



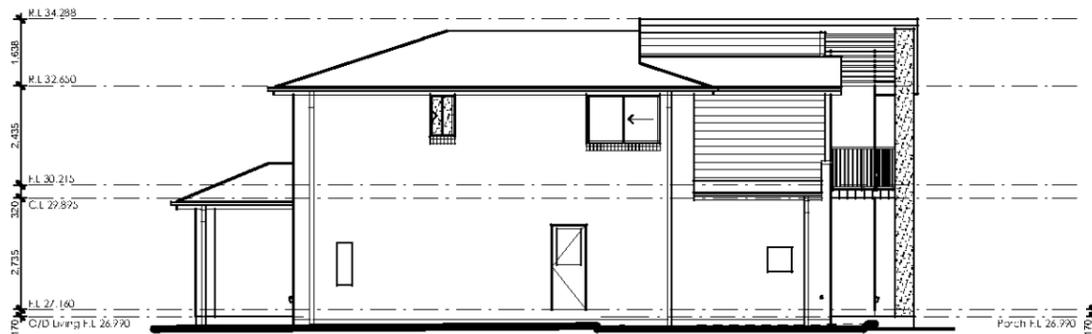
Eastern Elevation

Not To Scale



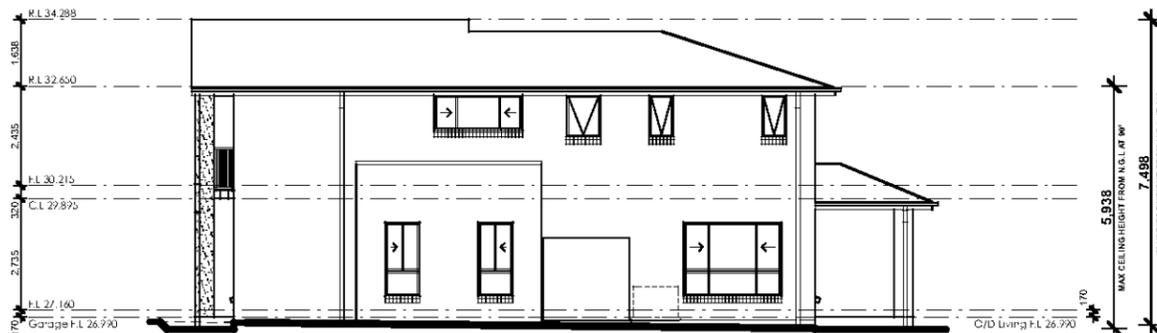
Western Elevation

Not To Scale



Southern Elevation

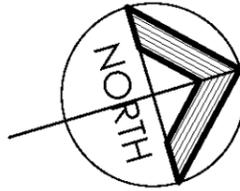
Not To Scale



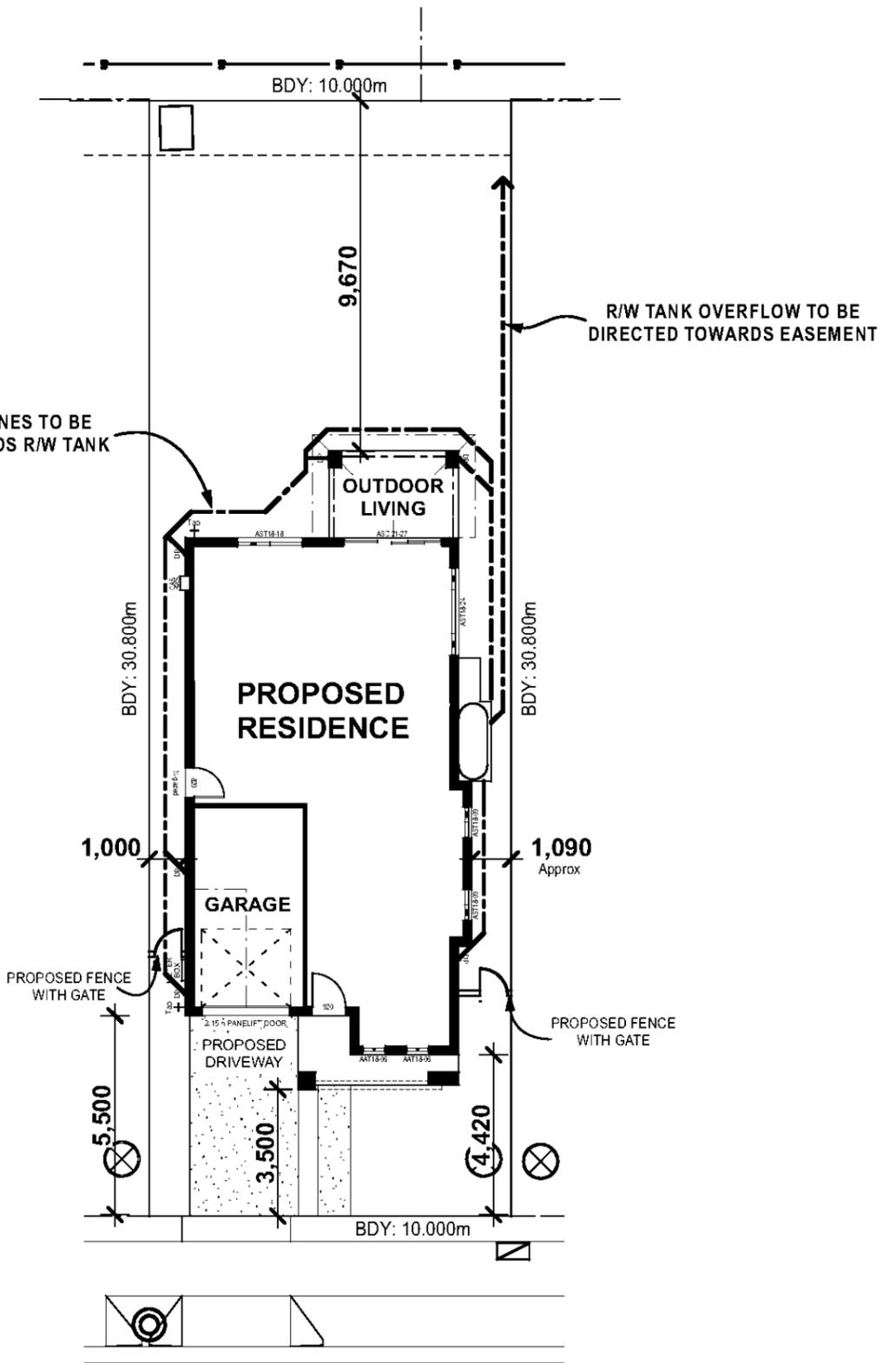
Northern Elevation

Not To Scale

NOTE:
FINAL SITING AND LEVELS OF
PROPOSED RESIDENCE, TO BE
CONFIRMED UPON RECEIPT OF
CONTOUR SURVEY PREPARED
BY BUILDER'S SURVEYOR



LOT 2209
UN-REGISTERED
308m²



WOODMAN STREET

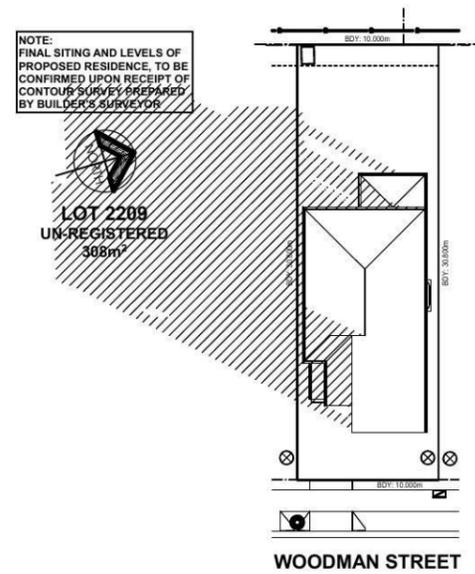
Proposed Site Plan

Not To Scale

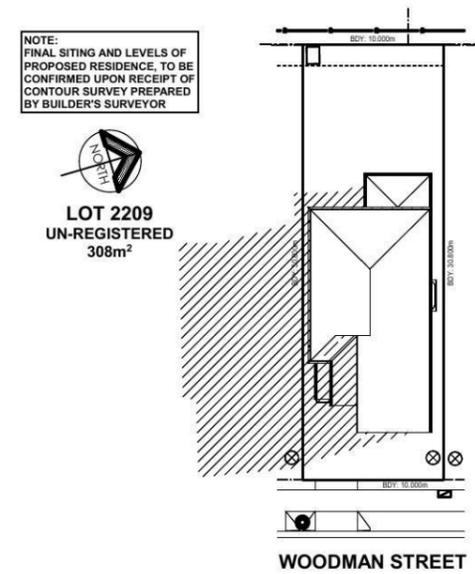
NOTIFICATION PLAN

 Champion Homes <i>Simply the Best</i>	Proposed Residence at Lot : 2209
	Woodman Street, Penrith, Thornton

