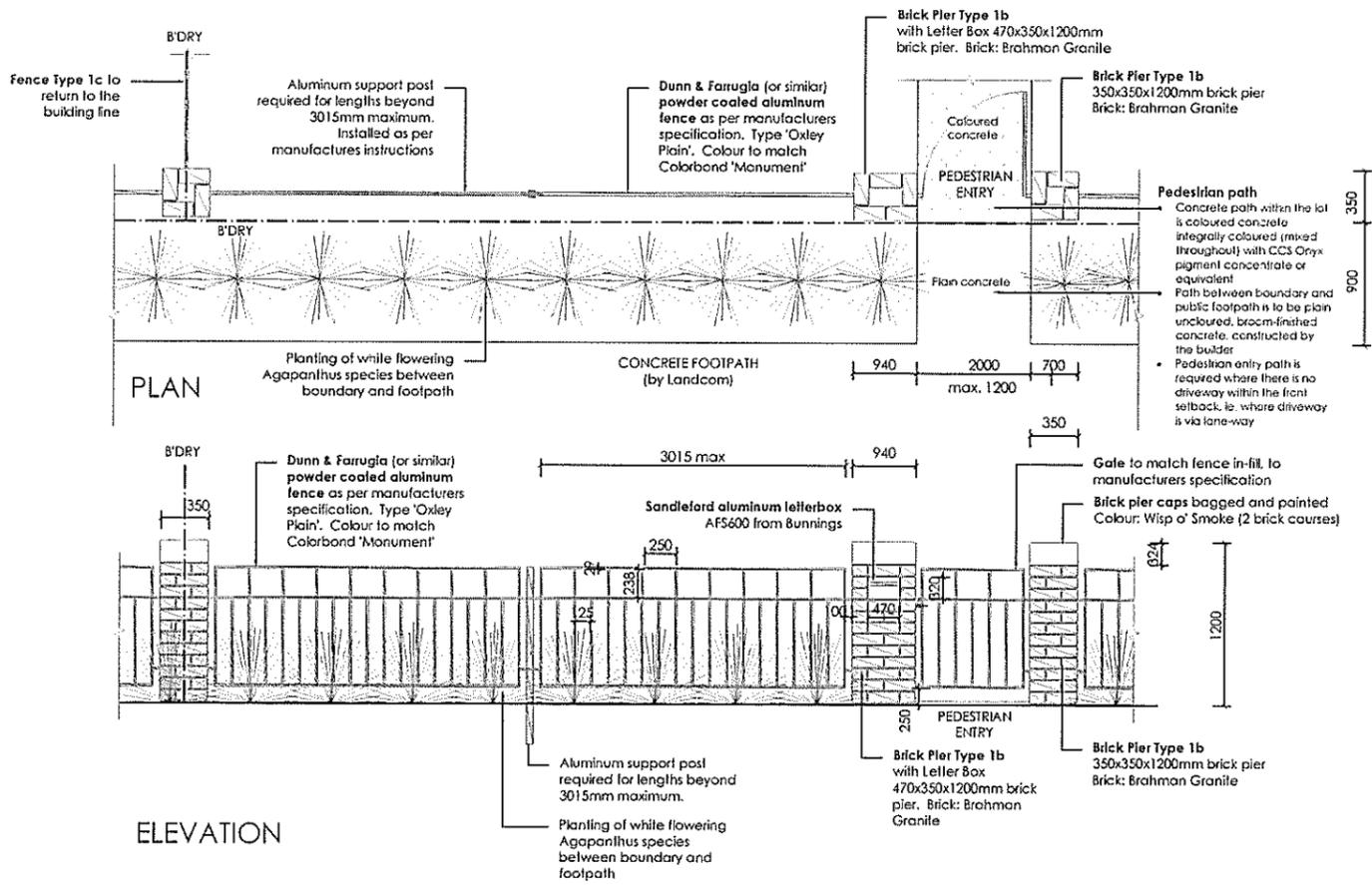
Minimum of 1 tree and 20 shrubs / groundcovers to each front / side yard (excluding fence hedging)

LEGEND

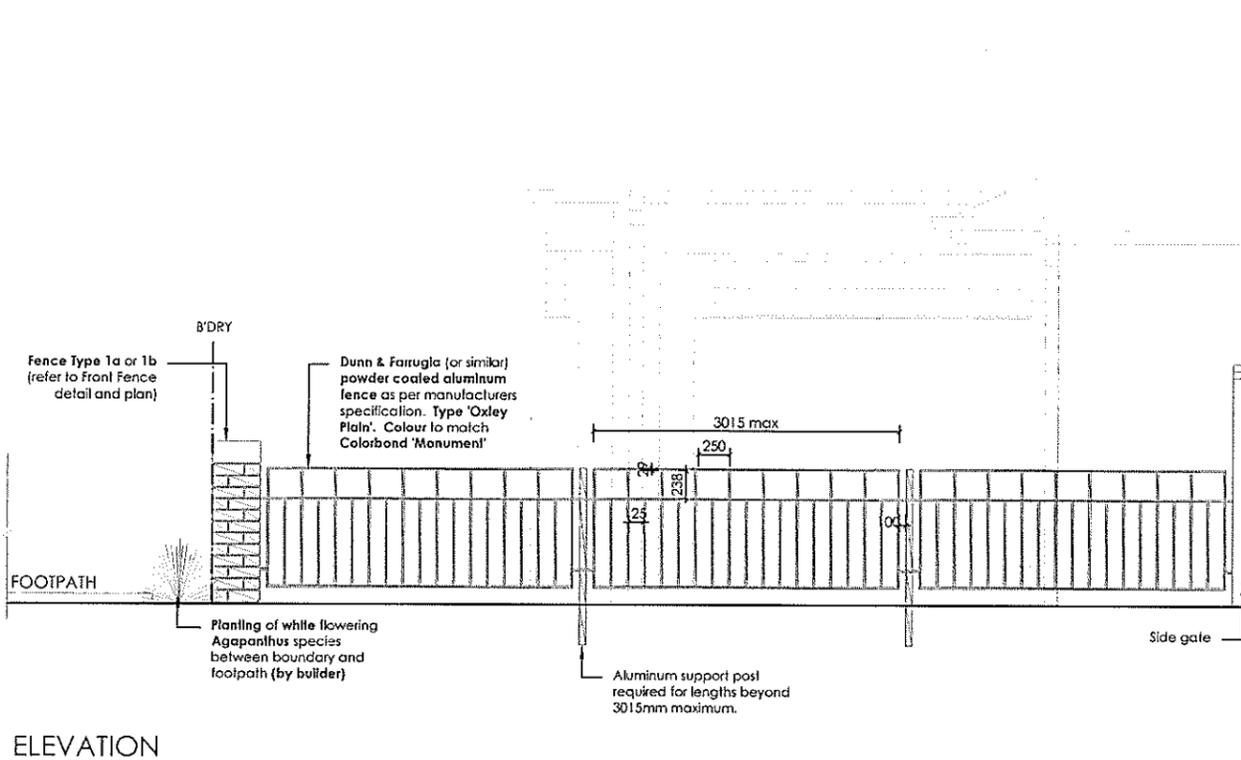
- Proposed trees - refer to plant schedule
- Proposed shrubs - refer to plant schedule
- Proposed accents & grasses - refer to plant schedule
- Proposed groundcovers and grasses - refer to plant schedule
- Existing levels
- Proposed levels
- Proposed Top Of Wall levels
- Boundary
- Garden edging
- Masonry retaining walls
- Existing contours



