

CENTRE BASED CHILDCARE

HomeCo

72 MULGOA ROAD, JAMISONTOWN NSW
(LOT 200 DP: 1230338)



SHEETS IN SET	
001	COVER SHEET
002	OVERALL SITE PLAN
003	AREA PLAN
100	SITE PLAN (EXISTING)
101	SITE / SITE ANALYSIS PLAN (PROPOSED)
102	SHADOW STUDY
201	PROPOSED FLOOR PLAN
202	ROOF PLAN
205	LICENSING PLAN
206	CONCEPT LANDSCAPE DESIGN
300	ELEVATIONS
301	EXTERNAL FINISHES ELEVATIONS
400	SECTIONS
800	3D PERSPECTIVES

DA-001

DRAWING No.

P: 02 8310 5300
E: info@fivecanons.com.au
www.fivecanons.com.au

Suite 14, 401 Pacific Highway
Artarmon, NSW 2064
Suite 15, 657 The Hosley Drive
Smithfield, NSW 2164

FIVE CANONS
ARCHITECTURE

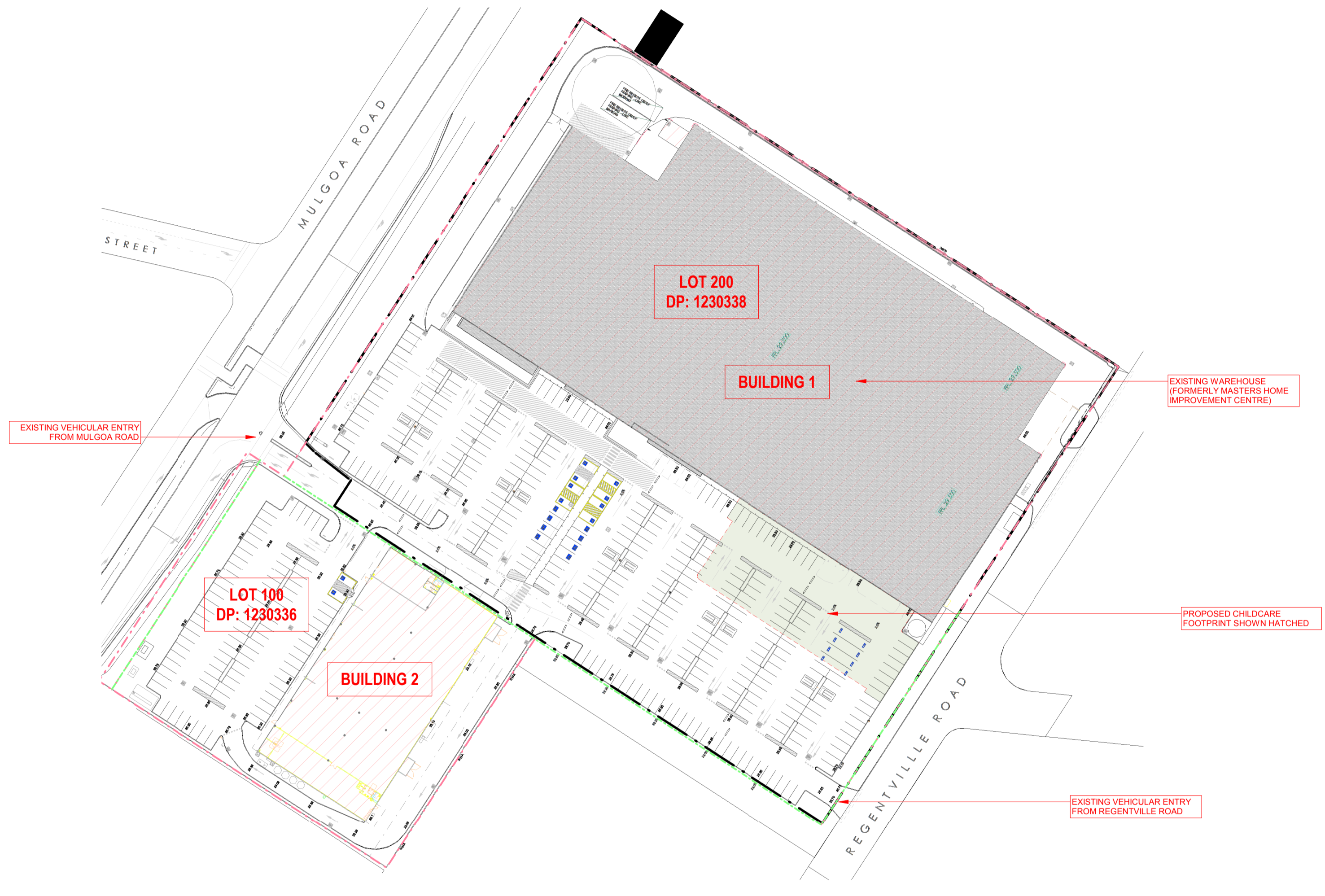
Envr Pty Ltd Tras Five Canons ABN:86 609 881 761

STATUS
DA ISSUE

REV	DESCRIPTION	DATE	BY
B	TEST FIT B	16.08.2020	EV
C	TEST FIT C	18.08.2020	EV
D	TEST FIT D	19.08.2020	EV
E	DA ISSUE	25.08.2020	EV
F	DA ISSUE - PM REVISED	02.09.2020	EV
G	DA ISSUE - PM REVISED-2	03.09.2020	EV
H	DA ISSUE - NOTES ADDED	09.09.2020	EV



 NORTH	CLIENT	HomeCo	DRAWING TITLE	COVER SHEET
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)		
PROJECT No.	PROJECT	CENTRE BASED CHILDCARE	SCALE (@A1)	DATE ISSUED 09.09.2020
19046			DRAWING No.	DA-001
<small>THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.</small>			REV	H
<small>FILE REF: X:\01_Projects\02_CDD\2019\19046_Homeco Penrith, NSW\02_DESIGN\CAD_Drawings\19046 HOME CO PENRITH_REV H.rvt</small>				



1 OVERALL SITE PLAN
1:1000

BCA REQUIREMENTS: ARCHITECTURAL REQ. FOR CONSTRUCTION CERTIFICATE

C1 FIRE RESISTING CONSTRUCTION: ALL ELEMENTS OF CONSTRUCTION TO COMPLY WITH SPECIFICATION 1.1

C1.10 FIRE HAZARD PROPERTIES: MATERIALS UTILISED TO COMPLY WITH SPECIFICATION C1.10 FOR FIRE HAZARD PROPERTIES OF FINISHES

FLOOR MATERIALS: NON-SPRINKLER PROTECTED AREAS: A CRITICAL RADIANT HEAT FLUX > 2.2 SPRINKLER PROTECTED AREAS: A CRITICAL HEAT FLUX > 1.2

WALLS AND CEILINGS: NON-SPRINKLER PROTECTED AREAS: MUST BE A GROUP 1, 2 OR 3 USED IN ACCORDANCE WITH TABLE 3 OF SPEC. C1.10 AND HAVE A SMOKE GROWTH RATE INDEX OF < 100 OR AN AVERAGE SPECIFIC EXTINCTION AREA OF < 0.22m²/m²

CEILING VERTICAL SEPARATION OF OPENINGS IN EXTERNAL WALLS: SPARKS: SEPARATION TO BE PROVIDED IN ACCORDANCE WITH CL. 2.4 OF TECHNICAL SPECIFICATIONS, WITH FRL OF 60MIN: PROJECTING 1100mm HORIZONTALLY & 450mm ALONG WALL BEYOND THE OPENING, OR VERTICALLY 800mm

C1.4 ACCEPTABLE METHODS OF PROTECTION OPENINGS LOCATED WITHIN 3m OF A FIRE SOURCE FEATURE ARE TO BE PROTECTED IN ACCORDANCE WITH C1.4

C1.5 OPENINGS FOR SERVICE INSTALLATIONS: SERVICE PENETRATIONS THROUGH FIRE RATED FLOOR STRUCTURES TO COMPLY WITH CL 3.10

D 1.2 NUMBER OF EXITS REQUIRED:

(a) ALL BUILDINGS MUST HAVE AT LEAST ONE EXIT FROM EACH STOREY

(b) BASEMENTS SHALL HAVE NO LESS THAN 2 EXITS IF EGRESS FROM THAT STOREY INVOLVES A VERTICAL RISE WITHIN THE BUILDING OF MORE THAN 1m. UNLESS:

(i) THE FLOOR AREA OF THE STOREY IS NOT MORE THAN 50m² AND

(ii) THE DISTANCE OF TRAVEL FROM ANY POINT ON THE FLOOR TO A SINGLE EXIT IS NOT MORE THAN 20m

D 1.3 WHEN FIRE ISOLATED STAIRWAYS AND RAMPS ARE REQUIRED:

(a) EVERY FIRE ISOLATED STAIR OR RAMP SERVING AS A REQUIRED EXIT MUST BE FIRE ISOLATED (b) DISCHARGE FROM EXITS: IF AN EXIT DISCHARGES TO AN OPEN SPACE THAT IS AT A DIFFERENT LEVEL THAN THE PUBLIC ROAD TO WHICH IT IS CONNECTED, THE PATH OF TRAVEL TO THE ROAD MUST BE:

(i) A RAMP OR OTHER INCLINE HAVING A GRADIENT NOT STEEPER THAN 1:14 AS REQUIRED BY THE DEEMED TO SATISFY PROVISIONS OF PART D3

D 2.7 INSTALLATION IN EXITS AND PATHS OF TRAVEL: DISTRIBUTION OR SWITCHBOARDS LOCATED WITHIN A PATH OF TRAVEL: TO BE ENCLOSED WITH NON-COMBUSTIBLE CONSTRUCTION OR A FIRE PROTECTIVE COVERING AND THE ACCESS DOOR IS TO BE SEALED AGAINST SMOKE SPREAD

D 2.13 DOORS AND RISERS: STAIRS AND LANDINGS TO BE CONSTRUCTED IN ACCORDANCE WITH CL D2.13 AND D2.14

INC. TREAD AND RISER CONFIGURATION, LANDING DIM. AND SLOPE, NON-SLIP FINISH OR NON-SLIP NEAR EDGE

OF NOTING: NOTE ADDITIONAL PROVISIONS RE UNDER CL D.3.3

D 2.15 FINISHES: DOOR FINISHES: TO BE CONSTRUCTED IN ACCORDANCE WITH CL D.15

D 2.16 BALUSTRADES AND OTHER BARRIERS: BALUSTRADE BARRIERS TO BE PROVIDED IN ACCORDANCE WITH CL D

2.16 MIN HEIGHT, OPENING DIMENSIONS, HORIZONTAL ELEMENT RESTRICTIONS, WIRE BALUSTRADE REQ.

PERMANENT FIXTURES ADJACENT TO BALCONY BALUSTRADES TO COMPLY WITH INTENT OF AS 1925.1 WITH REGARD TO CUMBERABLE ZONES.

GENERAL NOTES

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROVISIONS, CERTIFYING AUTHORITY (PCA) AND THE BUILDING CODE OF AUSTRALIA (BCA) - AS AMENDED.

REMOVAL OF ASBESTOS CEMENT SHEET MUST BE CARRIED OUT BY A LICENSED CONTRACTOR IN COMPLIANCE WITH THE REQUIREMENTS OF THE NSW WORKCOVER AUTHORITY IN RELATION TO THE REMOVAL, HANDLING AND DISPOSAL OF ALL MATERIALS CONTAINING ASBESTOS AND THE WORK SAFE AUSTRALIA ASBESTOS CODE OF PRACTICE AND GUIDANCE NOTES.

ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601 - AS CURRENTLY AMENDED.

BUILDER SHALL MAKE GOOD ALL DISTURBED AREAS ADJACENT TO THE WORKS ON CURBS, STAIRS, FOOTPATHS ARE TO BE RESTORED TO THE SATISFACTION OF THE BCA.

ALL CONCRETE FOOTINGS, FLOOR SLABS, COLLARS AND TIMBER ROOF FRAMING TO BE CONSTRUCTED TO THE PROVISIONS AND DETAILS.

ALL STORAGE REQUIREMENTS, EXTERNAL AND DRIVEWAY LEVELS TO HYDRAULIC ENGINEER'S DETAILS.

ALL LANDSCAPED AREAS, EXISTING TREES, DRIVEWAY, DRYING YARDS AND FENCING TO LANDSCAPE ARCHITECT'S DETAILS.

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.

ALL MATERIALS AND COMPONENTS SHALL COMPLY WITH THE EARLY HAZARD INDICES REQUIREMENTS OF BCA SPEC. CLAUSE 1.10.

ALL ASPECTS OF THE BUILDING WORK SHALL COMPLY WITH THE RELEVANT CURRENT PROVISIONS OF THE LOCAL GOVERNMENT REGULATIONS AND THE BUILDING CODE OF AUSTRALIA.

SILT/SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EXCAVATION OR CONSTRUCTION WORK.

SAFETY GLASS SHALL BE USED IN EVERY GLASS DOOR OR PANEL ENDOUSING PARTS ENCLOSING SHOWERS OR BATHS.

ALL BATHROOMS AND WC WINDOWS TO BE INSTALLED WITH OBTURATE GLASS.

UNLESS THE DOOR IN A SANITARY COMPARTMENT OPENS OUTWARD OR IS GREATER THAN 1.2m AWAY FROM THE TOILET SUITE, THE DOOR MUST BE INSTALLED WITH REMOVABLE LEFT-OFF HINGES.

THE REFLECTIVITY INDEX OF ALL EXTERNAL GLASS MATERIALS IS NOT TO EXCEED 20%

PROTECTIVE MEASURES ARE REQUIRED FOR EACH TREE BEING RETAINED ON SITE AND SHALL BE ESTABLISHED BEFORE BUILDING WORKS COMMENCE, AND SHALL BE CONSTRUCTED AND MAINTAINED AS PER COUNCIL REQUIREMENTS.

PEDESTRIAN TRAFFIC AND USE OF BOARDING PUBLIC FOOTPATHS: SPACE TO REMAIN UNCONSTRICTED UNLESS SUBJECT TO SEPARATE COUNCIL APPROVAL INCLUDING PRAM ACCESS: TO BE MAINTAINED IN ACCORDANCE WITH AS 1682.3 PART 3 - TRAFFIC CONTROL DEVICES FOR WORKS IN READY.

STATUTORY REQUIREMENTS

IN ADDITION TO THE REQUIREMENTS AS SET OUT IN DWGS, SCHEDULES AND DOCUMENTS, ENSURE COMPLIANCE TO THE FOLLOWING:

ALL GLAZING TO MEET THE REQUIREMENTS OF AS 1288 AND AS 2047

ALL SERVICES PENETRATING A BUILDING ELEMENT REQUIRED TO HAVE A FIRE RESISTANCE LEVEL MUST BE PROTECTED IN ACCORDANCE WITH PART C1.15. TWO HOUR FIRE SEPARATION TO BE MAINTAINED FOR PENETRATIONS THROUGH RATED CERTIFICATES TO BE PROVIDED AT BUILDING APPROVAL.

ALL NEW DOORS SHALL HAVE A MINIMUM CLEAR OPENING OF 850MM

BUILDER TO ALLOW FOR AND INSTALL BRALLE AND TACTILE INDICATORS TO ALL MALE FEMALE AND ACCESSIBLE WC DOORS IN ACCORDANCE WITH AS 1428.1

INSTALL 75MM GLAZING MAT/FIBREGLAZ TO ALL CLEAR GLAZED PANELS AS PER WINDOW/DOOR SCHEDULE. DECAL TO BE LOCATED 900 TO 1000MM FROM FINISH FLOOR LEVEL AND TO EXTEND FULL WIDTH AND 20% COLOUR CONTRAST REFER TO FINISHES SCHEDULE FOR TYPE

FIRE EXTINGUISHERS TO BE INSTALLED AS PER AS 2444 WITH PROTECTION, SIGNAGE, 24 HOURS

ANY NEW WATERPROOFING TO NEW AREAS TO COMPLY WITH AS 3747.4 AND TABLE F1.1 OF THE BCA.