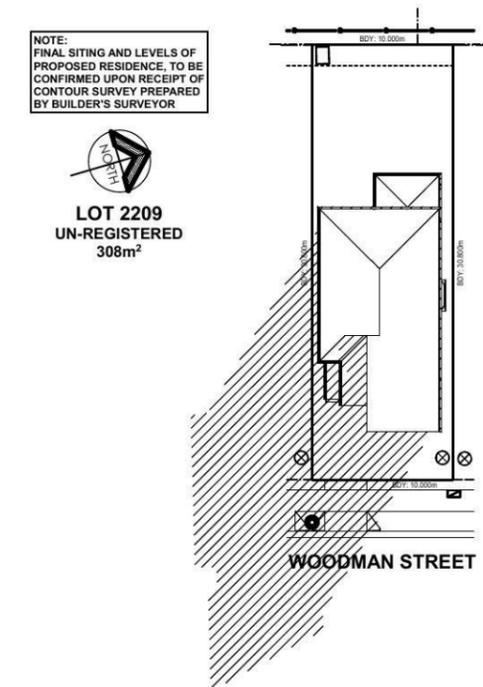
Shadow Diagrams



June 21st - 9am
SCALE 1:500



June 21st - 12noon
SCALE 1:500



June 21st - 3pm
SCALE 1:500

Energy Rating Certificate Number **15430348**

single-dwelling rating **5** stars

multi-unit development (attach listing of ratings) heating **70.1** MJ/m²

cooling **31.5** MJ/m²

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number **Luis Contigiani BDAV/13/1543**

Assessor Signature *[Signature]* Date **19-05-2014**

ALL GLAZING TO BE NFRC VALUE - R 2.0 TO ALL INTERNAL GARAGE WALLS ONLY
OF UW = 6.56 OR LESS AND
SHGC = 0.78 +/- 10 %
SARKING TO ALL ROOF
R 3.5 INSULATION TO ALL CEILING
R 2.0 BATTES TO ALL EXT. WALLS

Plot Date
Thu 12 Jun 2014

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

SITE & SLAB
CLASSIFICATION
IS TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.

Wind Speed : Class = N2



Suite 1, Level 1,
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P.O. Box 95 Hoxton Park,
N.S.W. 2171.
Telephone (02) 9825 8000
Fax (02) 9825 8110
Builders Licence No. 92732C

Revision	Date	Amendment
B	06.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
A	31.03.14	CONTRACT DRAWINGS - NH

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Proposed Residence
at Lot : 2209
Woodman Street,
Penrith, Thornton

Client :
Champion Homes

Sheet Size: A3 Date: 31.03.14 Drawn: NH

Design :
Custom Design

Job
No. **3162N** Sheet 4 of 11

NOTE:

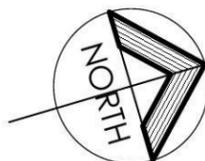
FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.

FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

Proposed Site & Drainage Plan

SCALE 1:200

NOTE:
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LOT 2209
UN-REGISTERED
308m²

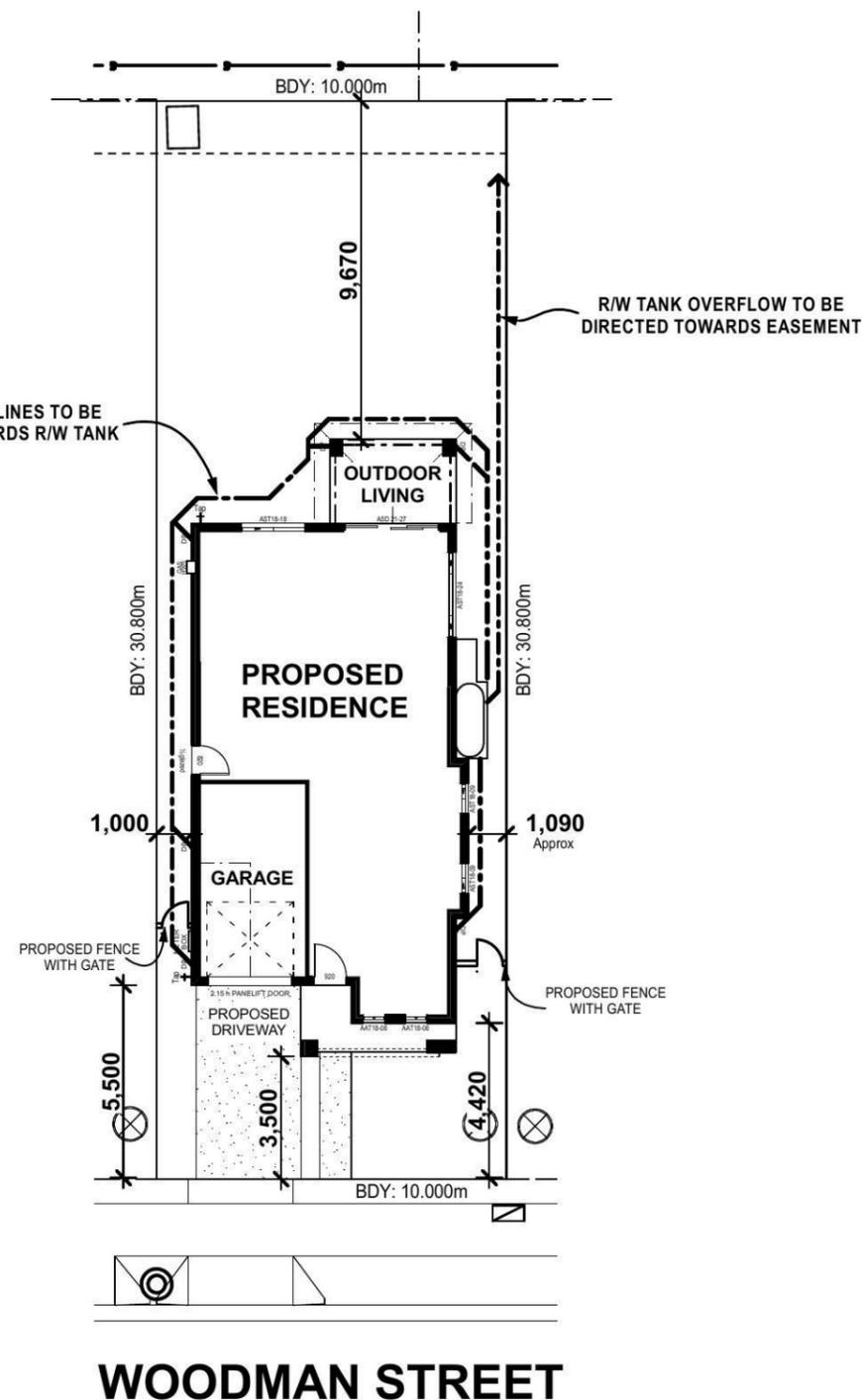
SUPPLEMENTARY B.C.A ENERGY EFFICIENCY CLAUSES FOR NatHERS / BASIX ASSESSMENTS

3.12.1.1	Building fabric thermal insulation	Any Insulation installation required by plans must be fitted in alignment with this clause.
3.12.1.2 (e)		Recompense for any reduced ceiling insulation is required to comply with this clause (any downlights installed must be non - ventilated). Recompense for loss of any ceiling insulation is not necessary when suitable approved non - ventilated down light covers are supplied, as these provide continuous flow of insulation.
3.12.3.3	External Windows & Doors	The sealing of any windows or doors must be in conformity with this clause.
3.12.3.4	Exhaust Fans	Refer to Current B.C.A for Detailed specification
3.12.3.5	Construction of Roofs, Walls & Floors	The sealing of roofs , walls and / or floors must align with this clause.
3.12.5.0	Acceptable Construction Manuals	Installation of any hot water systems must abide by this clause.
3.12.5.1	Insulation of Services	Installation of any services must observe requirements of this clause.
3.12.5.3	Heating & Cooling Ductwork	Ductwork insulation to cooling & heating systems must abide by this clause.