A ISSUE FOR CLIENT REVIEW B AMEND TO CLIENT COMMENT C ADD DA DETAILS	BT PS 05-05-14 BT RS 09-05-14 BT RS 12-05-14	PO Box 8126, Southport QLD 4215 Ph: (07) 5537712 Fax: (07) 5507705 Email: info@ecodesign.com.au Web: www.ecodesign.com.au	LOT 2227 WOODROW WAY, PENRITH		NEW RESIDENCE	
			FIRSTYLE		LANDSCAPE PLAN	
1. Do not scale from drawings 2. Verify all measurements on site 3. Notify ecodesign of any access services 4. Copyright © ecodesign. All Rights Reserved 5. Drawings remain the property of ecodesign			6. All work to comply with relevant Australian Standards or Building Code of Australia 7. All work to be performed by a suitably qualified tradesperson 8. For application purposes only - NOT FOR CONSTRUCTION		1:100 @ A3 DA 02	BT RS 12-05-14 C

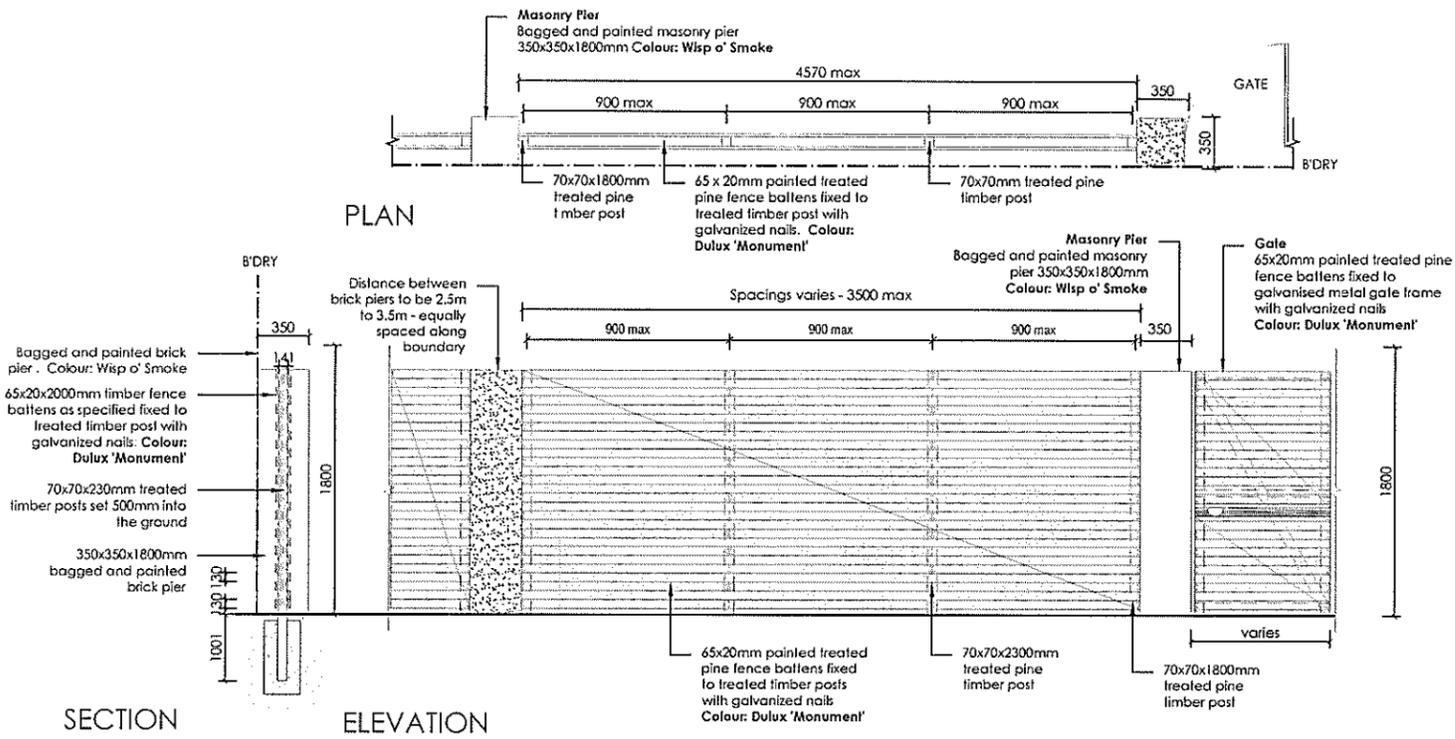


5 FENCE TYPE 1b - Front Fence
1:50 Typical detail

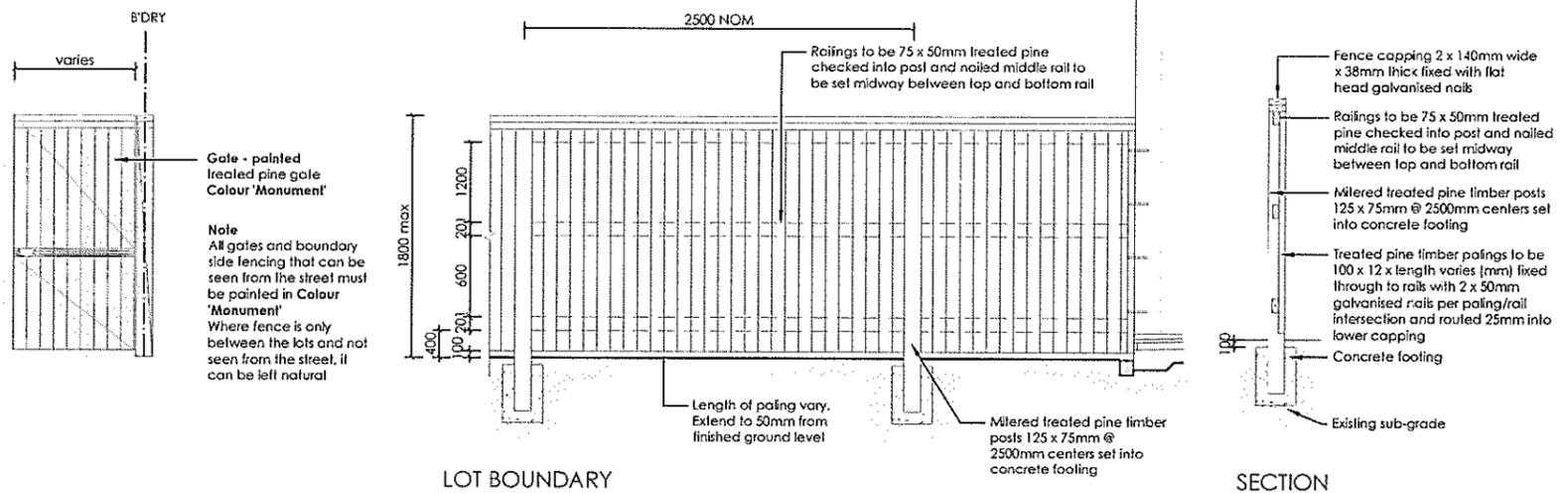


6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

A. ISSUE FOR CLIENT REVIEW B. AMEND TO CLIENT COMMENT C. ADD DA DETAILS	BT	RS	05-05-14	PO Box 8156, Bayswater VIC 3153 Ph: (03) 9450 7712 Fax: (03) 9450 7725 Email: info@ecodeign.com.au Web: www.ecodeign.com.au	LOT 2227 WOODROW WAY, PENRITH		NEW RESIDENCE			
	BT	RS	09-05-14		FIRSTSTYLE		LANDSCAPE PLAN			
1. Do not scale from drawings 2. Verify all measurements on site 3. Notify ecodeign of any in-situ services 4. Copyright © ecodeign. All rights reserved. 5. Drawing remains the property of ecodeign				6. All work to comply with relevant Australian Standards or Building Code of Australia 7. All work to be performed by a suitably qualified tradesperson 8. For application purposes only - NOT FOR CONSTRUCTION				1:100 @ A3	DA	03
BT		RS		12-05-14		C				