KITCHEN DOOR TO BE INSTALLED WITH CHILD PROOF LATCH ENSURE FLOOR SURFACES MUST BE SUITABLE TO PREVENT SLIPS TRIPS AND FALLS

GENERAL SPECIFICATION

DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY

THE BUILDER SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SET BACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S CODES (CURRENT EDITIONS) BUILDING REGULATIONS, LOCAL BY LAWS AND DEVELOPMENT CONSENT REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:

A.S. 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION

A.S. 1562 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING

A.S. 1584 NATIONAL TIMBER FRAMING CODE

A.S. 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION

A.S. 2049 FINISHES - RESIDENTIAL SLABS AND FOOTINGS

A.S. 2054 DAMP PROOF COURSES AND FLASHINGS

A.S. 3000 CONCRETE STRUCTURES

A.S. 3061 CODE OF PRACTICE FOR PHYSICAL BARRIERS USED IN THE PROTECTION OF BUILDINGS AGAINST SUBTERRANEAN TERMITES

A.S. 3700 MASONRY IN BUILDINGS

A.S. 3740 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

A.S. 3785 SMOKE ALARMS

A.S. 4055 WIND LOADINGS FOR HOUSING

A.S. 4100 STEEL STRUCTURES

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS.

ALL TIMBER FRAME MEMBERS TO BE IN ACCORDANCE WITH A S 1984 NO RESPONSIBILITY WILL BE TAKEN FOR TRANSCRIED INFORMATION.

WHERE THE BUILDING (OTHER THAN CLASS 10A) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA, THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH A.S. 3060, OR CLAUSE 1.3.3 OF THE HOUSING PROVISIONS OF THE BCA FOR CONCRETE ON GROUND.

WINDOW SIZES ARE NOMINAL. ONLY ACTUAL SIZES WILL VARY ACCORDING TO MANUFACTURER'S EXTERNAL WINDOW TO BE FLASHED ALL AROUND.

ALL TREAD AND LANDINGS ARE TO BE MEASURED ON SITE PRIOR TO MANUFACTURE.

STORMWATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

SEWER SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY'S REQUIREMENTS.

FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASMENT LINES.

ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES AND STEEL UNITS, ETC. THAT ARE EMBEDDED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH A.S. 1580, OR A.S. 3700, 1982 TABLE 202, HOT DIPPED GALV., SYSTEM ON CADMIUM COATED.

ALL WET AREAS TO COMPLY WITH BCA 3.8.1.2 OF VOL. 2, OR A.S. 3740-1994 WALL FINISHES SHALL BE IMPERVIOUS TO A MIN. HEIGHT OF 1500MM ABOVE FLOOR FINISH. ALL TOILET, BATH, ENCLOSURES AND 1500MM ABOVE BATHS, BASINS, SINKS AND TUBS TO BE WITHIN 750MM OF THE WALL UNLESS NOTED OTHERWISE.

PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600MM CRS IN EACH DIRECTION AND WITHIN 300MM OF ARTICULATION JOINTS.

PROVIDE THERMAL INSULATION AS FOLLOWS:

EXTERNAL WALLS: INSULATION AS FOLLOWS

CEILING: INSULATION PROVIDED WITH MIN R 3.0 VALVE INSULATION REFER BATH CERTIFICATE

THE BUILDER WILL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW WORKS.

ALL BALUSTRADES TO BE DESIGNED AND COMPLY WITH A.S. 1971.0

PROJECT TEAM INFORMATION

THESE DWGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT TEAM INFORMATION INCLUDING STRUCTURAL, ENGINEERING, SERVICES ENGINEERING, ACOUSTIC ENGINEERING AND LANDSCAPE DESIGN

THE BUILDER SHALL REPORT ALL DISCREPANCIES, MISOURCAGES AND OMISSIONS TO THE PRINCIPAL REPRESENTATIVE AND SEEK CLARIFICATION BEFORE PROCEEDING.

STAIRS (PUBLIC)

MAX RISER -190MM, MIN -150MM

MIN TREAD -350MM, MAX 500MM

BALUSTRADE @ 865MM FROM NOSING OF TREAD

STAIRS (SOLE OCCUPANCY UNIT)

MAX RISER -190MM, MIN -150MM

MIN TREAD -350MM, MAX 500MM

BALUSTRADE @ 865MM FROM NOSING OF TREAD

STAIR TREADS AND LANDINGS TO HAVE NON-SLIP FINISH THROUGHOUT OR AN ADEQUATE NON-SLIP STRIP NEAR THE EDGE OF THE LANDING IN ACCORDANCE WITH BCA TABLE D2.14 WHEN TESTED IN ACCORDANCE WITH A.S. 4586

ALL STAIRS TO HAVE OPTIC SPODES IN ACCORDANCE WITH AS 1428.1 - 2009 CLAUSE 11.1(2)

PROVISION FOR THE STAIR TREADS TO HAVE NOSING NOT LESS THAN 25MM AND NOT GREATER THAN 75MM DEEP ALONG THE FULL WIDTH OF THE TREAD AND WITH A DIFFERENCE IN LEVEL OF NOT MORE THAN 5MM IN A COLOUR WITH 20% CONTRAST TO THE BACKGROUND

ALL SWITCHES AND CONTROLS ON THE ACCESS PATH OF TRAVEL ARE TO BE LOCATED BETWEEN 900-1000MM ABOVE FFL AND NOT LESS THAN 500MM FROM INTERNAL CORNERS AS PER SECTION 14 OF A.S. 1428.1-2009

PROVISION OF BRALLE AND TACTILE SIGNAGE IN ACCORDANCE WITH SECTION 8 OF A.S. 1428.1 - 2009

PROVISION OF TACTILE GROUND SURFACE INDICATORS IN ACCORDANCE WITH SECTIONS 1.8.2 OF A.S. 1428.1 - 2009

PROVISION OF A MINIMUM 20% LUMINANCE CONTRAST TO IDENTIFY THE LOCATION OF ALL DOORWAYS IN ACCORDANCE WITH SECTION 13.1 OF A.S. 1428.1-2009

DOOR SIZES PROVIDING A CLEAR OPENING WIDTH OF AT LEAST 800MM TO ALL DOORS REQUIRED FOR CIRCULATION THROUGHOUT THE LEVEL BY PERSONS WITH AMBLANT DISABILITIES.

DOOR HARDWARE TO COMPLY WITH SECTION 13.5.2 OF A.S. 1428.1-2009

ALL SERVICES PENETRATING A BUILDING ELEMENT REQUIRED TO TAKE A FIRE RESISTANCE LEVEL MUST BE PROTECTED IN ACCORDANCE WITH PART C1.15 OF THE BCA. ALL TEST SYSTEMS & DETAILS PROVIDED. TWO HOUR FIRE SEPARATION MUST BE MAINTAINED FOR PENETRATIONS

A POWER OPERATED DOOR TO A PATH OF TRAVEL TO AN EXIT MUST BE CAPABLE OF BEING OPENED MANUALLY WITH A FORCE NOT EXCEEDING 110N IF POWER FAILURE

A 75MM GLAZING MAT/FIBREGLAZ IS TO BE PROVIDED TO ALL CLEAR GLAZED PANELS. THE DECAL MUST BE LOCATED BETWEEN 900 & 1000MM AND EXTEND THE FULL WIDTH REFER TO FINISHES SCHEDULE FOR TYPE

ALL JOINTERY DOORS TO HAVE CHILD SAFE LATCHES BARLATCH TO PREVENT SLIPS TRIPS AND FALLS

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING RETENTION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED ONLY BY THE SITE MANAGER.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL PIPE TIPS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.

4. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

5. ALL SETTLEMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC PROTECTA OR APPROVED EQUIVALENT BETWEEN POSTS AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

KITCHEN - GENERAL NOTES

GENERAL REQUIREMENTS:

PROOF AGAINST PEST/STEATED WATER IN ACCORDANCE WITH AS 3600.4.2 FLOORS

CERAMIC FLOOR TILES SHALL BE CLEANABLE, NON-ABSORBENT, EPOXY GROUTED AND LAD IN ACCORDANCE WITH AS 3958.1

THE INTERSECTION OF FLOORS WITH WALLS SHALL MEET THE COVERING REQUIREMENT

COVERING THE MINIMUM RADUIS TO BE 25MM. REFER TO FINISHES SCHEDULE FOR DETAILS LEGS TO ANY FIXTURES SHALL BE MINIMUM 150MM

WALLS AND CEILING SHALL BE OF SOLID CONSTRUCTION

CEILING SHALL BE NON-PERFORATED AND FINISHED FREE OF OPEN JOINTS, CRACKS AND CREVICES.

WALLS AND CEILING SHALL BE TIGHT JOINTED, SEALED AND DUST PROOF.

SEALANTS USED SHALL BE WASHABLE AND IMPERVIOUS MATERIAL

WALLS AND CEILING ARE TO BE OF LIGHT COLOUR. REFER TO FINISHES SCHEDULE FOR DETAILS

ALL SHELVING TO BE 25MM OFF WALL

SERVICES

SERVICE PIPES CONDUITS AND WIRING SHALL BE CONCEALED IN FLOOR PLINths WALLS AND CEILING

SHALL BE FIXED ON BRACKETS WITH 25MM CLEARANCE BETWEEN PIPE AND WALL SURFACE

ALL PENETRATIONS SHOULD BE SEALED

FIXTURES SHALL BE MOVABLE FOR CLEANING

REFER TO MECHANICAL CONSULTANTS DWGS FOR ALL VENTILATION DETAILS

REFER TO HYDRAULIC CONSULTANTS DWGS FOR ALL HYDRAULIC DETAILS AND DISPOSAL OF WASTE WATER

REFER TO ELECTRICAL CONSULTANTS DWGS FOR ALL ELECTRICAL DETAILS

HANDWASHING

HANDBASINS ARE TO BE PROVIDED WITH A SINGLE OUTLET FOR WARM CLEAN POTABLE WATER.

PROVIDE A TOWEL AND SOAP DISPENSER

A RECEPTACLE FOR USED TOWELS SHALL BE PROVIDED

AUSTRALIAN STANDARDS COMPLIANCE

THE BUILDING WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH, BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:

AS/NZS 1664 ALUMINIUM STRUCTURES

AS/NZS 1905 COMPONENTS FOR THE PROTECTION OF OPENINGS IN FIRE RESISTANT WALLS

AS 1592.3 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING

AS 2047 WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION

AS 2327 COMPOSITE STRUCTURES

AS 2070 RESIDENTIAL SLABS AND FOOTING CONSTRUCTION

AS 1680 INTERIOR AND WORKPLACE LIGHTING

AS 1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION

AS 3700 MASONRY STRUCTURES

AS 3013 ELECTRICAL INSTALLATIONS

AS 1668 THE USE OF MECHANICAL VENTILATION AND AIR-CONDITIONING IN BUILDINGS

AS 2441 INSTALLATION OF HOSE REELS

AS 2444 PORTABLE FIRE EXTINGUISHERS AND FIRE BLANKETS - SELECTION AND LOCATION

AS 3786 SMOKE ALARMS

AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION

AS 2107 ACOUSTICS - RECOMMENDED DESIGN SOUND LEVELS AND REVERBERATION TIMES FOR BUILDING

AS 3661-1:2000 INTERIORS TERMITE MANAGEMENT - NEW BUILDING WORK

AS/NZS 2991-1:2004 OFF-STREET PARKING

AS 3023-1993 DOMESTIC METAL FRAMING

STATUS

DA ISSUE

REV	DESCRIPTION	DATE	BY
B	TEST FIT B	16.08.2020	EV
C	TEST FIT C	18.08.2020	EV
D	TEST FIT D	19.08.2020	EV
E	DA ISSUE	25.08.2020	EV
F	DA ISSUE - PM REVISED	02.09.2020	EV
G	DA ISSUE - PM REVISED-2	03.09.2020	EV
H	DA ISSUE - NOTES ADDED	09.09.2020	EV

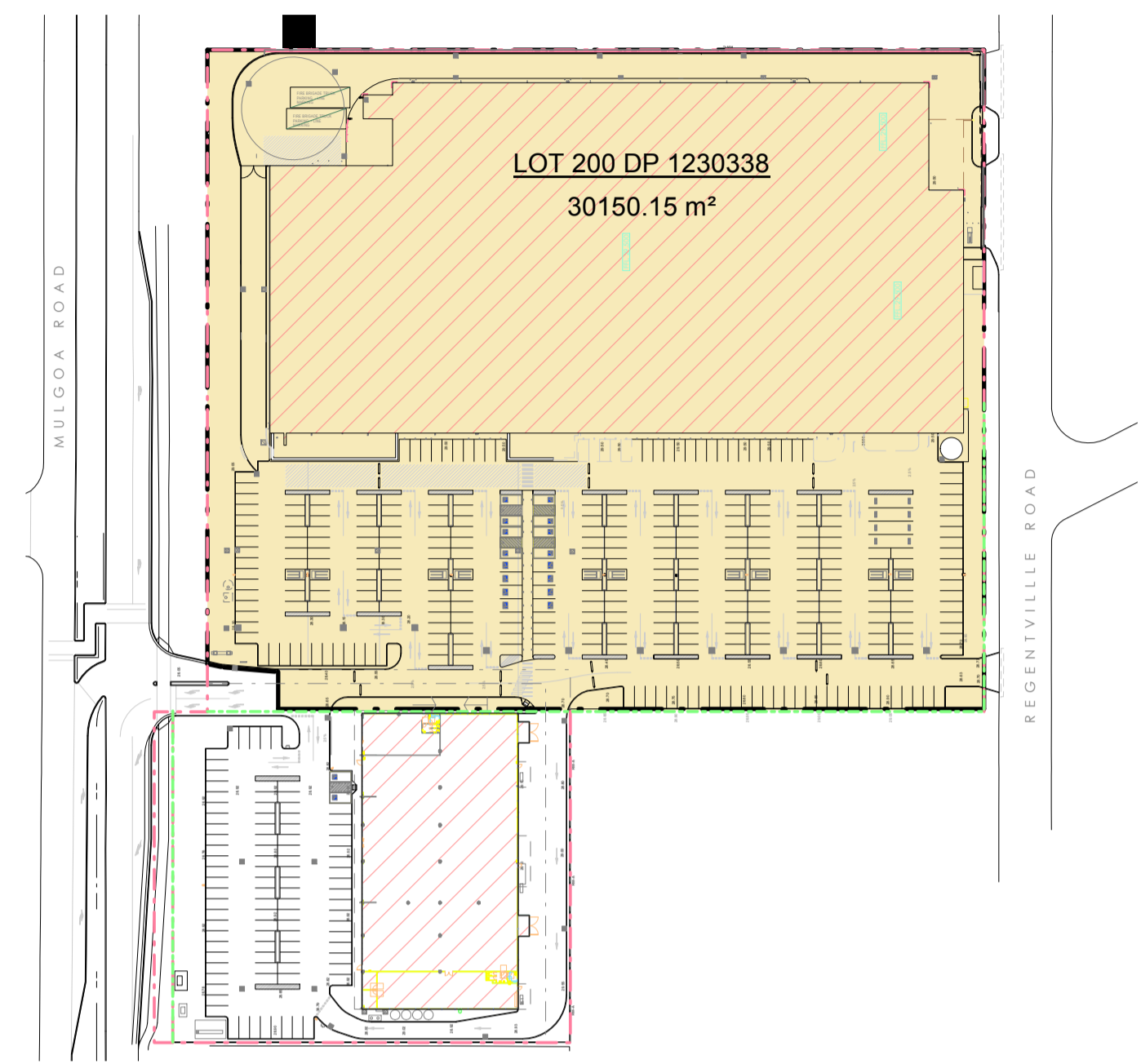


CLIENT		HomeCo
ADDRESS		72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)
PROJECT No.	PROJECT	CENTRE BASED CHILDCARE
19046		
DRAWING TITLE		OVERALL SITE PLAN
SCALE (@A1)	As indicated	DATE ISSUED 09.09.2020
DRAWING No.	DA-002	REV H

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHTED AND REMAINS THE PROPERTY OF THE ARCHITECT.

