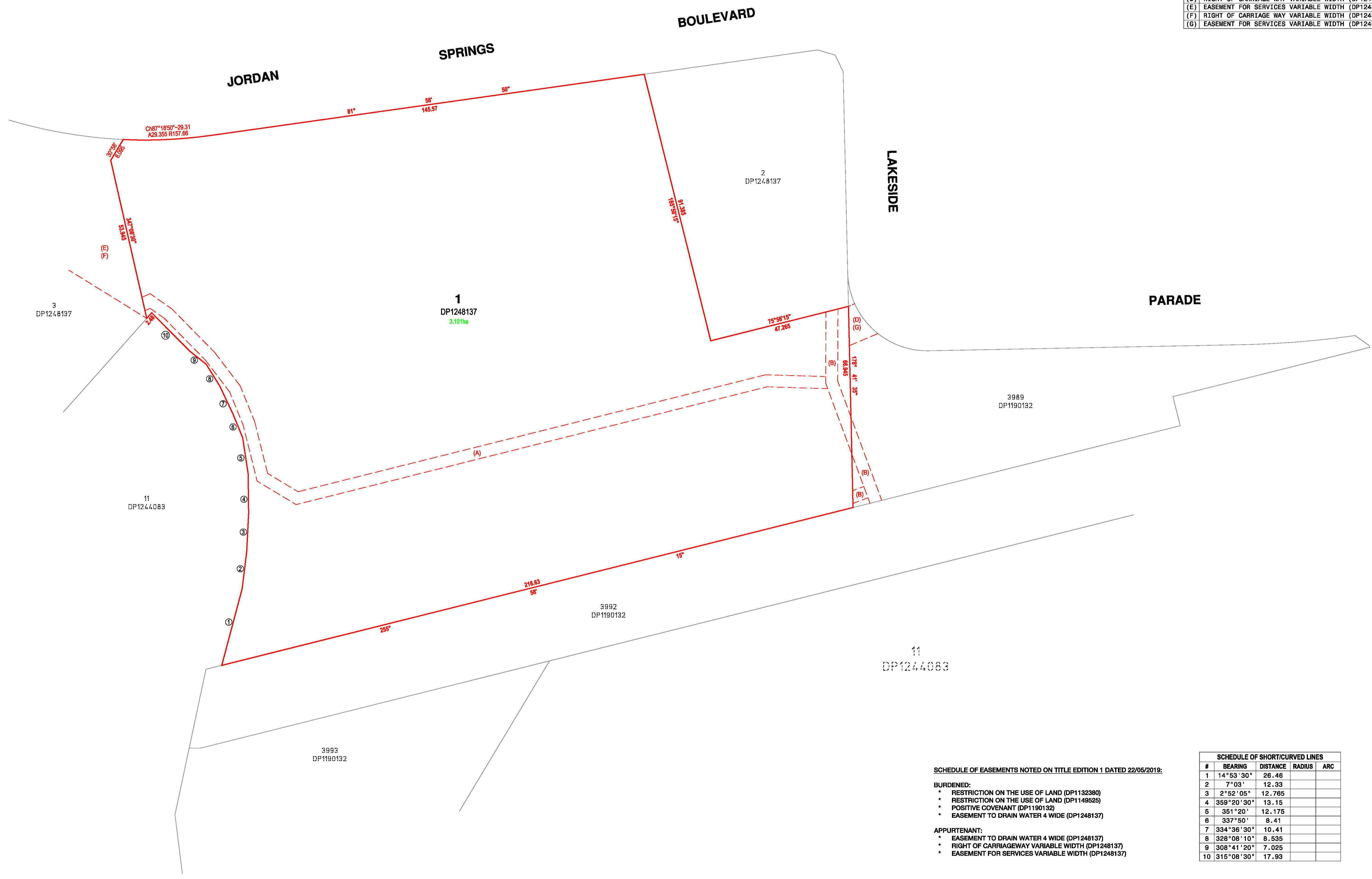


MGA

EASEMENTS	
(A)	EASEMENT TO DRAIN WATER 4 WIDE (DP1248137)
(B)	EASEMENT TO DRAIN WATER 4 WIDE (DP1248137)
(D)	RIGHT OF CARRIAGE WAY VARIABLE WIDTH (DP1248137)
(E)	EASEMENT FOR SERVICES VARIABLE WIDTH (DP1248137)
(F)	RIGHT OF CARRIAGE WAY VARIABLE WIDTH (DP1248137)
(G)	EASEMENT FOR SERVICES VARIABLE WIDTH (DP1248137)



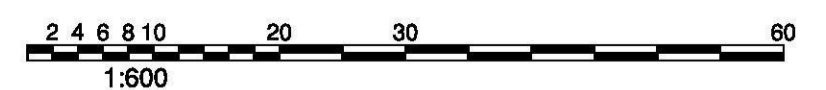
SCHEDULE OF EASEMENTS NOTED ON TITLE EDITION 1 DATED 22/05/2019:

- BURDENED:**
- * RESTRICTION ON THE USE OF LAND (DP1132380)
 - * RESTRICTION ON THE USE OF LAND (DP1149525)
 - * POSITIVE COVENANT (DP1190132)
 - * EASEMENT TO DRAIN WATER 4 WIDE (DP1248137)

- APPURTENANT:**
- * EASEMENT TO DRAIN WATER 4 WIDE (DP1248137)
 - * RIGHT OF CARRIAGEWAY VARIABLE WIDTH (DP1248137)
 - * EASEMENT FOR SERVICES VARIABLE WIDTH (DP1248137)

SCHEDULE OF SHORTCURVED LINES

#	BEARING	DISTANCE	RADIUS	ARC
1	14°53'30"	26.46		
2	7°03'	12.33		
3	2°52'05"	12.785		
4	359°20'30"	13.15		
5	351°20'	12.175		
6	337°50'	8.41		
7	334°36'30"	10.41		
8	328°08'10"	8.535		
9	308°41'20"	7.025		
10	315°08'30"	17.93		



ISSUE	DATE	AMENDMENT	SURVCHK	ISSUE	DATE	AMENDMENT	SURVCHK
A	03/06/19	ORIGINAL ISSUE	MT				

CLIENT: **LENLEASE RL JORDAN SPRINGS HOLDING PTY LTD**

ORIGIN OF LEVELS: **N/A**
 SCALE: **1:600**
 ORIGIN OF COORDINATES: **N/A**
 DATUM: **N/A**

REF: **7202**
 DATE: **03/06/19**
 SURVCHK: **MT**
 SHEET **1** OF **1** SHEETS

PLAN **A1**
LOT DETAIL PLAN
JORDAN SPRINGS BOULEVARD
JORDAN SPRINGS

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DEVELOPMENT APPLICATION

JORDAN SPRINGS - INDEPENDENT LIVING APARTMENTS

JORDAN SPRINGS BOULEVARD, JORDAN SPRINGS 2747

LOT 1, DP1248137

ARCHITECTURAL DRAWING LIST

DRAWING No.	DRAWING NAME	REVISION
DA_0_00000	COVER SHEET	1
DA_0_00001	LOCATION PLAN	1
DA_0_00003	SITE SURVEY	1
DA_0_00004	SITE PLAN	1
DA_0_00005	STAGING PLAN SHEET 1	1
DA_0_00006	STAGING PLAN SHEET 2	1
DA_0_00007	BUILDING SETBACK DIAGRAM SECTIONS SHEET 1	1
DA_0_00008	BUILDING SETBACK DIAGRAM SECTIONS SHEET 2	1
DA_0_00009	BUILDING IMAGES	1
DA_0_10101	OVERALL PLAN BASEMENT	1
DA_0_20001	OVERALL PLAN GROUND FLOOR	1
DA_0_20101	OVERALL PLAN LEVEL 01-03	1
DA_0_20401	OVERALL PLAN LEVEL 04	1
DA_0_20501	OVERALL PLAN LEVEL 05	1
DA_0_20601	OVERALL PLAN ROOF	1
DA_0_30001	OVERALL ELEVATIONS SHEET 1	1
DA_0_40001	OVERALL SECTIONS SHEET 1	1
DA_1_10001	BUILDING A GENERAL ARRANGEMENT BASEMENT	1
DA_1_20001	BUILDING A GENERAL ARRANGEMENT GROUND FLOOR	1
DA_1_20101	BUILDING A GENERAL ARRANGEMENT LEVEL 01-03	1
DA_1_20401	BUILDING A GENERAL ARRANGEMENT LEVEL 04	1
DA_1_20501	BUILDING A GENERAL ARRANGEMENT LEVEL 05	1
DA_1_20601	BUILDING A GENERAL ARRANGEMENT ROOF	1
DA_1_30001	BUILDING A ELEVATIONS SHEET 1	1
DA_1_30002	BUILDING A ELEVATIONS SHEET 2	1
DA_1_40001	BUILDING A SECTIONS SHEET 1	1
DA_1_40002	BUILDING A SECTIONS SHEET 2	1
DA_1_10001	BUILDING B GENERAL ARRANGEMENT BASEMENT	1
DA_2_20001	BUILDING B GENERAL ARRANGEMENT GROUND FLOOR	1
DA_2_20101	BUILDING B GENERAL ARRANGEMENT LEVEL 01-03	1
DA_2_20401	BUILDING B GENERAL ARRANGEMENT LEVEL 04	1
DA_2_20501	BUILDING B GENERAL ARRANGEMENT LEVEL 05	1
DA_2_20601	BUILDING B GENERAL ARRANGEMENT ROOF	1
DA_2_30001	BUILDING B ELEVATIONS SHEET 1	1
DA_2_30002	BUILDING B ELEVATIONS SHEET 2	1
DA_2_40001	BUILDING B SECTIONS SHEET 1	1
DA_2_40002	BUILDING B SECTIONS SHEET 2	1
DA_3_10001	BUILDING C GENERAL ARRANGEMENT BASEMENT	1
DA_3_20001	BUILDING C GENERAL ARRANGEMENT GROUND FLOOR	1
DA_3_20101	BUILDING C GENERAL ARRANGEMENT LEVEL 01-03	1
DA_3_20401	BUILDING C GENERAL ARRANGEMENT LEVEL 04	1
DA_3_20501	BUILDING C GENERAL ARRANGEMENT LEVEL 05	1
DA_3_20601	BUILDING C GENERAL ARRANGEMENT ROOF	1
DA_3_30001	BUILDING C ELEVATIONS SHEET 1	1
DA_3_30002	BUILDING C ELEVATIONS SHEET 2	1
DA_3_40001	BUILDING C SECTIONS SHEET 1	1
DA_3_40002	BUILDING C SECTIONS SHEET 2	1
DA_5_63000	FAÇADE TYPICAL SECTIONS SHEET 1	1
DA_5_63001	FAÇADE TYPICAL SECTIONS SHEET 2	1
DA_5_63003	BUILDING A AND C FAÇADE MATERIALS	1
DA_5_63004	BUILDING B FAÇADE MATERIALS	1
DA_5_70001	DIAGRAMS SHADOW SHEET 1	1
DA_5_70002	DIAGRAMS SHADOW SHEET 2	1
DA_5_70003	DIAGRAMS SHADOW SHEET 3	1
DA_5_70004	DIAGRAMS SHADOW SHEET 4	1
DA_5_70007	CROSS VENTILATION DIAGRAMS	1
DA_5_70008	DIAGRAMS COMMUNAL SPACES	1
DA_5_70009	GFA DIAGRAMS	1
DA_5_70021	BUILDING A KEY METRICS DIAGRAM LEVEL 01 - 03	1
DA_5_70022	BUILDING A KEY METRICS DIAGRAM LEVEL 04 - 05	1
DA_5_70023	BUILDING B KEY METRICS DIAGRAM GROUND FLOOR	1
DA_5_70024	BUILDING B KEY METRICS DIAGRAM LEVEL 01 - 03	1
DA_5_70025	BUILDING B KEY METRICS DIAGRAM LEVEL 04 - 05	1
DA_5_70026	BUILDING C KEY METRICS DIAGRAM GROUND FLOOR	1
DA_5_70027	BUILDING C KEY METRICS DIAGRAM LEVEL 01 - 03	1
DA_5_70028	BUILDING C KEY METRICS DIAGRAM LEVEL 04 - 05	1
DA_5_70030	BASEMENT STORAGE DIAGRAM	1
DA_5_70031	BUILDING A STORAGE DIAGRAM LEVEL 01 - 03	1
DA_5_70032	BUILDING A STORAGE DIAGRAM LEVEL 04 - 05	1
DA_5_70033	BUILDING B STORAGE DIAGRAM GROUND FLOOR - LEVEL 03	1
DA_5_70034	BUILDING B STORAGE DIAGRAM LEVEL 04 - 05	1
DA_5_70035	BUILDING C STORAGE DIAGRAM GROUND FLOOR - LEVEL 03	1
DA_5_70036	BUILDING C STORAGE DIAGRAM LEVEL 04 - 05	1
DA_5_70037	FAÇADE MATERIALS	1



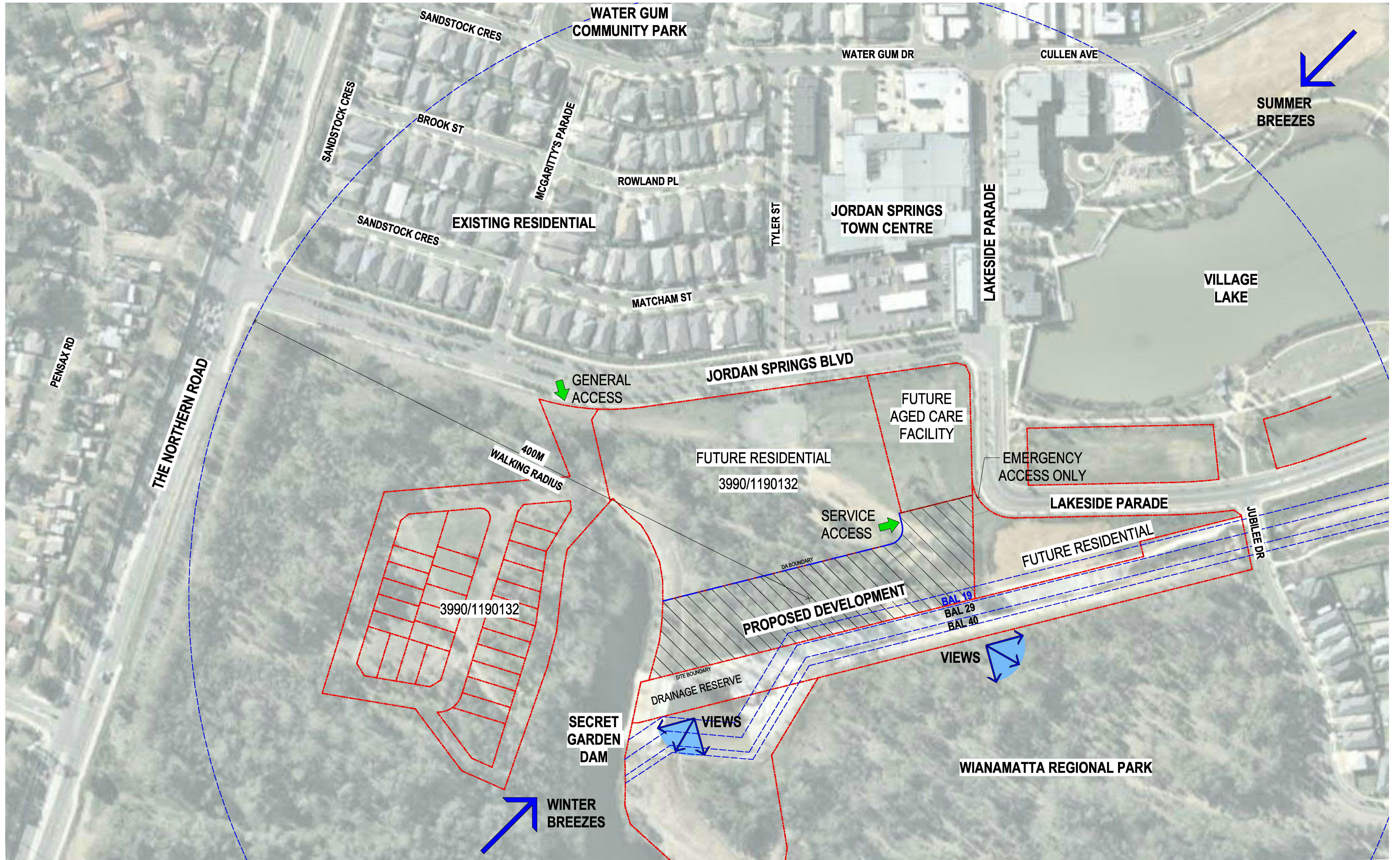
FOR DEVELOPMENT APPLICATION

Rev.	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019



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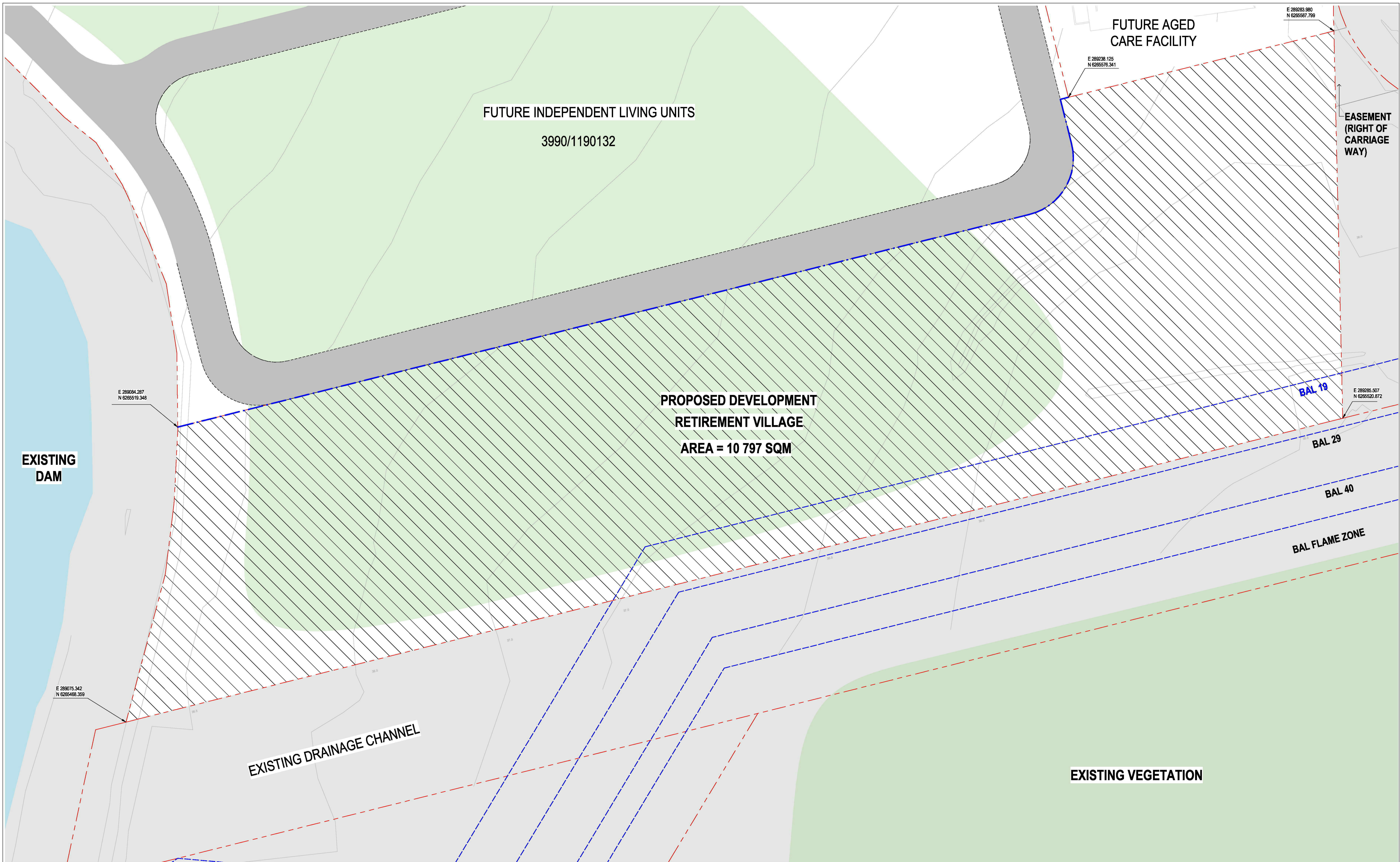
PRINCIPAL ARCHITECT Lendlease Integrated Solutions ABN 91 622 832 361 Notified Architect: Stephanie Smith NSW AIB 6280 Barangaroo NSW 2000	PLANNER: Keylan Consulting Suite 2, 1 Flato Lane, Merry NSW Australia 2095	Project JORDAN SPRINGS	Title COVER SHEET
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions ABN 91 622 832 361 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	CLIENT: Lendlease Retirement Living Jordan Springs Holding Pty Ltd	Client LENLEASE RETIREMENT LIVING	Scale @ B1
CIVIL: ADW Johnson 5 Pioneer Avenue, Tuggerah NSW Australia 2259	LANDSCAPE: Clouston Associates PO BOX R1388, Royal Exchange NSW NSW Australia 1525	Drawing Status Drawn: LLIS Checked: Marc-Jean Baptiste Approved: Stephanie Smith Drawing No. 260436	Revision DA_0_00000 1



FOR DEVELOPMENT APPLICATION

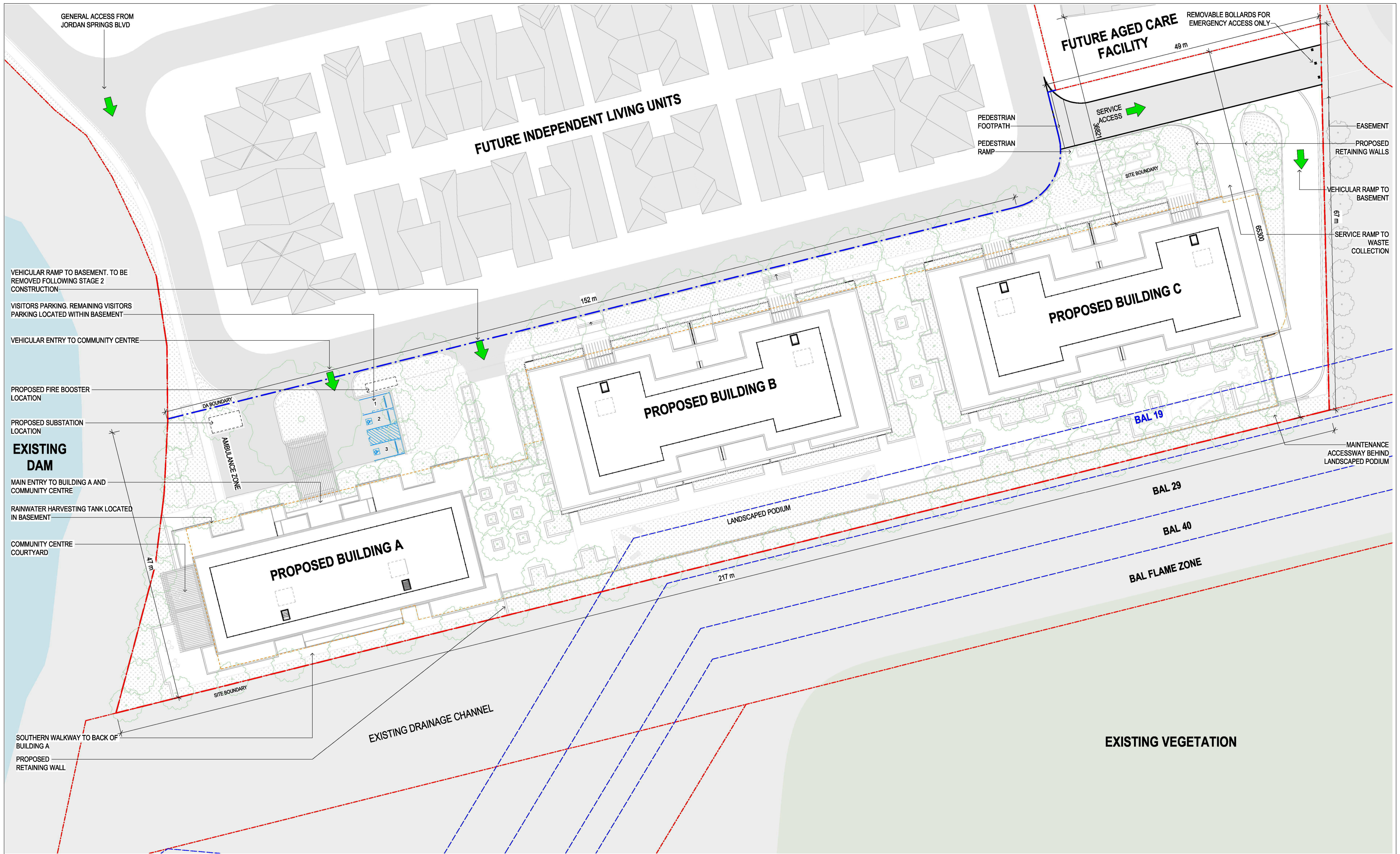
	LEGEND EXISTING VEGETATION EXISTING WATER BODY WIND DIRECTION VIEW DIRECTION SITE ACCESS PROPOSED TREE VISITOR CARPARK SITE BOUNDARY DA BOUNDARY BAL ZONE BASEMENT EXTENT BELOW BUSHFIRE ATTACK LEVEL XX	GENERAL NOTES: 1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS		PRINCIPAL ARCHITECT Lendlease Integrated Solutions ABN 91 622 832 361 Registered Architect: Stephanie Smith NSW AIB 6280 Barrangaroo NSW 2000	PLANNER: Keylan Consulting Suite 2, 1 Pabo Lane, Merry NSW Australia 2066	Project JORDAN SPRINGS	Title LOCATION PLAN	
	1 SUBMITTED FOR DEVELOPMENT APPLICATION 11/11/2019	STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions ABN 91 622 832 361 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	CLIENT: Lendlease Retirement Living Jordan Springs Holding Pty Ltd Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	Client LENDLEASE RETIREMENT LIVING	Scale 1 : 1000 @ B1	Drawn LLIS	Checked Marc-Jean-Baptiste	Approved Stephanie Smith
Version: 1, Version Date: 25/11/2019				CIVIL: ADW Johnson 5 Pioneer Avenue, Tuggerah NSW Australia 2259	LANDSCAPE: Clouston Associates PO BOX R1388, Royal Exchange NSW NSW Australia 1225	Project No. 260436	Drawing No. DA_0_00001	Revision 1

Document ID: 25328997
 Version: 1, Version Date: 25/11/2019
 If this drawing is printed or plotted at a size other than B1 - DO NOT SCALE DIMENSIONS FROM DRAWING
 Always take figured dimensions in preference to scaling.