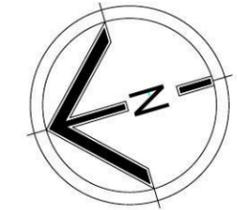


7 FENCE TYPE 2a - Secondary Street Fencing
1:50 Typical detail



8 FENCE TYPE 4a - Side Boundaries
1:50 Typical detail

A ISSUE FOR CLIENT REVIEW B AMEND TO CLIENT COMMENT C ADD DA DETAILS	BT RS 05-05-14 BT RS 09-05-14 BT RS 12-05-14	 PO Box 813a Southport QLD 4215 Ph: (07) 9450 7712 Fax: (07) 9450 7705 Email: info@ecodeSIGN.com.au Web: www.ecodeSIGN.com.au Member of the Australian Institute of Landscape Architects	LOT 2227 WOODROW WAY, PENRITH	NEW RESIDENCE LANDSCAPE PLAN	
1. Do not scale from drawing 2. Vary all measurements on site 3. Notify ecodeSIGN of any material changes 4. Copyright © ecodeSIGN. All rights reserved 5. Drawing remains the property of ecodeSIGN	6. All work to comply with relevant Australian Standards or Building Code of Australia 7. All work to be performed by a suitably qualified tradesperson 8. For application purposes only. NOT FOR CONSTRUCTION	FIRSTYLE	1:100 @ A3 DA 04	BT RS 12-05-14	C



HIA members
 the best in the business



ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A. RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
 ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.
 ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
 ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK. ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.
 FIRSTSTYLE HOMES SITE SAFETY RULES APPLY.
 DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PREFERENCE.
 THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.

BASIX
 = 34.9m² of roof area to discharge to water tank.
 =89.1m² stormwater and overflow to discharge to existing street channel.
 o/a= 124m² of roof area.

LEGEND:
 ● = SURFACE INLETS AS REQUIRED
 ○ = SURFACE INLETS LINE
 --- = STORMWATER LINE

EARTHWORKS
 HOUSE: FFL 26.720
 (LIVING) FGL 26.320
 GARAGE: FFL 26.550
 FGL 26.150

NOTE:
 REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

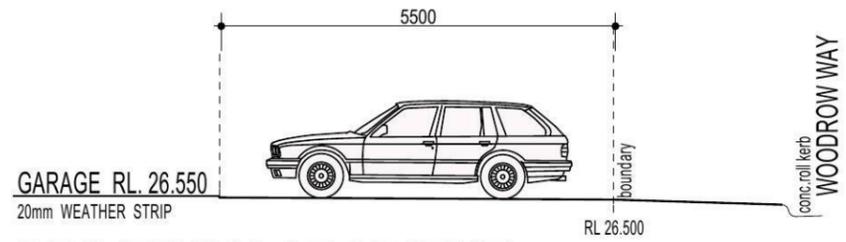
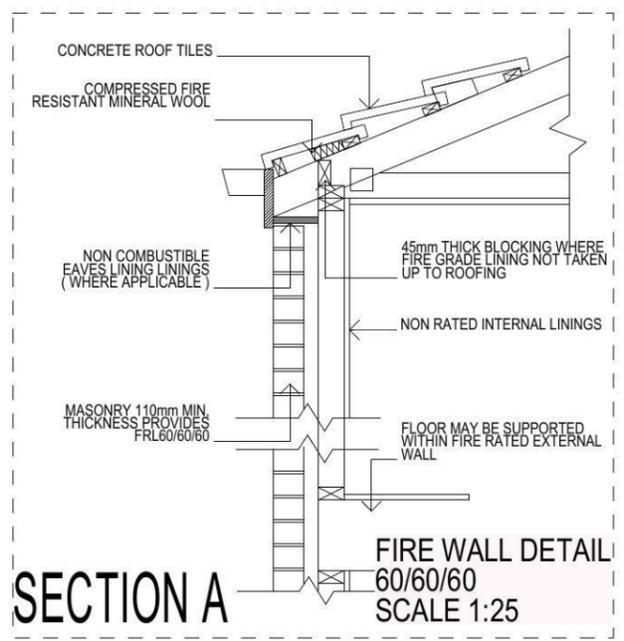
GENERAL DRAINAGE NOTES
 1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
 2. Stormwater pipes to be 100mm DIA.(Min) at 1 deg. Grade (Min) to AS3500
 3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
 4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
 5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.

note:
 r.l. levels indicative to a building tolerance of +/- 90mm.
NOTE:
 EAVES O/IH TO ENCROACH AS ALLOWED BY B.C.A:CL3.7.1.7 & FIGURE 3.7.1.9

FIBRE OPTIC WIRING PACKAGE

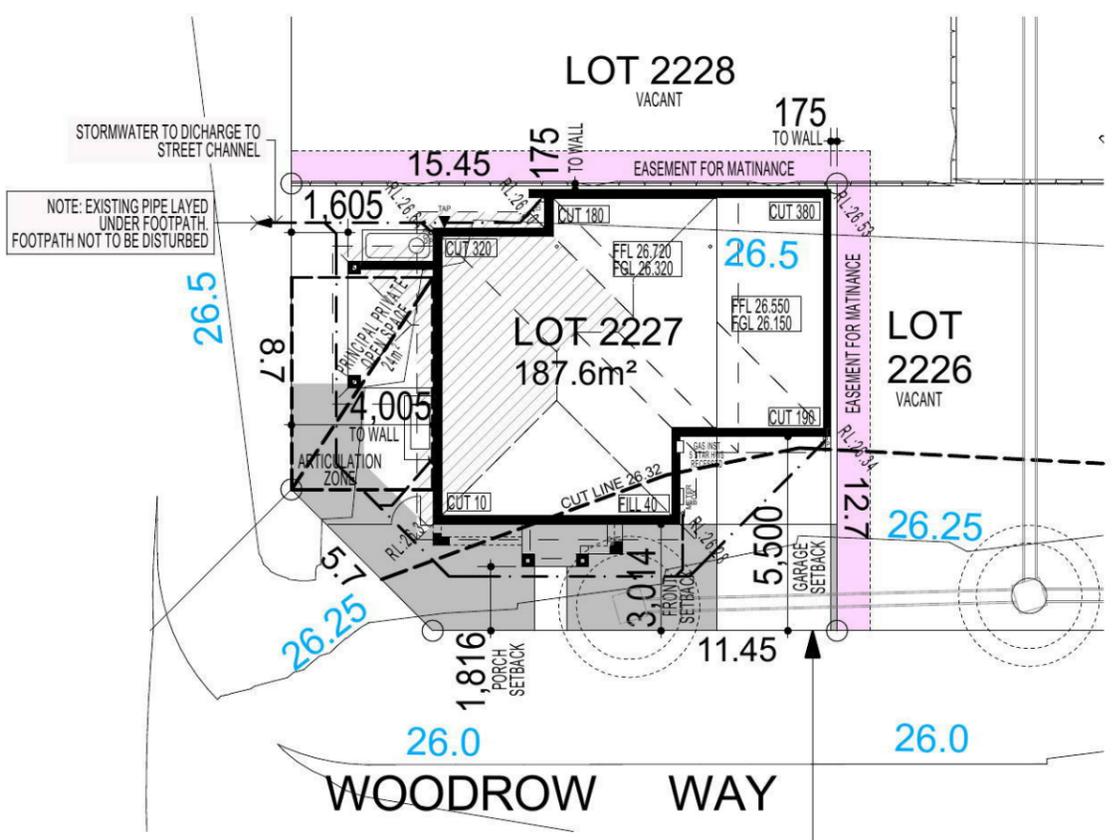
NOTE:
 PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
 ALL COMPONENTS SUCH AS; APPLIANCES; PLUMBING FITTINGS & FIXTURES; DOORS; CABINETRY; HANDLES; PC ITEMS; ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS



DRIVEWAY GRADIENT
 SCALE 1:100

WILLIAM HART CRESCENT



NOTE:
 FINAL GARAGE LEVELS TO BE DETERMINED ON SITE

NOTE:
 DRIVEWAY DESIGN IN ACCORDANCE WITH AS/NZS 2890.1:2004 WITH COUNCIL DCP GUIDELINE
 SIGN:..... DATE:.....

NOTE
 AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
 3-PHASE POWER

SITE PLAN & STORMWATER CONCEPT PLAN

DEVELOPMENT CALCULATIONS

LOT: 2227 NO: 00 OF SITE AREA: 187.6m²

Itemised Floor Areas:	Totals:
living ground floor:	70.15m ²
first floor: (excl. void 64.04m ²)	70.26m ²
garage: (excess 00.000m ²)	22.56m ²
alfresco:	8.60m ²
porch:	3.08m ²
balcony:	00.00m ²
total floor area:	174.65m²

FLOOR SPACE RATIO CALCULATION:

gross floor areas:	Totals:
living ground floor: (internal area)	62.70m ²
first floor excl. void: (internal area)	56.46m ²
total gross floor area:	119.16m²
floor space ratio:	0.64:1

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	70.15m ²
garage:	22.56m ²
porch/alfresco:	11.68m ²
driveway/paved area:	18.15m ²
site coverage Area:	104.39m²(55.6%)
landscape area:	83.21m ² (44.4%)
pervious areas (soft)	65.06m ² (34.7%)
impervious areas (hard)	122.54m ² (65.3%)
front yard landscape area	26.59m ² (14.2%)
front yard hard paved area	1.65m ² (0.88%)
private open space o/a:	41.85m ²
principal private open space:	24.00m ²
total car space incl. carstand:	2 carspace

COUNCIL ZONE: R1

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
 LOT 2227 CNR OF WILLIAM HART CRESCENT & WOODROW WAY, PENRITH NSW 2750

DP:	council:
SUBDIVISION OF LOT 1197 DP 1171491	PENRITH
model:	facade:
SANDBFIELD 19	MILLENNIUM
date:	quotation assessment:
27/05/2014	SK1
Sheet:	drawn:
1 of 11	G.P./L.D.S.
checked:	P.D
scale: 1:200, 1:100	739-14

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

STRAW BALE IMPALED ON STAR PICKET
PLACED FIRMLY INTO THE GROUND
2 STAR PICKETS PER STRAW BALE

STRAW BALES TO BE REBOUND
WITH METAL PACKING STRIP
PRIOR TO PLACEMENT

ROCK DRILL HOLE 300mm DEEP AND GROUT
STAR PICKETS OR 2 x 16mm REINFORCEMENT
BARS AS OPTION TO STAR PICKETS

**STRAW BALE BARRIER
(TYPICAL SECTION)**

50 x 50 x 1000 STAKE
OR STAR PICKET

MEMBRANE TO BE BIDIM
U 24 OR APP EQUIVALENT

BURY APPROXIMATELY 150mm OF
MEMBRANE AND TEMP. BACKFILL
TO RESTORE PRIOR NATURAL
SURFACE LEVEL

NATURAL SURFACE DOWNHILL
OF MEMBRANE NOT TO BE
DISTURBED

SILT FENCING DETAIL

CONSTRUCTION SITE

GEOTEXTILE FABRIC

Min. length 15m

BERM (0.3m
MIN. HIGH)

50-75mm GRAVEL

RUNOFF FROM PAD
DIRECTED TO SEDIMENT TRAP

EXISTING ROADWAY

TEMPORARY CONSTRUCTION EXIT

SANDBAGS OVERLAP
ONTO KERB

THREE LAYERS OF SAND BAGS
WITH ENDS OVERLAPPED

GAP BETWEEN SANDBAGS
ACT AS SPILLWAY

**SANDBAG KERB INLET
SEDIMENTATION TRAP**

DUST CONTROL MEASURES:

IF THE SITE BECOMES DUSTY DURING HOTTER MONTHS
(FIRSTYLE) WILL SPRINKLE WATER ON THE DUST

ANY AREA OF ROAD BASE WILL BE POSITIONED FOR HEAVY
VEHICLES TO REDUCE & PROVIDE AN AREA TO WASH TRUCKS
OFF (IF REQUIRED)