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BALCONY	130 mm FROM F.F.L.

Wind Speed : Class = N2



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Recessed downlights confirmation: Rated with Rated without

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Plot Date
Thu 12 Jun 2014

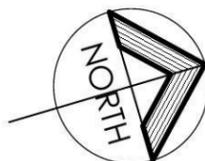
<p>Champion Homes <i>Simply the Best</i></p>	Suite 1, Level 1, 600 Hoxton Park Rd, Hoxton Park, N.S.W. 2171. P.O. Box 95 Hoxton Park, N.S.W. 2171. Telephone (02) 9825 8000 Fax (02) 9825 8110 Builders Licence No. 92732C	Copyright. © This plan is the property of Champion Homes and may not be used in whole or part. Legal action will be taken against any person who infringes the copyright.	Proposed Residence at Lot : 2209 Woodman Street, Penrith, Thornton	Client : Champion Homes Sheet Size: A3 Date: 31.03.14 Drawn: NH Design : Custom Design Job No. 3162N Sheet 1 of 11
	Revision Date Amendment B 06.06.14 FLOOR LEVELS ADDED / DA PLANS - MT A 31.03.14 CONTRACT DRAWINGS - NH			

NOTE:

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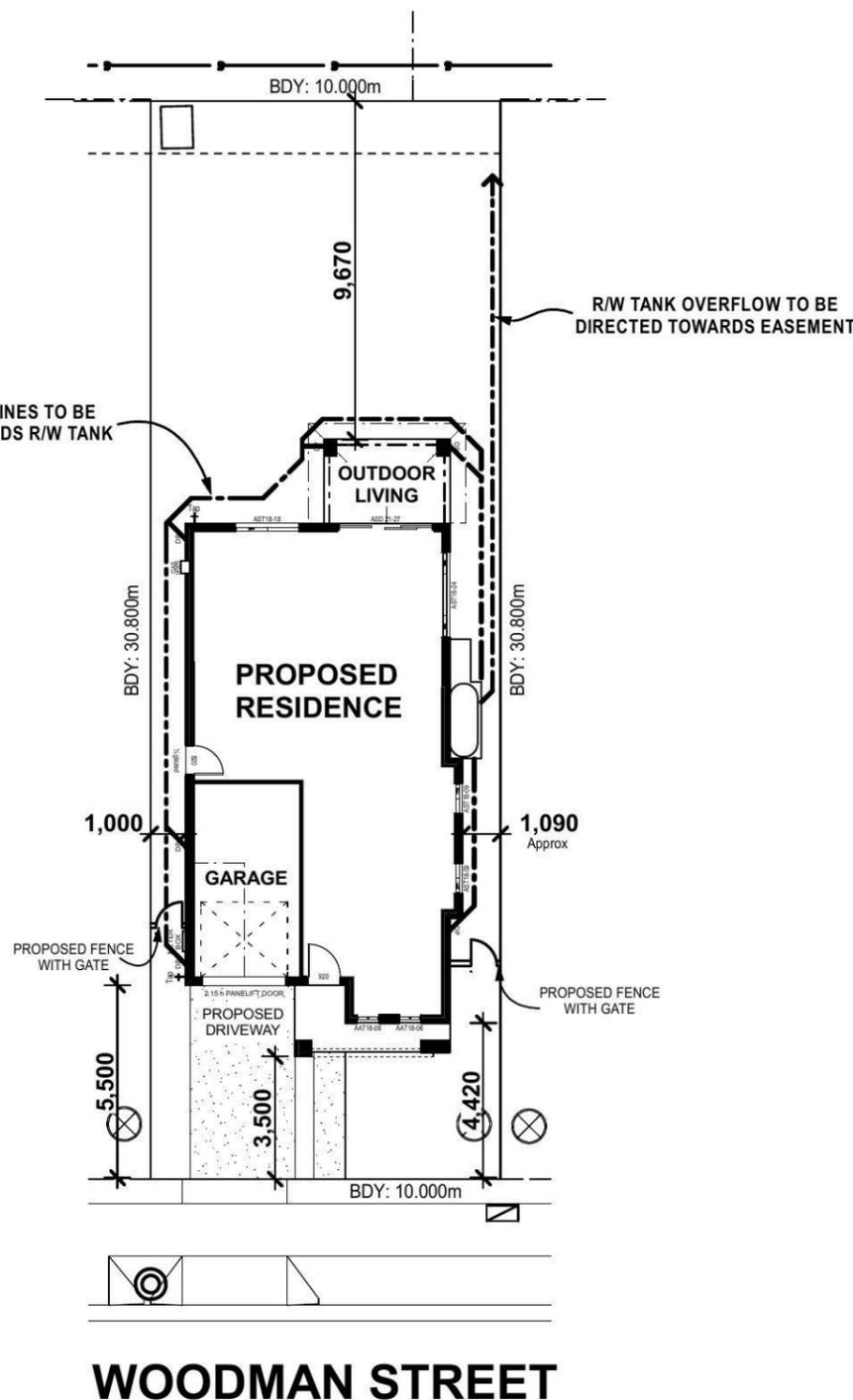
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LOT 2209
UN-REGISTERED
308m²

STORMWATER LINES TO BE DIRECTED TOWARDS R/W TANK



R/W TANK OVERFLOW TO BE DIRECTED TOWARDS EASEMENT

SUPPLEMENTARY B.C.A ENERGY EFFICIENCY CLAUSES FOR NatHERS / BASIX ASSESSMENTS

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BALCONY	130 mm FROM F.F.L.

Wind Speed : Class = N2

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Builders Licence No. 92732C

Revision	Date	Amendment
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A	31.03.14	CONTRACT DRAWINGS - NH

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Proposed Residence
at Lot : 2209
Woodman Street,
Penrith, Thornton

Energy Rating Certificate Number **15430348**

single-dwelling rating **5** stars
 multi-unit development (attach listing of ratings) heating **70.1** MJ/m²
If selected, data specified is the average across the entire development cooling **31.5** MJ/m²

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number **Luis Contigiani BDAV/13/1543**
 Assessor Signature *[Signature]* Date **19-05-2014**

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 SHGC = 0.78 +/- 10 %
 SARKING TO ALL ROOF
 R 3.5 INSULATION TO ALL CEILING
 R 2.0 BATTS TO ALL EXT. WALLS

Plot Date
Fri 06 Jun 2014

Client :
Champion Homes

Sheet Size: A3 Date: 31.03.14 Drawn: NH

Design :
Custom Design

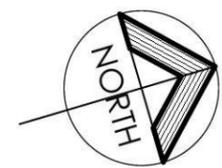
Job No. **3162N** Sheet 1 of 11

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LOT 2209
UN-REGISTERED
308m²