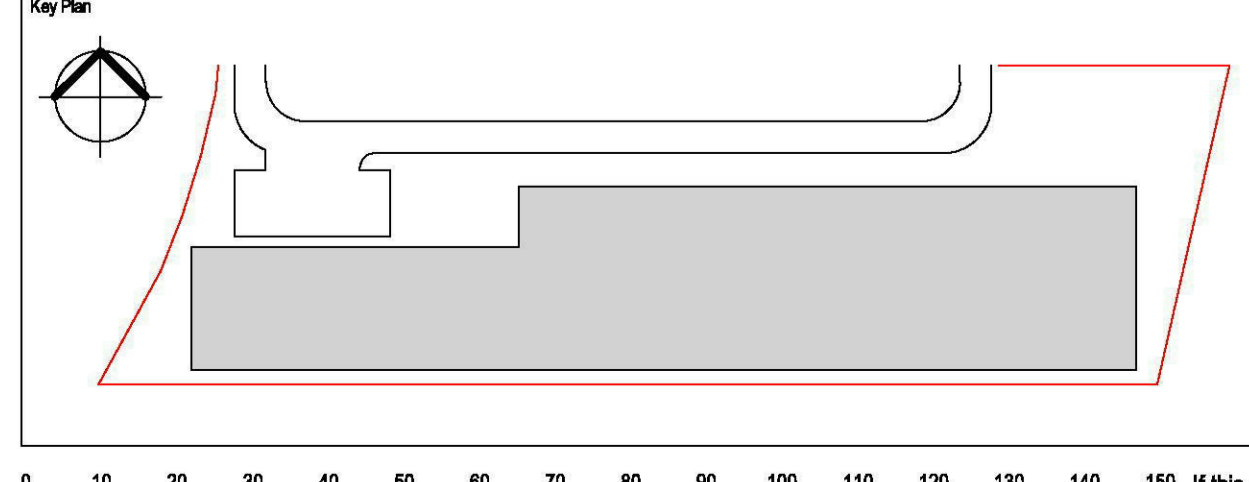


FOR DEVELOPMENT APPLICATION

<p>Key Plan</p>	<p>1 Rev. Description</p> <p>1 SUBMITTED FOR DEVELOPMENT APPLICATION 11/11/2019</p>	<p>LEGEND</p> <ul style="list-style-type: none"> EXISTING VEGETATION EXISTING WATER BODY WIND DIRECTION VIEW DIRECTION SITE ACCESS PROPOSED TREE VISITOR CARPARK SITE BOUNDARY DA BOUNDARY BAL ZONE BASEMENT EXTENT BELOW BAL XX BUSHFIRE ATTACK LEVEL XX 	<p>GENERAL NOTES:</p> <p>1. REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS</p>	<p>These designs, plans and specifications and the copyright therein are the property of lendlease and must not be used, reproduced or copied wholly or in part without the written permission of lendlease.</p>	<p>PRINCIPAL ARCHITECT</p> <p>Lendlease Integrated Solutions ABN 91 622 832 361 Registered Architects: Stephanie Smith NSW AHS 6380 Barrangaroo NSW 2000</p>	<p>PLANNER:</p> <p>Keylan Consulting Suite 2, 1 Plato Lane, Merry NSW Australia 2066</p>	<p>Project</p> <p>JORDAN SPRINGS</p>	<p>Title</p> <p>SITE SURVEY</p>
					<p>STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS:</p> <p>Lendlease Integrated Solutions ABN 91 622 832 361 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barrangaroo Avenue, Barrangaroo NSW 2000</p>	<p>CLIENT:</p> <p>Lendlease Retirement Living Jordan Springs Holding Pty Ltd</p>	<p>Client</p> <p>LENLEASE RETIREMENT LIVING</p>	<p>Scale: 1:250 @ B1</p> <table border="1"> <tr> <td>Drawn LLIS</td> <td>Checked Marc Jean-Baptiste</td> <td>Approved Stephanie Smith</td> <td>Drawing Status DA</td> </tr> </table> <p>Project No: 260436 Drawing No: DA_0_00003 Revision: 1</p>
Drawn LLIS	Checked Marc Jean-Baptiste	Approved Stephanie Smith	Drawing Status DA					



FOR DEVELOPMENT APPLICATION



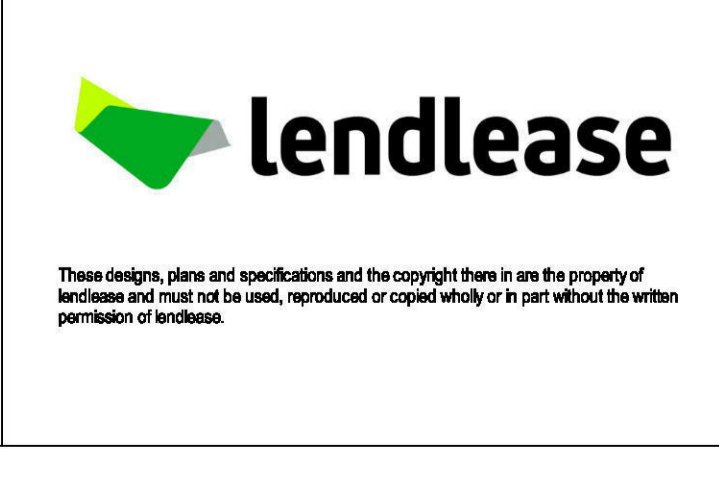
Rev.	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

LEGEND

- EXISTING VEGETATION
- EXISTING WATER BODY
- WIND DIRECTION
- VIEW DIRECTION
- SITE ACCESS
- PROPOSED TREE
- VISITOR CARPARK
- SITE BOUNDARY
- DA BOUNDARY
- BAL ZONE
- BAL XX
- BASEMENT EXTENT BELOW
- BUSHFIRE ATTACK LEVEL XX

GENERAL NOTES:

- REFER TO LANDSCAPE ARCHITECT'S PLAN FOR LANDSCAPE DESIGN, PLANTING SELECTION AND DETAILS

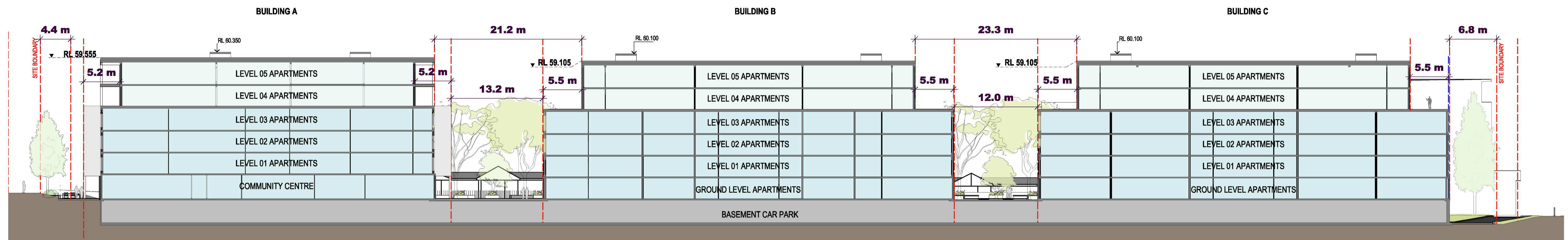


PRINCIPAL ARCHITECT
 Lendlease Integrated Solutions
 ADR 51 822 822 391
 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

PLANNER:
 Keyplan Consulting
 Suite 2, 1 Pado Lane, North Sydney NSW 2060

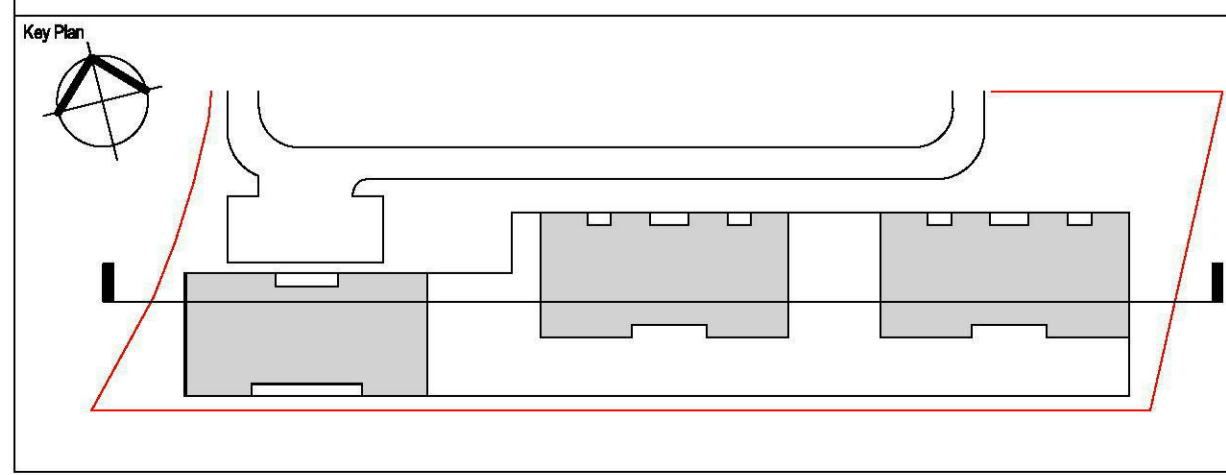
CLIENT:
 Lendlease Retirement Living
 Jordan Springs Holding Pty Ltd

Project	JORDAN SPRINGS	Title	SITE PLAN
Client	LENLEASE RETIREMENT LIVING	Scale	1:250 @ B1
Drawn	LLIS	Checked	Marc-Jean Baptiste
Approved	Stephanie Smith	DA	
Project No.	260436	Drawing No.	DA_0_00004
Revision			1



1 SECTION OVERALL
1:250

FOR DEVELOPMENT APPLICATION

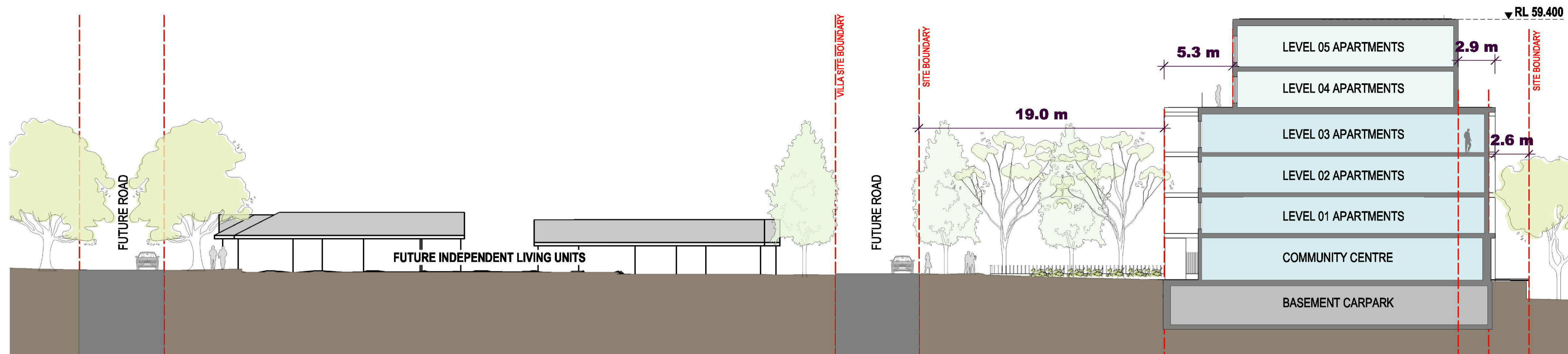


Rev.	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

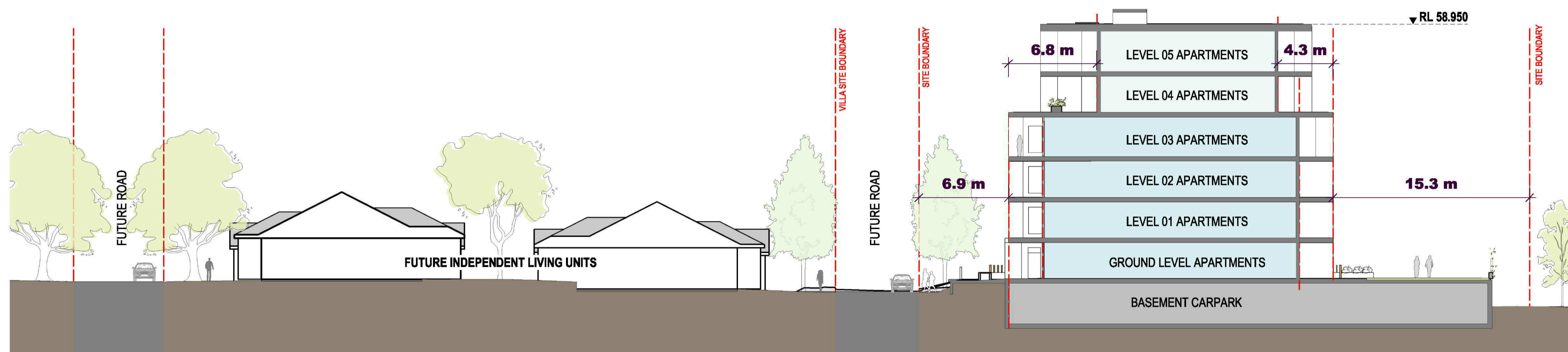


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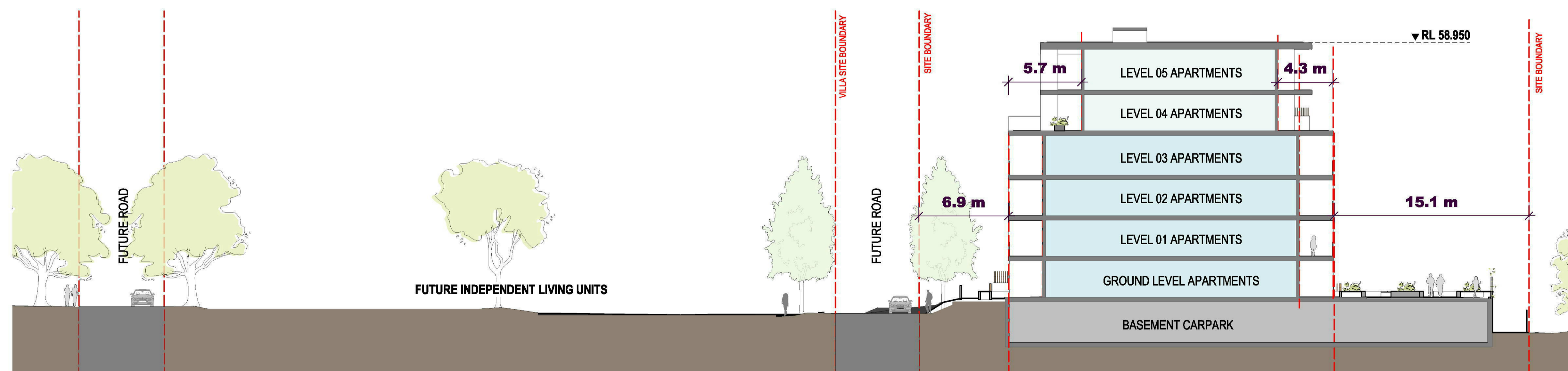
PRINCIPAL ARCHITECT Lendlease Integrated Solutions <small>ABN 51 632 822 391</small> <small>Notified Architect</small> <small>Stephanie Smith NSW AASB 8380</small> <small>Lendlease Integrated Solutions</small> <small>ABN 51 632 822 391</small>	<small>Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000</small> <small>Sub 2, 1 Rialto Lane, North Sydney NSW 2059</small> <small>Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000</small>	PLANNER: Keyplan Consulting <small>Sub 2, 1 Rialto Lane, North Sydney NSW 2059</small>	Project JORDAN SPRINGS	Title BUILDING SETBACK DIAGRAM SECTIONS SHEET 1 Scale: 1:250 @ B1								
<small>STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS:</small> Lendlease Integrated Solutions <small>ABN 51 632 822 391</small>	<small>Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000</small>	CLIENT: Lendlease Retirement Living Jordan Springs Holding Pty Ltd <small>Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000</small>	Client LENDLEASE RETIREMENT LIVING	<table border="1"> <tr> <td>Drawn LLIS</td> <td>Checked Maree Jean-Baptiste</td> <td>Approved Stephanie Smith</td> <td>Drawing Status DA</td> </tr> <tr> <td>Project No. 260436</td> <td>Drawing No. DA_0_00007</td> <td>Revision 1</td> <td></td> </tr> </table>	Drawn LLIS	Checked Maree Jean-Baptiste	Approved Stephanie Smith	Drawing Status DA	Project No. 260436	Drawing No. DA_0_00007	Revision 1	
Drawn LLIS	Checked Maree Jean-Baptiste	Approved Stephanie Smith	Drawing Status DA									
Project No. 260436	Drawing No. DA_0_00007	Revision 1										
CIVIL: ADW Johnson <small>5 Pioneer Avenue, Waggoner NSW Australia 2259</small>	LANDSCAPE: Clouston Associates <small>PO BOX R1388, Royal Exchange NSW NSW Australia 1225</small>											



1 OVERALL SECTION - BUILDING A
1:200

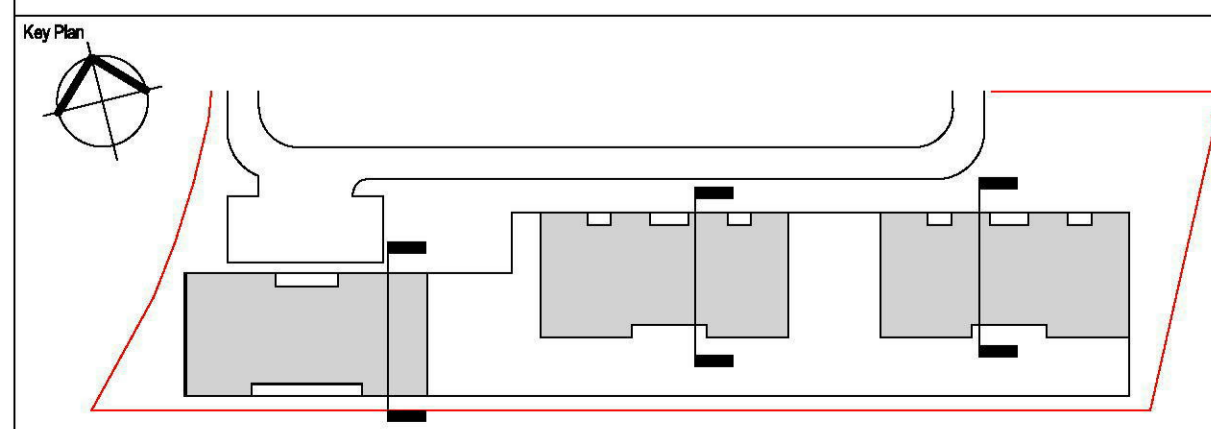


2 OVERALL SECTION- BUILDING B & C - CONDITION 1
1:200



3 OVERALL SECTION- BUILDING B & C - CONDITION 2
1:200

FOR DEVELOPMENT APPLICATION



1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019
Rev.	Description	Date



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PRINCIPAL ARCHITECT
Lendlease Integrated Solutions
 ABN 51 682 822 391
 Level 14, Tower Three, International Towers Sydney
 Exchange Place, 300 Barangaroo Avenue,
 Barangaroo NSW 2000

CLIENT:
 Lendlease Retirement Living
 Jordan Springs Holding Pty Ltd
 Level 14, Tower Three, International Towers
 Sydney Exchange Place, 300 Barangaroo
 Avenue, Barangaroo NSW 2000

PLANNER:
 Keyplan Consulting
 Suite 2, 1 Pado Lane,
 North Sydney NSW 2059

STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS:
 Lendlease Integrated Solutions
 ABN 51 682 822 391
 Level 14, Tower Three, International Towers Sydney
 Exchange Place, 300 Barangaroo Avenue, Barangaroo
 NSW 2000

LANDSCAPE:
 Clouston Associates
 PO BOX R1388, Royal
 Exchange NSW
 NSW Australia 2259

Project: JORDAN SPRINGS
Client: LENDLEASE RETIREMENT LIVING

Title: BUILDING SETBACK DIAGRAM SECTIONS		Sheet: SHEET 2	
Scale: 1:200 @ B1		Drawn: LLLS	
Checked: Marc Jean-Baptiste	Approved: Stephanie Smith	Drawing Status: DA	Revision: 1
Project No: 260436	Drawing No: DA_0_00008		