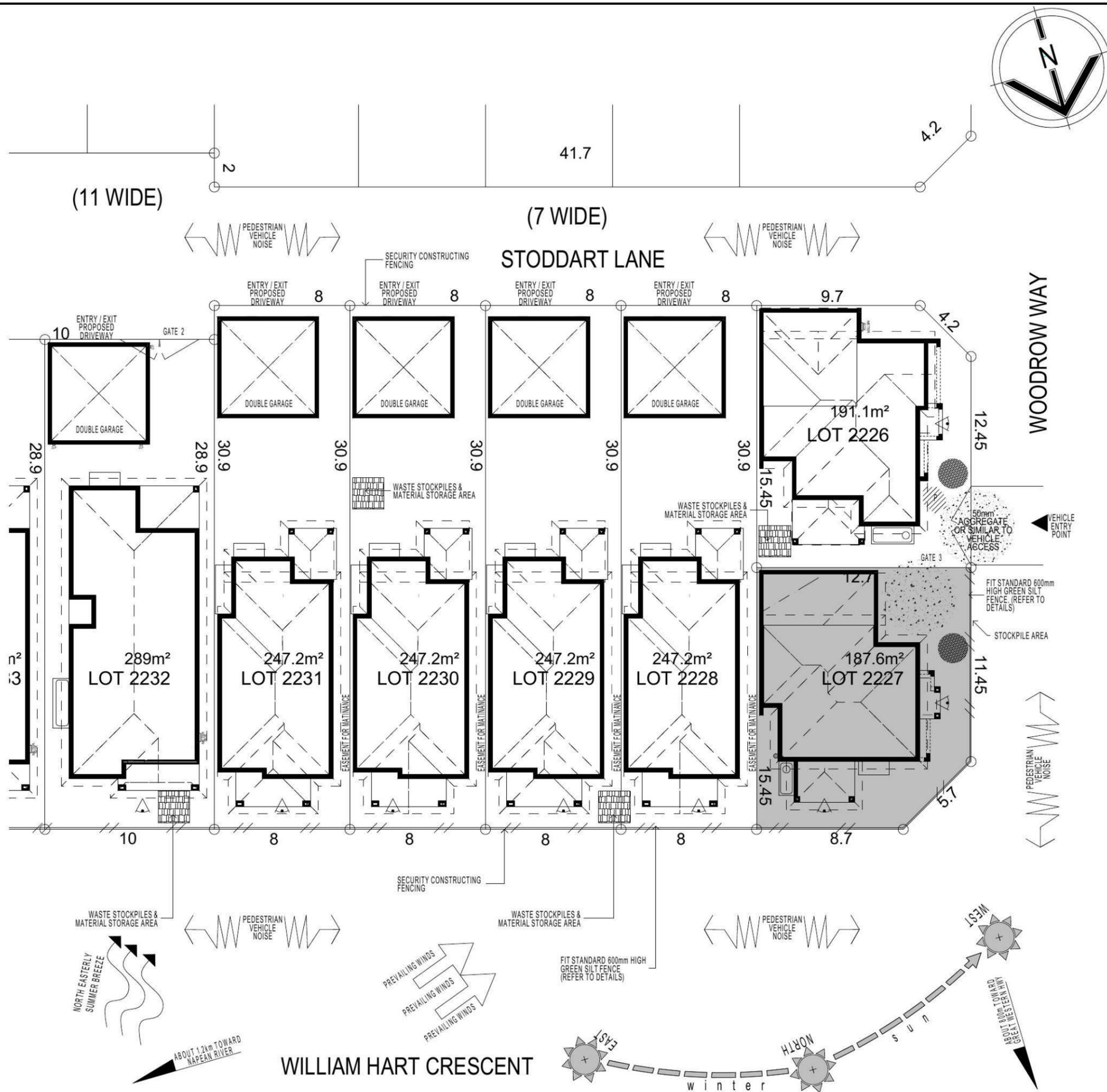
NOISE & VIBRATION MEASURES:

ALL EXCAVATION WILL BE CARRIED OUT BETWEEN THE TIME
SET OUT IN THE COUNCIL CONDITIONS

MACHINERY SIZE WILL BE KEPT TO A MINIMUM REQUIRED FOR
THE JOB

NOTE:

ALL COMPONENTS SUCH AS: APPLIANCES;
PLUMBING FITTINGS & FIXTURES; DOORS;
CABINERY; HANDLES; PC ITEMS; ARE SHOWN
ON THE PLANS & ELEVATIONS FOR
ILLUSTRATION PURPOSES ONLY & TO
COMMUNICATE APPROX SIZES. PLEASE REFER
TO YOUR SPECIFICATIONS FOR YOUR RELEVANT
INCLUSIONS



FIRSTYLE HOMES

FIRSTYLE HOMES Pty Ltd
Lic No. 113412C
ACN. 087 773 779
PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 9731 9600
FAX: (02) 9601 0711
EMAIL: design@firstyle.com.au

HIA members
the best in the business

MASTER BUILDERS ASSOCIATION
MEMBER

• ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A. RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.

• ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.

• ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.

• ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK. ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.

• FIRSTYLE HOMES SITE SAFETY RULES APPLY.

• DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PREFERENCE.

• THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.

KEY	
	SOLAR ACCESS
	NUMBER OF STOREY'S
	PREVAILING WINDS
	EXISTING TREES
	TREES TO BE REMOVED
	DIRECTION & DISTANCES
	NOISE
	VEHICULAR SITE ENTRY
	HWS
	VIEWS
	PRIVATE OPEN SPACE
	OVERLOOKING
	RAINWATER TANK (Underground)
	A/C UNIT (if required)

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTYLE

LOCATION:
LOT 2227 CNR OF WILLIAM HART CRESCENT & WOODROW WAY, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 DP 1171491	council: PENRITH
model: SANDFIELD_19	facade: MILLENNIUM
date: 27/05/2014	quotation assessment: SK1
drawn: G.P./L.D.S.	checked: P.D.
scale: 1:250	739-14

WASTE MANAGEMENT / SITE ANALYSIS (2)

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE FINISH TO BRICKWORK (AS SELECTED)
-  WEATHERTEX CLADDING PAINTED FINISH (AS SELECTED)