FILE REF: X:\01_Projects\02_CDD\2019\19046_Homeco Penrit, NSW\02_DESIGN\CAD_Drawings\19046 HOME CO PENRIT_REV_H.rvt

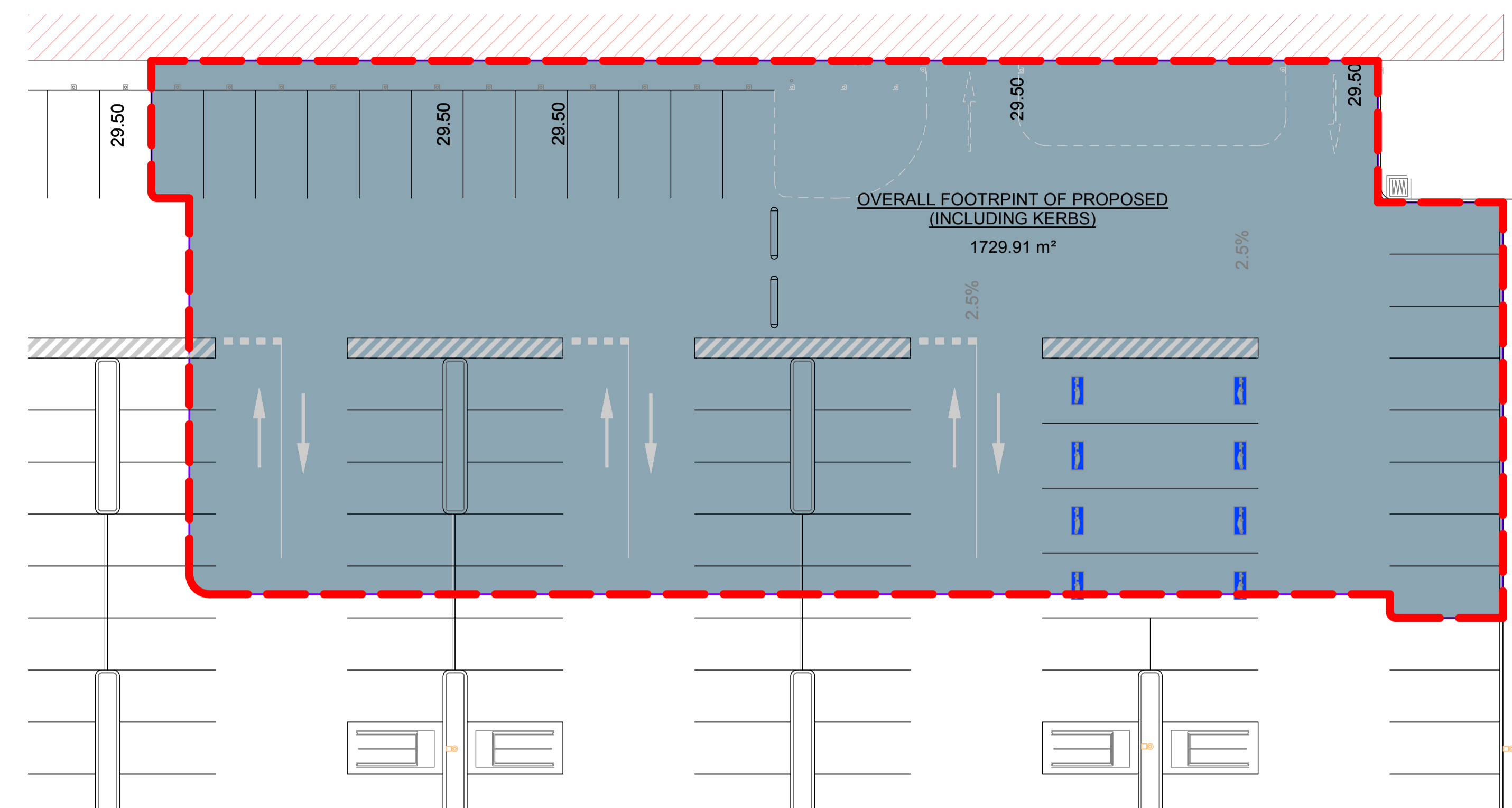
SITE PARTICULARS	
LOT NUMBER:	LOT 200
DP NUMBER:	DP 1230338
COUNCIL:	PENRITH CITY COUNCIL
ZONING:	B5 - BUSINESS DEVELOPMENT
OVERALL SITE AREA:	30150.15 Ha
PROPOSAL	
110 PLACE CENTRE BASED CHILDCARE FACILITY EXTERNAL TO EXISTING / BULKY GOODS PREMISES	



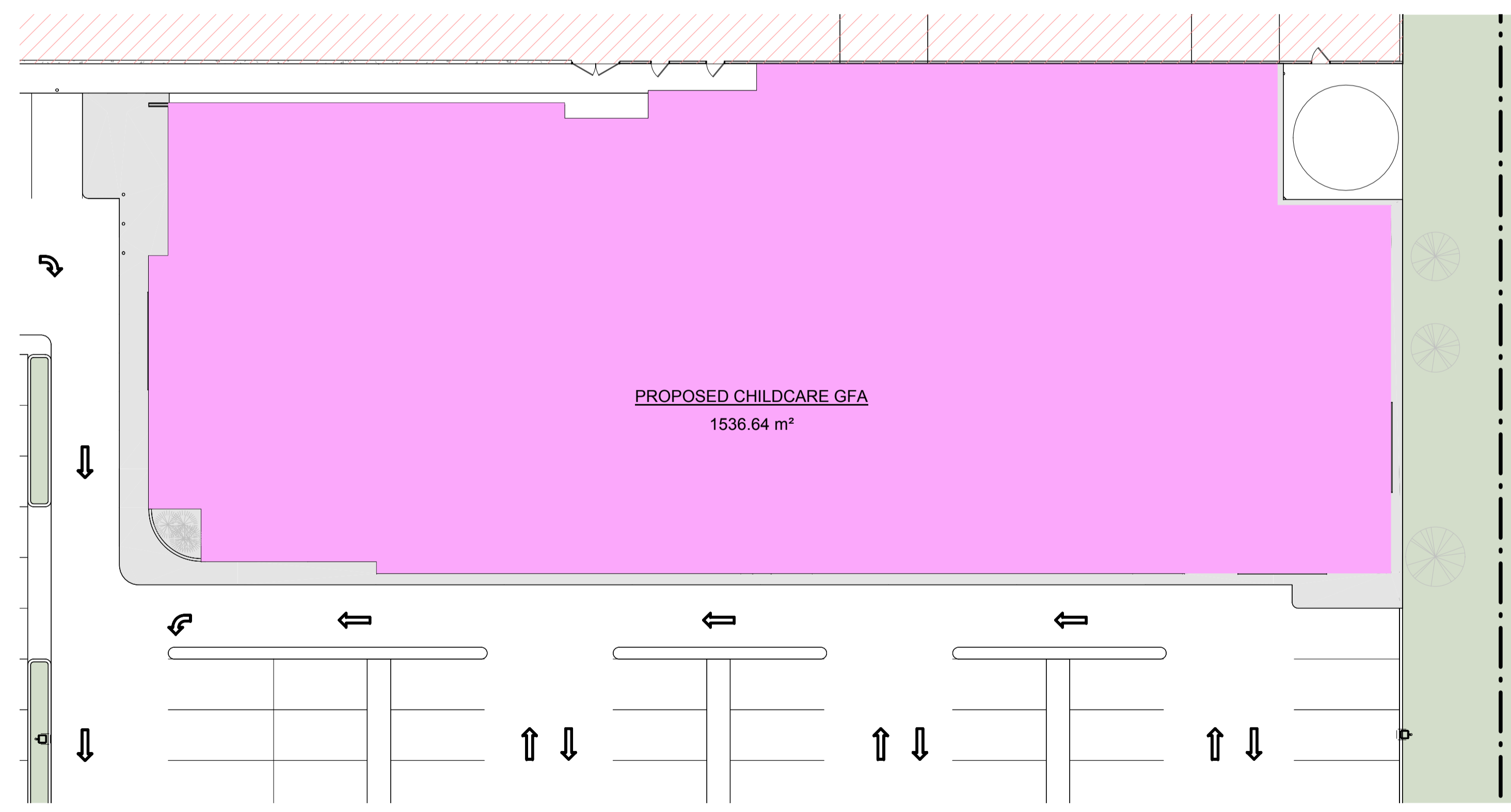
1 OVERALL SITE
1:1500



2 BUILDING 1 / BUILDING 2 GFA
1:1500



3 OVERALL FOOTPRINT (INCLUDING KERBS)
1:200



4 CHILDCARE GFA
1:200

STATUS

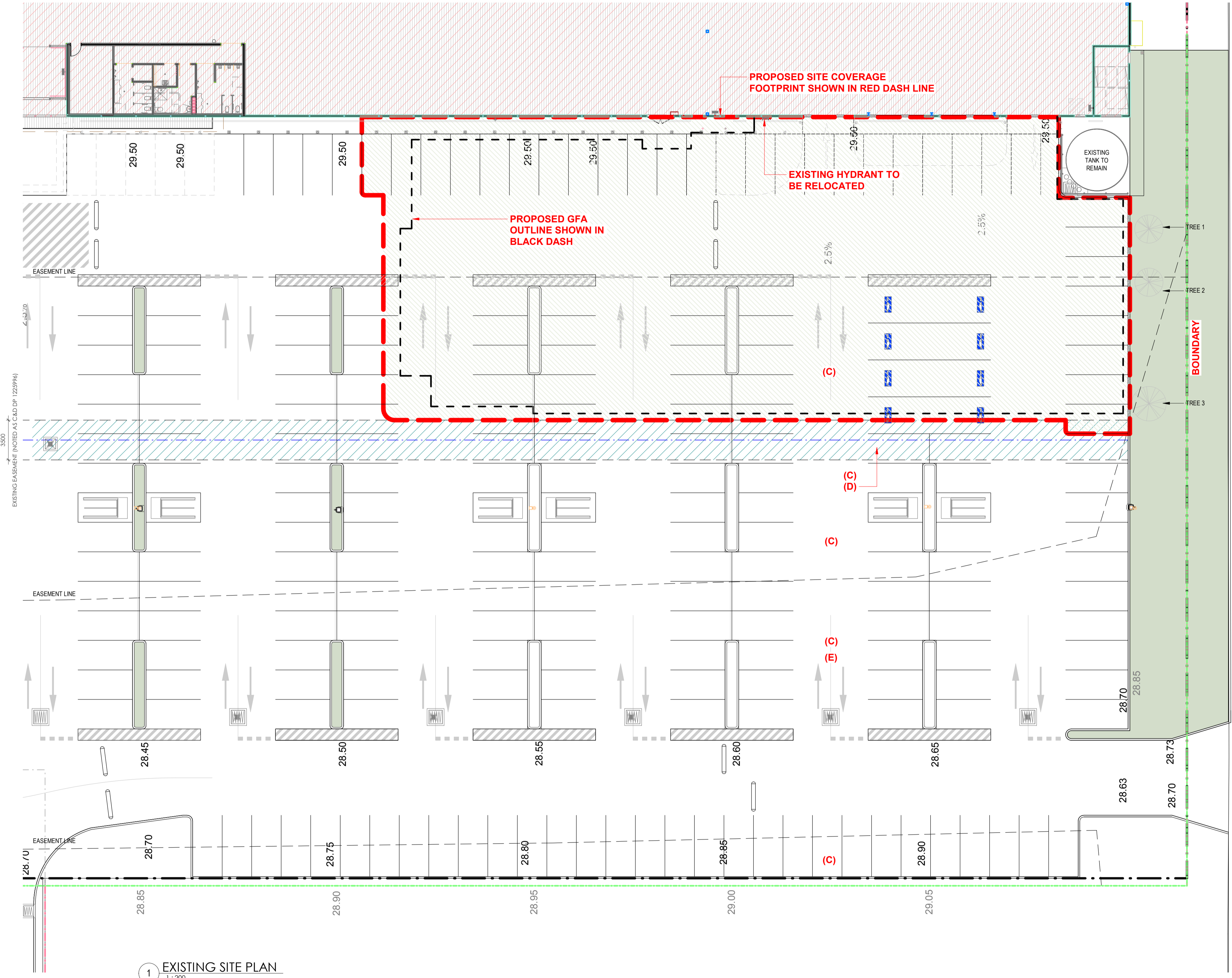
DA ISSUE

REV	DESCRIPTION	DATE	BY
B	TEST FIT B	16.08.2020	EV
C	TEST FIT C	18.08.2020	EV
D	TEST FIT D	19.08.2020	EV
E	DA ISSUE	25.08.2020	EV
F	DA ISSUE - PM REVISED	02.09.2020	EV
G	DA ISSUE - PM REVISED-2	03.09.2020	EV
H	DA ISSUE - NOTES ADDED	09.09.2020	EV



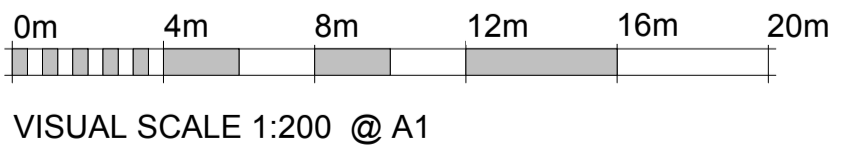
CLIENT	HomeCo	DRAWING TITLE	AREA PLAN
ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)	SCALE (@A1)	As indicated
PROJECT No.	19046	PROJECT	CENTRE BASED CHILDCARE
<small>THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.</small>		DATE ISSUED	09.09.2020
		DRAWING No.	DA-003
		REV	H

SITE PARTICULARS	
LOT NUMBER:	LOT 200
DP NUMBER:	DP 1230338
COUNCIL:	PENRITH CITY COUNCIL
ZONING:	B5 - BUSINESS DEVELOPMENT
OVERALL SITE AREA:	3.015 Ha
PROPOSAL	
110 PLACE CENTRE BASED CHILDCARE FACILITY EXTERNAL TO EXISTING / BULKY GOODS PREMISES	



1 EXISTING SITE PLAN
1:200

- EASEMENT NOTES**
- EASEMENT INFORMATION TAKEN FROM DP 1230338 PLAN REFERENCE 34726-4404 (DP DATED 29/11/2016 AS AN APPROXIMATION ONLY)
- (A) RIGHT OF CARRIAGEWAY VARIABLE WIDTH (DP 1225996)
 - (B) RESTRICTION ON THE USE OF LAND (DP 1225996)
 - (C) RESTRICTION ON THE USE OF LAND (DP 1225996)
 - (D) EASEMENT FOR DRAINAGE OF WATER 3.5 WIDE (DP 1225996)
 - (E) RESTRICTION ON THE USE OF LAND (DP 1225996)
 - (F) EASEMENT TO DRAIN WATER 1.5, 2.0 & 3.0 WIDE (DP 1225996)
 - (G) EASEMENT FOR Pylon SIGNAGE 0.7 WIDE LIMITED IN STRATUM (DP 1225996)
 - (H) EASEMENT FOR SERVICES 1.0 WIDE (DP 1225996)
 - (I) RESTRICTION ON THE USE OF LAND (DP 1225996)
 - (J) EASEMENT FOR PAD MOUNT SUBSTATION 2.72 WIDE (DP 1225996)
 - (K) RESTRICTION ON THE USE OF LAND (DP 1225996)
 - (L) EASEMENT FOR OVERHANG 0.25 WIDE (DP 1225996)