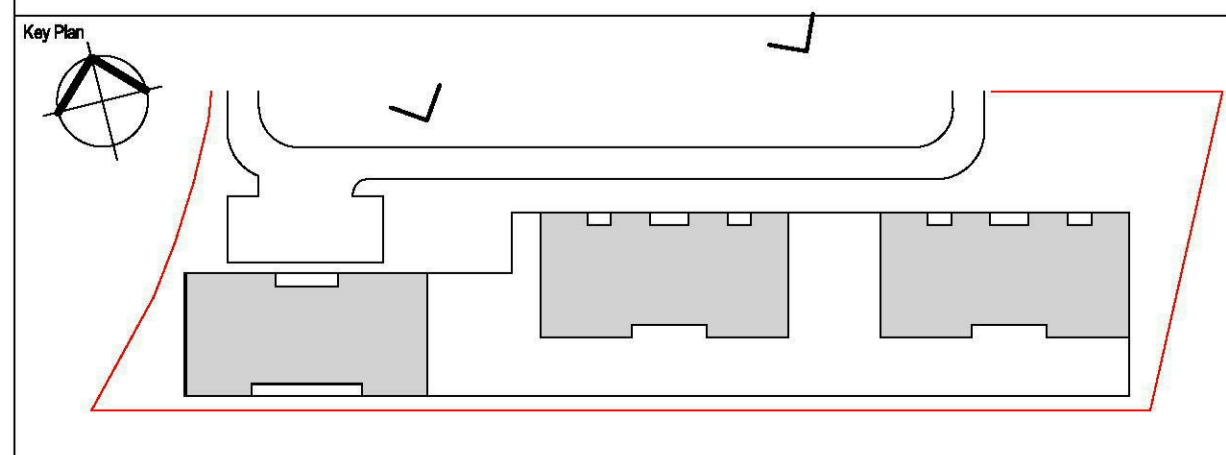


IMAGE 1 - BUILDING C



IMAGE 2 - BUILDING A & B

FOR DEVELOPMENT APPLICATION

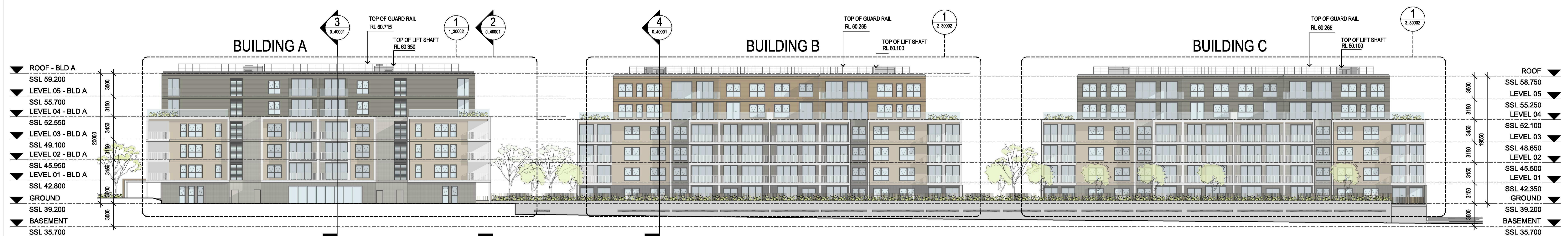
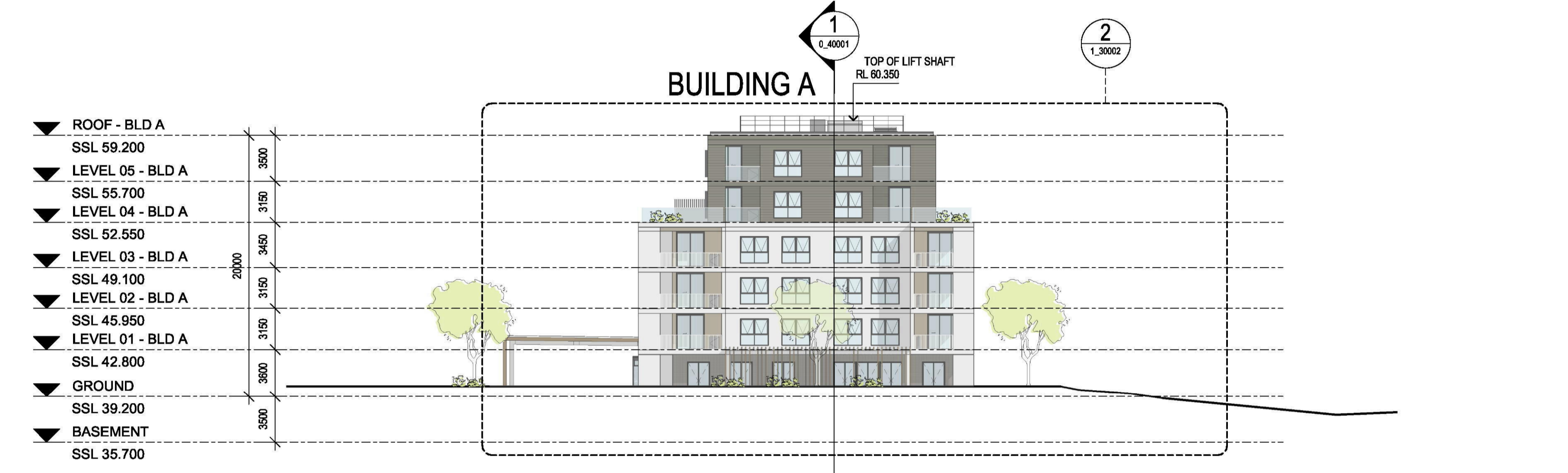
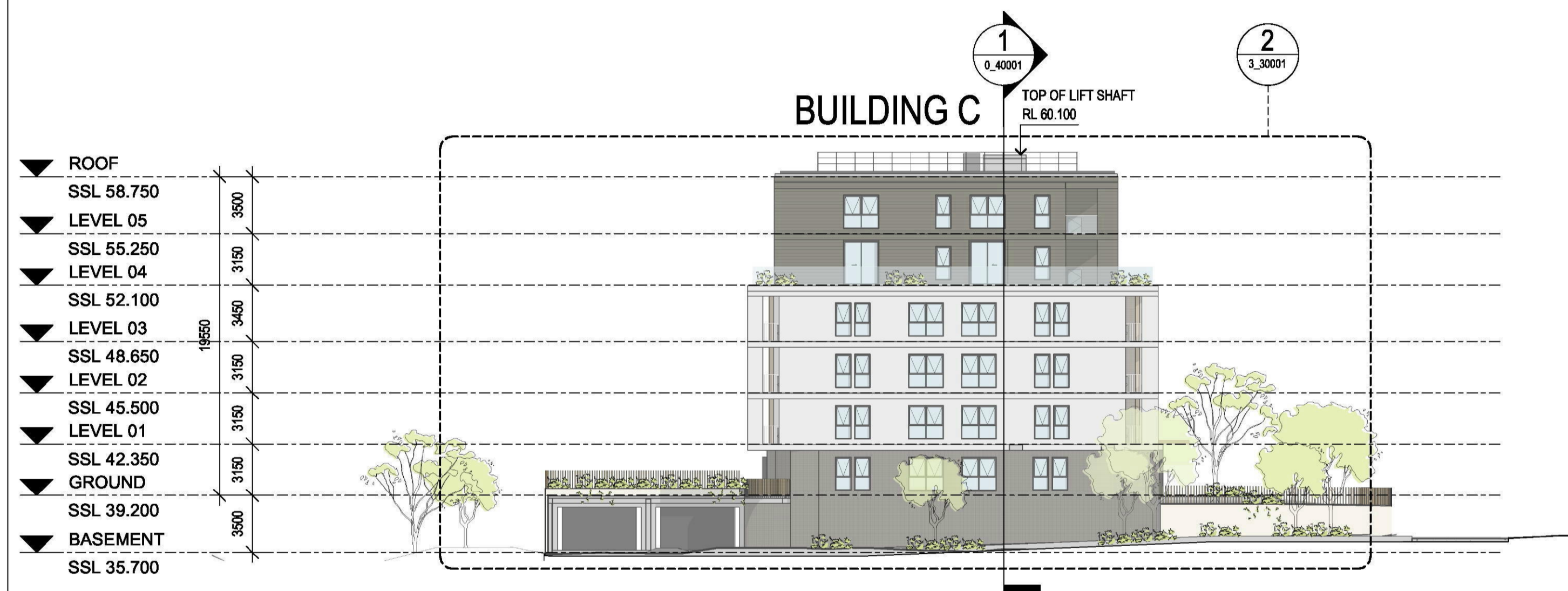
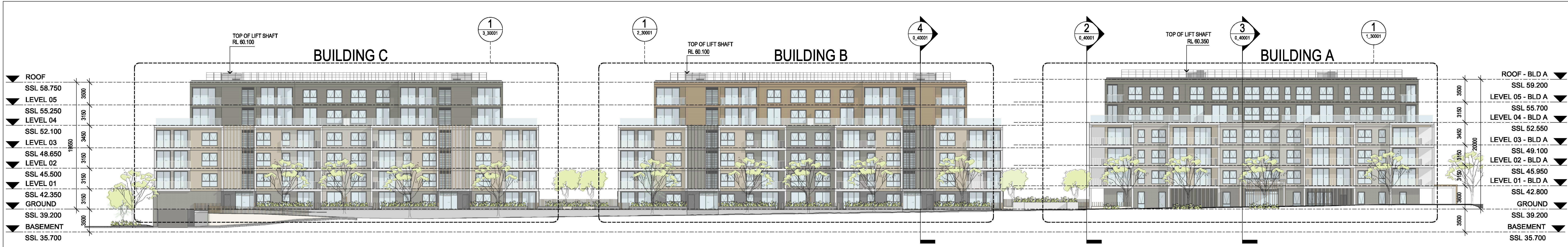


Rev.	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

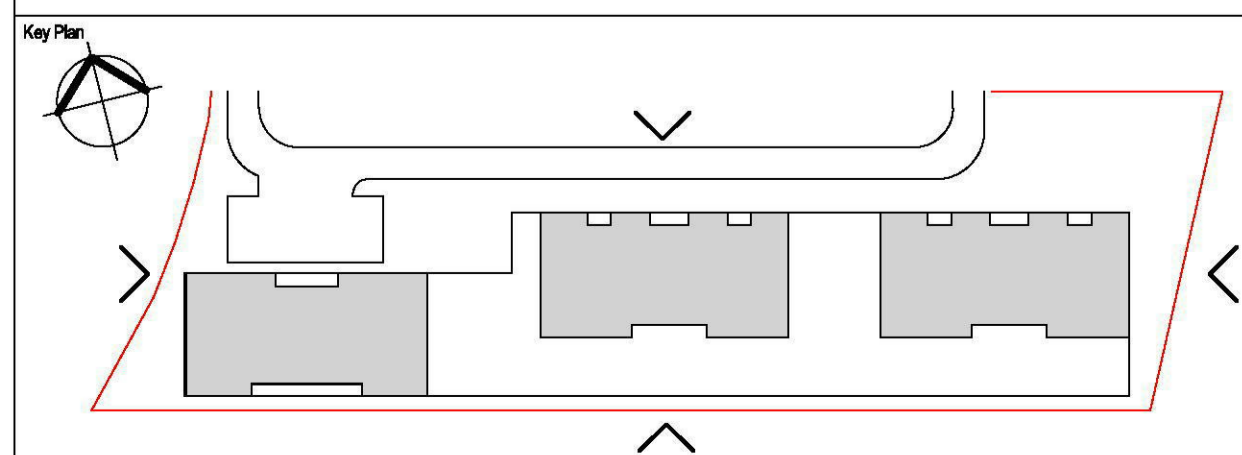


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PRINCIPAL ARCHITECT Lendlease Integrated Solutions ABN 51 682 822 361 Notified Architect: Stephanie Smith NSW AHS 8380 Lendlease Integrated Solutions ABN 51 682 822 361	Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000 STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	PLANNER: Keylan Consulting Suite 2, 1 Rialto Lane, North NSW Australia 2055	Project JORDAN SPRINGS Client LENDLEASE RETIREMENT LIVING	Title BUILDING IMAGES Scale @ B1
CIVIL: ADW Johnson 5 Pioneer Avenue, Tuggerah NSW Australia 2259	LANDSCAPE: Clouston Associates PO BOX R1388, Royal Exchange NSW NSW Australia 1225	CLIENT: Lendlease Retirement Living Jordan Springs Holding Pty Ltd Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	Checked Marc-Jean Reppien Approved Stephanie Smith Drawing Status DA	Project No. 260436 Drawing No. DA_0_00009 Revision 1



FOR DEVELOPMENT APPLICATION



1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/15/2019
Rev.	Description	Date

lendlease

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PRINCIPAL ARCHITECT Lendlease Integrated Solutions ABN 51 682 822 391 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	PLANNER Keylan Consulting Suite 2, 1 Rialto Lane, North Sydney NSW 2060	Project JORDAN SPRINGS	Title OVERALL ELEVATIONS SHEET 1
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions ABN 51 682 822 391 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	CLIENT: Lendlease Retirement Living Jordan Springs Holding Pty Ltd Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	Client LENDLEASE RETIREMENT LIVING	Scale 1:250 @ B1
CIVIL: ADW Johnson 5 Pioneer Avenue, Lidcombe NSW Australia 2129	LANDSCAPE: Clouston Associates PO BOX R1388, Royal Exchange NSW NSW Australia 2259	Checked Marc-Jean Baptiste	Approved Stephanie Smith DA
Project No: 260436		Drawing No: DA_0_30001	Revision 1



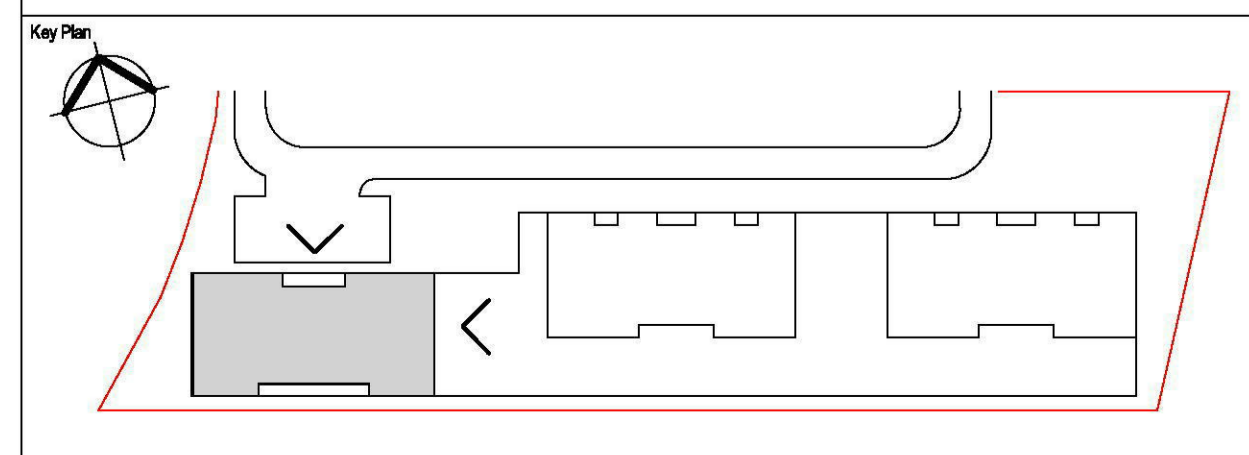
1 NORTH ELEVATION
1:100



2 EAST ELEVATION
1:100



FOR DEVELOPMENT APPLICATION



FINISHES SCHEDULE - REFER TO DA 5_70037 FOR FURTHER FINISHES INFORMATION			
F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK DARK	F07	MEDIUM BROWN BRICK
F02	LIGHT GREY BRICK	F08	DARK BRICK
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH DARK GREY TO MATCH G03
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'WHITE'	G01	SLIDING DOOR GLAZING WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH G03, GLASS CLEAR
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH LIGHT BEIGE	G02	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK LIGHT	G03	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'
		G04	STEEL BALUSTRADE POWDERCOATED TO MATCH F04
		B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
		C01	PAINTED CONCRETE FINISH. COLOUR TO MATCH G03
		S01	LIGHT TEAK TIMBER LOOK BATTENS
		S02	DARK TIMBER LOOK BATTENS
		L01	LOUVRE - POWDERCOATED TO MATCH G03



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PRINCIPAL ARCHITECT Lendlease Integrated Solutions ABN 51 682 822 381 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	PLANNER: Keylan Consulting Suite 2, 1 Pado Lane, Barangaroo NSW 2000	Project JORDAN SPRINGS	Title BUILDING A ELEVATIONS SHEET 1
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Landscape Integrated Solutions ABN 51 682 822 381 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	CLIENT: Lendlease Retirement Living Jordan Springs Holding Pty Ltd	Client LENLEASE RETIREMENT LIVING	Scale 1:100 @ B1
CIVIL: ADW Johnson 5 Pioneer Avenue, Crows Nest NSW Australia 2259	LANDSCAPE: Clouston Associates PO BOX R1388, Royal Exchange NSW NSW Australia 2255	Drawn LLIS	Checked Marc-Jean Reijnen
		Approved Stephanie Smith DA	Drawing Status DA
		Project No. 260436	Drawing No. DA_1_30001
			Revision 1



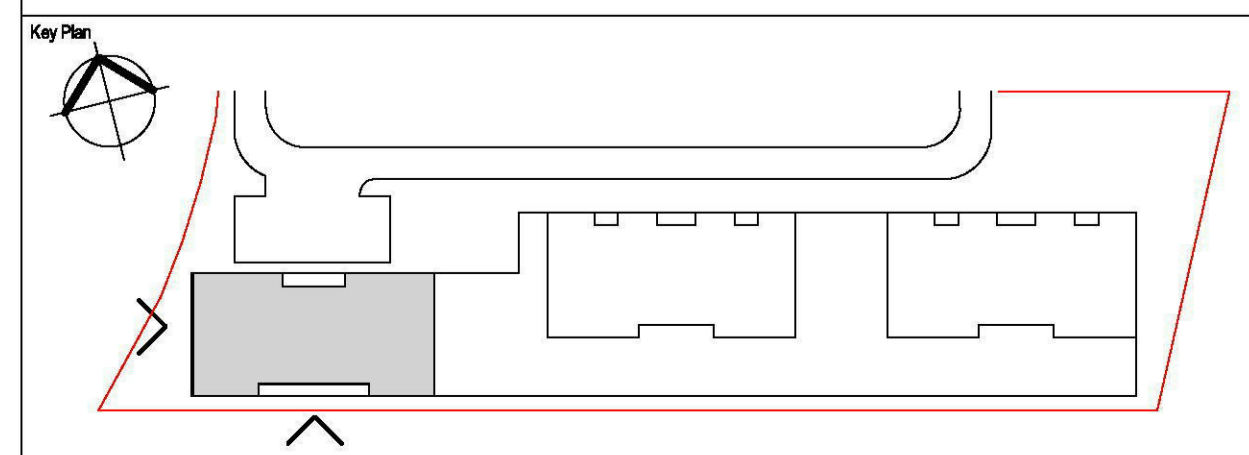
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1:100



2 WEST ELEVATION
1:100



FOR DEVELOPMENT APPLICATION



FINISHES SCHEDULE - REFER TO DA 5_70037 FOR FURTHER FINISHES INFORMATION					
F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK DARK	F07	MEDIUM BROWN BRICK	B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F02	LIGHT GREY BRICK	F08	DARK BRICK	C01	PAINTED CONCRETE FINISH. COLOUR TO MATCH G03
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH DARK GREY TO MATCH G03	S01	LIGHT TEAK TIMBER LOOK BATTENS
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'WHITE'	G01	SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH G03, GLASS CLEAR	S02	DARK TIMBER LOOK BATTENS
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH LIGHT BEIGE	G02	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'	L01	LOUVRE - POWDERCOATED TO MATCH G03
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK LIGHT	G03	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'		
		G04	STEEL BALUSTRADE POWDERCOATED TO MATCH F04		



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PRINCIPAL ARCHITECT Lendlease Integrated Solutions ABN 51 682 822 381 Notified Architect Stephanie Smith NSW A88 8280 Barangaroo NSW 2000	PLANNER Keylan Consulting Level 14, Tower Three, International Towers Sydney Suite 2, 1 Pado Lane, Barangaroo NSW 2000	CLIENT Lendlease Retirement Living Jordan Springs Holding Pty Ltd Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	PROJECT JORDAN SPRINGS CLIENT LENDLEASE RETIREMENT LIVING	TITLE BUILDING A ELEVATIONS SHEET 2 Scale 1:100 @ B1 Drawn LLLS Checked Marc-Jean Reijnen Approved Stephanie Smith Drawing Status DA Project No. 260436 Drawing No. DA_1_30002 Revision 1
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions ABN 51 682 822 381 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	LANDSCAPE: Clouston Associates PO BOX R1388, Royal Exchange NSW NSW Australia 2259	CIVIL: ADW Johnson 5 Pioneer Avenue, Lippmann NSW Australia 2259		



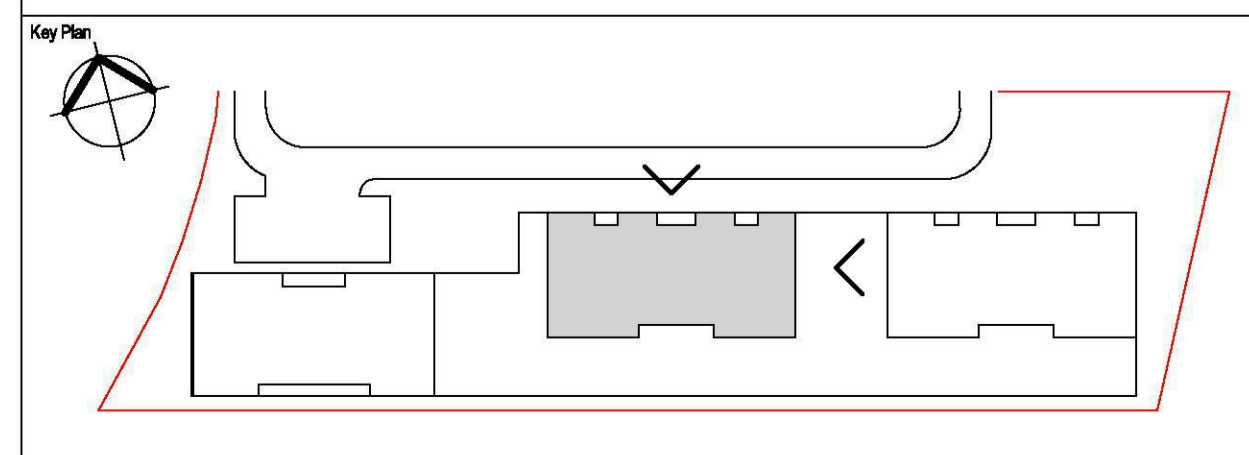
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1:100



2 EAST ELEVATION
1:100



FOR DEVELOPMENT APPLICATION



Rev.	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA 5_70037 FOR FURTHER FINISHES INFORMATION		
F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK DARK	F07 MEDIUM BROWN BRICK
F02	LIGHT GREY BRICK	B02 GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F03	DARK GREY BRICK	C01 PAINTED CONCRETE FINISH. COLOUR TO MATCH G03
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH DARK GREY TO MATCH G03	S01 LIGHT TEAK TIMBER LOOK BATTENS
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH WHITE	S02 DARK TIMBER LOOK BATTENS
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH LIGHT BEIGE	L01 LOUVRE - POWDERCOATED TO MATCH G03
F08	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK LIGHT	



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PRINCIPAL ARCHITECT
Lendlease Integrated Solutions
ABN 51 682 822 381
Level 14, Tower Three, International Towers Sydney
Exchange Place, 300 Barangaroo Avenue,
Barangaroo NSW 2000

PLANNER:
Keylan Consulting
Suite 2, 1 Rialto Lane,
Newly NSW Australia 2095

CLIENT:
Lendlease Retirement Living
Jordan Springs Holding Pty Ltd

Project: JORDAN SPRINGS
Client: LENDLEASE RETIREMENT LIVING
Title: BUILDING B ELEVATIONS SHEET 1
Scale: 1:100 @ B1
Drawn: LLLS
Checked: Marc-Jean Reijnen
Approved: Stephanie Smith
DA
Project No: 260436
Drawing No: DA_2_30001
Revision: 1