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

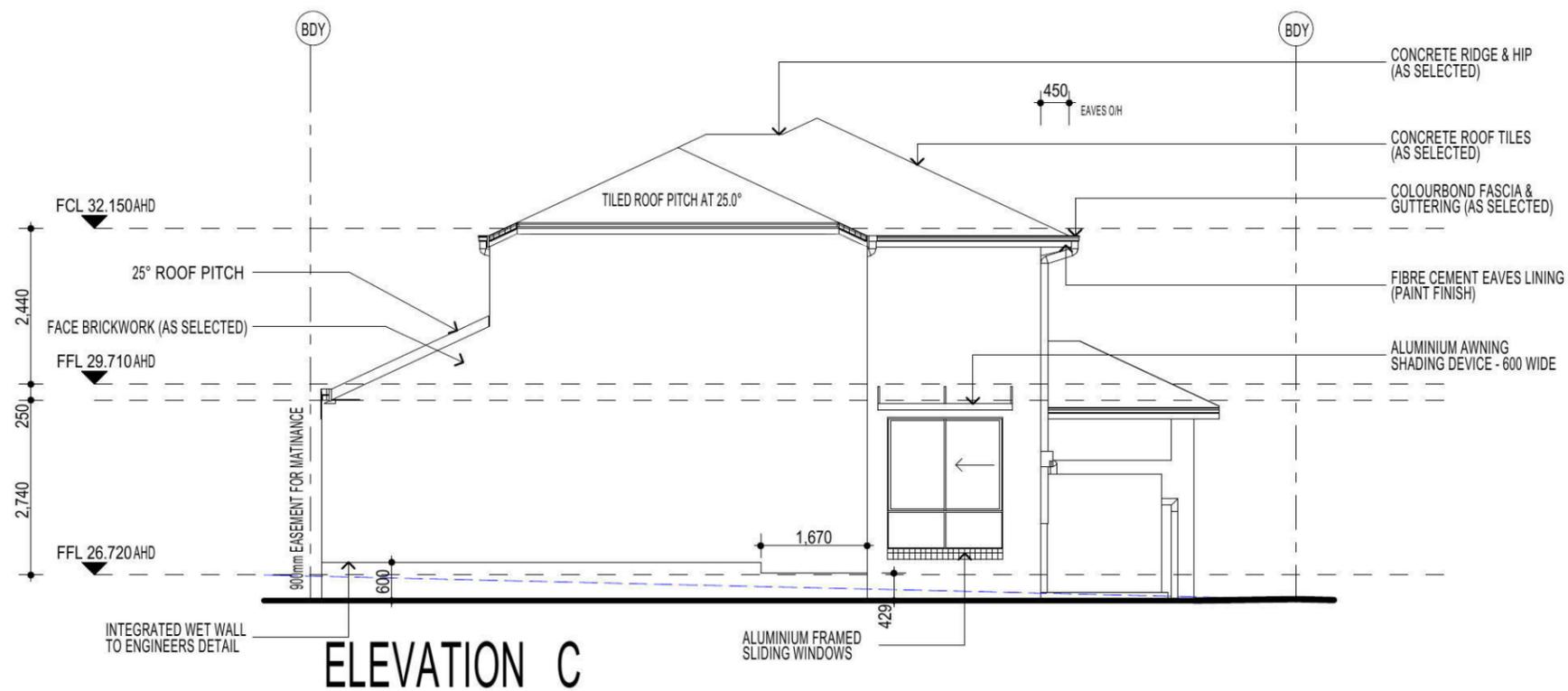
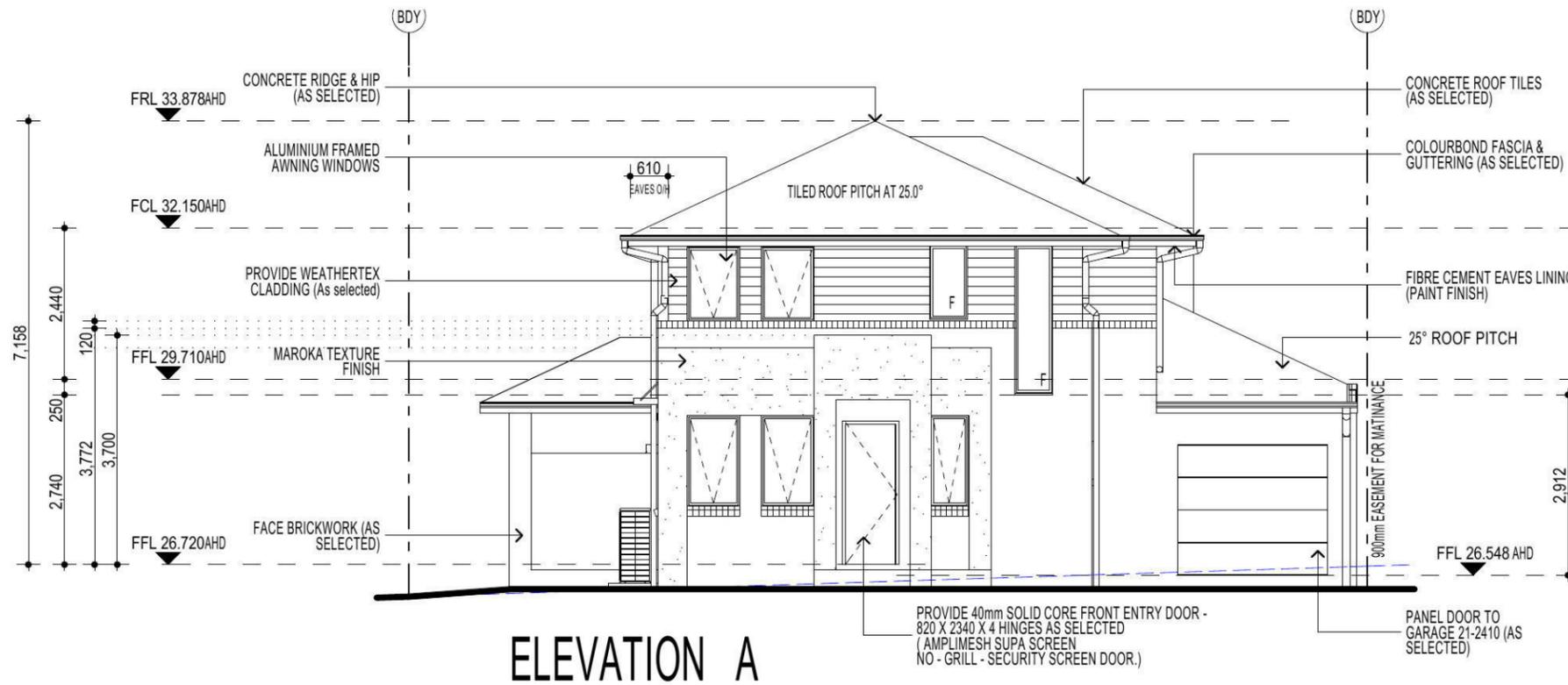
FIRSTSTYLE HOMES Pty.Ltd
Lic No. 113412C
ACN. 087 773 779
PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 9731 9600
FAX: (02) 9601 0711
EMAIL: design@firststyle.com.au

HIA members
the best in the business

MASTER BUILDERS ASSOCIATION
MEMBER

• ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A., RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
• ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.
• ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
• ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK. ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.
• FIRSTSTYLE HOMES SITE SAFETY RULES APPLY.
• DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PREFERENCE.
• THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.



- NOTE**
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER
- FIBRE OPTIC WIRING PACKAGE**
- NOTE:**
PROVIDE GRANITGARD
TERMITE TREATMENT
- NOTE:**
ALL COMPONENTS SUCH AS; APPLIANCES;
PLUMBING FITTINGS & FIXTURES; DOORS;
CABINETS; HANDLES; PC ITEMS; ARE SHOWN
ON THE PLANS & ELEVATIONS FOR
ILLUSTRATION PURPOSES ONLY & TO
COMMUNICATE APPROX SIZES. PLEASE REFER
TO YOUR SPECIFICATIONS FOR YOUR RELEVANT
INCLUSIONS.

PROMOTION: LIVING/STYLE COLLECTION			
CLIENT: FIRSTSTYLE			
LOCATION: LOT 2227 CNR OF WILLIAM HART CRESCENT & WOODROW WAY, PENRITH NSW 2750			
DP: SUBDIVISION OF LOT 1197 DP 1171491	model: SANDFIELD 19	facade: MILLENNIUM	council: PENRITH
date: 27/05/2014	quotation assessment: SK1	Sheet: 6 of 11	
drawn: G.P./L.D.S.	checked: P.D.	scale: 1:100	739-14
CLIENTS SIGNATURE: _____		DATE: _____ S.P. 0.0.	

ELEVATIONS

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE FINISH TO BRICKWORK (AS SELECTED)
-  WEATHERTEX CLADDING PAINTED FINISH (AS SELECTED)

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

FIRSTSTYLE HOMES Pty.Ltd
Lic No. 113412C
ACN. 087 773 779
PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 9731 9600
FAX: (02) 9601 0711
EMAIL: design@firststyle.com.au