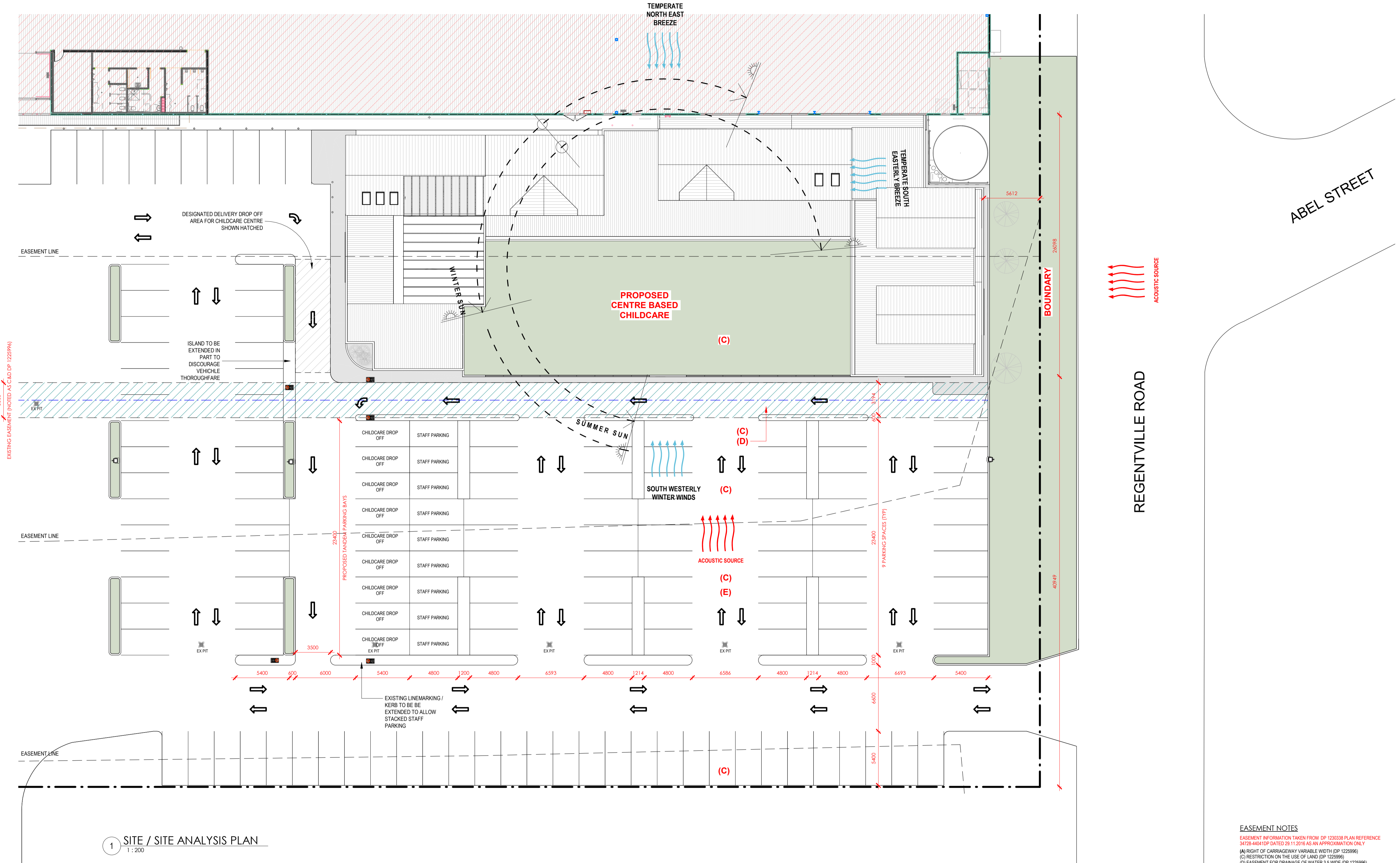
REV	DESCRIPTION	DATE	BY
B	TEST FIT B	16.08.2020	EV
C	TEST FIT C	18.08.2020	EV
D	TEST FIT D	19.08.2020	EV
E	DA ISSUE	25.08.2020	EV
F	DA ISSUE - PM REVISED	02.09.2020	EV
G	DA ISSUE - PM REVISED-2	03.09.2020	EV
H	DA ISSUE - NOTES ADDED	09.09.2020	EV



	CLIENT	HomeCo		DRAWING TITLE	SITE PLAN (EXISTING)				
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)			SCALE (@A1)	As indicated	DATE ISSUED 09.09.2020		
PROJECT No.	19046		PROJECT	CENTRE BASED CHILDCARE		DRAWING No.	DA-100	REV	H

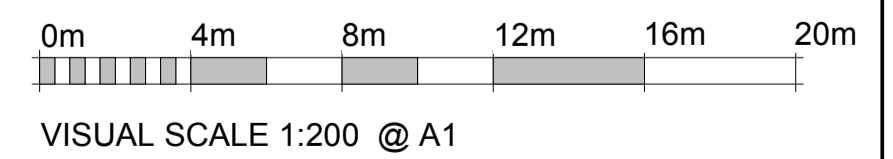
THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

SITE PARTICULARS	
LOT NUMBER:	LOT 200
DP NUMBER:	DP 1230338
COUNCIL:	PENRITH CITY COUNCIL
ZONING:	B5 - BUSINESS DEVELOPMENT
OVERALL SITE AREA:	3.015 Ha
PROPOSAL	
110 PLACE CENTRE BASED CHILDCARE FACILITY EXTERNAL TO EXISTING / BULKY GOODS PREMISES	



1 SITE / SITE ANALYSIS PLAN
1 : 200

- EASEMENT NOTES**
- EASEMENT INFORMATION TAKEN FROM DP 1230338 PLAN REFERENCE 34728-4404 DP DATED 29.11.2016 AS AN APPROXIMATION ONLY
- (A) RIGHT OF CARRIAGEWAY VARIABLE WIDTH (DP 1229996)
 - (C) RESTRICTION ON THE USE OF LAND (DP 1229996)
 - (D) EASEMENT FOR DRAINAGE OF WATER 3.5 WIDE (DP 1229996)
 - (E) EASEMENT FOR DRAINAGE OF WATER 3.5 WIDE (DP 1229996)
 - (G) EASEMENT FOR DRAINAGE OF WATER 1.5, 2.1 & 3.0 WIDE (DP 1229996)
 - (H) EASEMENT FOR PYLON SIGNAGE 0.7 WIDE LIMITED IN STRATUM (DP 1229996)
 - (I) EASEMENT FOR SERVICES 1.0 WIDE (DP 1229996)
 - (L) EASEMENT FOR PAD MOUNT SUBSTATION 2.72 WIDE (DP 1229996)
 - (M) RESTRICTION ON THE USE OF LAND (DP 1229996)
 - (P) EASEMENT FOR OVERHANG 0.25 WIDE (DP 1229996)



Site 14, 401 Pacific Highway
Avalaram, NSW 2064
Subs 15, 1657 The Hoxley Drive
Smithfield, NSW 2164

P: 02 8310 6300
E: info@fivecanons.com.au
www.fivecanons.com.au

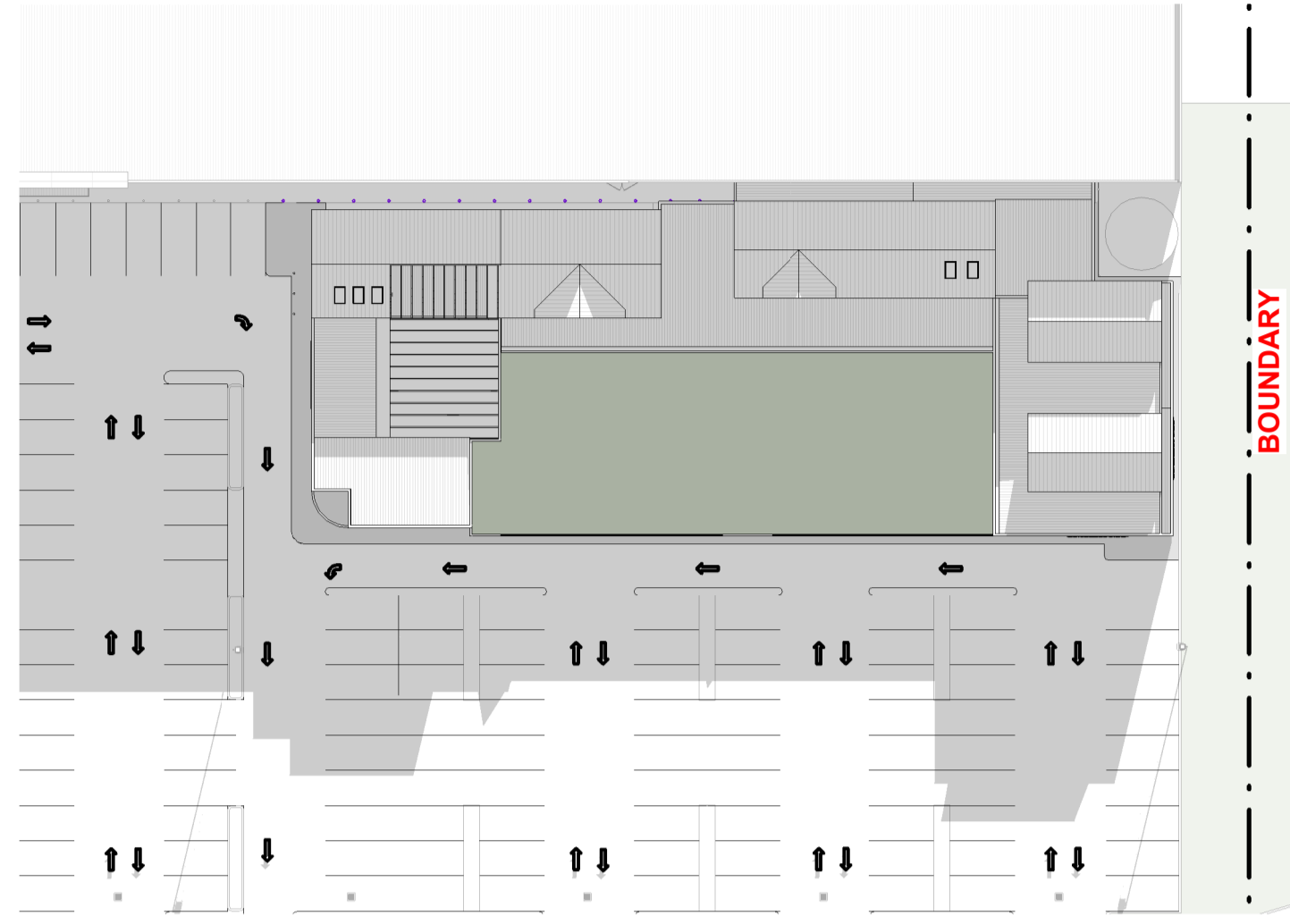
FIVE CANONS
ARCHITECTURE
Evnr Pty Ltd Tras Five Canons ABN:86 609 881 761

REV	DESCRIPTION	DATE	BY
B	TEST FIT B	16.08.2020	EV
C	TEST FIT C	18.08.2020	EV
D	TEST FIT D	19.08.2020	EV
E	DA ISSUE	25.08.2020	EV
F	DA ISSUE - PM REVISED	02.09.2020	EV
G	DA ISSUE - PM REVISED-2	03.09.2020	EV
H	DA ISSUE - NOTES ADDED	09.09.2020	EV

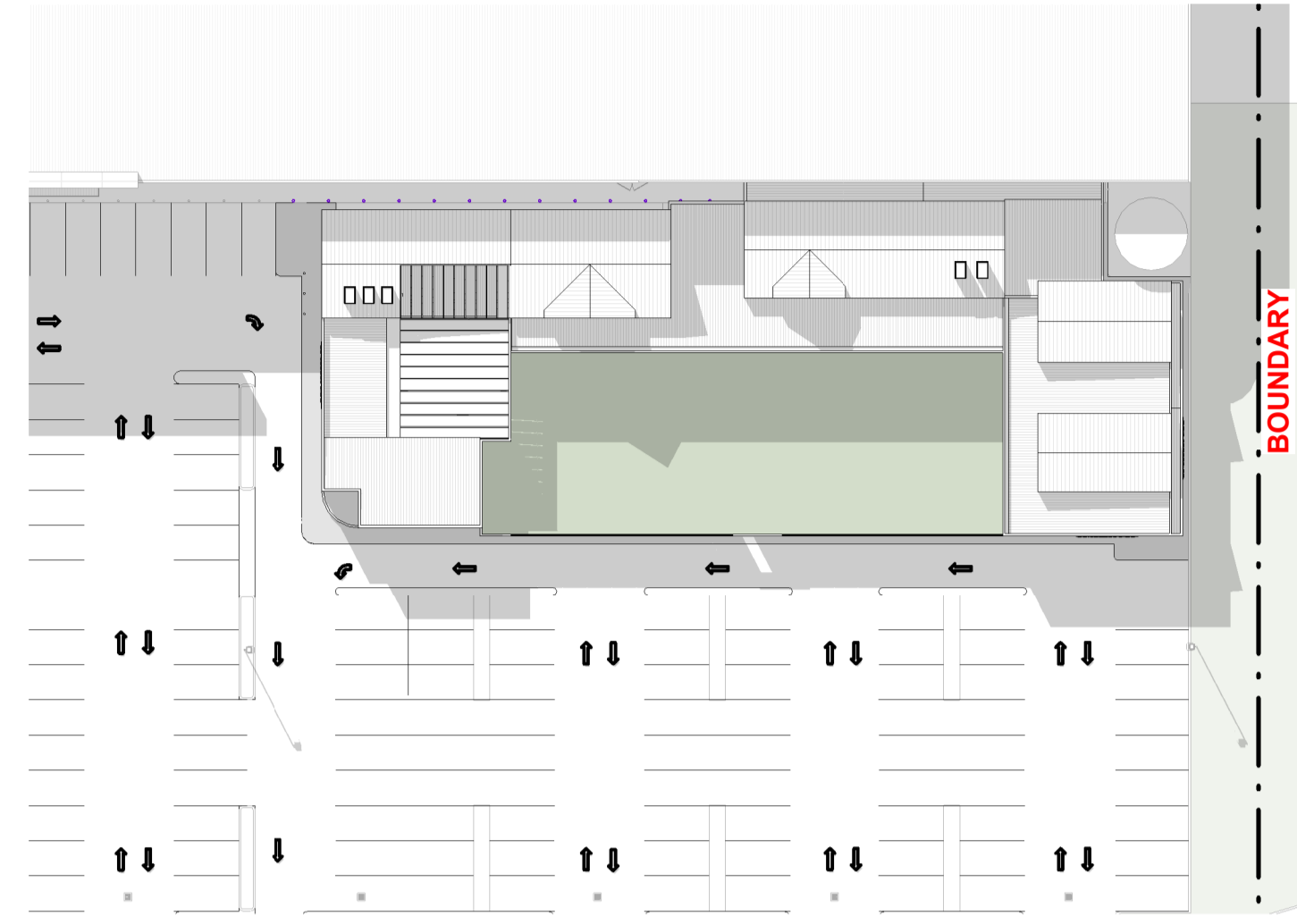


NORTH	CLIENT	HomeCo	
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)	
PROJECT No.	PROJECT	SCALE (@A1)	DATE ISSUED
19046	CENTRE BASED CHILDCARE	As indicated	09.09.2020
DRAWING No.	DRAWING No.	DA-101	REV H