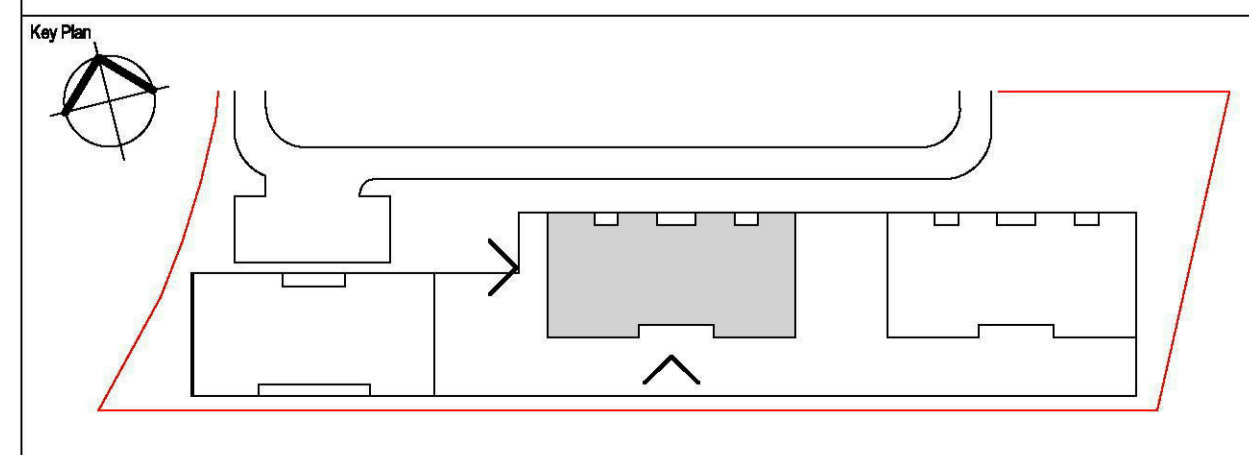
1 SOUTH ELEVATION
1:100



2 WEST ELEVATION
1:100



FOR DEVELOPMENT APPLICATION



FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION			
F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK DARK	F07	MEDIUM BROWN BRICK
F02	LIGHT GREY BRICK	F08	DARK BRICK
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH DARK GREY TO MATCH G03
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'WHITE'	G01	SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH G03, GLASS CLEAR
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH LIGHT BEIGE	G02	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK LIGHT	G03	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'
		B01	STEEL BALUSTRADE POWDERCOATED TO MATCH F04
		B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
		C01	PAINTED CONCRETE FINISH. COLOUR TO MATCH G03
		S01	LIGHT TEAK TIMBER LOOK BATTENS
		S02	DARK TIMBER LOOK BATTENS
		L01	LOUVRE - POWDERCOATED TO MATCH G03



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PRINCIPAL ARCHITECT Lendlease Integrated Solutions ABN 51 682 822 391 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	PLANNER: Keylan Consulting Suite 2, 1 Rialto Lane, North Sydney NSW 2060	Project JORDAN SPRINGS	Title BUILDING B ELEVATIONS SHEET 2
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions ABN 51 682 822 391 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	CLIENT: Lendlease Retirement Living Jordan Springs Holding Pty Ltd	Client LENDLEASE RETIREMENT LIVING	Scale 1:100 @ B1
CIVIL: ADW Johnson 5 Pioneer Avenue, Wollongong NSW Australia 2529	LANDSCAPE: Clouston Associates PO BOX R1388, Royal Exchange NSW NSW Australia 1225	Drawn LLLS	Checked Marc-Jean Reijnen
		Approved Stephanie Smith	Drawing Status DA
		Project No. 260436	Drawing No. DA_2_30002
			Revision 1



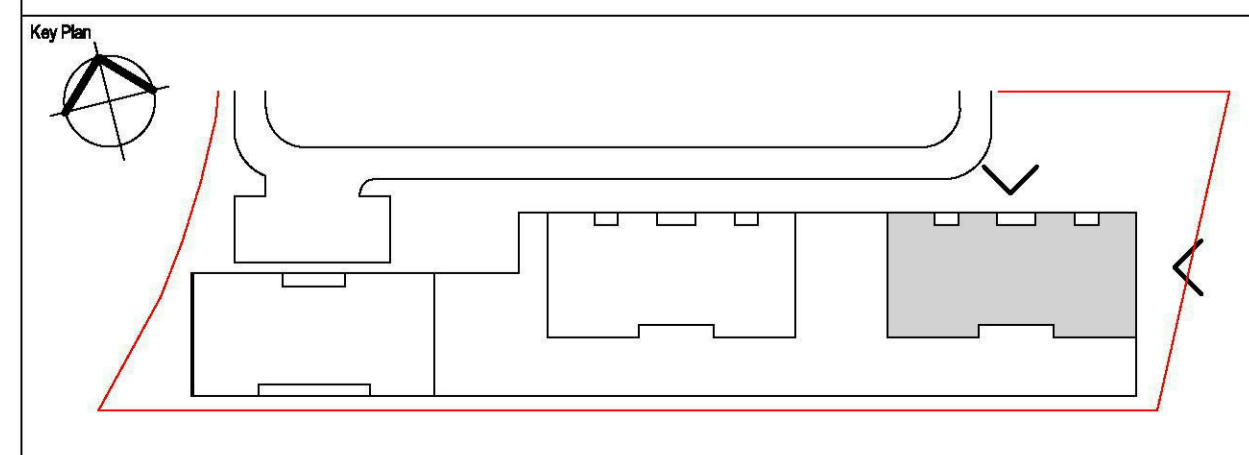
1 NORTH ELEVATION
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2 EAST ELEVATION
1:100



FOR DEVELOPMENT APPLICATION



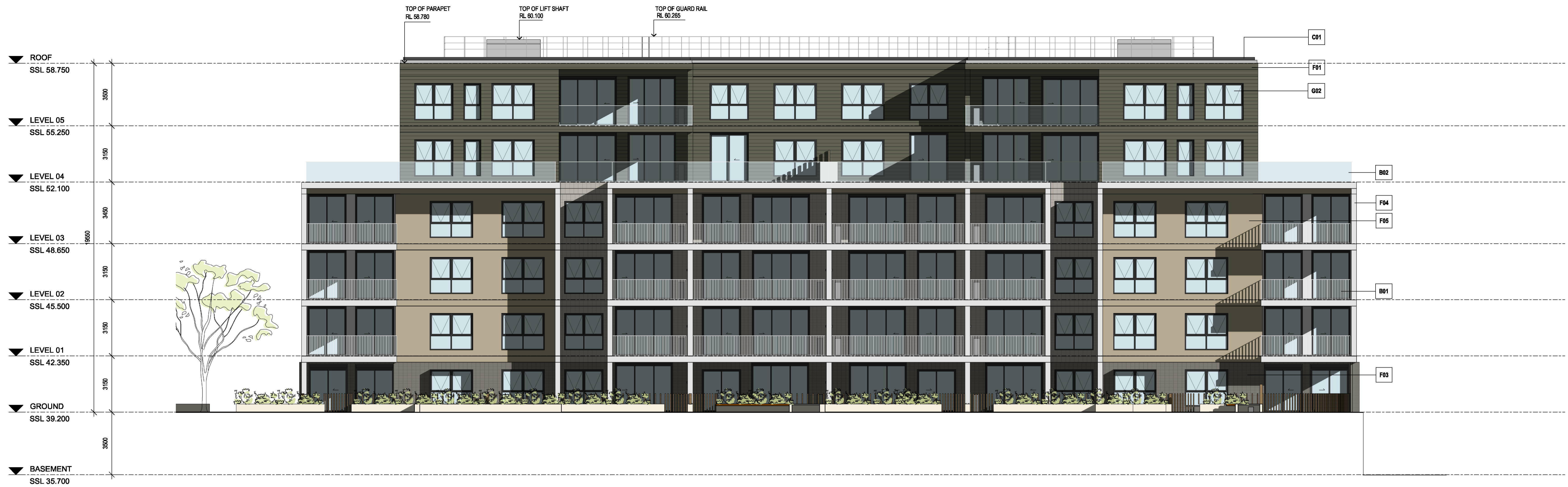
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019
Rev.	Description	Date

FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION		
F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK DARK	F07 MEDIUM BROWN BRICK
F02	LIGHT GREY BRICK	F08 DARK BRICK
F03	DARK GREY BRICK	F09 PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH DARK GREY TO MATCH G03
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH WHITE	G01/1 SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES G02 POWDERCOATED TO MATCH G03, GLASS CLEAR
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH LIGHT BEIGE	G03 POWDERCOATED ALUMINIUM GLAZING FRAMES DARK GREY
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK LIGHT	G04 STEEL BALUSTRADE POWDERCOATED TO MATCH F04
B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR	C01 PAINTED CONCRETE FINISH. COLOUR TO MATCH G03
S01	LIGHT TEAK TIMBER LOOK BATTENS	S01 LIGHT TEAK TIMBER LOOK BATTENS
S02	DARK TIMBER LOOK BATTENS	S02 DARK TIMBER LOOK BATTENS
L01	LOUVRE - POWDERCOATED TO MATCH G03	L01 LOUVRE - POWDERCOATED TO MATCH G03



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PRINCIPAL ARCHITECT Lendlease Integrated Solutions ABN 51 632 822 391 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2009	PLANNER: Keyplan Consulting Suite 2, 1 Rialto Lane, North Sydney NSW 2060	Project JORDAN SPRINGS	Title BUILDING C ELEVATIONS SHEET 1
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions ABN 51 632 822 391 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2009	CLIENT: Lendlease Retirement Living Jordan Springs Holding Pty Ltd	Client LENDLEASE RETIREMENT LIVING	Scale 1:100 @ B1 Drawn LILS Checked Marc-Jean Reppien Approved Stephanie Smith Drawing Status DA
CIVIL: ADW Johnson 5 Pioneer Avenue, Wollstonecraft NSW Australia 2239	LANDSCAPE: Clouston Associates PO BOX R1388, Royal Exchange NSW NSW Australia 1225	Project No: 260436 Drawing No: DA_3_30001	Revision: 1



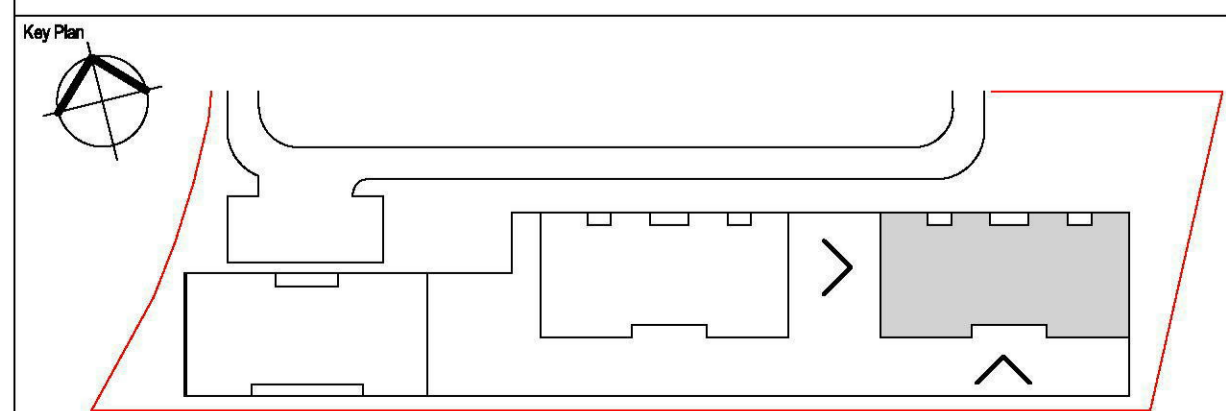
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1:100



2 WEST ELEVATION
1:100



FOR DEVELOPMENT APPLICATION



Rev.	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION		
F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK DARK	F07 MEDIUM BROWN BRICK
F02	LIGHT GREY BRICK	F08 DARK BRICK
F03	DARK GREY BRICK	F09 PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH DARK GREY TO MATCH G03
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'WHITE'	G01 SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES G02 POWDERCOATED TO MATCH G03, GLASS CLEAR
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH LIGHT BEIGE	G03 POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK LIGHT	G04 STEEL BALUSTRADE POWDERCOATED TO MATCH F04
		B02 GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
		C01 PAINTED CONCRETE FINISH. COLOUR TO MATCH G03
		G01 LIGHT TEAK TIMBER LOOK BATTENS
		G02 DARK TIMBER LOOK BATTENS
		L01 LOUVRE - POWDERCOATED TO MATCH G03

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PRINCIPAL ARCHITECT
Lendlease Integrated Solutions
ABN 51 682 822 391
Level 14, Tower Three, International Towers Sydney
Exchange Place, 300 Barangaroo Avenue,
Barangaroo NSW 2000

STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS:
Lendlease Integrated Solutions
ABN 51 682 822 391
Level 14, Tower Three, International Towers Sydney
Exchange Place, 300 Barangaroo Avenue, Barangaroo
NSW 2000

CIVIL:
ADW Johnson
5 Pioneer Avenue,
Lidcombe
NSW Australia 2259

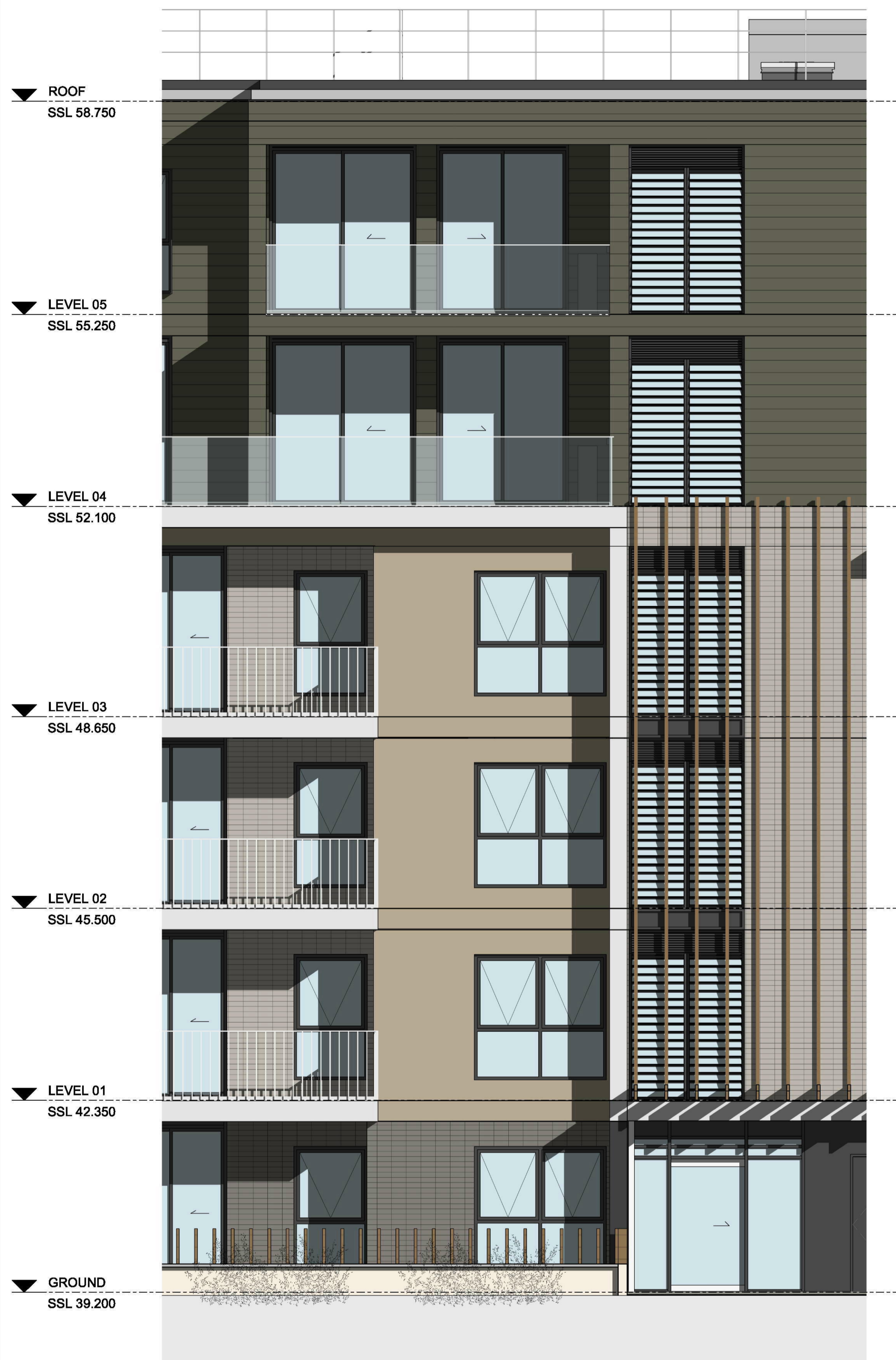
LANDSCAPE:
Clouston Associates
PO BOX R1388, Royal
Exchange NSW
NSW Australia 1225

PLANNER:
Keylan Consulting
Suite 2, 1 Rialto Lane,
Newry
NSW Australia 2095

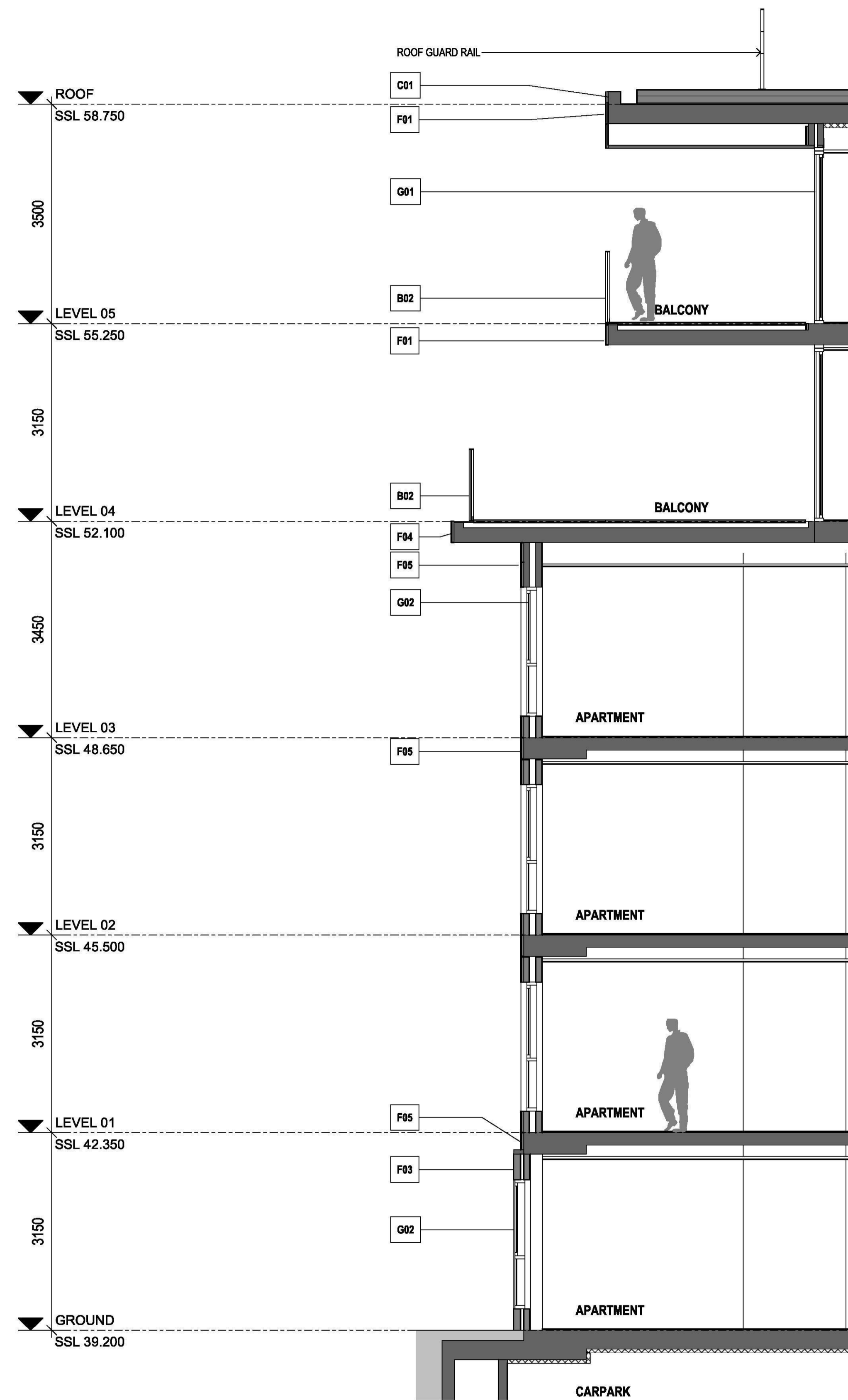
CLIENT:
Lendlease Retirement Living
Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney
Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project: JORDAN SPRINGS
Client: LENDLEASE RETIREMENT LIVING

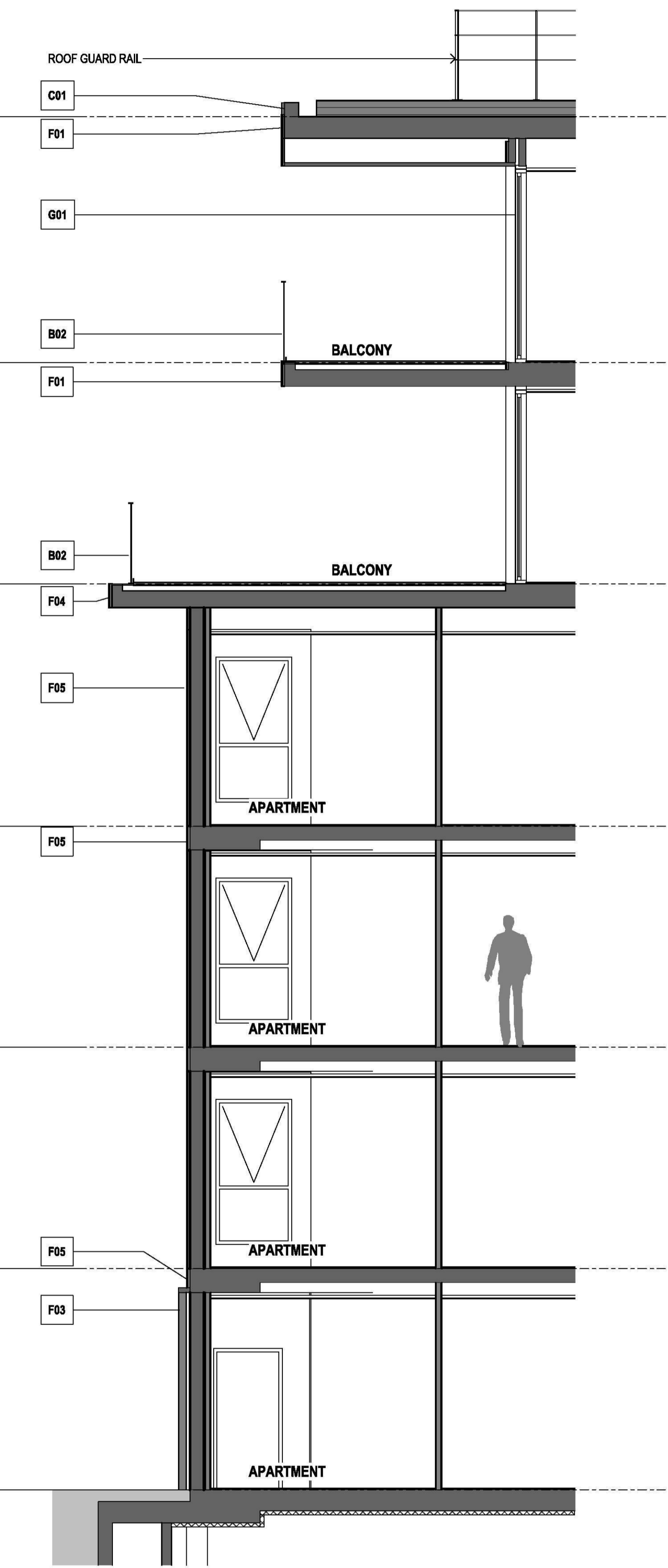
Title: BUILDING C ELEVATIONS SHEET 2
Scale: 1:100 @ B1
Drawn: LLLS
Checked: Marc-Jean Reppien
Approved: Stephanie Smith
Drawing Status: DA
Project No: 260436
Drawing No: DA_3_30002
Revision: 1