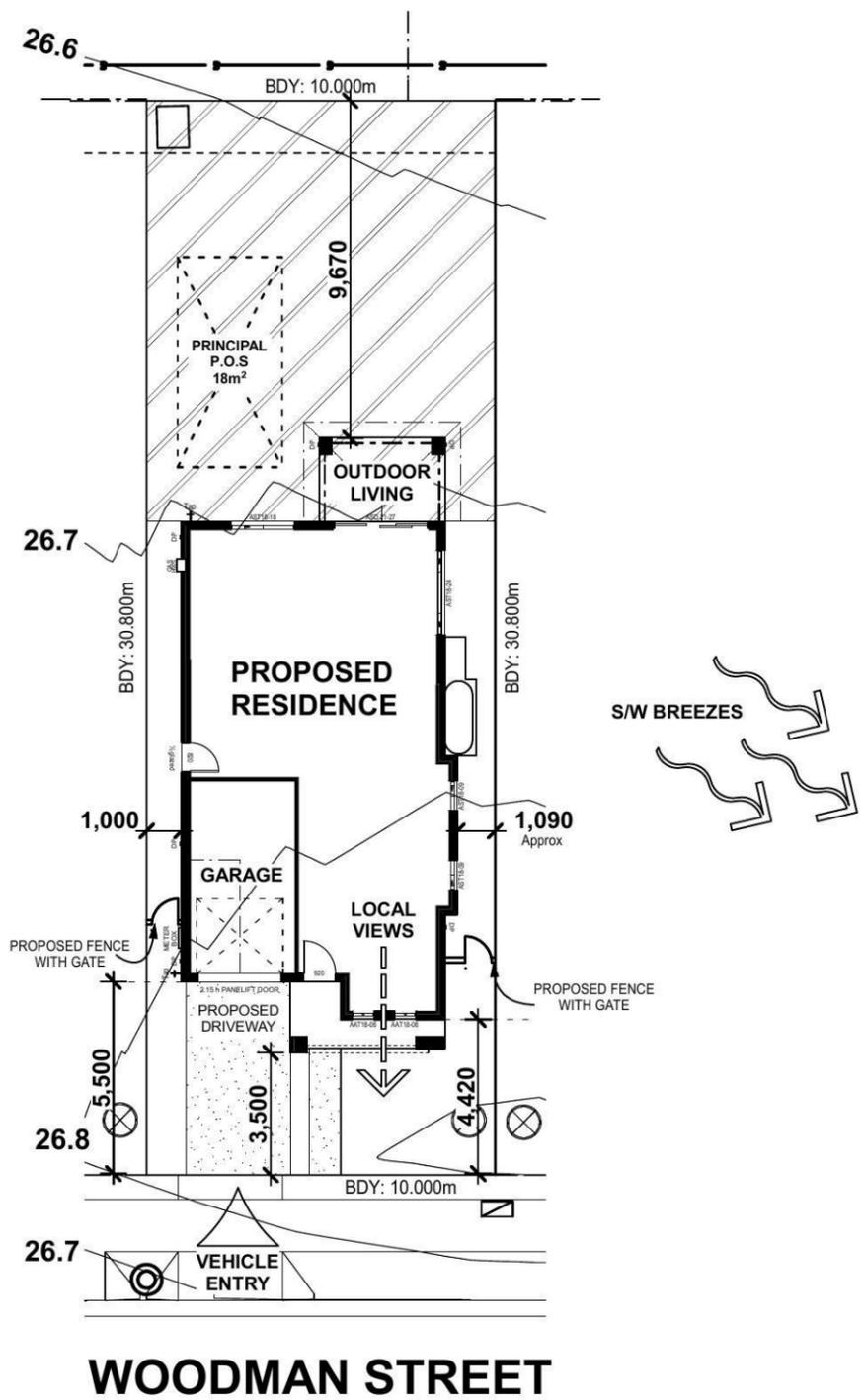
NORTH PENRITH "THORNTON" REQUIREMENTS:

SITE AREA: 308m²

PRIVATE OPEN SPACE:
REQUIRED: 20% OR 61.6m²
ACHIEVED: 39% OR 120.70m²

LANDSCAPE AREA:
ACHIEVED: 42% OR 128.38m²

CARPARKING:
REQUIRED: 2 SPACES
ACHIEVED: 2 SPACES



Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

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Plot Date
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Champion Homes
Simply the Best

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Builders Licence No. 92732C

Revision	Date	Amendment
B	06.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
A	31.03.14	CONTRACT DRAWINGS - NH

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Client :
Champion Homes

Sheet Size: A3 Date: 31.03.14 Drawn: NH

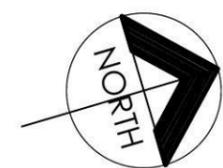
Design :
Custom Design

Job No. **3162N** Sheet 2 of 11

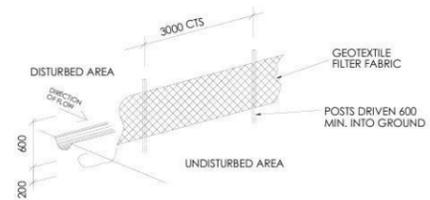
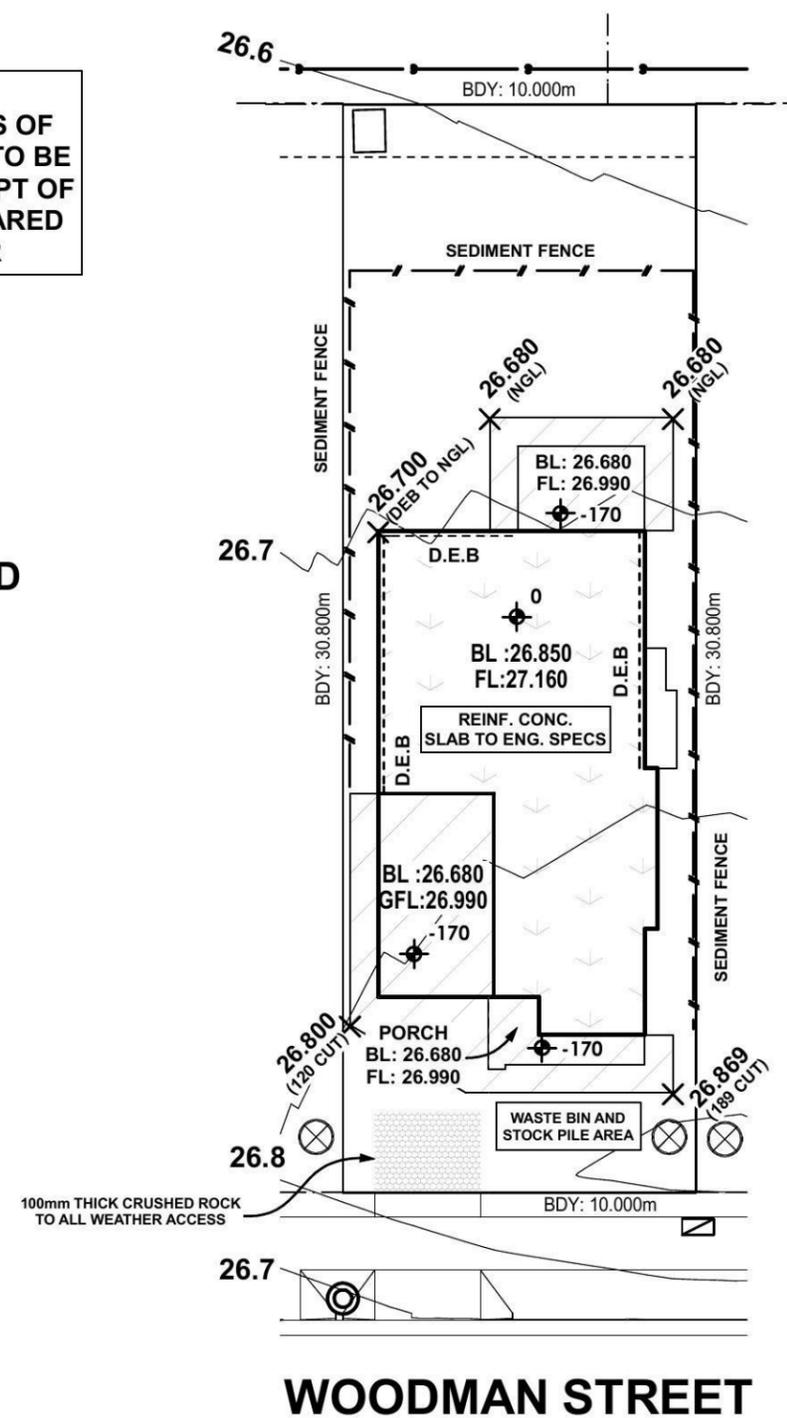
Erosion & Sediment Control Plan