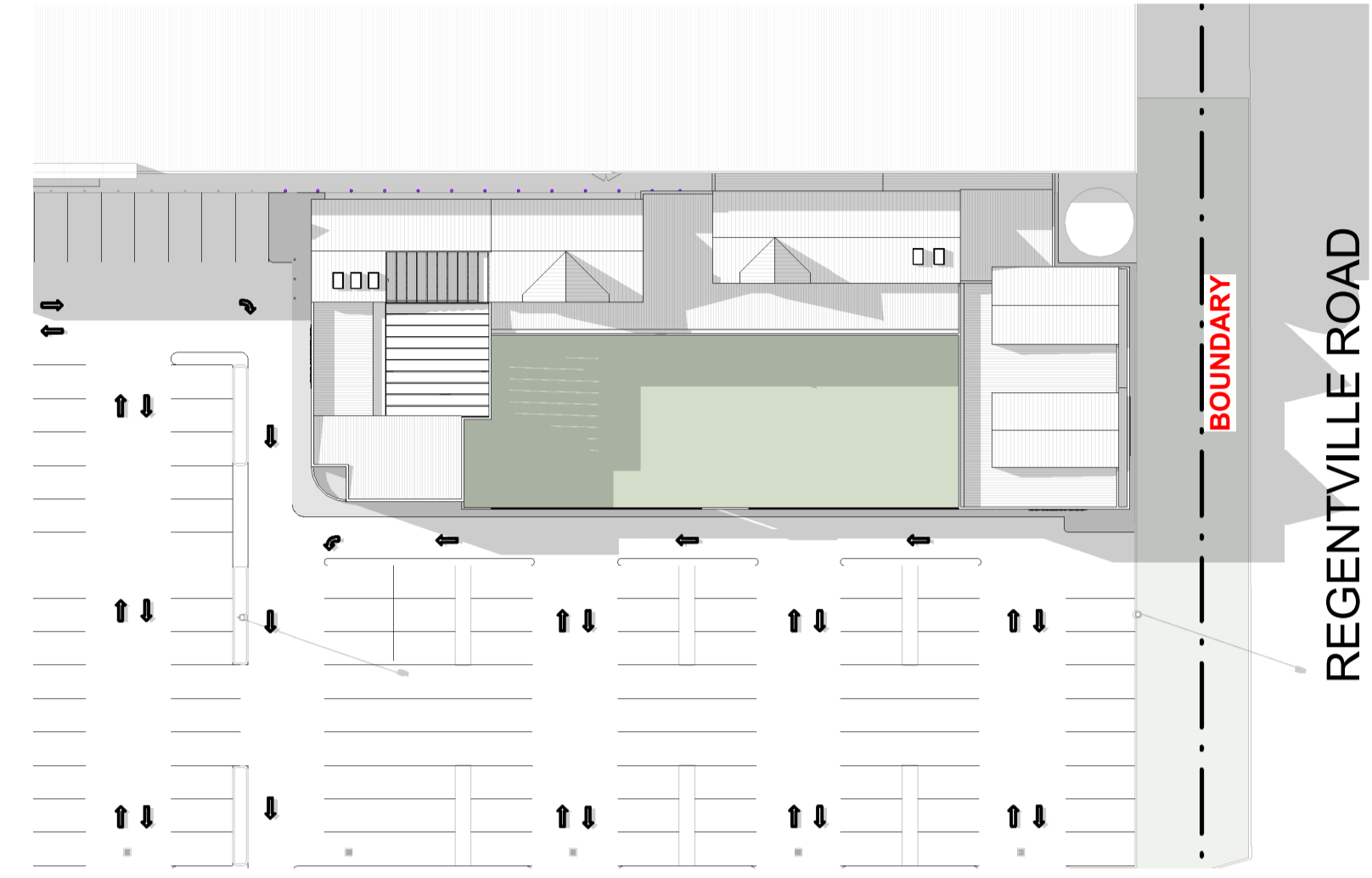
THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.