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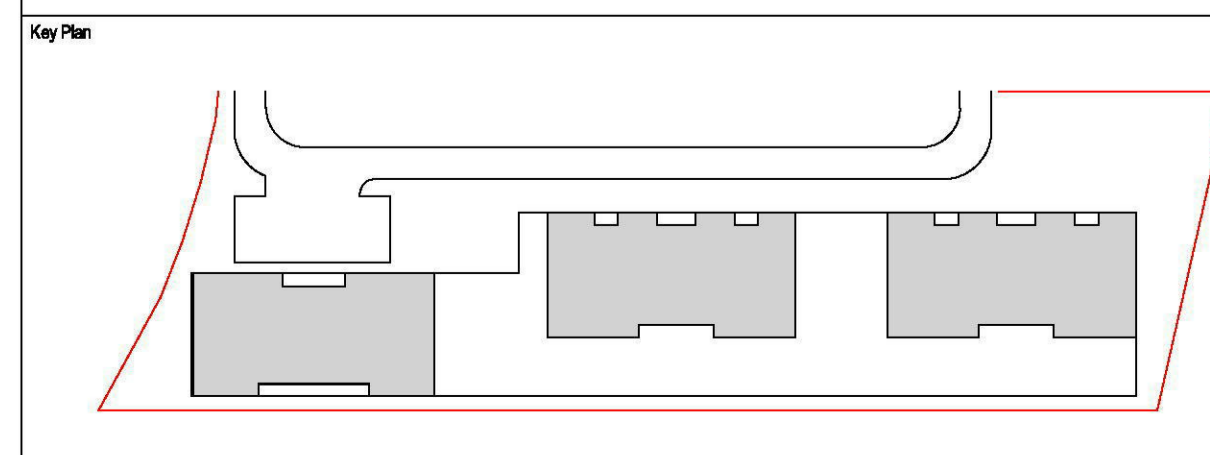


2 FACADE SECTION 1 - WINDOW
1:50



3 FACADE SECTION 2 - WALL
1:50

FOR DEVELOPMENT APPLICATION



Rev.	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION			
F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK DARK	F07	MEDIUM BROWN BRICK
F02	LIGHT GREY BRICK	F08	DARK BRICK
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH DARK GREY TO MATCH G03
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'WHITE'	G01	SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH G03, GLASS CLEAR
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH LIGHT BEIGE	G02	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK LIGHT	G03	POWDERCOATED TO MATCH F04
		B01	STEEL BALUSTRADE - POWDERCOATED TO MATCH F04
		B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
		C01	PAINTED CONCRETE FINISH. COLOUR TO MATCH G03
		S01	LIGHT TEAK TIMBER LOOK BATTENS
		S02	DARK TIMBER LOOK BATTENS
		L01	LOUVRE - POWDERCOATED TO MATCH G03



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PRINCIPAL ARCHITECT
Lendlease Integrated Solutions
ABN 51 632 822 391
Level 14, Tower Three, International Towers Sydney
Exchange Place, 300 Barangaroo Avenue,
Sydney NSW 2000

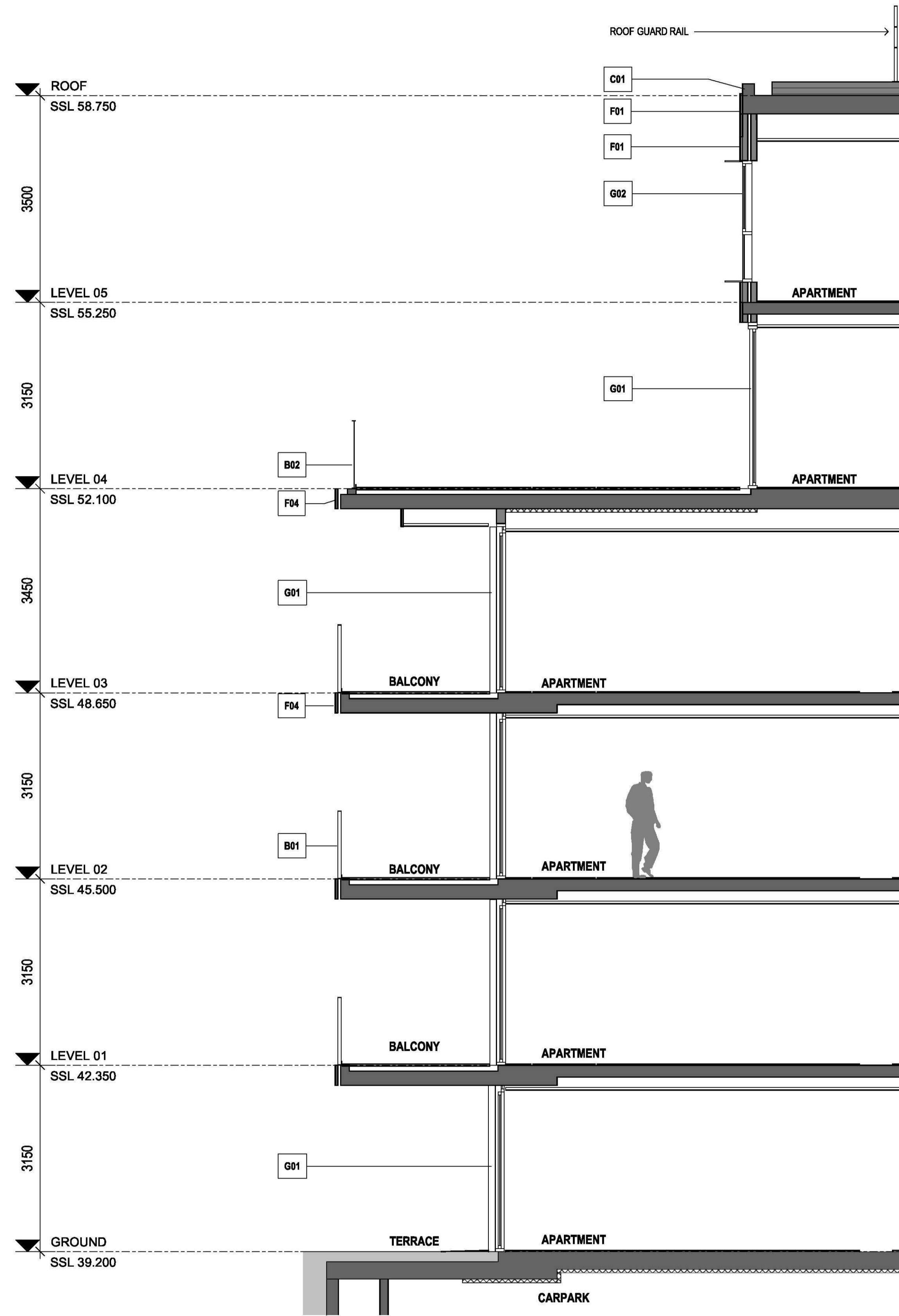
PLANNER:
Keyplan Consulting
Suite 2, 1 Pado Lane,
North Sydney NSW 2059

CLIENT:
Lendlease Retirement Living
Jordan Springs Holding Pty Ltd

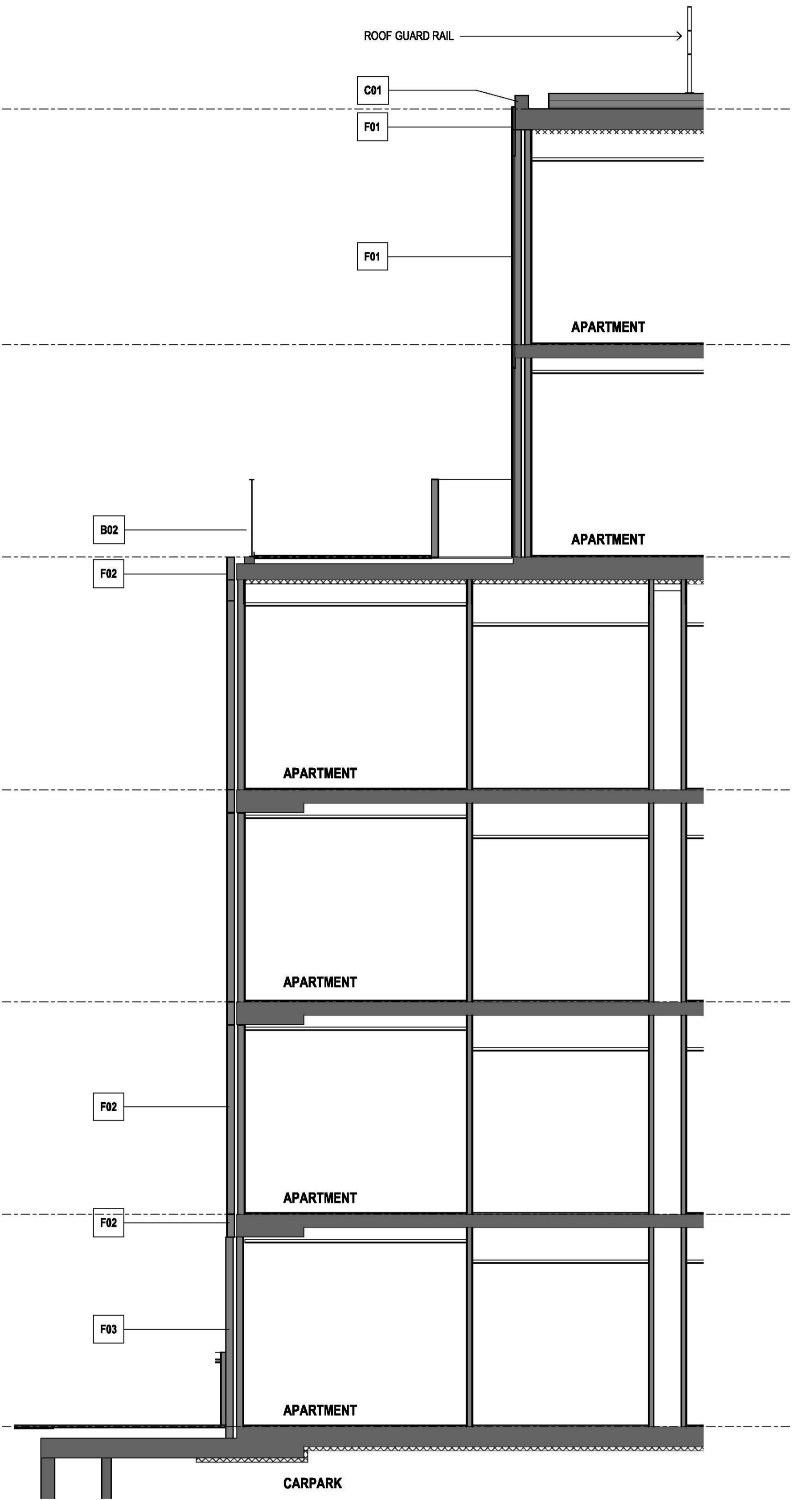
Project: JORDAN SPRINGS
Client: LENDLEASE RETIREMENT LIVING
Title: FAÇADE TYPICAL SECTIONS SHEET 1
Scale: 1:50 @ B1
Drawn: LLIS
Checked: Marc-Jean Reijnen
Approved: Stephanie Smith
Drawing Status: DA
Project No: 260436
Drawing No: DA_5_63000
Revision: 1



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1:50

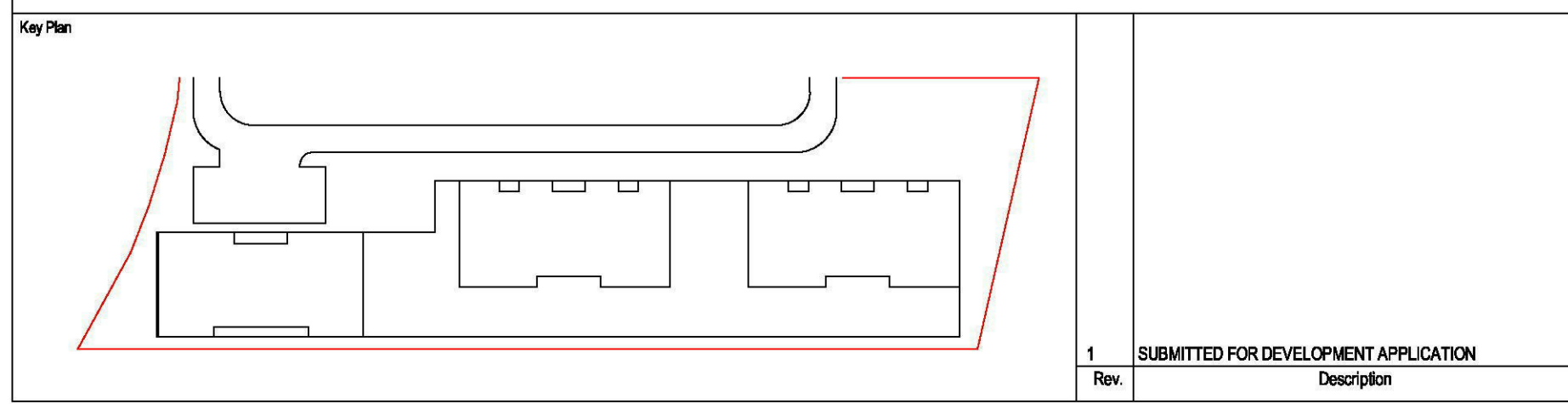


2 FACADE SECTION 3 - DOOR
1:50



3 FACADE SECTION 4 - WALL
1:50

FOR DEVELOPMENT APPLICATION



FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION

Code	Description	Code	Description	Code	Description
F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK DARK	F07	MEDIUM BROWN BRICK	B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F02	LIGHT GREY BRICK	F08	DARK BRICK	C01	PAINTED CONCRETE FINISH. COLOUR TO MATCH G03
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH DARK GREY TO MATCH G03	S01	LIGHT TEAK TIMBER LOOK BATTENS
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'WHITE'	G01	SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH G03, GLASS CLEAR	S02	DARK TIMBER LOOK BATTENS
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH LIGHT BEIGE	G03	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'	L01	LOUVRE - POWDERCOATED TO MATCH G03
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK LIGHT	B01	STEEL BALUSTRADE - POWDERCOATED TO MATCH F04		



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PRINCIPAL ARCHITECT
Lendlease Integrated Solutions
ABN 51 632 822 381
Level 14, Tower Three, International Towers Sydney
Exchange Place, 300 Barangaroo Avenue, Barangaroo
NSW 2008

PLANNER:
Keylan Consulting
Suite 2, 1 Rialto Lane,
North Sydney NSW 2059

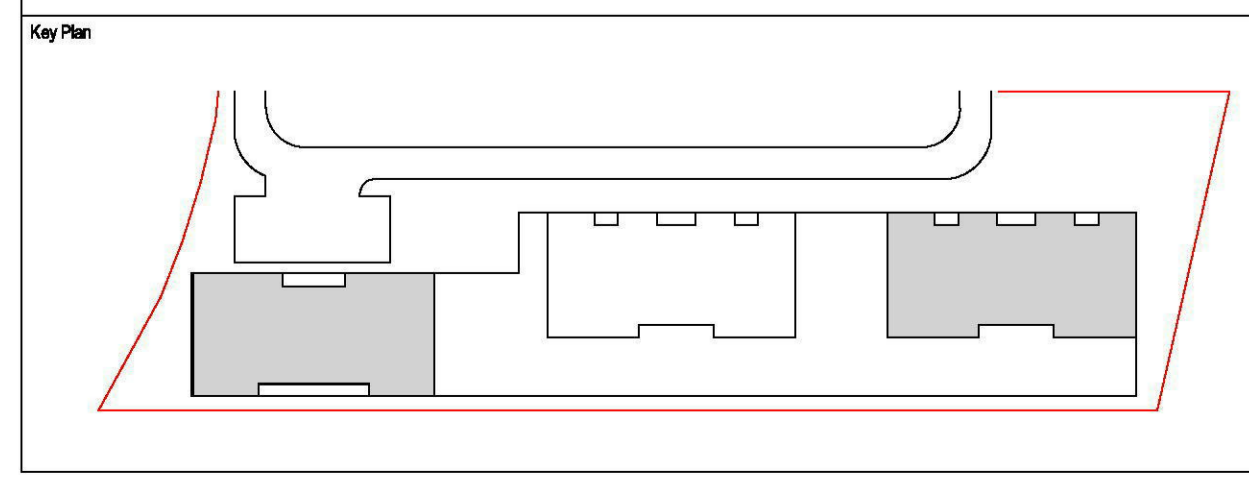
CLIENT:
Lendlease Retirement Living
Jordan Springs Holding Pty Ltd
Level 14, Tower Three, International Towers Sydney
Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2008

Project: JORDAN SPRINGS
Client: LENDLEASE RETIREMENT LIVING
Title: FACADE TYPICAL SECTIONS SHEET 2
Scale: 1:50 @ B1
Drawn: LLLS
Checked: [Signature]
Approved: [Signature] DA
Project No: 260436
Drawing No: DA_5_63001
Revision: 1



	F01 PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - EXPRESSED DARK TIMBER LOOK		C01 CONCRETE HOB PAINT FINISH - TO MATCH G03		B01 BALUSTRADE POWDERCOAT STEEL TO MATCH F04
	F02 LIGHT GREY BRICK		B02 GLAZED BALUSTRADE 'CLEAR'		G01 GLAZED SLIDING DOOR 'CLEAR'
	F03 DARK GREY BRICK		F05 PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - SMOOTH LIGHT BEIGE		G02 GLAZED WINDOW 'CLEAR'
	F04 PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - SMOOTH WHITE		S01 TIMBER LOOK BATTENS LIGHT TEAK TIMBER LOOK		G03 ALUMINIUM POWDERCOATED GLAZING FRAMES 'DARK GREY'

FOR DEVELOPMENT APPLICATION



Rev.	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION					
F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - TIMBER LOOK DARK	F07	MEDIUM BROWN BRICK	B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F02	LIGHT GREY BRICK	F08	DARK BRICK	C01	PAINTED CONCRETE FINISH. COLOUR TO MATCH G03
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - SMOOTH DARK GREY TO MATCH G03	S01	LIGHT TEAK TIMBER LOOK BATTENS
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - SMOOTH 'WHITE'	G01	SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH G03, GLASS CLEAR	S02	DARK TIMBER LOOK BATTENS
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - SMOOTH LIGHT BEIGE	G02	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'	L01	LOUVRE - POWDERCOATED TO MATCH G03
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - TIMBER LOOK LIGHT	B01	STEEL BALUSTRADE - POWDERCOATED TO MATCH F04		