SCALE 1:200

NOTE:
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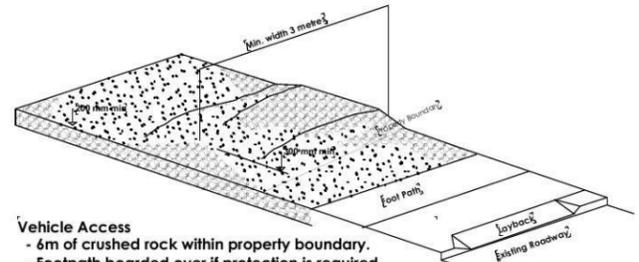
LOT 2209
UN-REGISTERED
308m²



SEDIMENT CONTROL FENCE

SITE PLAN

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY. FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT. SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



- Vehicle Access**
- 6m of crushed rock within property boundary.
 - Footpath boarded over if protection is required.
 - New layback to be formed in a formed kerb if required.

	Energy Rating	Certificate Number 15430348
<input checked="" type="checkbox"/>	single-dwelling rating	5 stars
<input type="checkbox"/>	multi-unit development (attach listing of ratings)	heating 70.1 MJ/m ²
	<small>If selected, data specified is the average across the entire development</small>	cooling 31.5 MJ/m ²
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number Luis Contigiani BDAV/13/1543		
Assessor Signature		Date 19-05-2014

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SARKING TO ALL ROOF
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Plot Date
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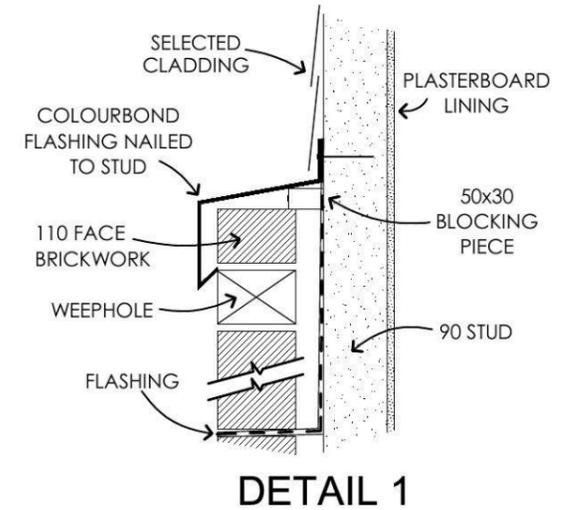
Job No. **3162N** Sheet 3 of 11

PROTECTION OF OPENABLE WINDOWS AS PER B.C.A. CONDITION 3.9.2.5 -

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION, IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m or MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A DEVICE MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A Max. 125mm



Eastern Elevation
SCALE 1:100



Western Elevation
SCALE 1:100

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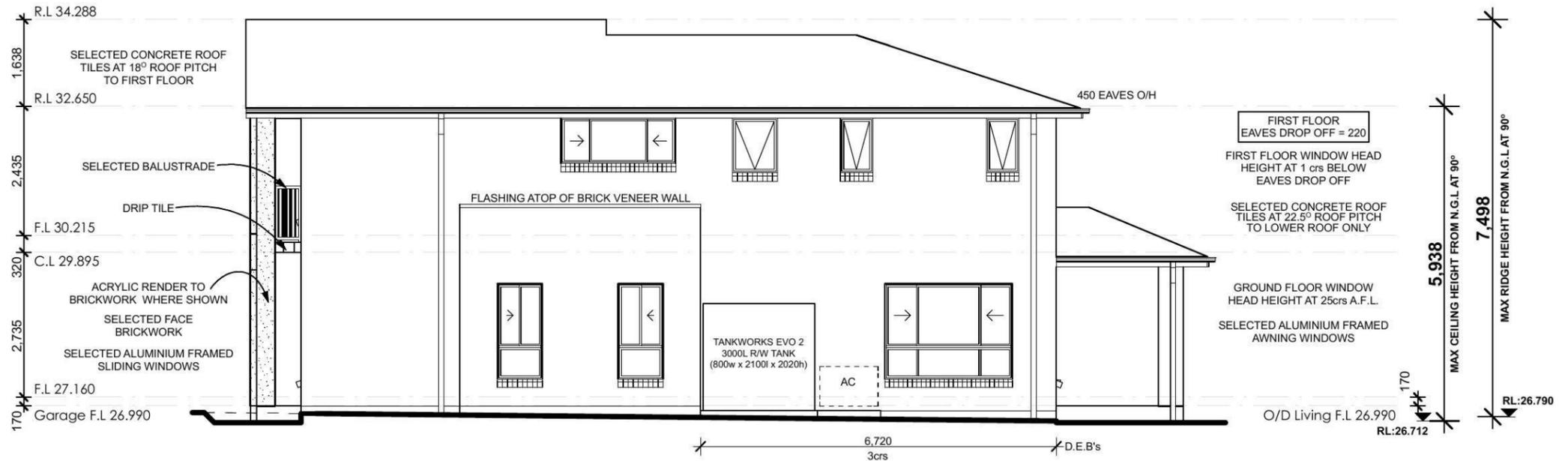
Design :
Custom Design

Job No. **3162N** Sheet 8 of 11

PROTECTION OF OPENABLE WINDOWS AS

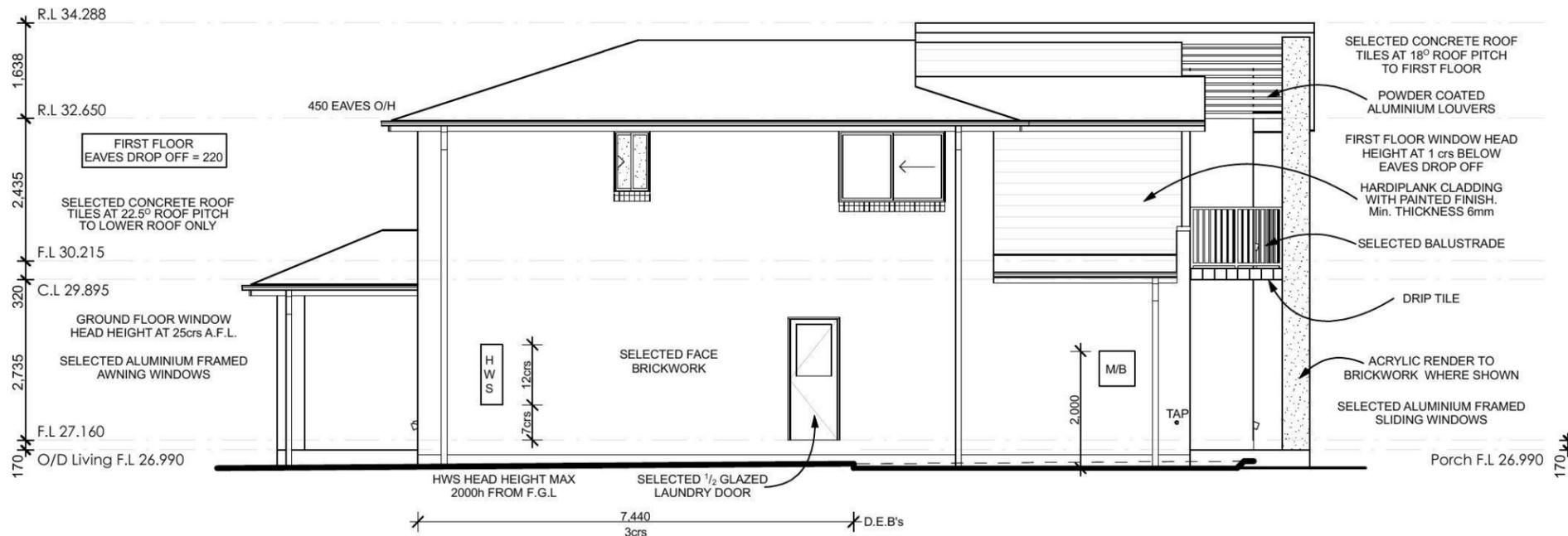
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Northern Elevation