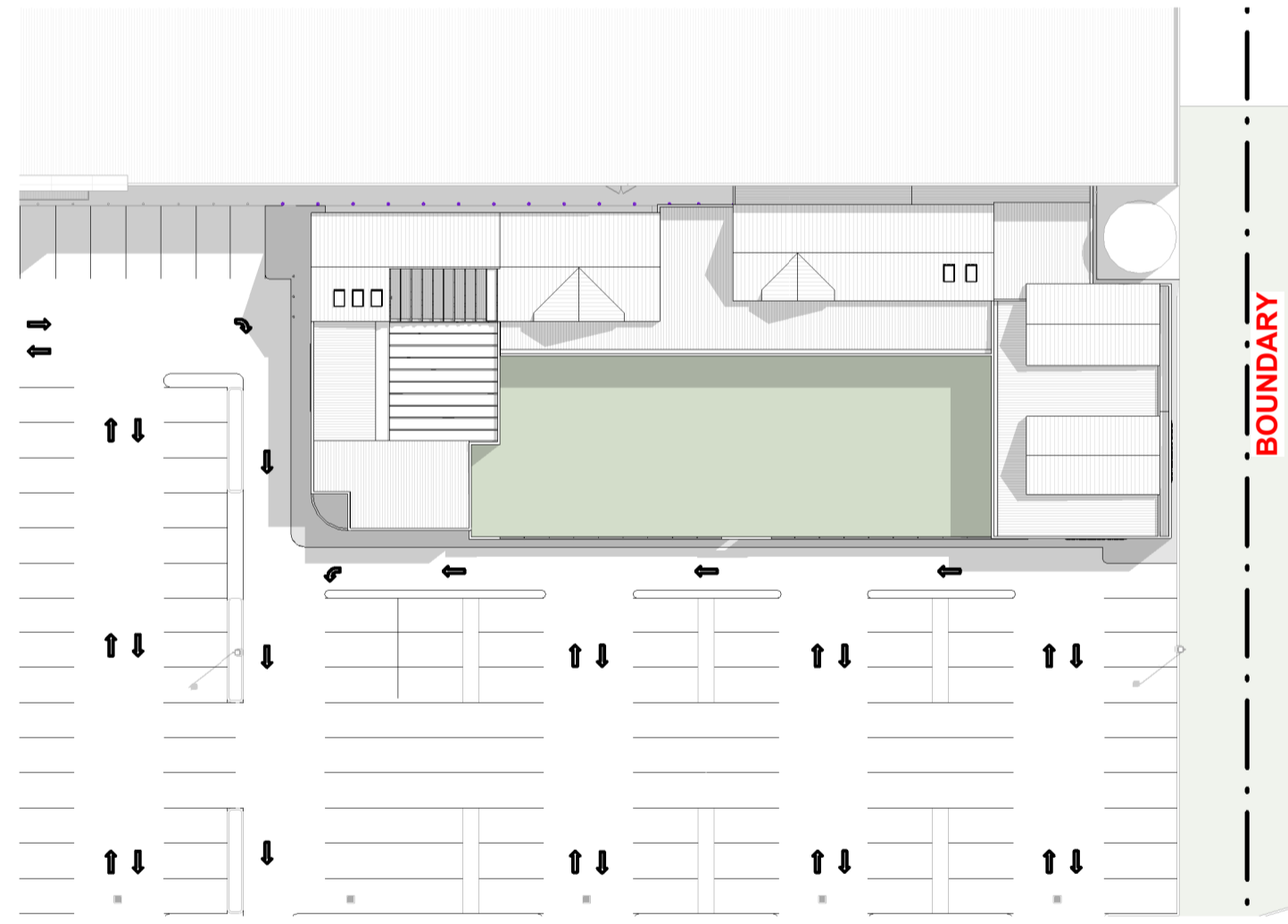
1 WINTER SOLSTICE 9am
1:500



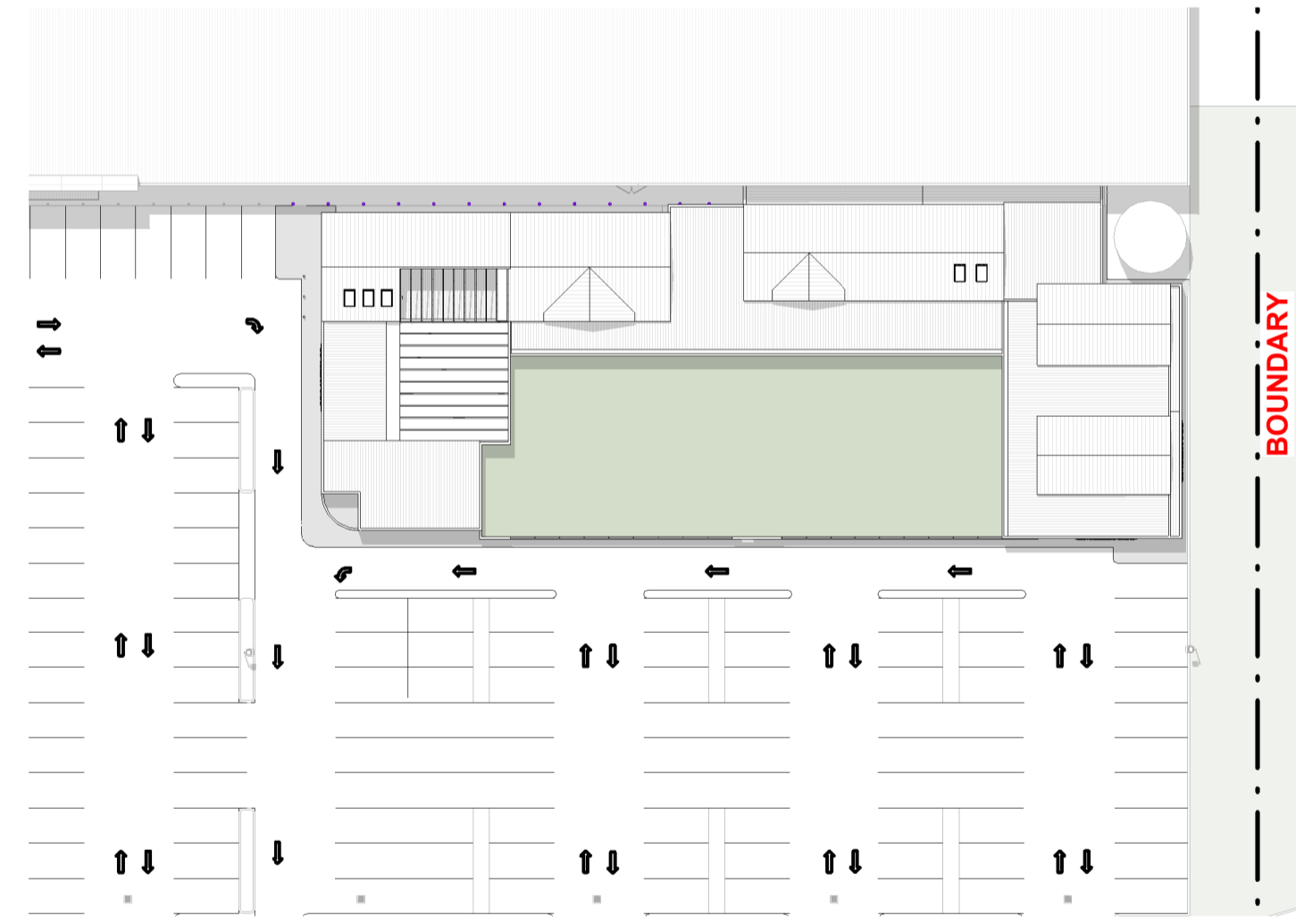
2 WINTER SOLSTICE 12pm
1:500



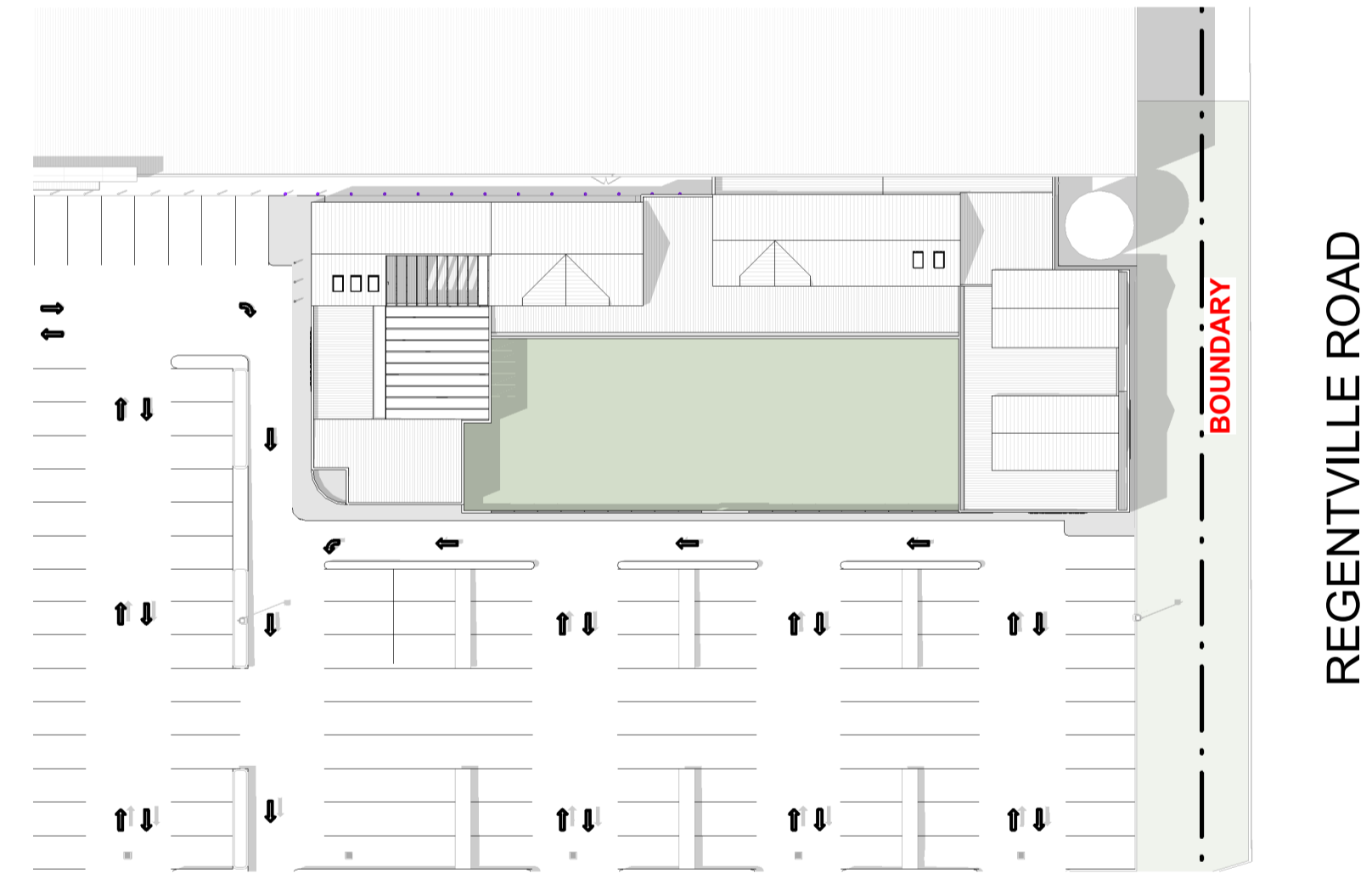
3 WINTER SOLSTICE 3pm
1:500



4 SUMMER SOLSTICE 9am
1:500



5 SUMMER SOLSTICE 12pm
1:500



6 SUMMER SOLSTICE 3pm
1:500

STATUS
DA ISSUE

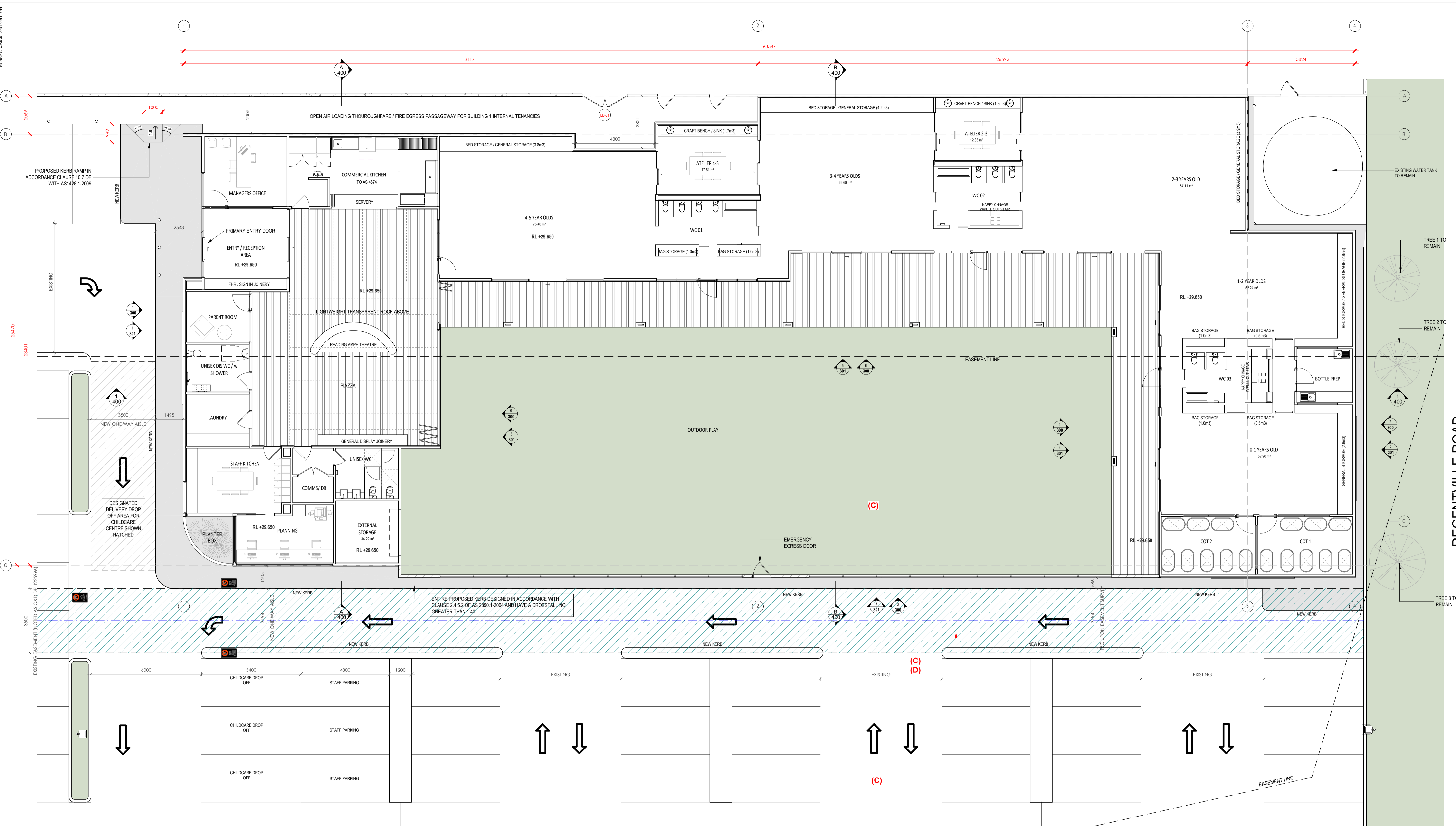
REV	DESCRIPTION	DATE	BY
B	TEST FIT B	16.08.2020	EV
C	TEST FIT C	18.08.2020	EV
D	TEST FIT D	19.08.2020	EV
E	DA ISSUE	25.08.2020	EV
F	DA ISSUE - PM REVISED	02.09.2020	EV
G	DA ISSUE - PM REVISED-2	03.09.2020	EV
H	DA ISSUE - NOTES ADDED	09.09.2020	EV



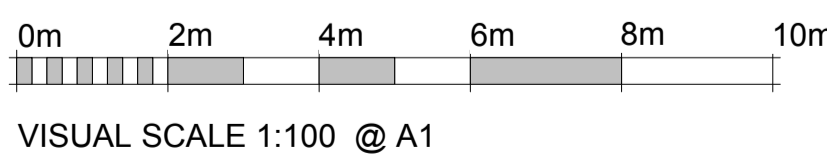
 NORTH	CLIENT	HomeCo	DRAWING TITLE	SHADOW STUDY	
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)	SCALE (@A1)	1 : 500	DATE ISSUED 09.09.2020
PROJECT No. 19046	PROJECT	CENTRE BASED CHILDCARE	DRAWING No.	DA-102	REV H

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

FILE REF: X:\01_Projects\02_CDD\2019\19046_Homeco Penrith, NSW\02_DESIGN\CAD_Drawings\19046 HOME CO PENRITH_REV H.rvt



EASEMENT NOTES
EASEMENT INFORMATION TAKEN FROM DP 1230338 PLAN REFERENCE 34728-4404 DP DATED 29.11.2016 AS AN APPROXIMATION ONLY
(A) RIGHT OF CARRIAGEWAY VARIABLE WIDTH (DP 1225996)
(B) RESTRICTION ON THE USE OF LAND (DP 1225996)
(C) RESTRICTION ON THE USE OF LAND (DP 1225996)
(D) EASEMENT FOR DRAINAGE OF WATER 3.5 WIDE (DP 1225996)
(E) EASEMENT FOR DRAINAGE OF WATER 3.5 WIDE (DP 1225996)
(F) RESTRICTION ON THE USE OF LAND (DP 1225996)
(G) EASEMENT TO DRAIN WATER 1.5, 2.1 & 3.0 WIDE (DP 1225996)
(H) EASEMENT FOR Pylon SIGNAGE 0.7 WIDE LIMITED IN STRUTUM (DP 1225996)
(I) EASEMENT FOR SERVICES 1.0 WIDE (DP 1225996)
(J) EASEMENT FOR PAD MOUNT SUBSTATION 2.72 WIDE (DP 1225996)
(K) RESTRICTION ON THE USE OF LAND (DP 1225996)
(L) EASEMENT FOR OVERHANG 0.25 WIDE (DP 1225996)



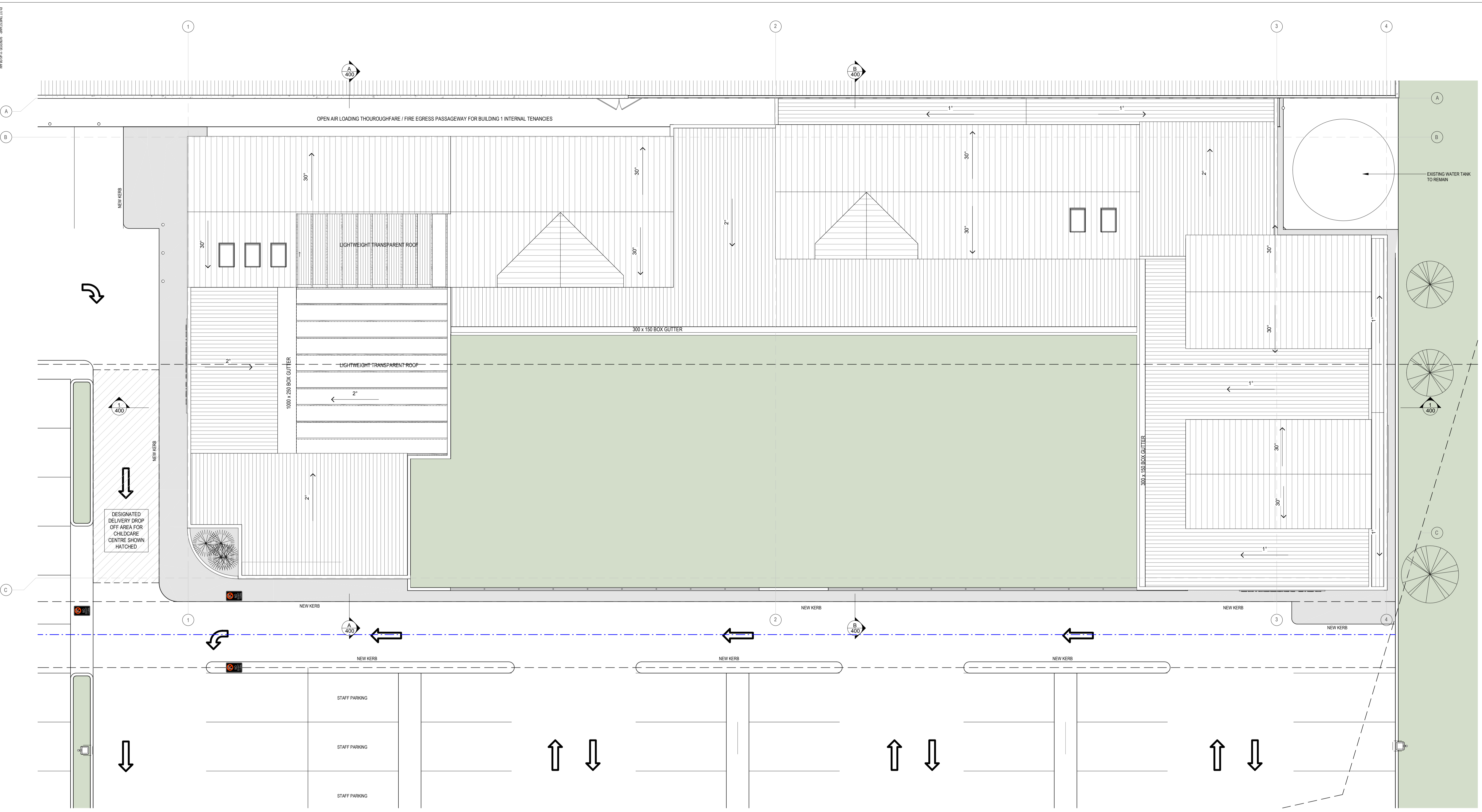
STATUS
DA ISSUE

REV	DESCRIPTION	DATE	BY
B	TEST FIT B	16.08.2020	EV
C	TEST FIT C	18.08.2020	EV
D	TEST FIT D	19.08.2020	EV
E	DA ISSUE	25.08.2020	EV
F	DA ISSUE - PM REVISED	02.09.2020	EV
G	DA ISSUE - PM REVISED-2	03.09.2020	EV
H	DA ISSUE - NOTES ADDED	09.09.2020	EV



PROJECT No. 19046	CLIENT	HomeCo	DRAWING TITLE PROPOSED FLOOR PLAN
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)	
PROJECT CENTRE BASED CHILDCARE	SCALE (@A1)	As indicated	DATE ISSUED 09.09.2020
	DRAWING No.	DA-201	REV H

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.
FILE REF: X:\01_Projects\02_CDD\2019\19046_Homeco Penrith, NSW\02_DESIGN\CAD_Drawings\19046 HOME CO PENRITH_REV H.rvt



1 ROOF PLAN (PROPOSED)
 1:100

STATUS
DA ISSUE

REV	DESCRIPTION	DATE	BY
B	TEST FIT B	16.08.2020	EV
C	TEST FIT C	18.08.2020	EV
D	TEST FIT D	19.08.2020	EV
E	DA ISSUE	25.08.2020	EV
F	DA ISSUE - PM REVISED	02.09.2020	EV
G	DA ISSUE - PM REVISED-2	03.09.2020	EV
H	DA ISSUE - NOTES ADDED	09.09.2020	EV



	CLIENT	HomeCo	DRAWING TITLE	ROOF PLAN	
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)		SCALE (@A1)	1:100
PROJECT No. 19046	PROJECT	CENTRE BASED CHILDCARE	DRAWING No.	DA-202	REV H

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.



UNENCUMBERED INDOOR SPACE
UNENCUMBERED NATURAL OUTDOOR SPACE

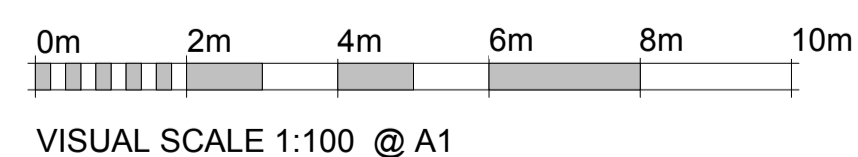
BUILDING PRACTITIONER DETAILS	
NAME	EDWIN VANEGAS
BDA AUST. ACCREDITATION NO	6246

INDOOR AREA CALCULATIONS				
INDOOR PLAY	NUMBER OF CHILDREN	REQUIRED INDOOR AREA	PROVIDED INDOOR AREA	NUMBER OF STAFF
0-1 NURSERY	16	52.00 m ²	52.90 m ²	4 (1:4)
1-2 NURSERY	16	52.00 m ²	52.24 m ²	4 (1:4)
2-3 TODDLERS	30	97.50 m ²	99.95 m ²	6 (1:5)
3-4 PRE-SCHOOL	20	65.00 m ²	66.68 m ²	2 (1:10)
4-5 PRE-SCHOOL	28	91.00 m ²	93.01 m ²	3 (1:10)
TOTAL	110	357.50 m ²	364.77 m ²	19

OUTDOOR AREA CALCULATIONS			
OUTDOOR PLAY	NUMBER OF CHILDREN	REQUIRED OUTDOOR AREA	PROVIDED OUTDOOR AREA
0-1 NURSERY	16	112.00 m ²	113.35 m ²
1-2 NURSERY	16	112.00 m ²	113.35 m ²
2-3 TODDLERS	30	210.00 m ²	212.53 m ²
3-4 PRE-SCHOOL	20	140.00 m ²	141.68 m ²
4-5 PRE-SCHOOL	28	196.00 m ²	198.36 m ²
TOTAL	110	770.00 m ²	779.27 m ²

TOTALS SUMMARY				
RATIO	NUMBER OF CHILDREN	AREA REQUIRED	PROVIDED AREA	M ² PER CHILD
INTERNAL	110	357.50 m ²	364.77 m ²	3.32 m ²
EXTERNAL	110	770.00 m ²	779.27 m ²	7.08 m ²

INTERNAL / EXTERNAL STORAGE SCHEDULE			
LOCATION	# CHILDREN	AREA REQUIRED	AREA PROVIDED
INTERNAL	110	22m ³	25.5m ³
EXTERNAL	110	33m ³	34.17m ³



REV	DESCRIPTION	DATE	BY
B	TEST FIT B	16.08.2020	EV
C	TEST FIT C	18.08.2020	EV
D	TEST FIT D	19.08.2020	EV
E	DA ISSUE	25.08.2020	EV
F	DA ISSUE - PM REVISED	02.09.2020	EV
G	DA ISSUE - PM REVISED-2	03.09.2020	EV
H	DA ISSUE - NOTES ADDED	09.09.2020	EV



PROJECT No. 19046	CLIENT	HomeCo
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)
PROJECT	PROJECT	CENTRE BASED CHILDCARE
	SCALE (@A1)	As indicated
DRAWING No.	DA-205	DATE ISSUED 09.09.2020
		REV H