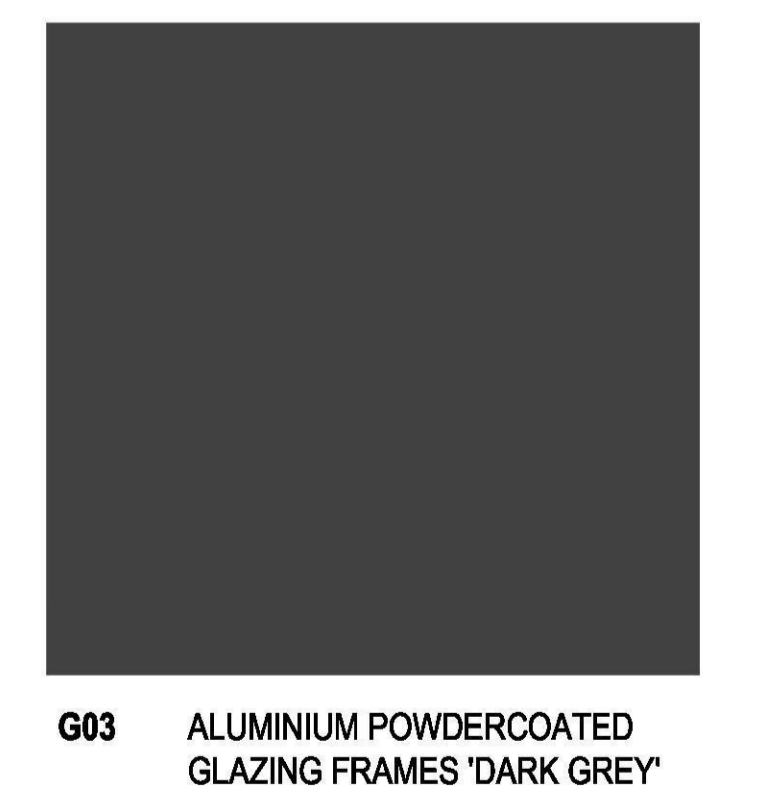
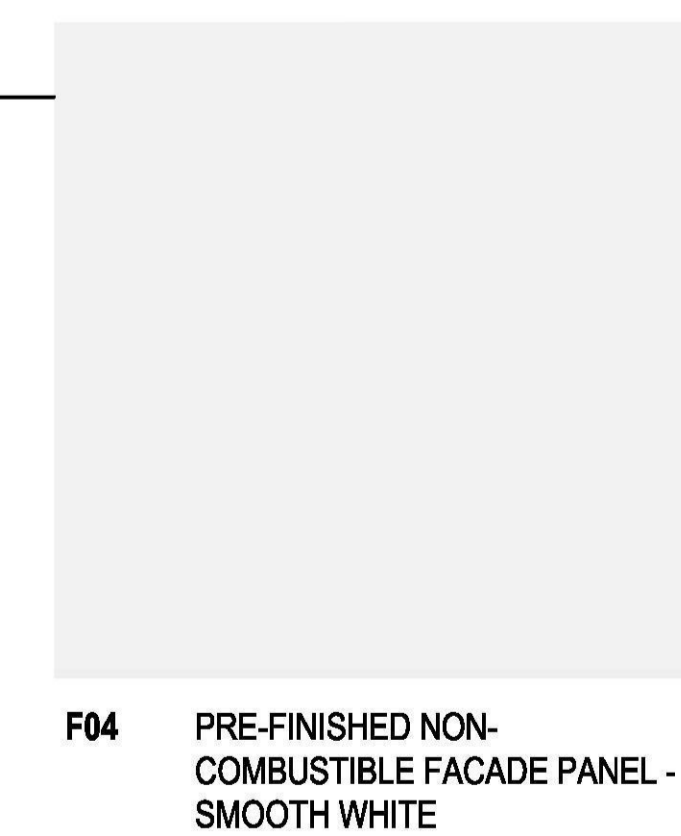
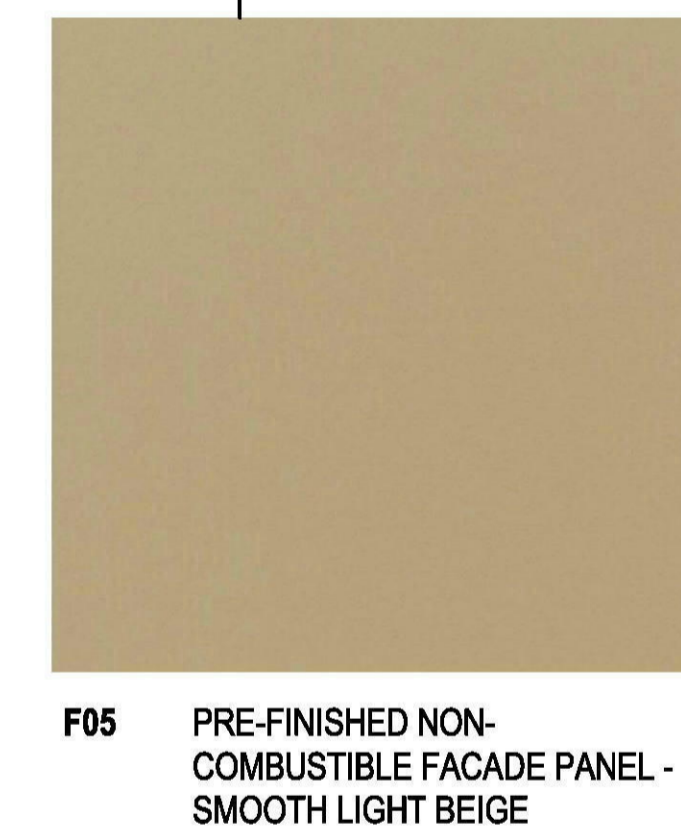
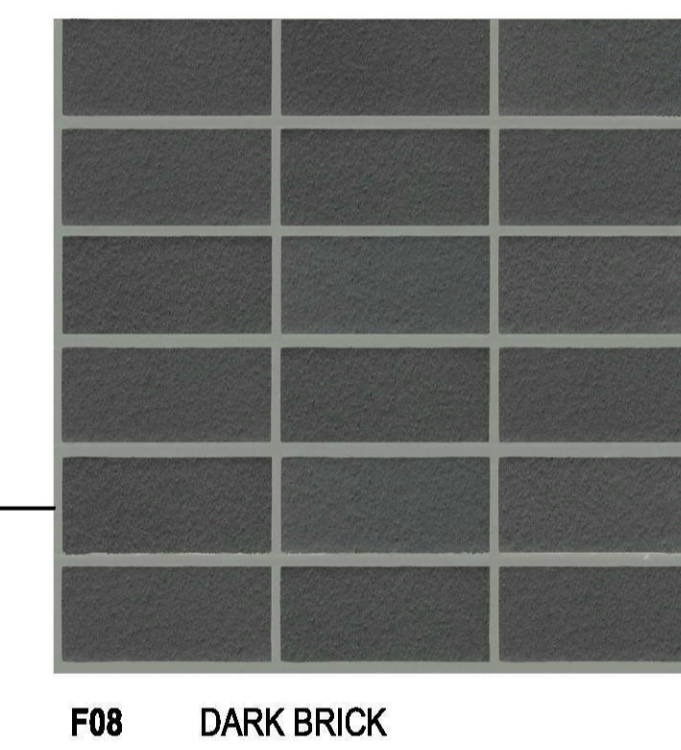
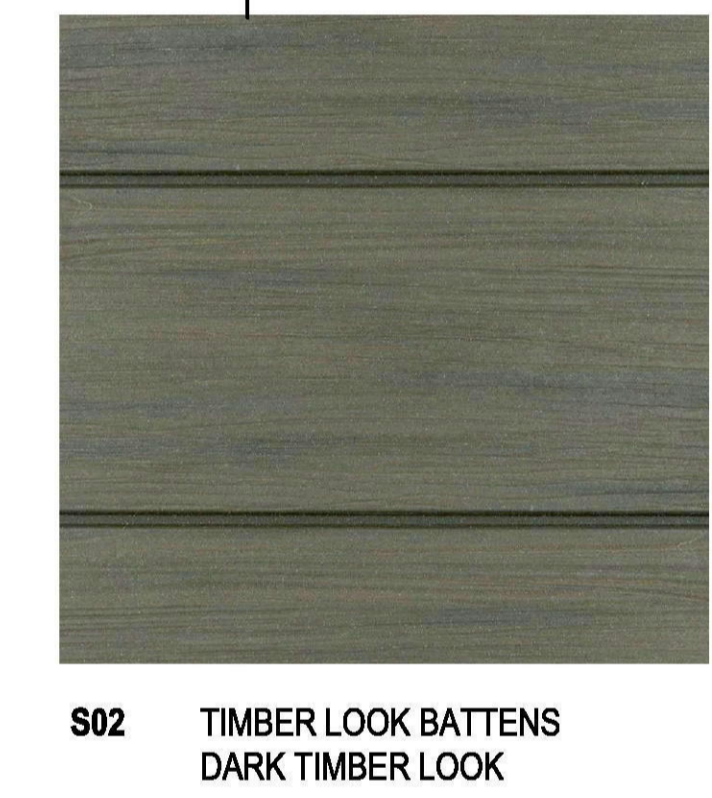
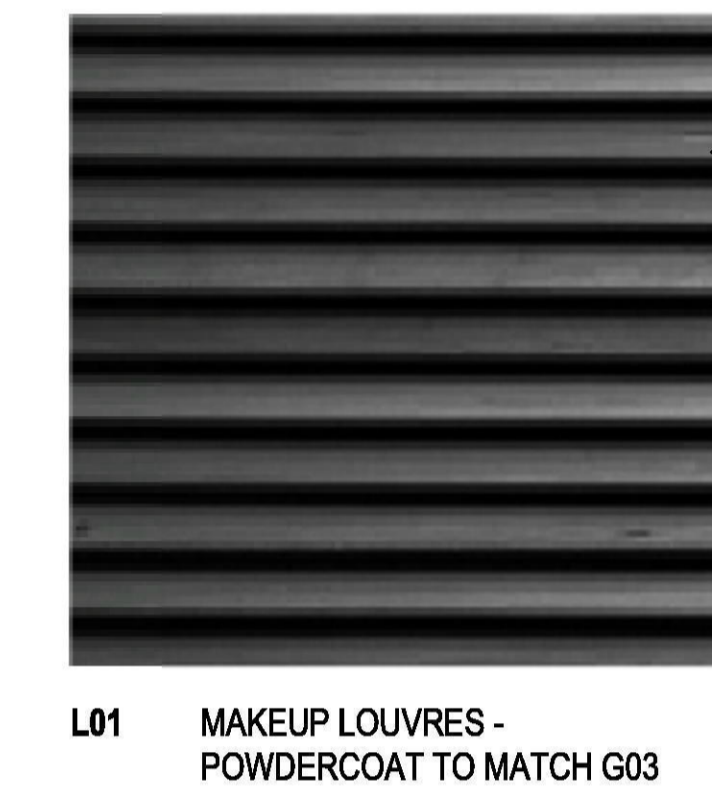


PRINCIPAL ARCHITECT
Lendlease Integrated Solutions
 ABN 51 632 822 381
 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

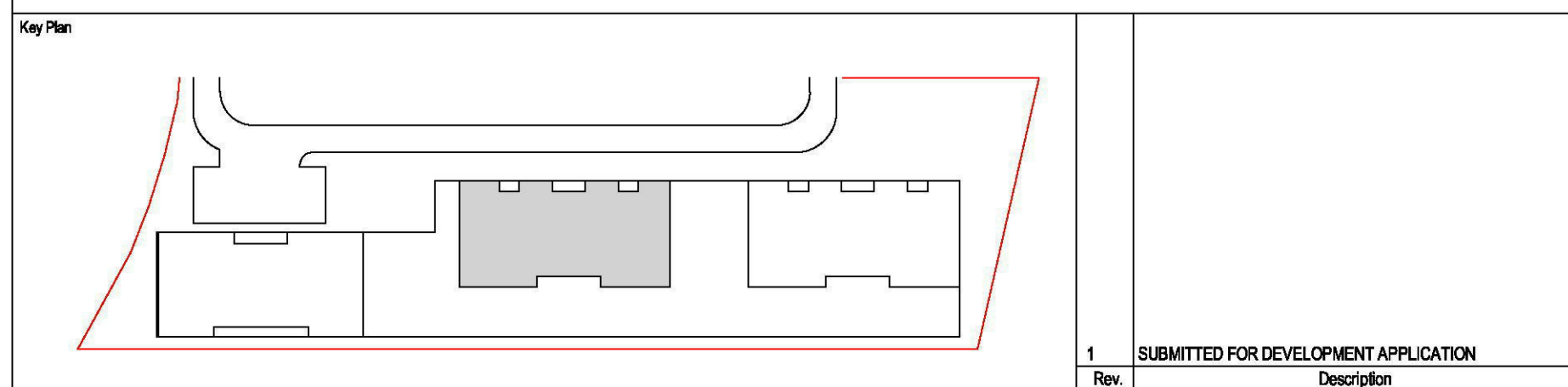
PLANNER:
 Keyplan Consulting
 Suite 2, 1 Pado Lane, North Sydney NSW 2059

CLIENT:
 Lendlease Retirement Living
 Jordan Springs Holding Pty Ltd
 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

Project: JORDAN SPRINGS		Title: BUILDING A AND C FAÇADE MATERIALS	
Client: LENLEASE RETIREMENT LIVING		Scale: 1:50 @ B1	
Drawn: LLIS	Checked: [Signature]	Approved: [Signature]	Drawing Status: DA
Project No: 260436	Drawing No: DA_5_63003	Revision: 1	



FOR DEVELOPMENT APPLICATION



FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION			
F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - TIMBER LOOK DARK	F07	MEDIUM BROWN BRICK
F02	LIGHT GREY BRICK	F08	DARK BRICK
F03	DARK GREY BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - SMOOTH DARK GREY TO MATCH G03
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - SMOOTH 'WHITE'	G01	SLIDING DOOR GLAZING/WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH G03, GLASS CLEAR
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - SMOOTH LIGHT BEIGE	G02	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL - TIMBER LOOK LIGHT	G03	POWDERCOATED ALUMINIUM GLAZING FRAMES 'DARK GREY'
		B01	STEEL BALUSTRADE - POWDERCOATED TO MATCH F04
		B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
		C01	PAINTED CONCRETE FINISH. COLOUR TO MATCH G03
		S01	LIGHT TEAK TIMBER LOOK BATTENS
		S02	DARK TIMBER LOOK BATTENS
		L01	LOUVRE - POWDERCOATED TO MATCH G03

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PRINCIPAL ARCHITECT
Lendlease Integrated Solutions
 A/NZ 51 822 822 391
 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

PLANNER:
 Keyplan Consulting
 Suite 2, 1 Rialto Lane, North Sydney NSW 2060

STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS:
Lendlease Integrated Solutions
 A/NZ 51 822 822 391
 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

CIVIL:
 ADW Johnson
 5 Pioneer Avenue, Crows Nest NSW 1585

LANDSCAPE:
 Clouston Associates
 PO BOX R1388, Royal Exchange NSW 1525

CLIENT:
 Lendlease Retirement Living
 Jordan Springs Holding Pty Ltd
 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000

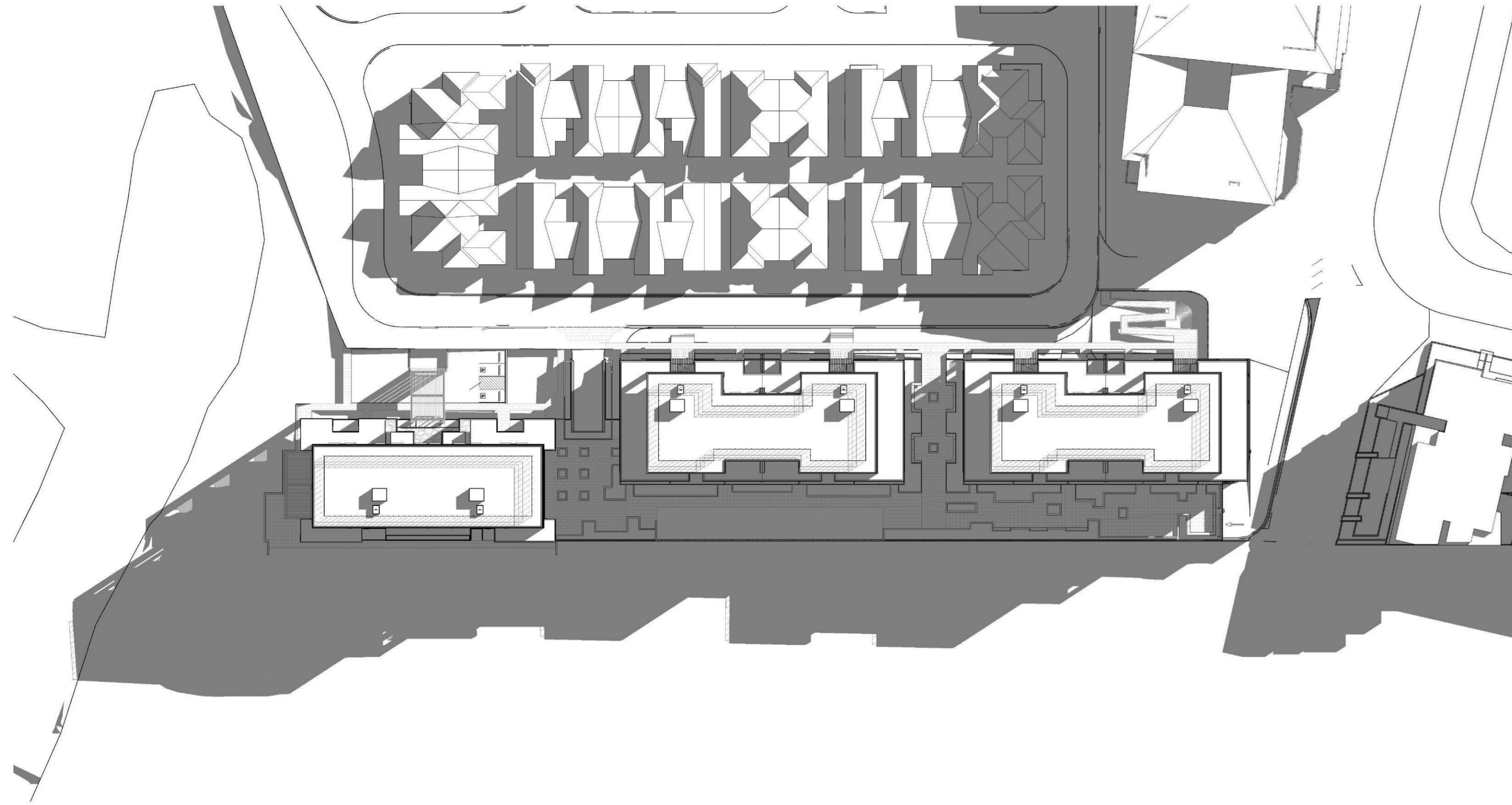
Project:
 JORDAN SPRINGS

Client:
 LENDLEASE RETIREMENT LIVING

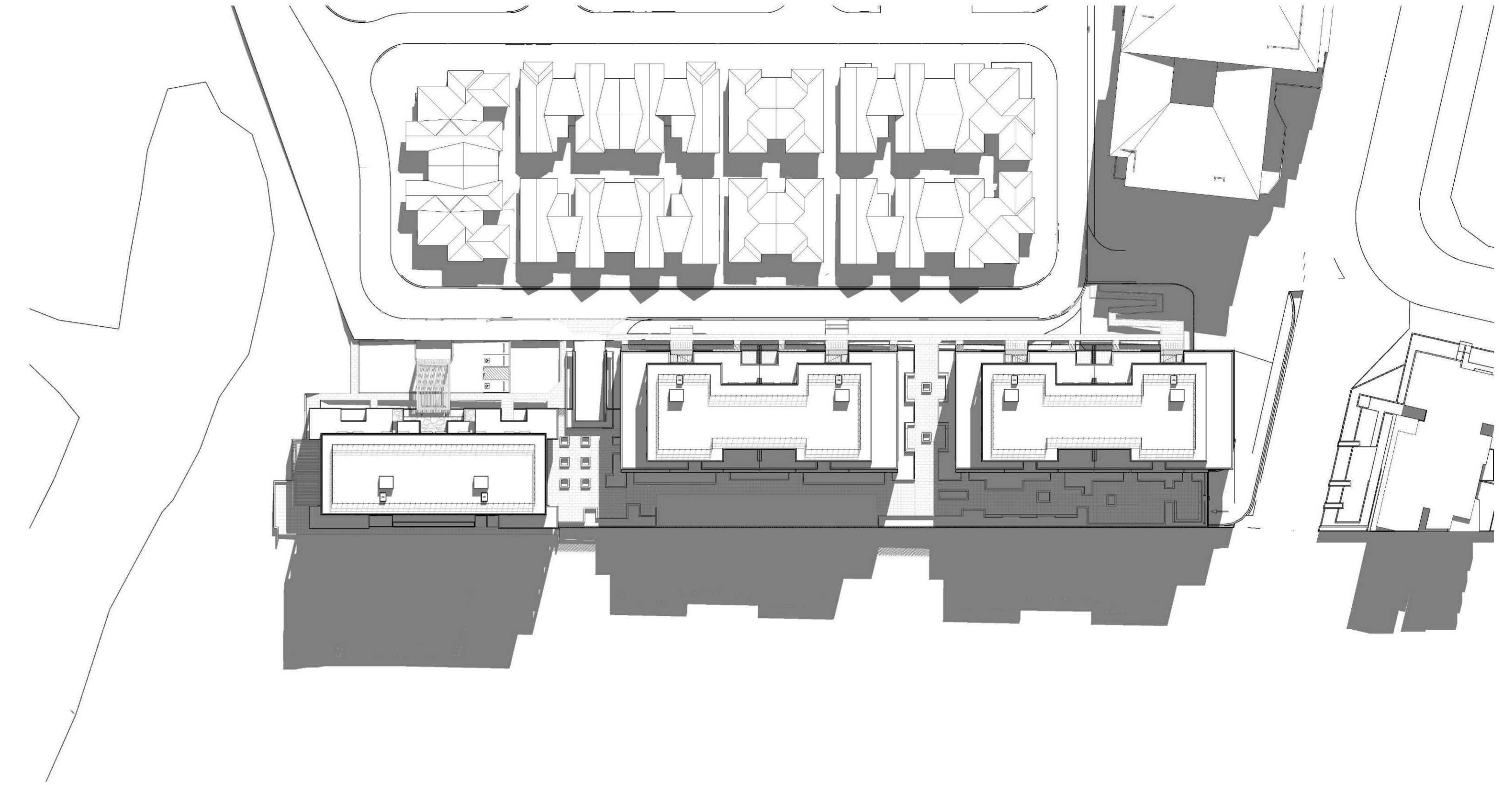
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 BUILDING B FAÇADE MATERIALS

Scale: 1:50 @ B1

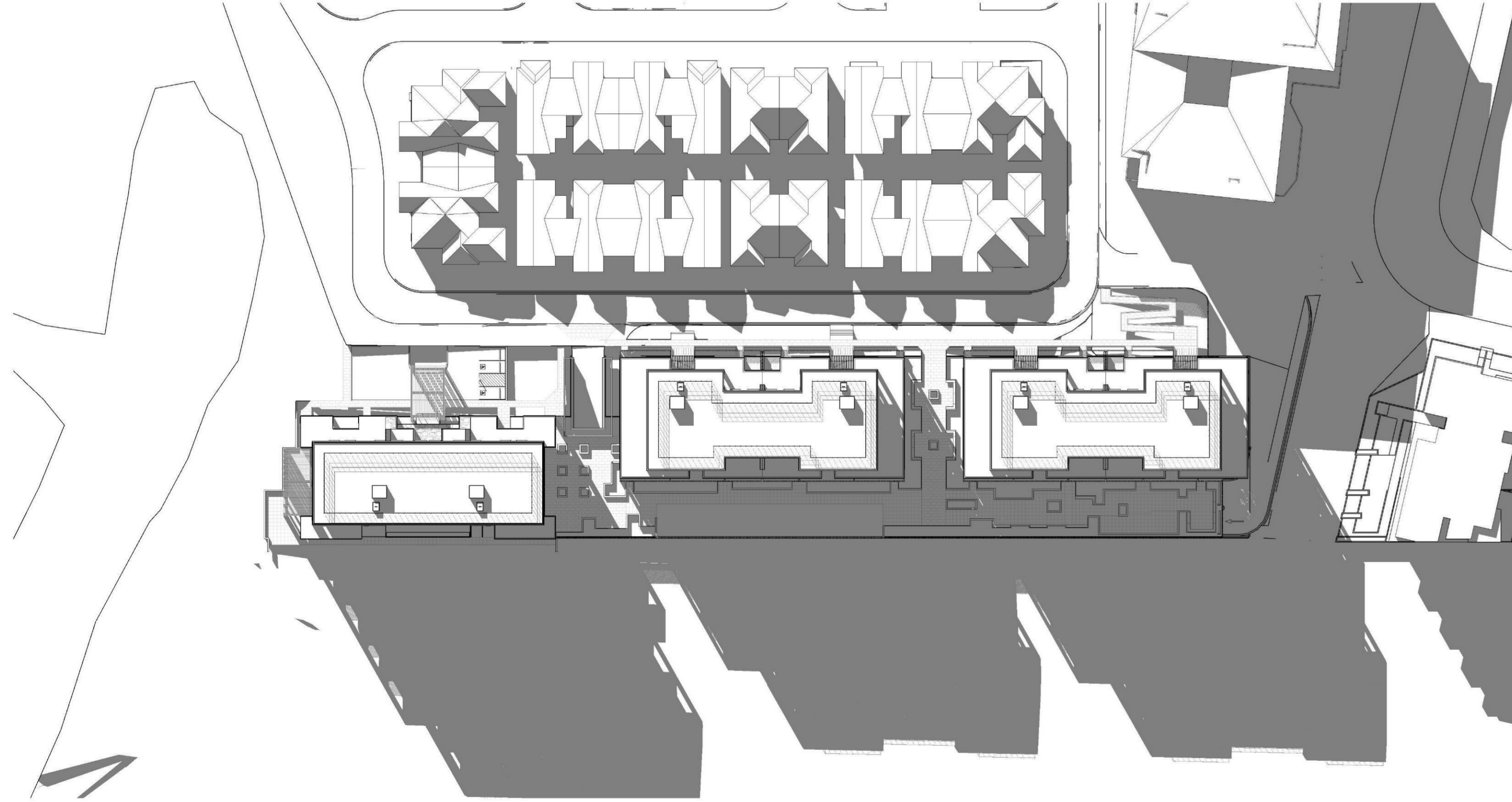
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Project No:	Drawing No:	Revision	
260436	DA_5_63004	1	