SCALE 1:100



Southern Elevation

SCALE 1:100

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Plot Date
Fri 06 Jun 2014

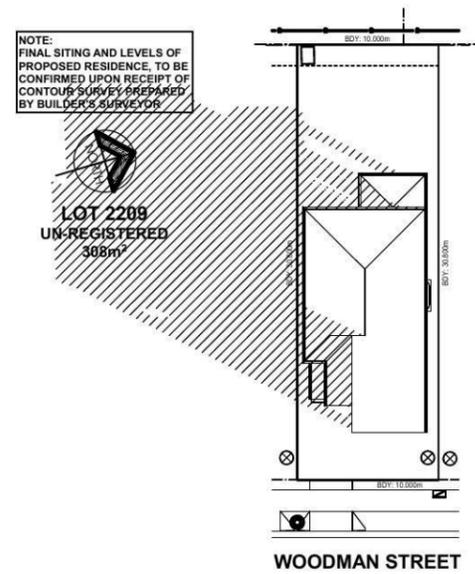
Client :
Champion Homes

Sheet Size: A3 Date: 31.03.14 Drawn: NH

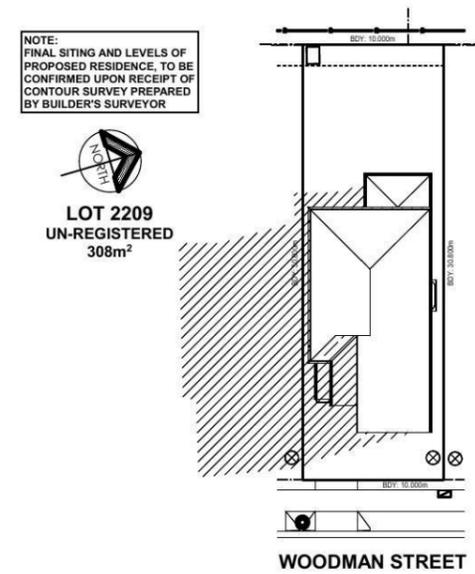
Design :
Custom Design

Job No. **3162N** Sheet 9 of 11

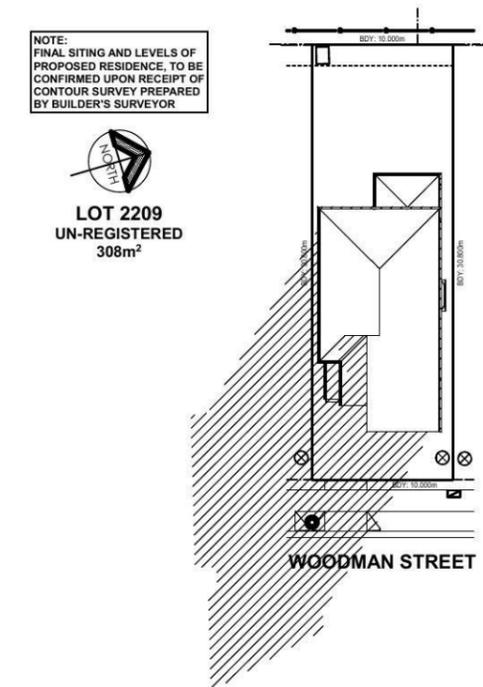
Shadow Diagrams



June 21st - 9am
SCALE 1:500



June 21st - 12noon
SCALE 1:500



June 21st - 3pm
SCALE 1:500

Energy Rating Certificate Number **15430348**

single-dwelling rating **5** stars

multi-unit development (attach listing of ratings) heating **70.1** MJ/m²

cooling **31.5** MJ/m²

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number **Luis Contigiani BDAV/13/1543**

Assessor Signature *[Signature]* Date **19-05-2014**

ALL GLAZING TO BE NFRC VALUE - R 2.0 TO ALL INTERNAL GARAGE WALLS ONLY
OF UW = 6.56 OR LESS AND
SHGCw = 0.78 +/- 10 %
SARKING TO ALL ROOF
R 3.5 INSULATION TO ALL CEILING
R 2.0 BATTES TO ALL EXT. WALLS

Plot Date
Fri 06 Jun 2014

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

SITE & SLAB
CLASSIFICATION
IS TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.



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N.S.W. 2171.
Telephone (02) 9825 8000
Fax (02) 9825 8110
Builders Licence No. 92732C

Revision	Date	Amendment
B	06.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
A	31.03.14	CONTRACT DRAWINGS - NH

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Woodman Street,
Penrith, Thornton

Client :
Champion Homes

Sheet Size: A3 Date: 31.03.14 Drawn: NH

Design :
Custom Design

Job
No. **3162N** Sheet 4 of 11

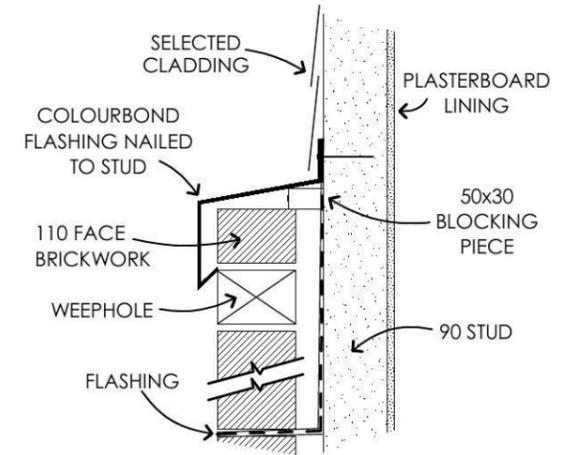
PROTECTION OF OPENABLE WINDOWS AS PER B.C.A. CONDITION 3.9.2.5 -

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION, IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m or MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A DEVICE MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A Max. 125mm



Eastern Elevation

SCALE 1:100



DETAIL 1



Western Elevation

SCALE 1:100

Energy Rating Certificate Number **15430348**

single-dwelling rating **5** stars

multi-unit development (attach listing of ratings) heating **70.1** MJ/m² cooling **31.5** MJ/m²

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number **Luis Contigiani BDAV/13/1543**

Assessor Signature *[Signature]* Date **19-05-2014**

ALL GLAZING TO BE NFRC VALUE - R 2.0 TO ALL INTERNAL GARAGE OF UW = 6.56 OR LESS AND BRICKW = 0.78 +/- 10% SIKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 2.0 BATTES TO ALL EXT. WALLS