DRAWING TITLE	LICENSING PLAN
SCALE (@A1)	As indicated
DRAWING No.	DA-205
DATE ISSUED	09.09.2020
REV	H

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

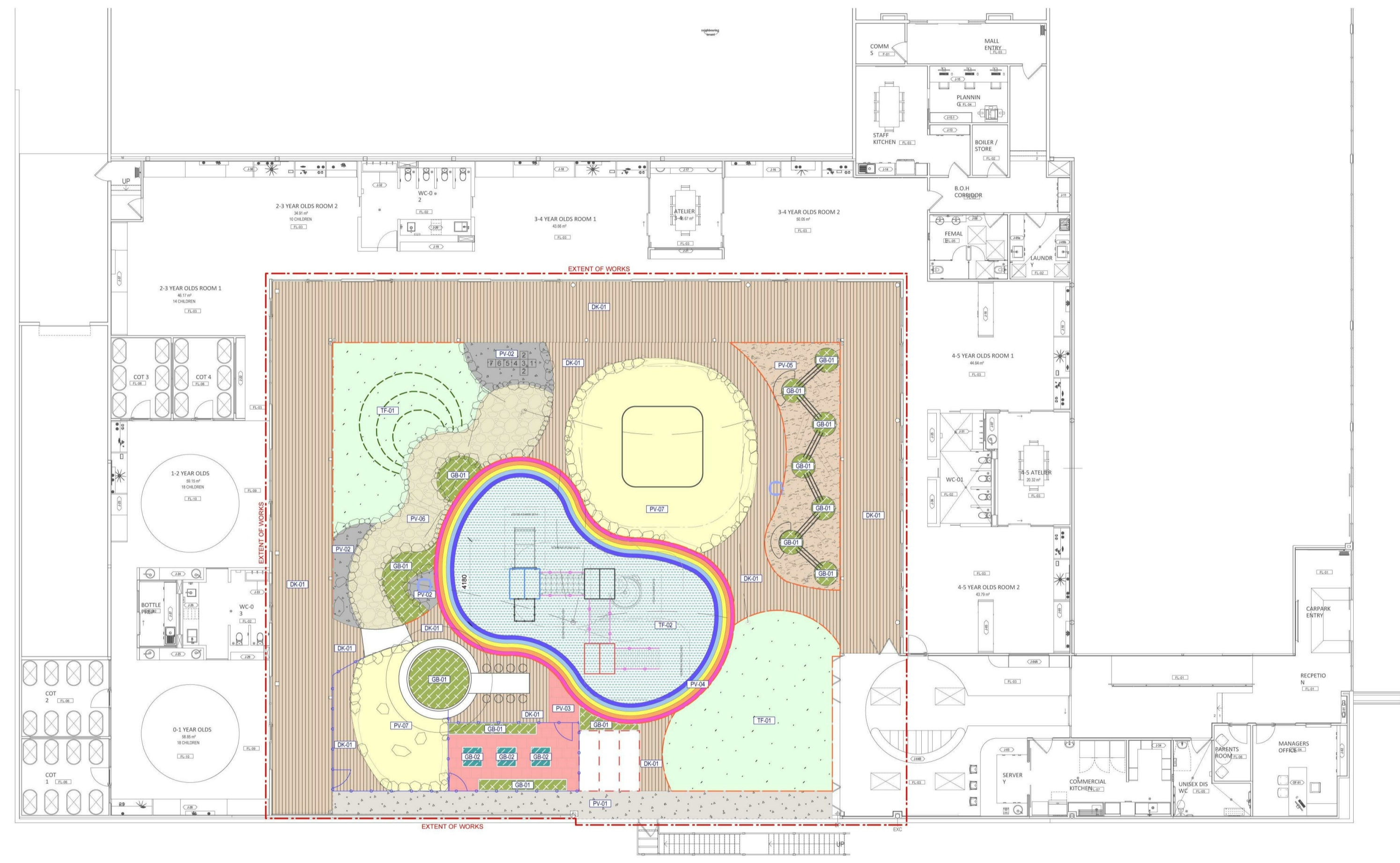


IMAGE 01- PLAN ILLUSTRATING SIMILAR DESIGN ELEMENTS TO BE INCLUDED IN FUTURE LANDSCAPE DESIGN

NOTE: ILLUSTRATIONS SHOWN ON THIS PAGE ARE TO BE USED AS A REFERENCE ONLY



IMAGE 02- 3D IMAGE SHOWING INDICATIVE NATURE OF FUTURE PROPOSED LANDSCAPE DESIGN

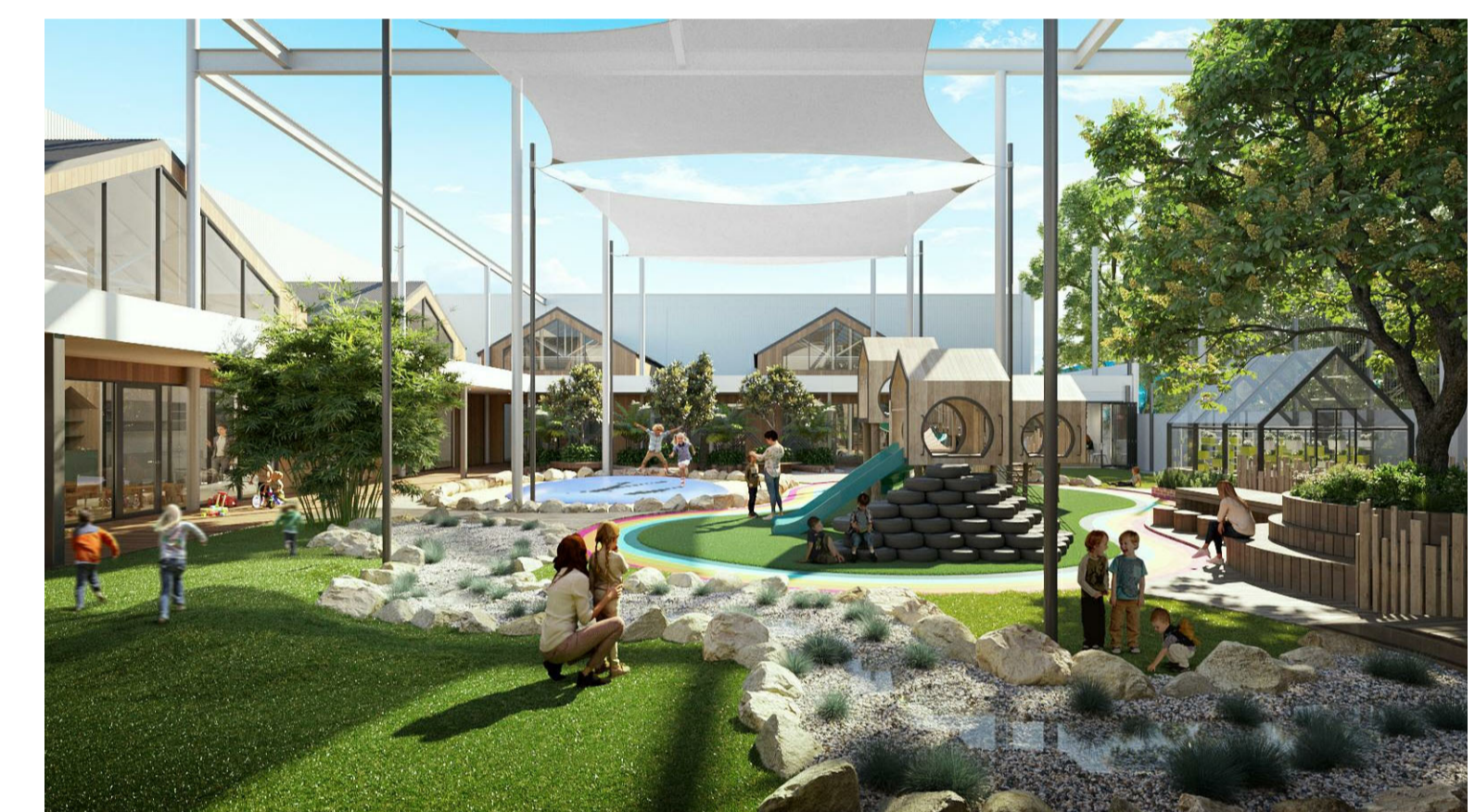


IMAGE 03- 3D IMAGE SHOWING INDICATIVE NATURE OF FUTURE PROPOSED LANDSCAPE DESIGN



IMAGE 04- 3D IMAGE SHOWING INDICATIVE NATURE OF FUTURE PROPOSED LANDSCAPE DESIGN

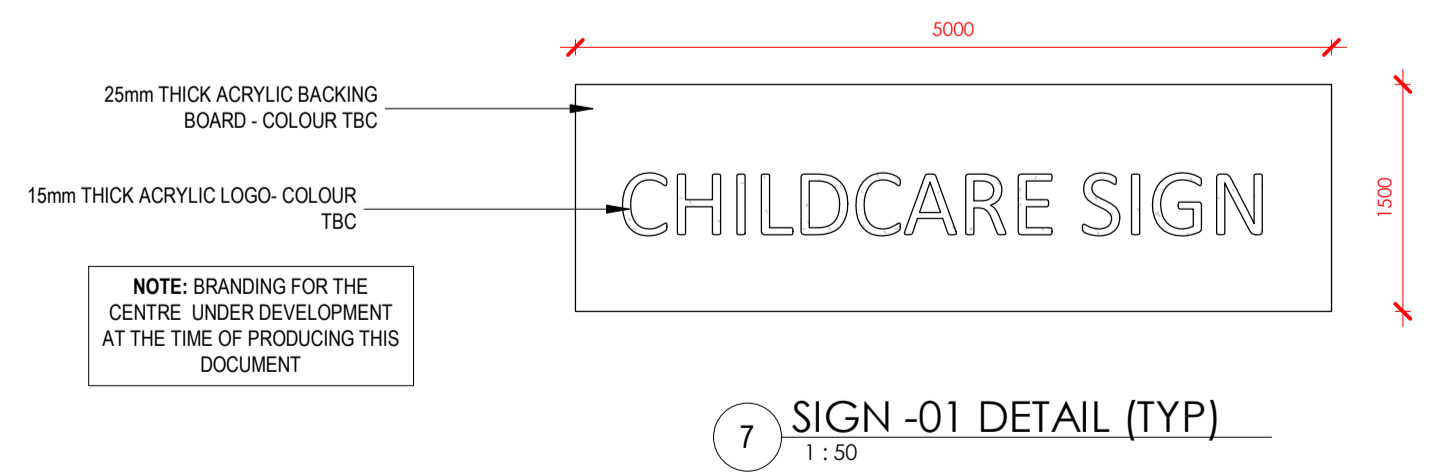
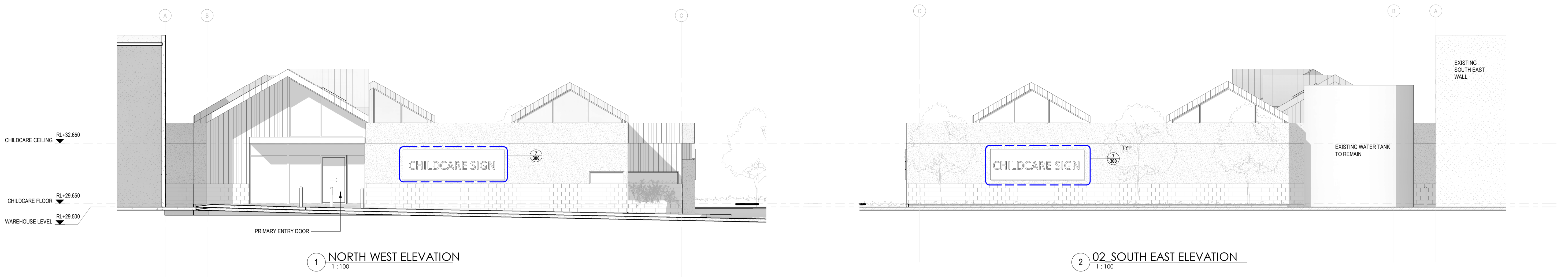
STATUS
DA ISSUE

REV	DESCRIPTION	DATE	BY
B	TEST FIT B	16.08.2020	EV
C	TEST FIT C	18.08.2020	EV
D	TEST FIT D	19.08.2020	EV
E	DA ISSUE	25.08.2020	EV
F	DA ISSUE - PM REVISED	02.09.2020	EV
G	DA ISSUE - PM REVISED-2	03.09.2020	EV
H	DA ISSUE - NOTES ADDED	09.09.2020	EV



NORTH ⊕	CLIENT	HomeCo	DRAWING TITLE	CONCEPT LANDSCAPE DESIGN	
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)	SCALE (@A1)	DATE ISSUED	09.09.2020
PROJECT No.	PROJECT	19046	DRAWING No.	DA-206	REV H

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.
 FILE REF: X:\01_Projects\02_CDD\2019\19046_Homeco Penrith, NSW\02_DESIGN\CAD_Drawings\19046 HOME CO PENRITH_REV H.rvt



STATUS
DA ISSUE

REV	DESCRIPTION	DATE	BY
B	TEST FIT B	16.08.2020	EV
C	TEST FIT C	18.08.2020	EV
D	TEST FIT D	19.08.2020	EV
E	DA ISSUE	25.08.2020	EV
F	DA ISSUE - PM REVISED	02.09.2020	EV
G	DA ISSUE - PM REVISED-2	03.09.2020	EV
H	DA ISSUE - NOTES ADDED	09.09.2020	EV



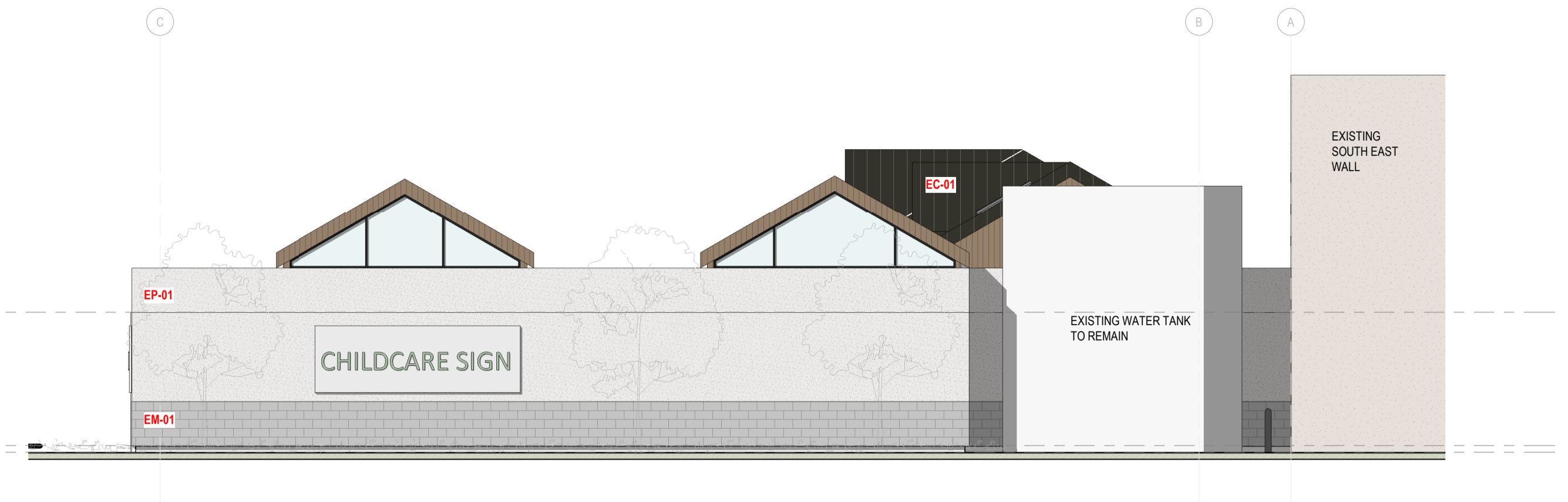
NORTH ⊕	CLIENT	HomeCo	DRAWING TITLE	ELEVATIONS	
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)	SCALE (@A1)	As indicated	DATE ISSUED 09.09.2020
PROJECT No. 19046	PROJECT	CENTRE BASED CHILDCARE	DRAWING No.	DA-300	REV H

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

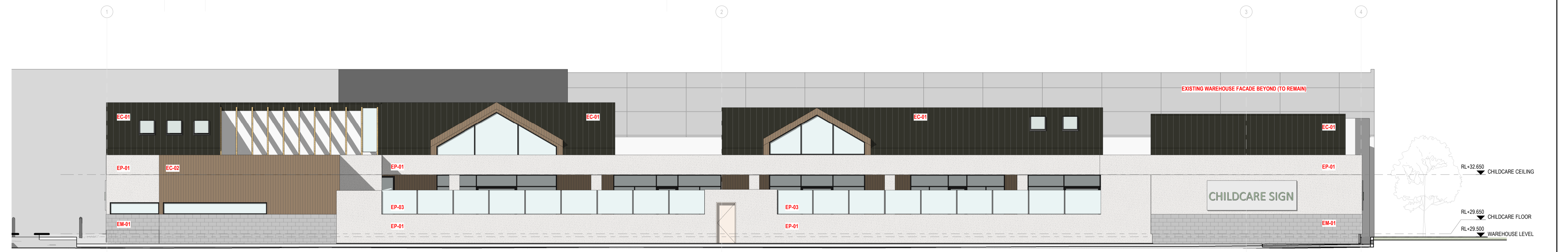
FILE REF: X:\01_Projects\02_CDD\2019\19046_Homeco Penrith, NSW\02_DESIGN\CAD_Drawings\19046 HOME CO PENRITH_REV H.rvt