1 SHADOW DIAGRAM - WINTER 9AM

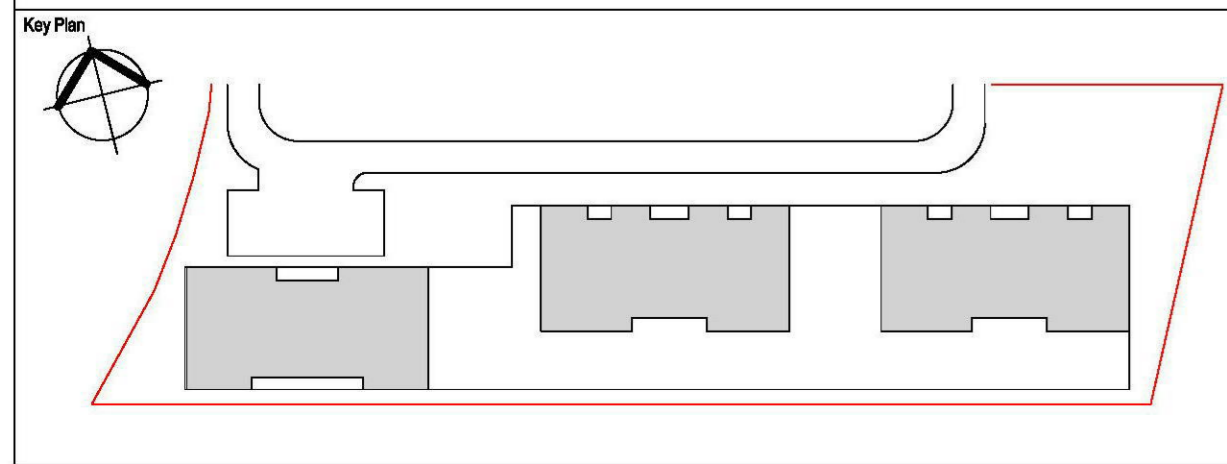


2 SHADOW DIAGRAM - WINTER NOON



3 SHADOW DIAGRAM - WINTER 3PM

FOR DEVELOPMENT APPLICATION

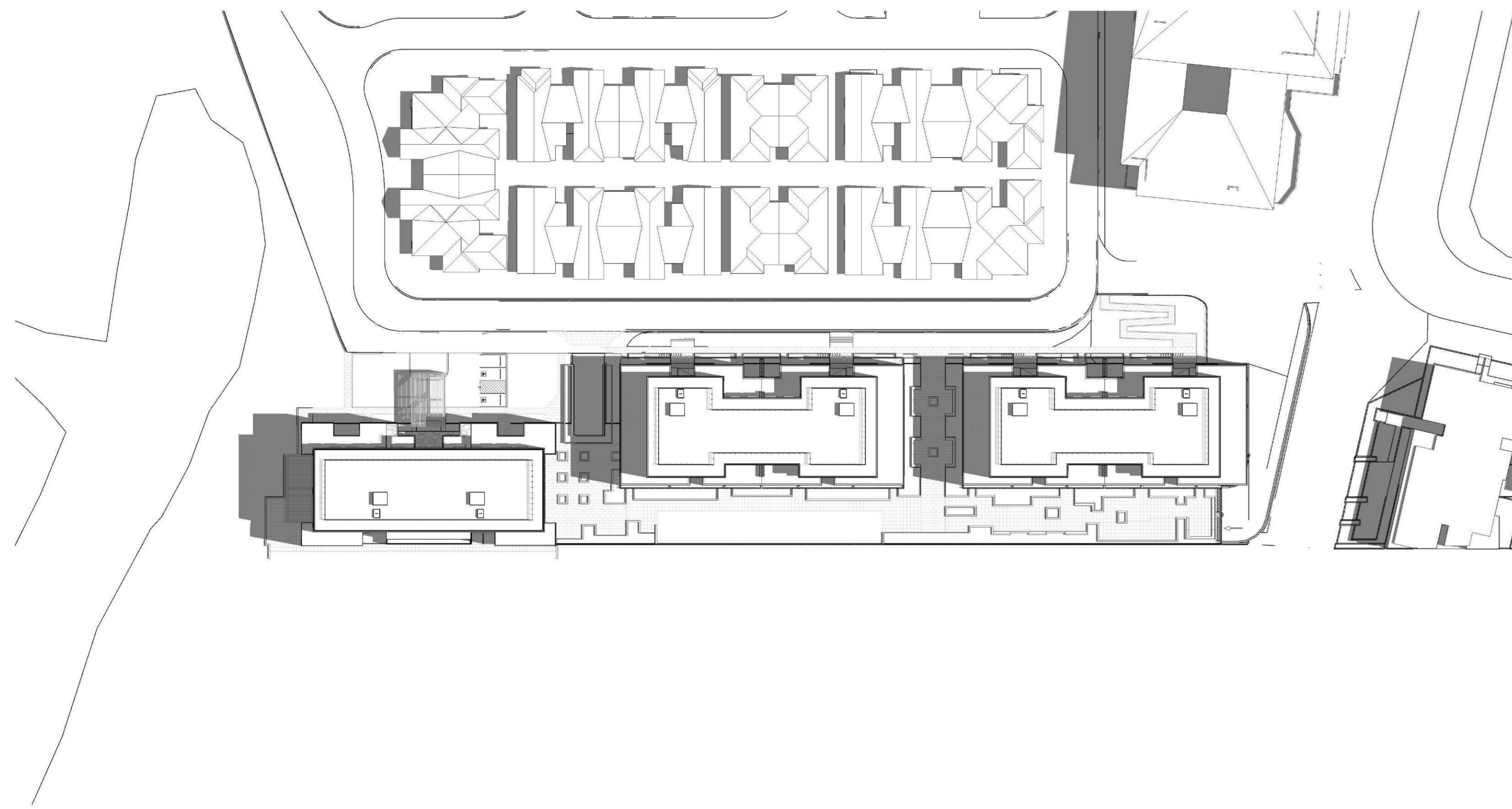


1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/1/2019
Rev.	Description	Date

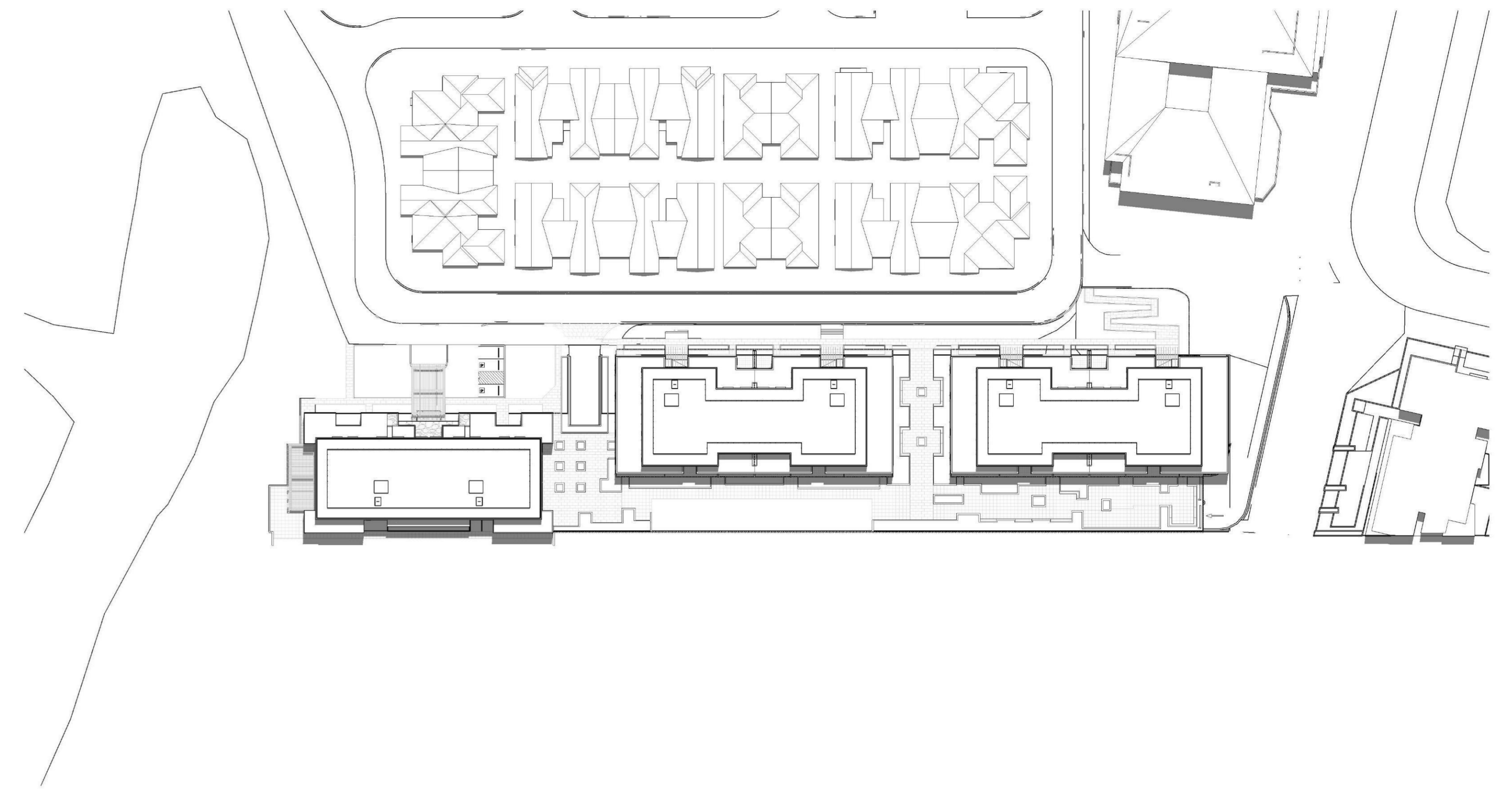


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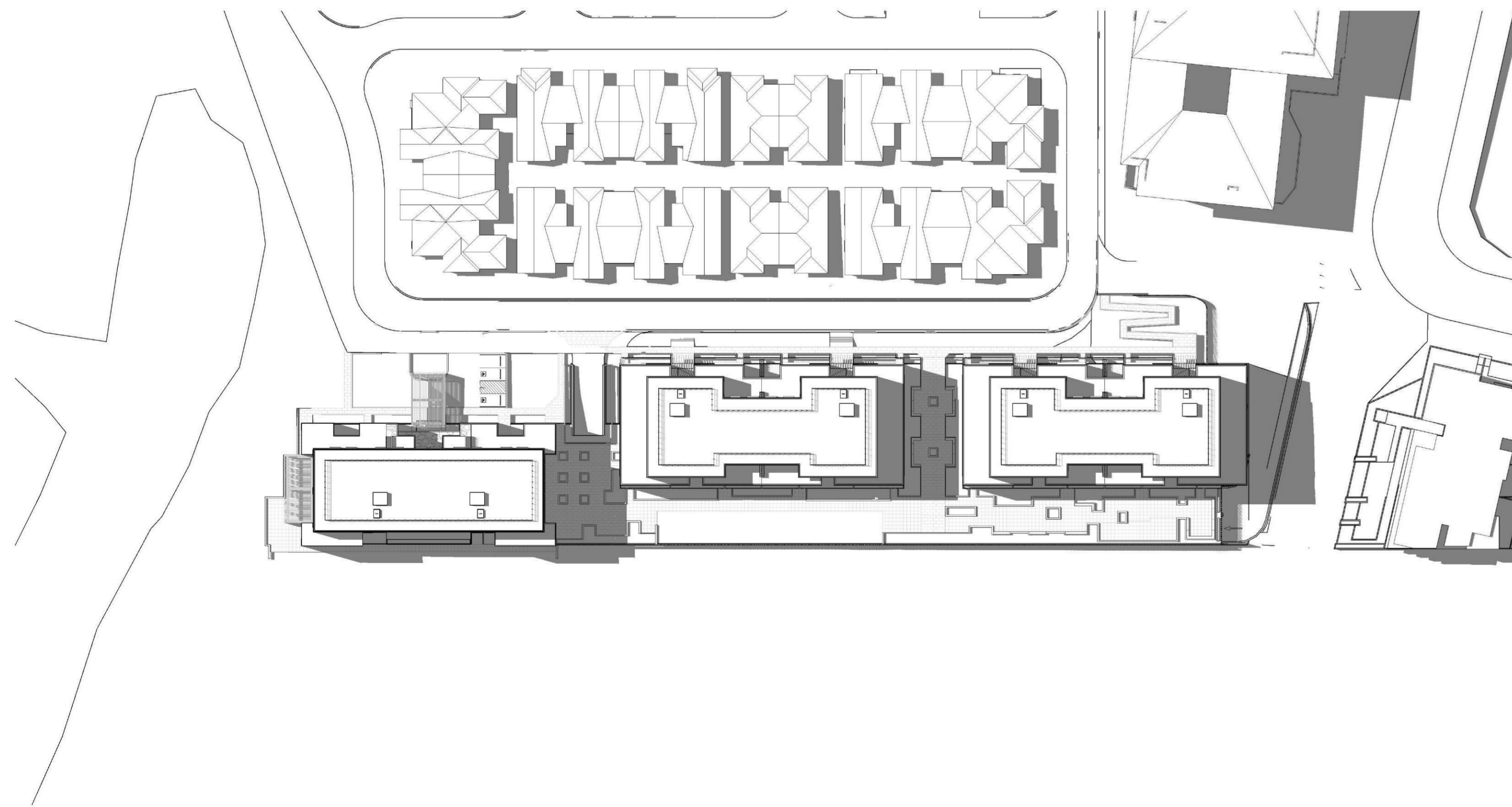
PRINCIPAL ARCHITECT Lendlease Integrated Solutions ABN 51 632 832 391 5 Pioneer Avenue, Liverpool NSW 2157 NSW Australia 2259	Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2009 NSW Australia 2009	PLANNER: Keylan Consulting Suite 2, 1 Rialto Lane, Maribyrnong VIC 3047 NSW Australia 2095	Project JORDAN SPRINGS	Title DIAGRAMS SHADOW SHEET 1
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions ABN 51 632 832 391	Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2009 NSW Australia 2009	CLIENT: Lendlease Retirement Living Jordan Springs Holding Pty Ltd	Client LENLEASE RETIREMENT LIVING	Scale @ B1
CIVIL: ADW Johnson 5 Pioneer Avenue, Liverpool NSW NSW Australia 2259	LANDSCAPE: Clouston Associates PO BOX R1388, Royal Exchange NSW NSW Australia 1225	Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2009	Drawing No. 260436	Drawing Date DA_5_70001
			Revision 1	



1 SHADOW DIAGRAM - SUMMER 9AM

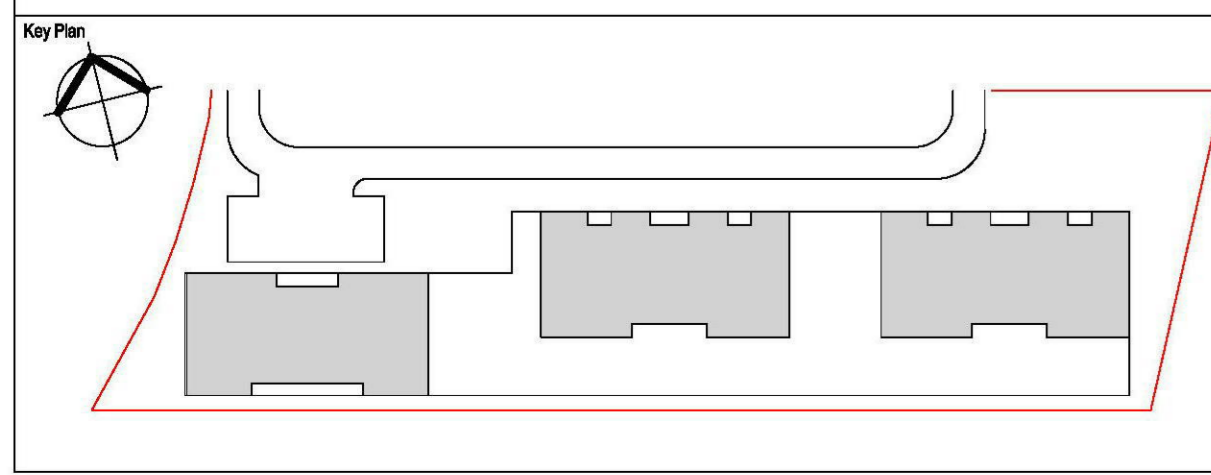


2 SHADOW DIAGRAM - SUMMER NOON



3 SHADOW DIAGRAM - SUMMER 3PM

FOR DEVELOPMENT APPLICATION



1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/1/2019
Rev.	Description	Date



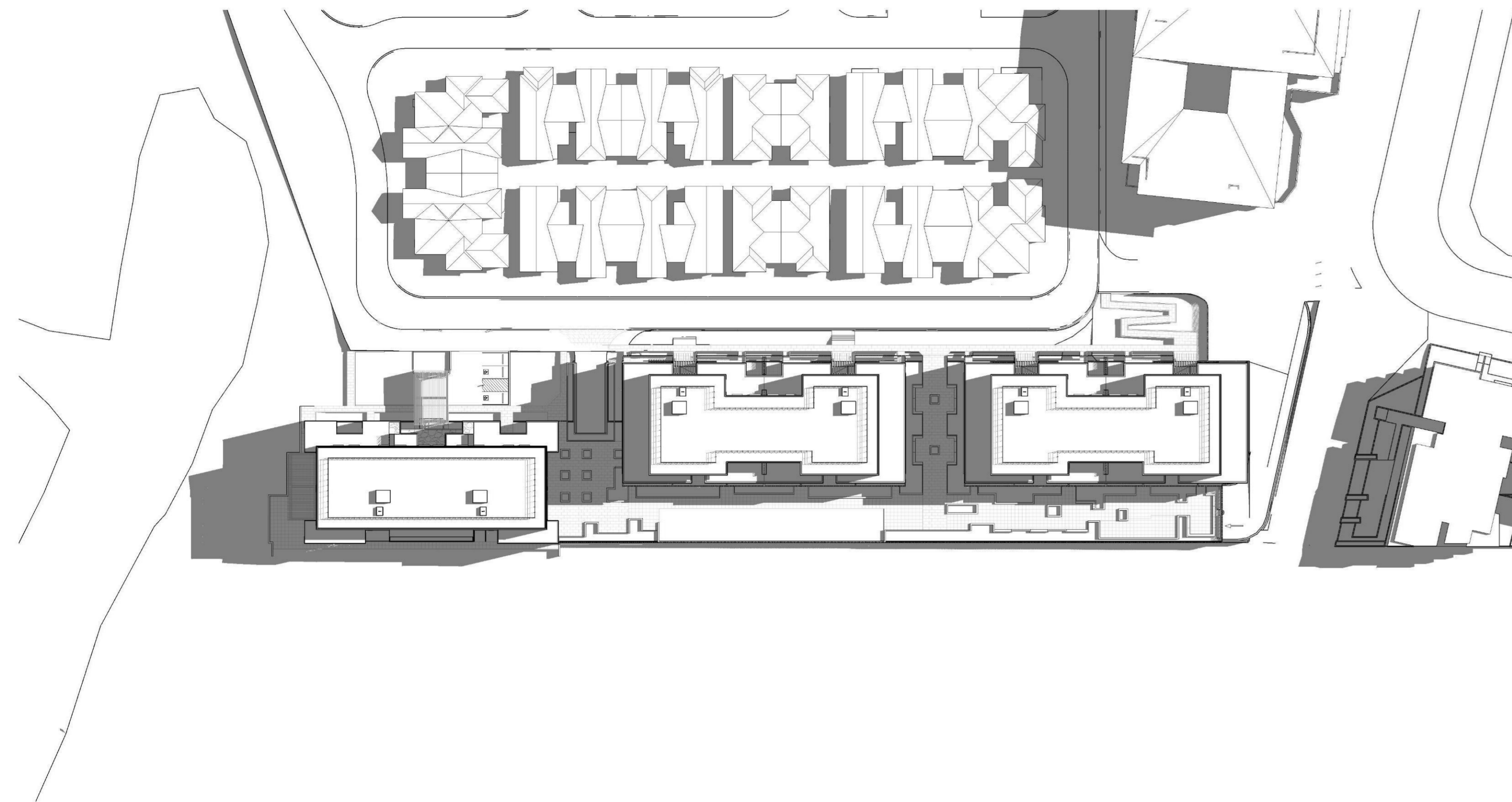
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PRINCIPAL ARCHITECT Lendlease Integrated Solutions ABN 51 632 832 391 Non-Residential Arch-Inst Sydney South NSW 2000	Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions ABN 51 632 832 391	Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000
CIVIL: ADW Johnson 5 Pioneer Avenue, Lippenthall NSW 2259	LANDSCAPE: Clouston Associates PO BOX R1388, Royal Exchange NSW NSW Australia 2259

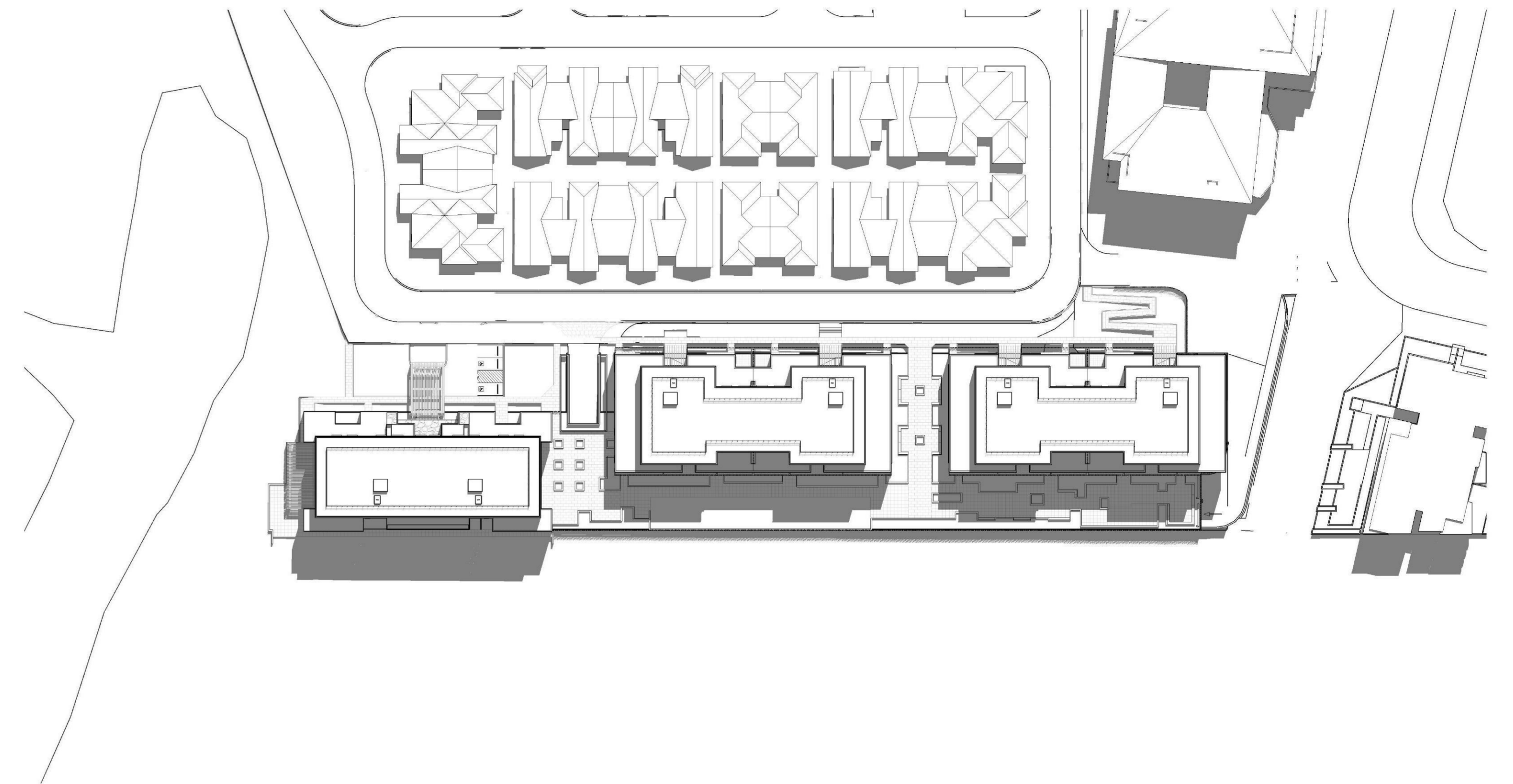
PLANNER: Keylan Consulting Suite 2, 1 Rialto Lane, Marrickville NSW 2205	CLIENT: Lendlease Retirement Living Jordan Springs Holding Pty Ltd Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000
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Project: JORDAN SPRINGS	Client: LENLEASE RETIREMENT LIVING
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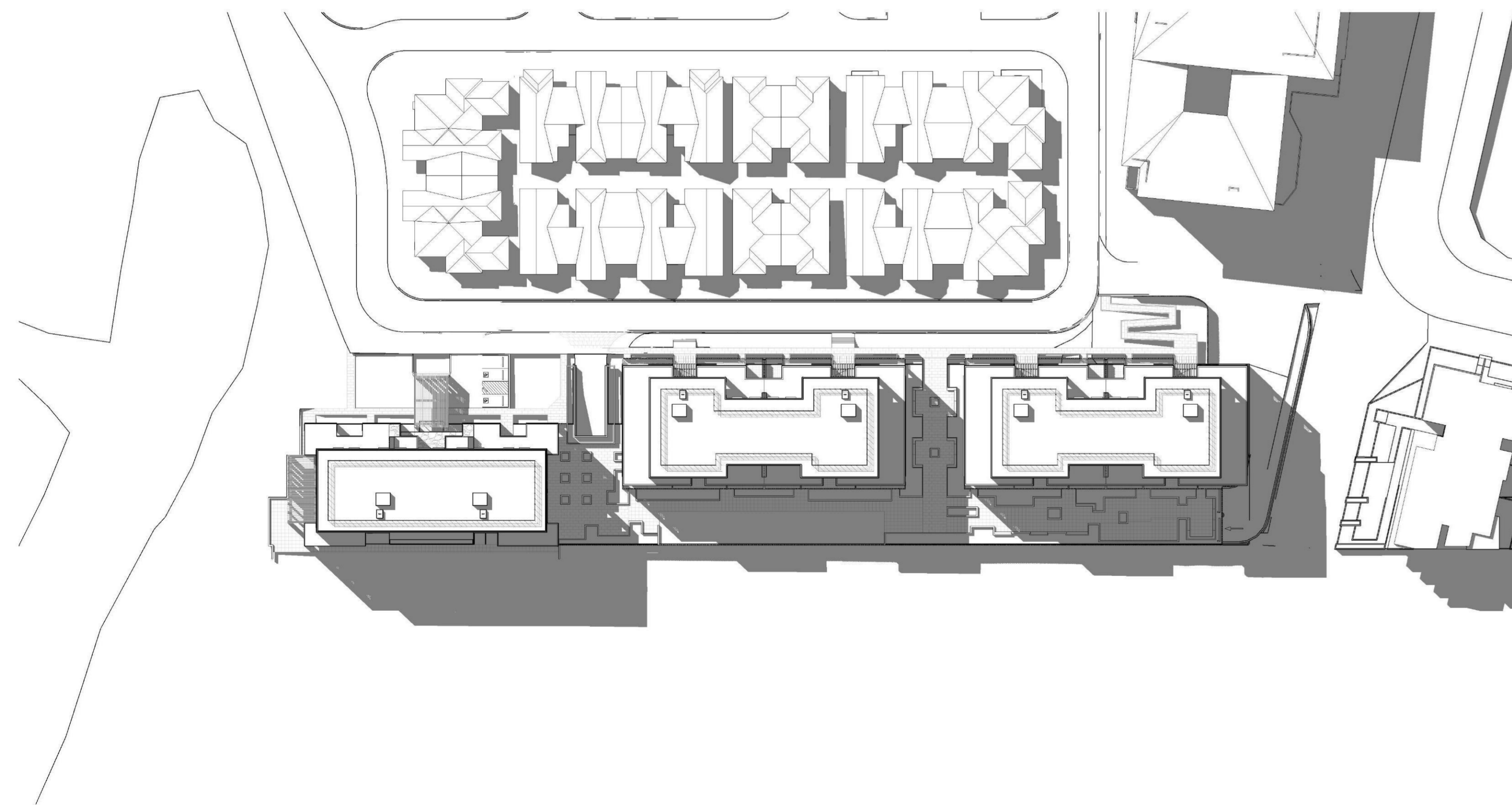
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Drawn: LLIS	Checked: Marc-Jean-Baptiste
Approved: Stephanie Smith	Drawing Date: DA
Project No.: 260436	Drawing No.: DA_5_70002
Revision: 1	