Plot Date
Thu 12 Jun 2014

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY.	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
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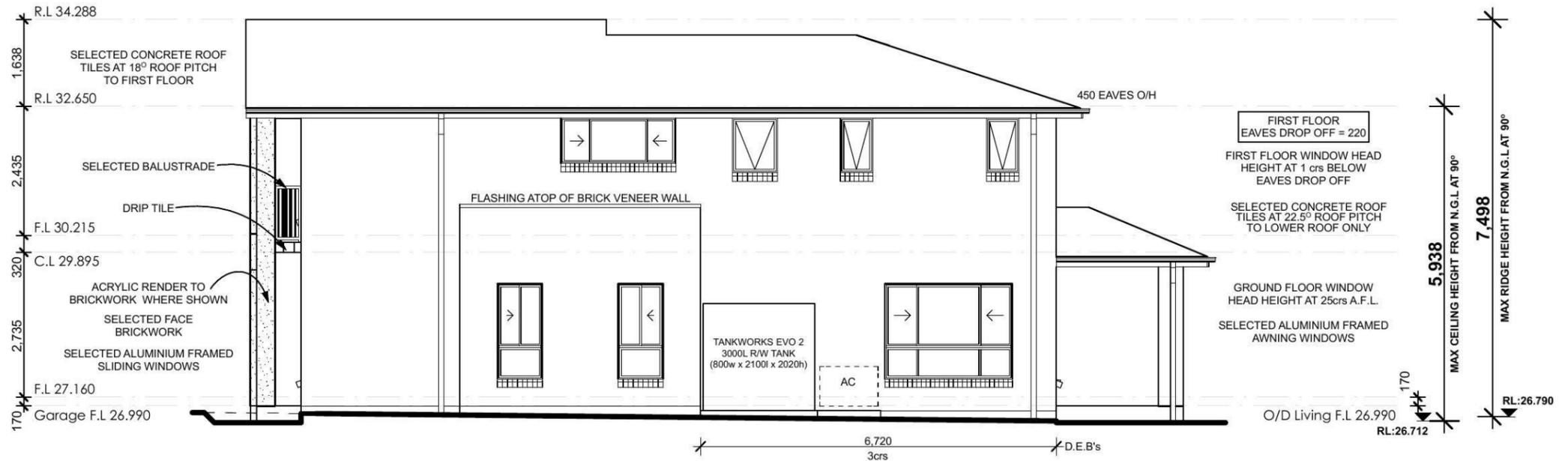
Design :
Custom Design

Job No. **3162N** Sheet 8 of 11

PROTECTION OF OPENABLE WINDOWS AS

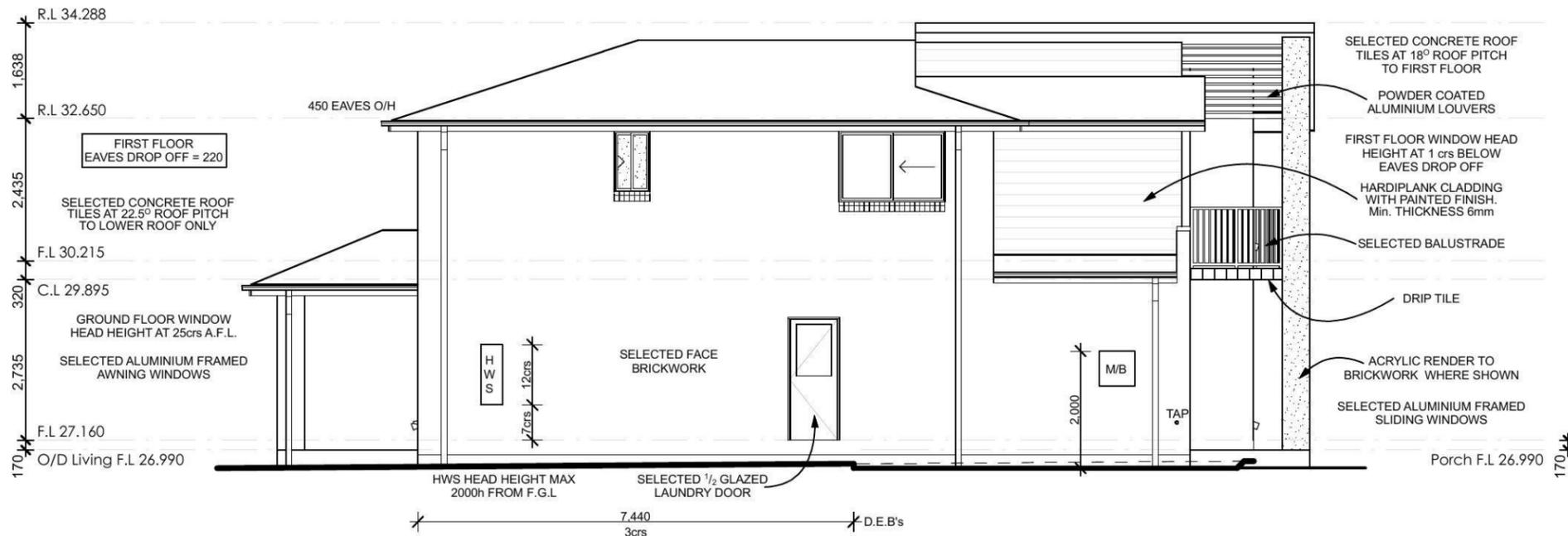
PER B.C.A. CONDITION 3.9.2.5 -

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION, IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m or MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A DEVICE MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A Max. 125mm



Northern Elevation

SCALE 1:100



Southern Elevation

SCALE 1:100

Energy Rating Certificate Number **15430348**

single-dwelling rating 5 stars

multi-unit development (attach listing of ratings) heating **70.1 MJ/m²**

If selected, data specified is the average across the entire development. cooling **31.5 MJ/m²**

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number **Luis Contigiani BDAV/13/1543**

Assessor Signature *[Signature]* Date **19-05-2014**

ALL GLAZING TO BE NFRC VALUE - R2.0 TO ALL INTERNAL GARAGE WALLS ONLY
OF UW = 6.66 OR LESS AND SHGCw = 0.75 +/- 10% SARKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 2.0 BATTS TO ALL EXT. WALLS

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
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BALCONY	130 mm FROM F.F.L.

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Plot Date
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Client :
Champion Homes

Sheet Size: A3 Date: 31.03.14 Drawn: NH

Design :
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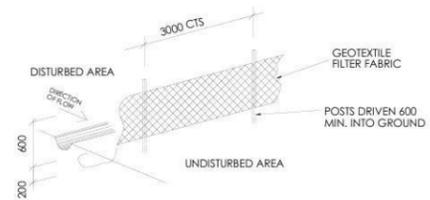
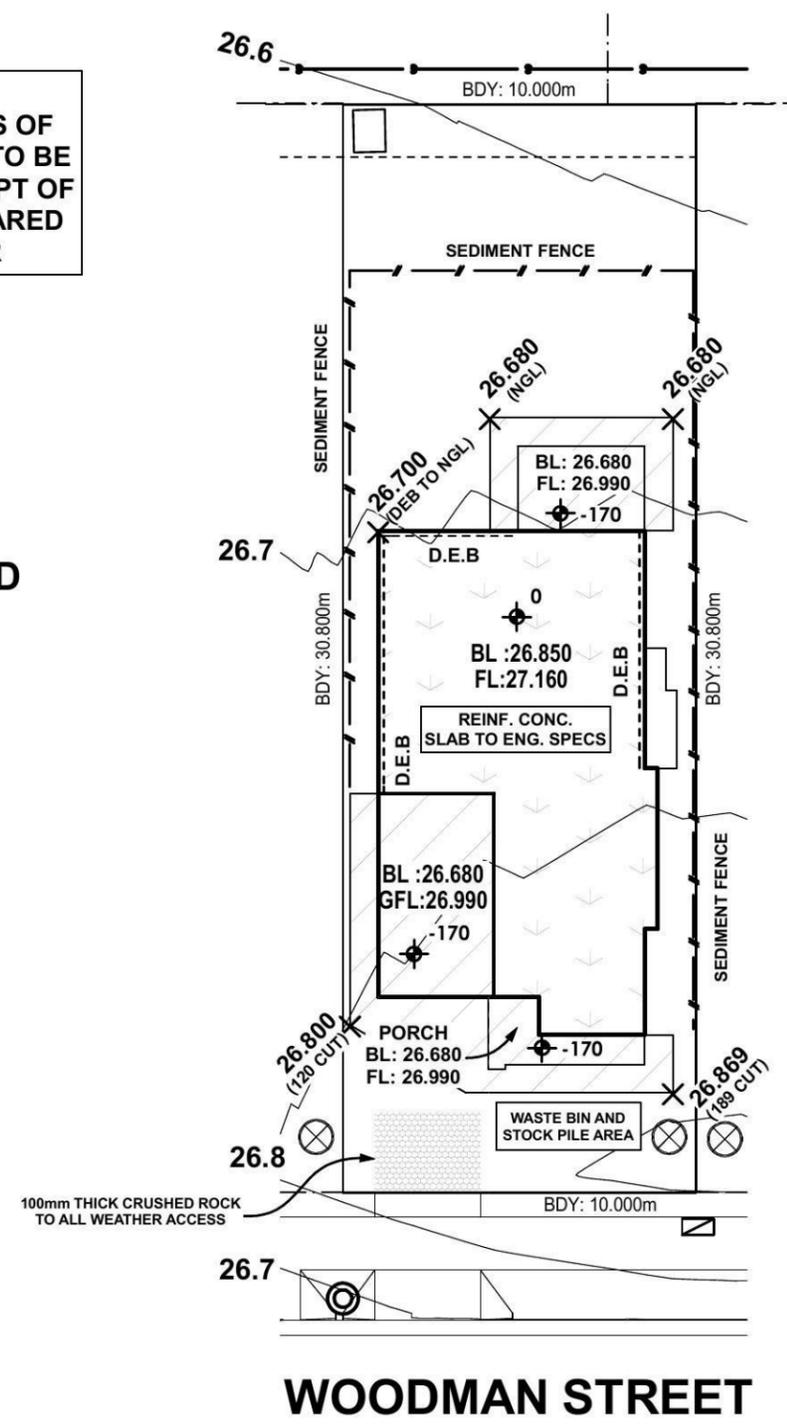
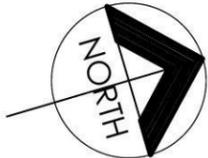
Job No. **3162N** Sheet 9 of 11