1 FINISHES ELEVATION - NORTH WEST
1:100



2 FINISHES ELEVATION - SOUTH EAST
1:100



3 FINISHES ELEVATION - SOUTH WEST
1:100



6 FINISHES ELEVATION - SOUTH EAST INTERNAL
1:100



5 FINISHES ELEVATION - SOUTH WEST INTERNAL
1:100



4 FINISHES ELEVATION - NORTH WEST INTERNAL
1:100

NOTES

- Indicates wall finish (see FF4)
- Indicates wall type (see sheet 202)

No.	SPECIFICATION	SAMPLE
EC-01	LYSAGHT ZENITH "ENSEAM" EXTERNAL CLADDING / ROOFING COLOUR: COLORBOND "MONUMENT"	
EC-02	TIMBER CLADDING CEDAR SALES "CHANNEL" CLASSIC 120 x 18 NATURAL FINISH	
R-01	LYSAGHT "KLIP-LOK" ROOF SHEETING COLOUR: COLORBOND "MONUMENT"	

No.	SPECIFICATION	SAMPLE
EM-01	AUSTRAL 140 SERIES CORE FILELS MASONRY UNITS TYPE: GB SPLIT FACE IN LIMESTONE	
EP-01	ACRYLIC RENDER COLOUR: DULUX WHISPER WHITE	
EP-02	WINDOORS FRAMING/ GUTTERS/DOWNPPIPES COLOUR: DULUX MONUMENT	

No.	SPECIFICATION	SAMPLE
EP-03	PEXIGLASS ACRYLIC ACOUSTIC PANELING COLOUR: CLEAR	

STATUS

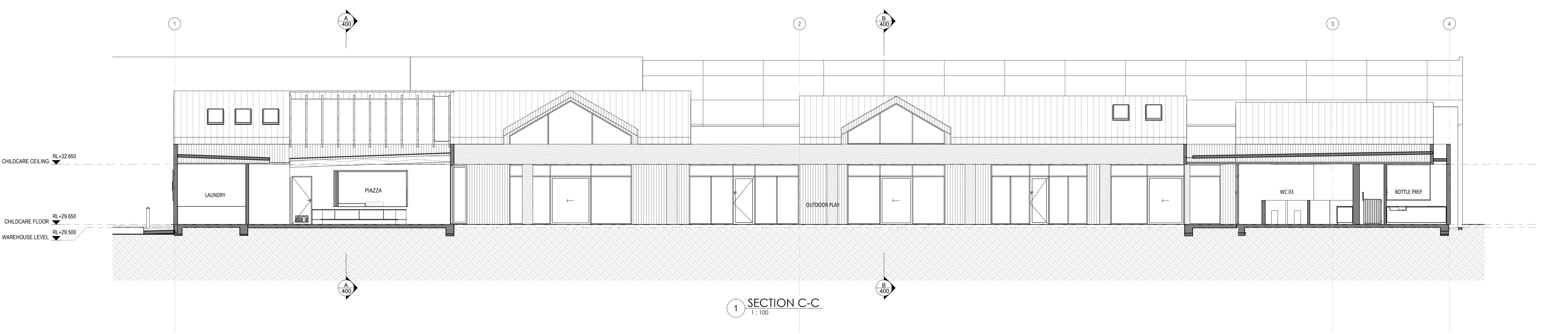
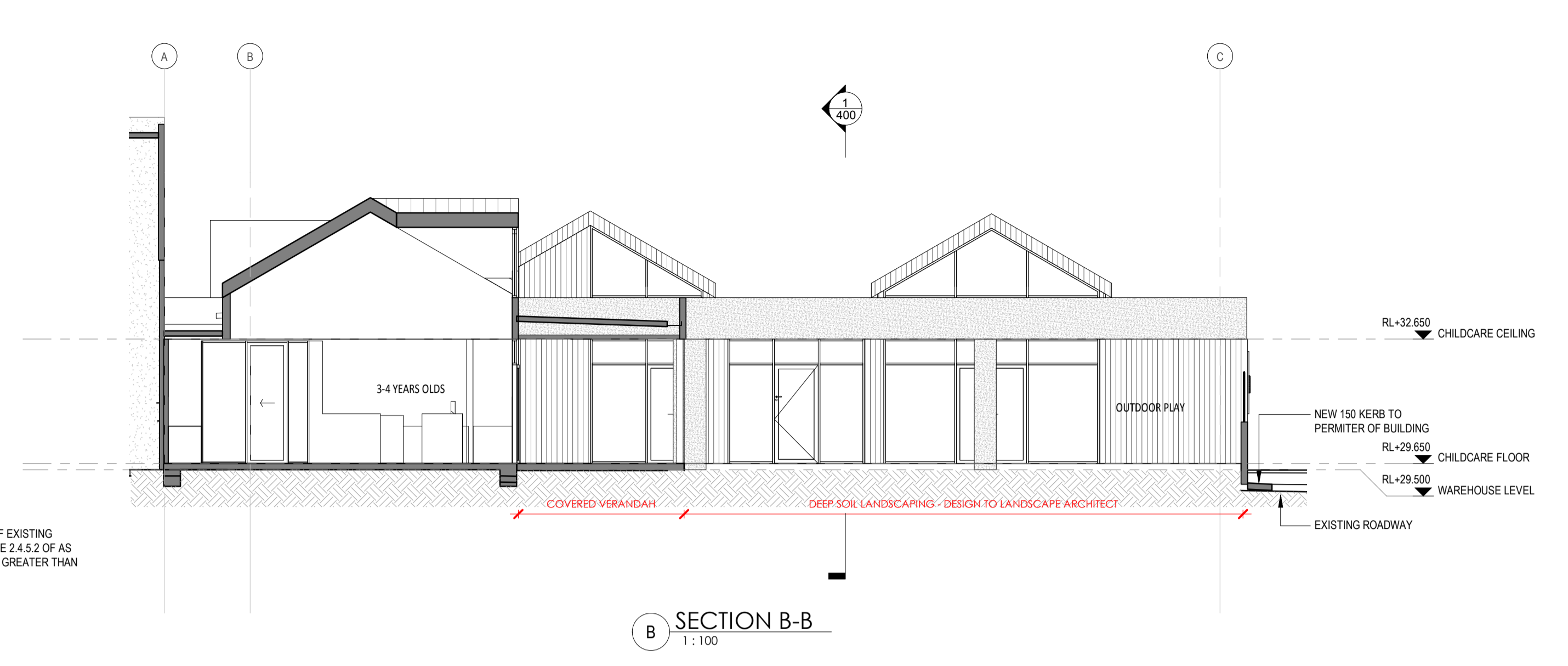
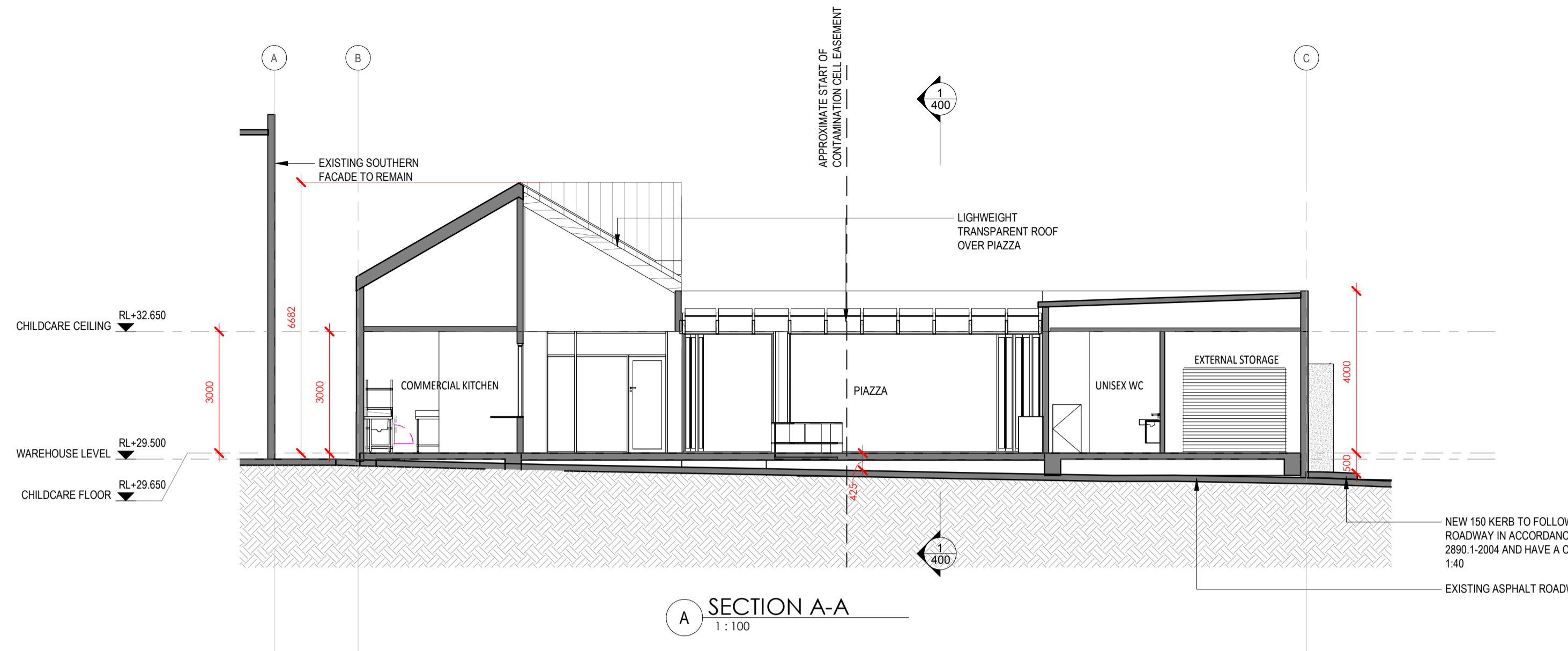
DA ISSUE

REV	DESCRIPTION	DATE	BY
B	TEST FIT B	16.08.2020	EV
C	TEST FIT C	18.08.2020	EV
D	TEST FIT D	19.08.2020	EV
E	DA ISSUE	25.08.2020	EV
F	DA ISSUE - PM REVISED	02.09.2020	EV
G	DA ISSUE - PM REVISED-2	03.09.2020	EV
H	DA ISSUE - NOTES ADDED	09.09.2020	EV



NORTH	CLIENT	HomeCo		DRAWING TITLE	EXTERNAL FINISHES ELEVATIONS	
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)		SCALE (@A1)	As indicated	DATE ISSUED 09.09.2020
PROJECT No. 19046	PROJECT	CENTRE BASED CHILDCARE		DRAWING No.	DA-301	REV H

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.

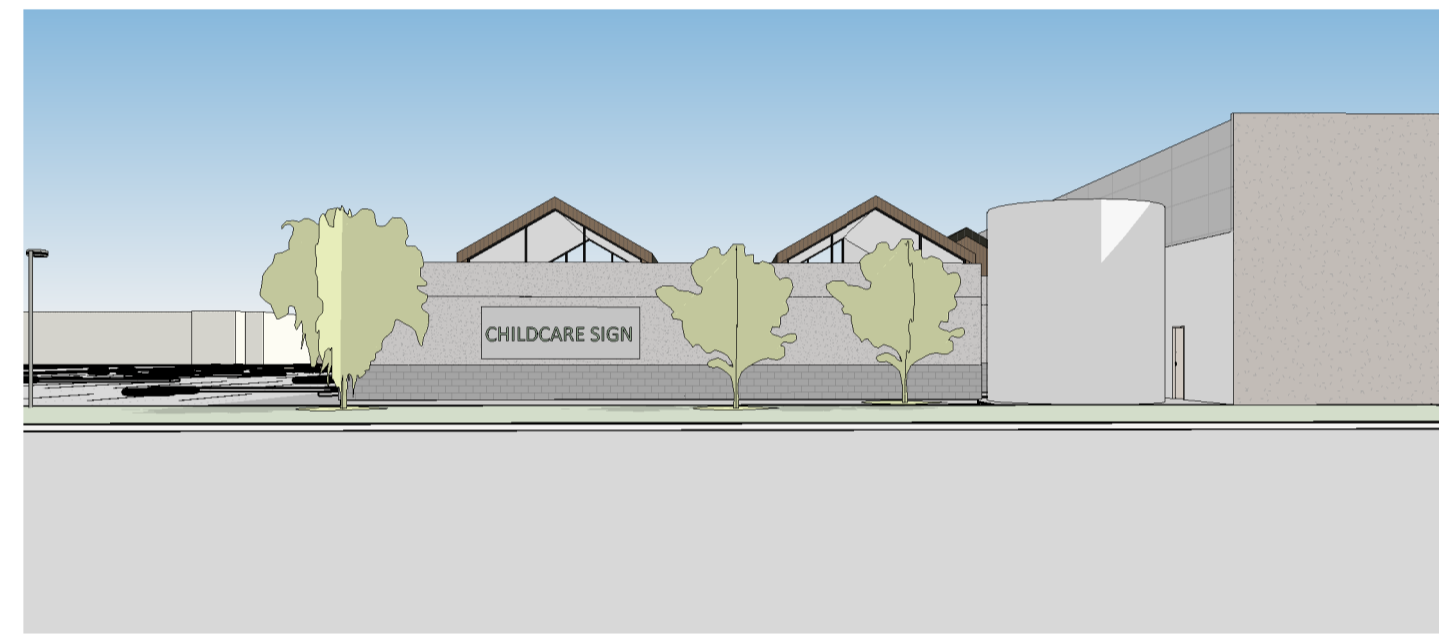


STATUS
DA ISSUE

REV	DESCRIPTION	DATE	BY
B	TEST FIT B	16.08.2020	EV
C	TEST FIT C	18.08.2020	EV
D	TEST FIT D	19.08.2020	EV
E	DA ISSUE	25.08.2020	EV
F	DA ISSUE - PM REVISED	02.09.2020	EV
G	DA ISSUE - PM REVISED-2	03.09.2020	EV
H	DA ISSUE - NOTES ADDED	09.09.2020	EV



NORTH ⊕	CLIENT	HomeCo	DRAWING TITLE	SECTIONS	
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)		SCALE (@A1)	1 : 100
PROJECT No.	PROJECT	19046	CENTRE BASED CHILDCARE	DRAWING No.	DA-400
THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.				REV	H



STATUS
DA ISSUE

REV	DESCRIPTION	DATE	BY
B	TEST FIT B	16.08.2020	EV
C	TEST FIT C	18.08.2020	EV
D	TEST FIT D	19.08.2020	EV
E	DA ISSUE	25.08.2020	EV
F	DA ISSUE - PM REVISED	02.09.2020	EV
G	DA ISSUE - PM REVISED-2	03.09.2020	EV
H	DA ISSUE - NOTES ADDED	09.09.2020	EV



 NORTH	CLIENT	HomeCo	DRAWING TITLE	3D PERSPECTIVES
	ADDRESS	72 MULGOA ROAD, JAMISONTOWN NSW (LOT 200 DP: 1230338)	SCALE (@A1)	DATE ISSUED 09.09.2020
PROJECT No. 19046	PROJECT	CENTRE BASED CHILDCARE	DRAWING No.	DA-800
<small>THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.</small>			REV	H