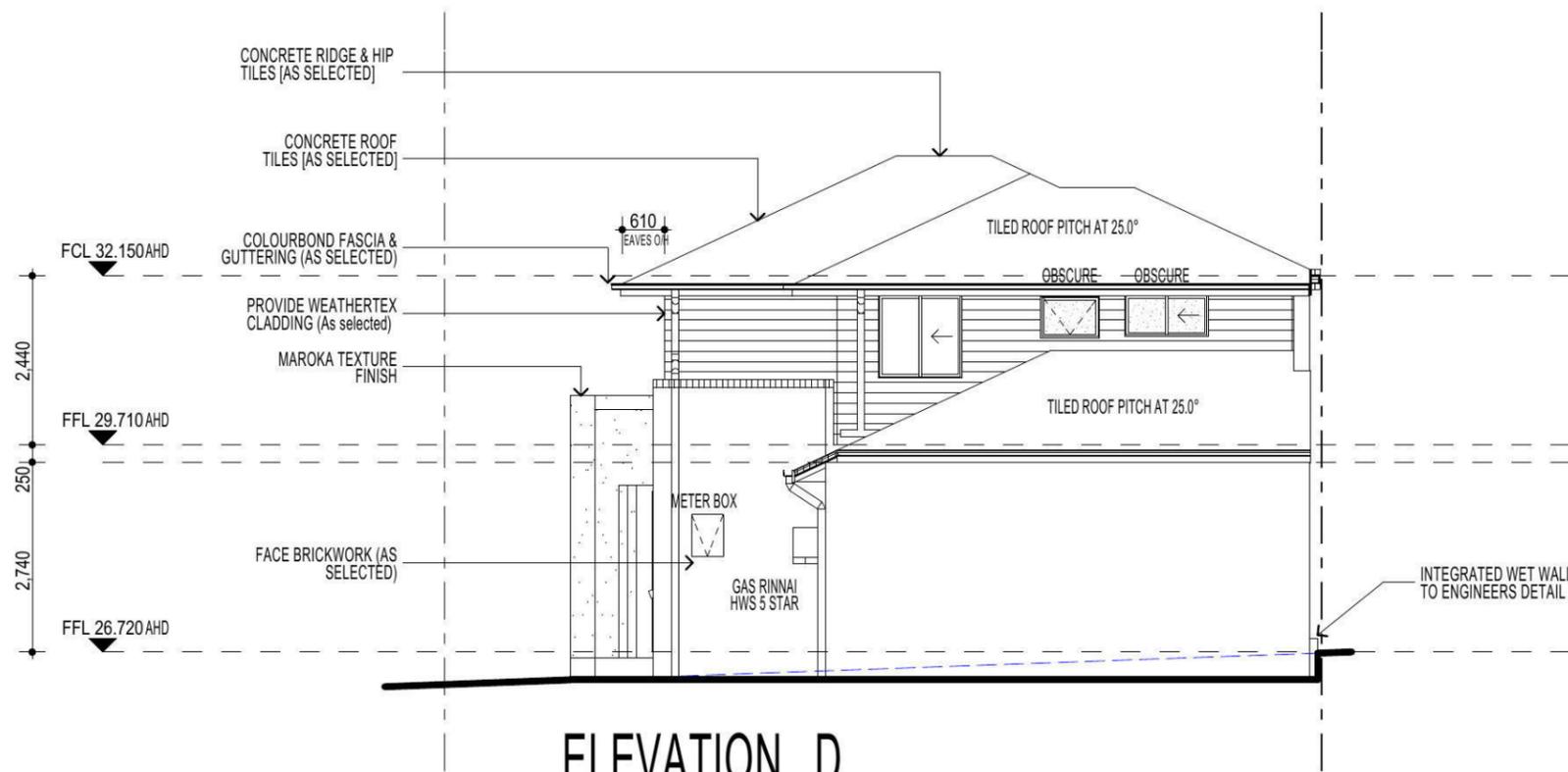
HIA members
the best in the business

MASTER BUILDERS ASSOCIATION
MEMBER

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A. RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
- ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.
- ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
- ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK. ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.
- FIRSTSTYLE HOMES SITE SAFETY RULES APPLY.
- DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PREFERENCE.
- THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.



ELEVATION B



ELEVATION D

NOTE
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

NOTE:
ALL COMPONENTS SUCH AS: APPLIANCES;
PLUMBING FITTINGS & FIXTURES; DOORS;
CABINETS; HANDLES; PC ITEMS; ARE SHOWN
ON THE PLANS & ELEVATIONS FOR
ILLUSTRATION PURPOSES ONLY & TO
COMMUNICATE APPROX SIZES. PLEASE REFER
TO YOUR SPECIFICATIONS FOR YOUR RELEVANT
INCLUSIONS.

PROMOTION:
LIVING/STYLE COLLECTION

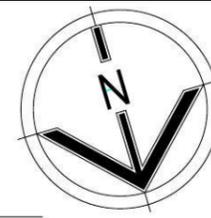
CLIENT:
FIRSTSTYLE

LOCATION:
LOT 2227 CNR OF WILLIAM HART
CRESCENT & WOODROW WAY,
PENRITH NSW 2750

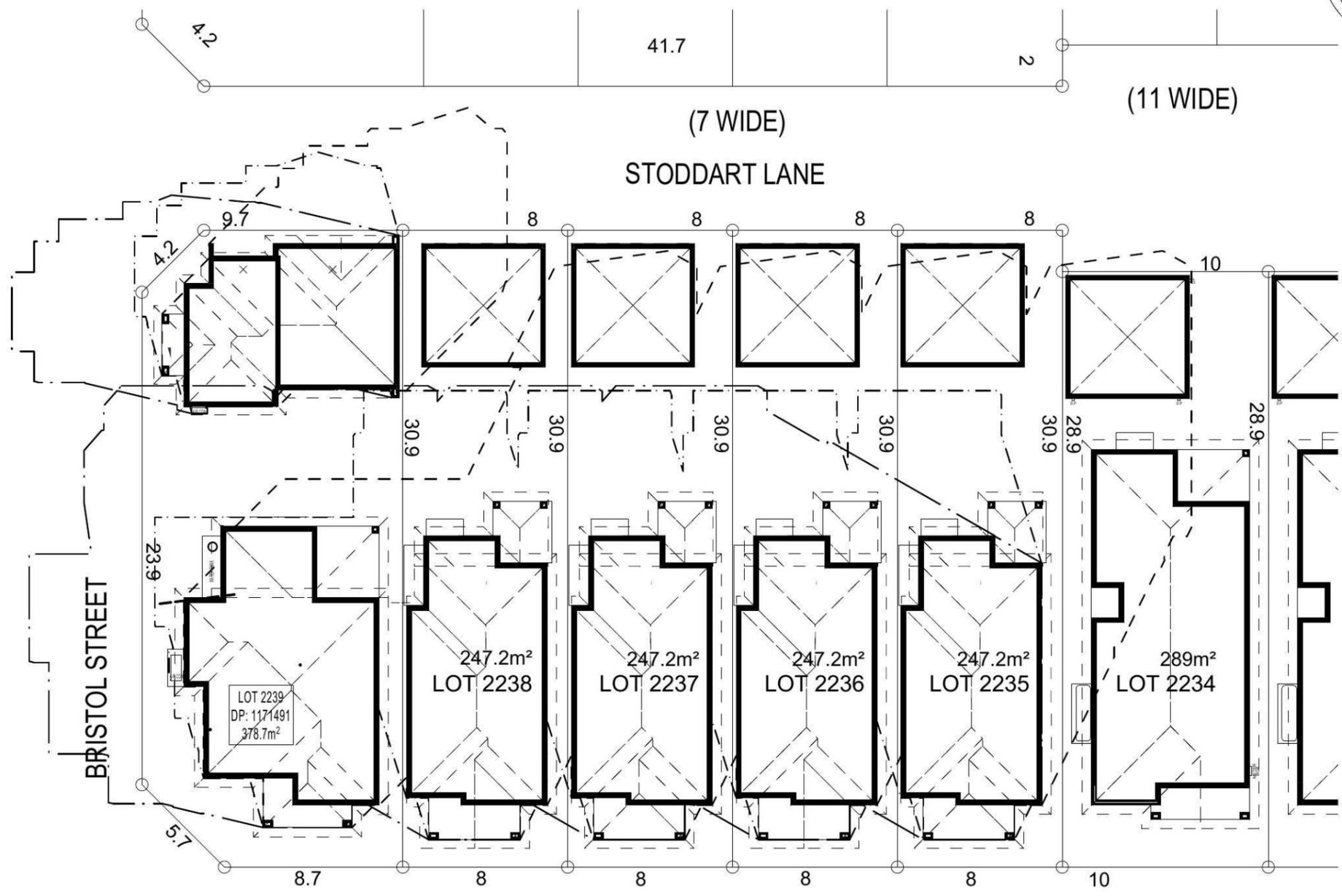
DP:	SUBDIVISION OF LOT 1197 DP 1171491	council:	PENRITH
model:	SANDFIELD_19	facade:	MILLENNIUM
date:	27/05/2014	quotation assessment:	SK1
Sheet:	7 of 11	drawn:	G.P./L.D.S.
checked:	P.D.	scale:	1:100
			739-14

ELEVATIONS

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.



• ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A. RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
 • ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.
 • ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
 • ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK, ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.
 • FIRSTSTYLE HOMES SITE SAFETY RULES APPLY.
 • DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PREFERENCE.
 • THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.



SHADOW DIAGRAM

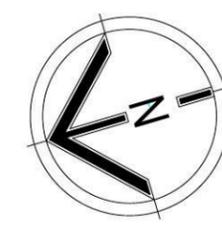
9:00am June 21st	
12:00pm June 21st	
3:00pm June 21st	

WILLIAM HART CRESCENT

NOTE:
 ALL COMPONENTS SUCH AS: APPLIANCES; PLUMBING FITTINGS & FIXTURES; DOORS; CABINETRY; HANDLES; PC ITEMS; ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS.

SHADOW DIAGRAM

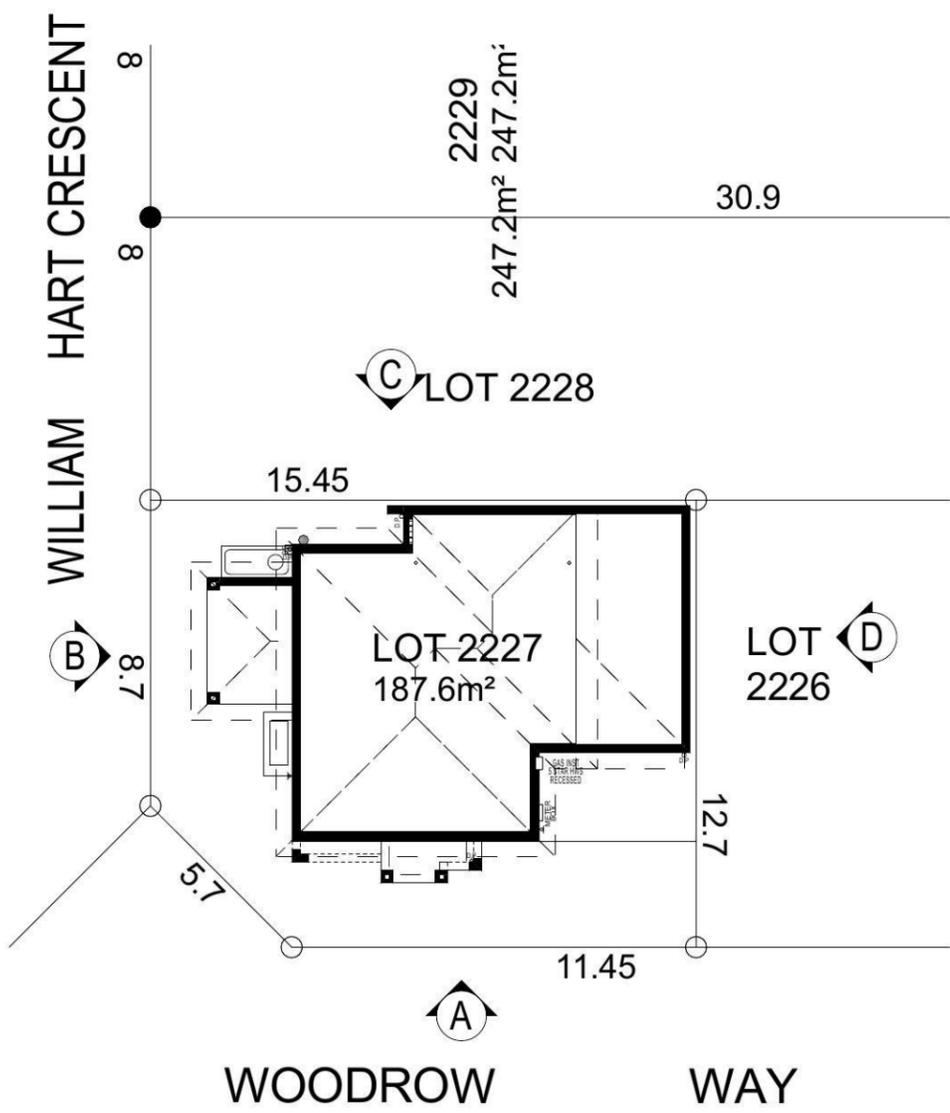
PROMOTION: <i>LIVING/STYLE COLLECTION</i>			
CLIENT: FIRSTSTYLE			
LOCATION: LOT 2227 CNR OF WILLIAM HART CRESCENT & WOODROW WAY, PENRITH NSW 2750			
DP: SUBDIVISION OF LOT 1197 DP 1171491	model: SANDFIELD 19	facade: MILLENNIUM	council: PENRITH
date: 27/05/2014	quotation assessment: SK1	drawn: G.P./L.D.S.	checked: P.D.
scale: 1:250	9 of 11		739-14
CLIENTS SIGNATURE:	DATE:	S.P. 0.0.	



HIA members
 the best in the business



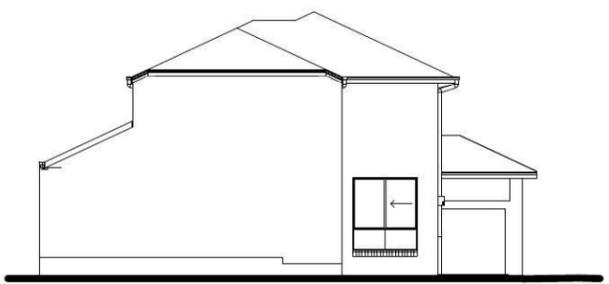
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A. RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
- ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.
- ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
- ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK, ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.
- FIRSTSTYLE HOMES SITE SAFETY RULES APPLY.
- DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PREFERENCE.
- THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.



ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

NOTE:
 ALL COMPONENTS SUCH AS: APPLIANCES; PLUMBING FITTINGS & FIXTURES; DOORS; CABINETRY; HANDLES; PC ITEMS; ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS.

NOTIFICATION PLAN

PROMOTION: <i>LIVING/STYLE COLLECTION</i>			
CLIENT: FIRSTSTYLE			
LOCATION: LOT 2227 CNR OF WILLIAM HART CRESCENT & WOODROW WAY, PENRITH NSW 2750			
DP: SUBDIVISION OF LOT 1197 DP 1171491	council: PENRITH		
model: SANDFIELD_19	facade: MILLENNIUM	date: 27/05/2014	quotation assessment: SK1
Sheet: A	drawn: G.P./L.D.S.	checked: P.D.	scale: NTS
			739-14
CLIENTS SIGNATURE:		DATE:	S.P. 0.0.