Erosion & Sediment Control Plan

SCALE 1:200

NOTE:
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR

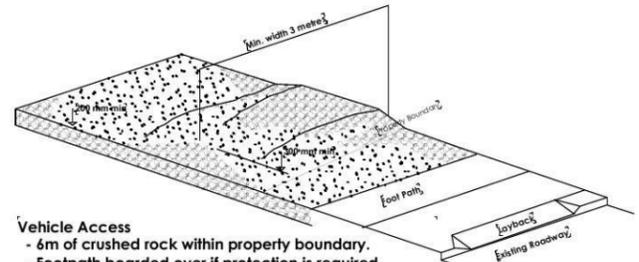
LOT 2209
UN-REGISTERED
308m²



SEDIMENT CONTROL FENCE

SITE PLAN

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY. FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT. SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



- Vehicle Access**
- 6m of crushed rock within property boundary.
 - Footpath boarded over if protection is required.
 - New layback to be formed in a formed kerb if required.

	Energy Rating	Certificate Number 15430348
<input checked="" type="checkbox"/>	single-dwelling rating	5 stars
<input type="checkbox"/>	multi-unit development (attach listing of ratings)	heating 70.1 MJ/m ²
	<i>If selected, data specified is the average across the entire development</i>	cooling 31.5 MJ/m ²
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number Luis Contigiani BDAV/13/1543		
Assessor Signature		Date 19-05-2014

ALL GLAZING TO BE NFRC VALUE - R2.0 TO ALL INTERNAL GARAGE WALLS ONLY
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SARKING TO ALL ROOF
R 3.5 INSULATION TO ALL CEILING
R 2.0 BATTES TO ALL EXT. WALLS

Plot Date
Thu 12 Jun 2014

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Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY:	
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GARAGE	170 mm FROM F.F.L.
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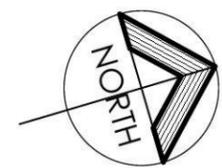
Job No. **3162N** Sheet 3 of 11

NOTE:

FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.

FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

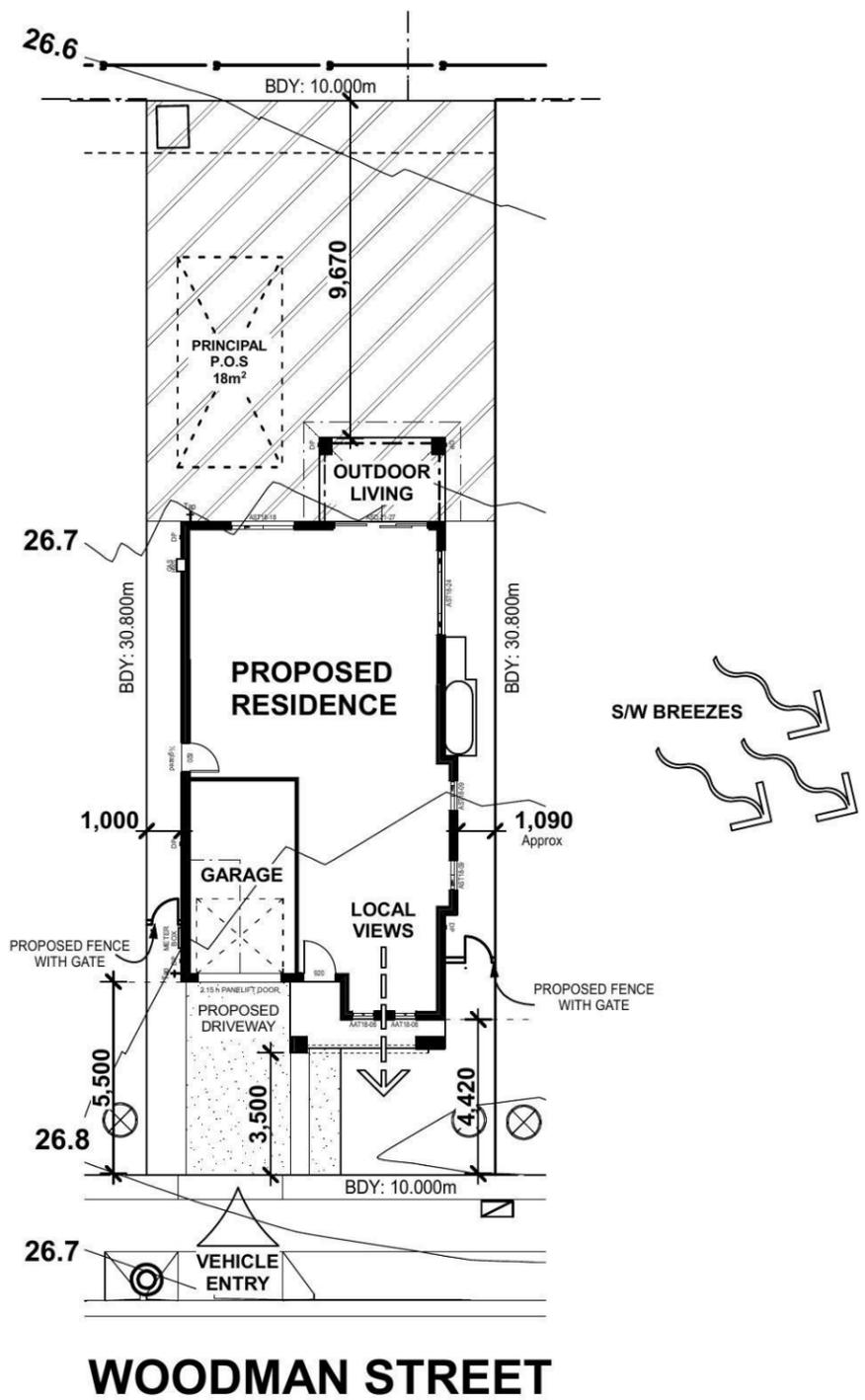
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LOT 2209
UN-REGISTERED
308m²

NORTH PENRITH "THORNTON" REQUIREMENTS:

SITE AREA: 308m ²	
PRIVATE OPEN SPACE: REQUIRED: 20% OR 61.6m ² ACHIEVED: 39% OR 120.70m ²	
LANDSCAPE AREA: ACHIEVED: 42% OR 128.38m ²	
CARPARKING: REQUIRED: 2 SPACES ACHIEVED: 2 SPACES	



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single-dwelling rating **5** stars

multi-unit development (attach listing of ratings) heating **70.1** MJ/m²
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Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number **Luis Contigiani BDAV/13/1543**

Assessor Signature *[Signature]* Date **19-05-2014**

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Plot Date
Thu 12 Jun 2014

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GARAGE	170	mm FROM F.F.L.
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Job No. **3162N** Sheet 2 of 11