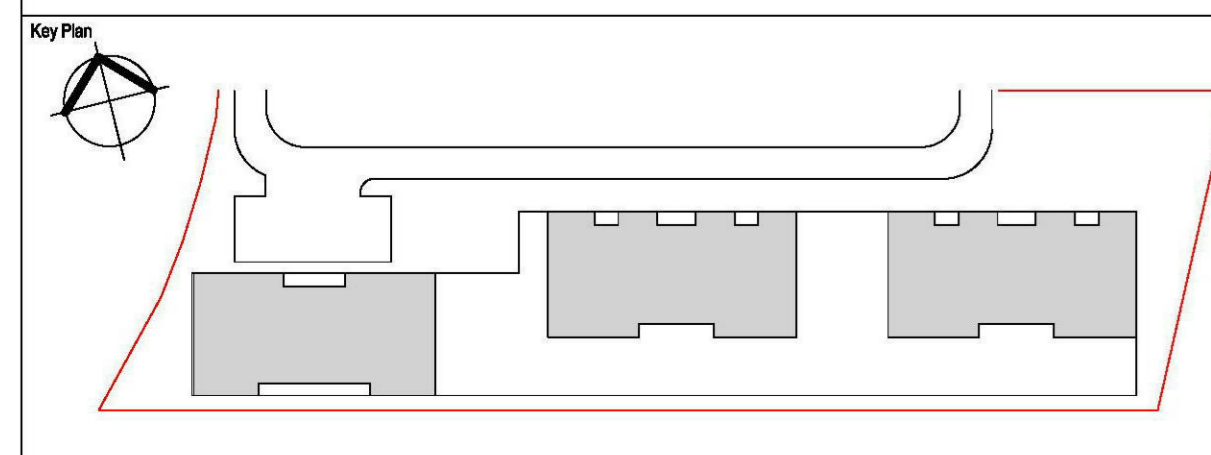
1 SHADOW DIAGRAM - AUTUMN 9AM



2 SHADOW DIAGRAM - AUTUMN NOON



3 SHADOW DIAGRAM - AUTUMN 3PM



1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/1/2019
Rev.	Description	Date

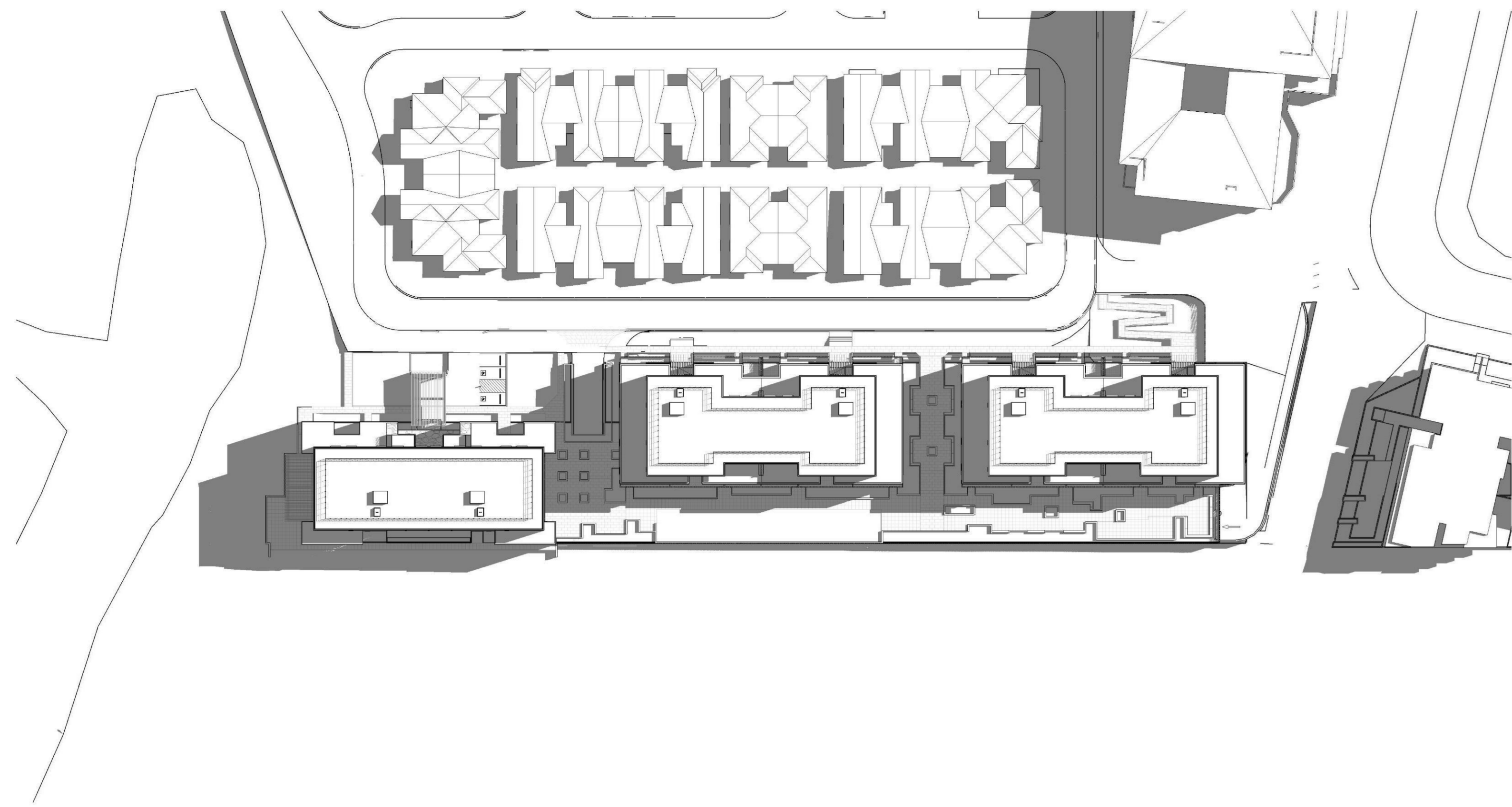
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 Version: 1, Version Date: 25/11/2019
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 Always take figured dimensions in preference to scaling.



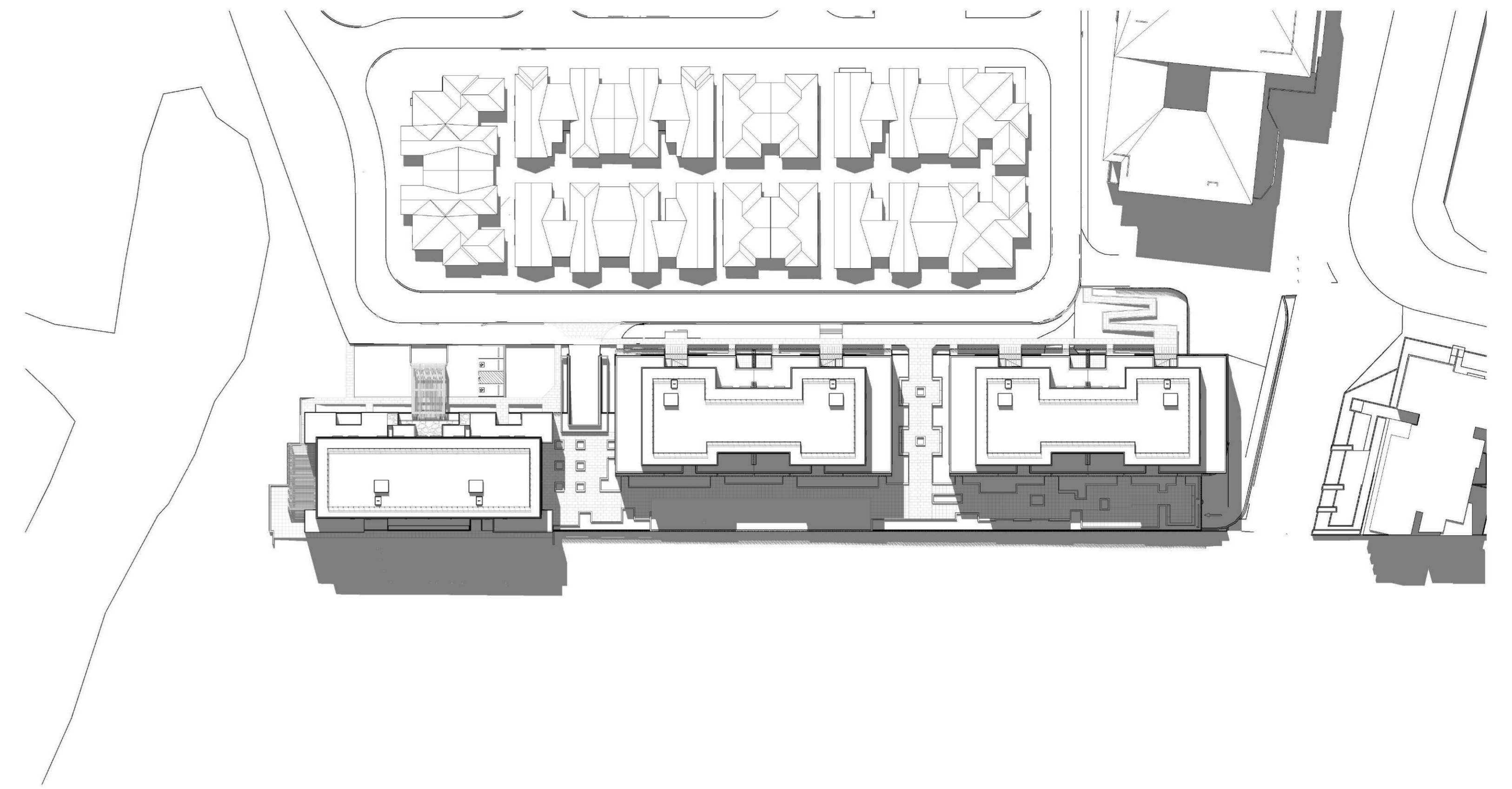
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PRINCIPAL ARCHITECT Lendlease Integrated Solutions ABN 51 632 832 391 5 Pioneer Avenue, Liverpool NSW 2157 NSW Australia 2259		PLANNER: Keylan Consulting Suite 2, 1 Rialto Lane, Maribyrnong VIC 3047 NSW Australia 2295		Project JORDAN SPRINGS	Title DIAGRAMS SHADOW SHEET 3
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions ABN 51 632 832 391 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2009		CLIENT: Lendlease Retirement Living Jordan Springs Holding Pty Ltd Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2009		Client LENDLEASE RETIREMENT LIVING	Scale @ B1
CIVIL: ADW Johnson 5 Pioneer Avenue, Liverpool NSW NSW Australia 2259	LANDSCAPE: Clouston Associates PO BOX R1388, Royal Exchange NSW NSW Australia 1225	Drawn LLIS	Checked Marc-Jean-Baptiste	Approved Stephanie Smith	Drawing Date DA
		Project No. 260436	Drawing No. DA_5_70003	Revision 1	

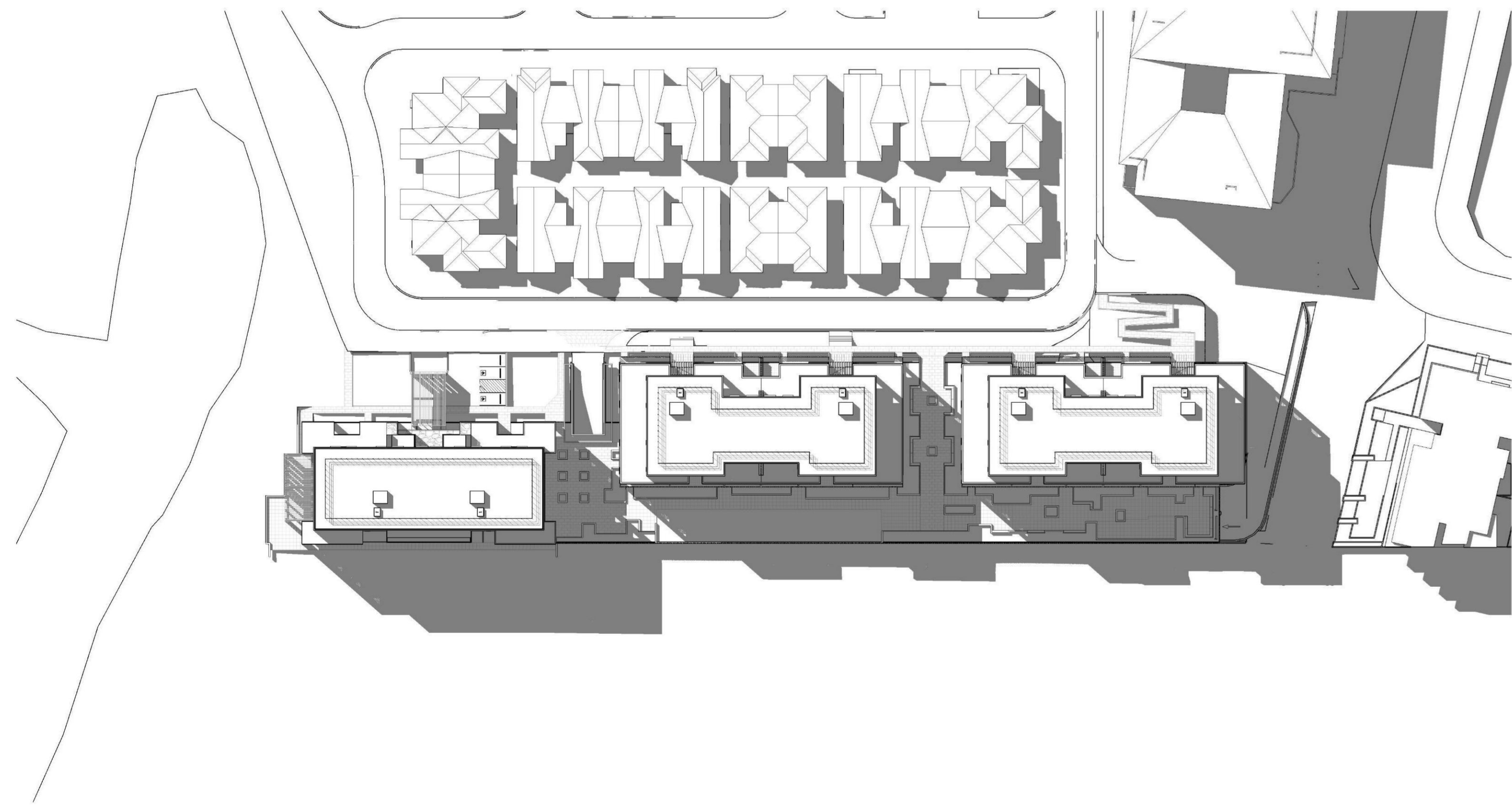
FOR DEVELOPMENT APPLICATION



1 SHADOW DIAGRAM - SPRING 9AM

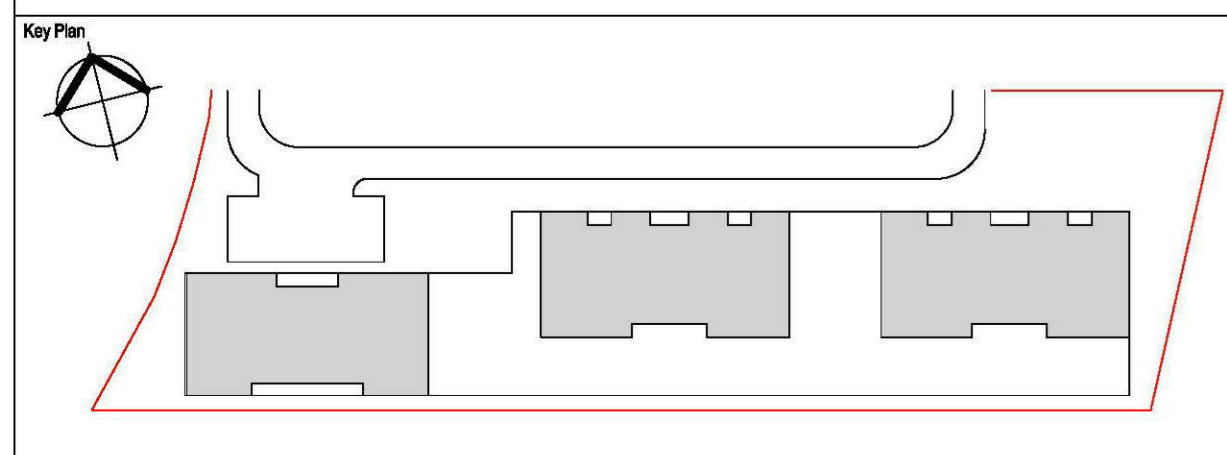


2 SHADOW DIAGRAM - SPRING NOON



3 SHADOW DIAGRAM - SPRING 3PM

FOR DEVELOPMENT APPLICATION



Rev.	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/1/2019



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PRINCIPAL ARCHITECT Lendlease Integrated Solutions <small>ABN 51 632 832 391 5 Pioneer Avenue, Liverpool NSW 2157 NSW Australia 2259</small>	<small>Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2009</small> STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions <small>ABN 51 632 832 391 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2009</small>	PLANNER: Keylan Consulting <small>Suite 2, 1 Rialto Lane, Maribyrnong VIC 3047 NSW Australia 2095</small>	Project JORDAN SPRINGS	Title DIAGRAMS SHADOW SHEET 4														
CLIENT: Lendlease Retirement Living Jordan Springs Holding Pty Ltd <small>Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2009</small>	Client LENLEASE RETIREMENT LIVING	Scale @ B1	<table border="1"> <tr> <th>Drawn</th> <th>Checked</th> <th>Approved</th> <th>Drawing Status</th> </tr> <tr> <td>LLIS</td> <td>Marc-Jean-Baptiste</td> <td>Stephanie Smith</td> <td>DA</td> </tr> </table>	Drawn	Checked	Approved	Drawing Status	LLIS	Marc-Jean-Baptiste	Stephanie Smith	DA	<table border="1"> <tr> <th>Project No.</th> <th>Drawing No.</th> <th>Revision</th> </tr> <tr> <td>260436</td> <td>DA_5_70004</td> <td>1</td> </tr> </table>	Project No.	Drawing No.	Revision	260436	DA_5_70004	1
Drawn	Checked	Approved	Drawing Status															
LLIS	Marc-Jean-Baptiste	Stephanie Smith	DA															
Project No.	Drawing No.	Revision																
260436	DA_5_70004	1																



F01
 Location: Facade
 Pre-Finished Non-Combustible
 Facade Panel
 Colour: Expressed Dark Timber Look
 or equivalent



F06
 Location: Facade
 Pre-Finished Non-Combustible
 Facade Panel
 Colour: Expressed Light Teak
 Timber Look or equivalent



S02
 Location: Facade
 Timber Look Battens
 Colour: Dark Timber Look or equivalent



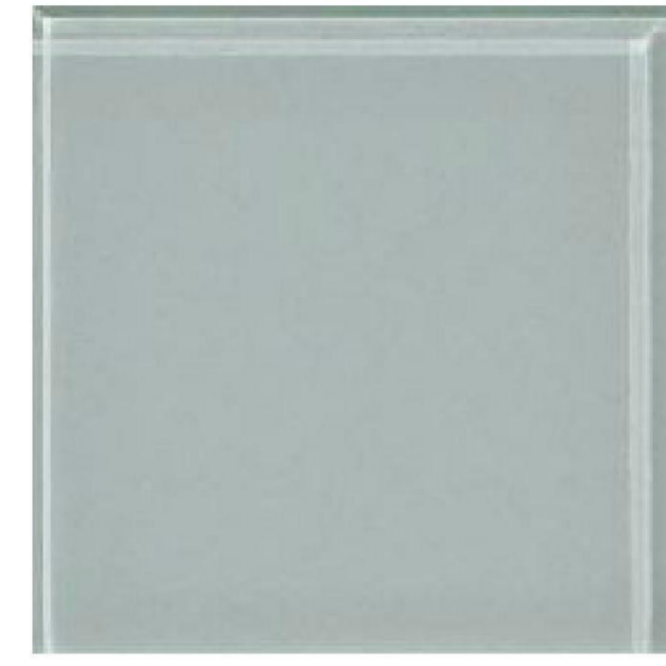
C01
 Location: Roof Concrete Hob Edge
 Painted Finish
 Colour: To match G03



F02
 Location: Facade
 Light Grey Brick
 Colour: Light Grey or equivalent



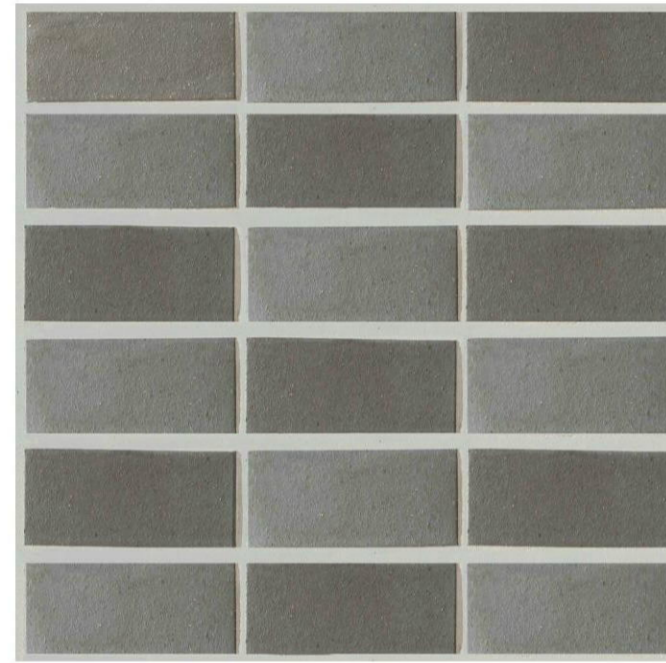
F07
 Location: Facade
 Medium Brown Brick
 Colour: Medium Brown or equivalent



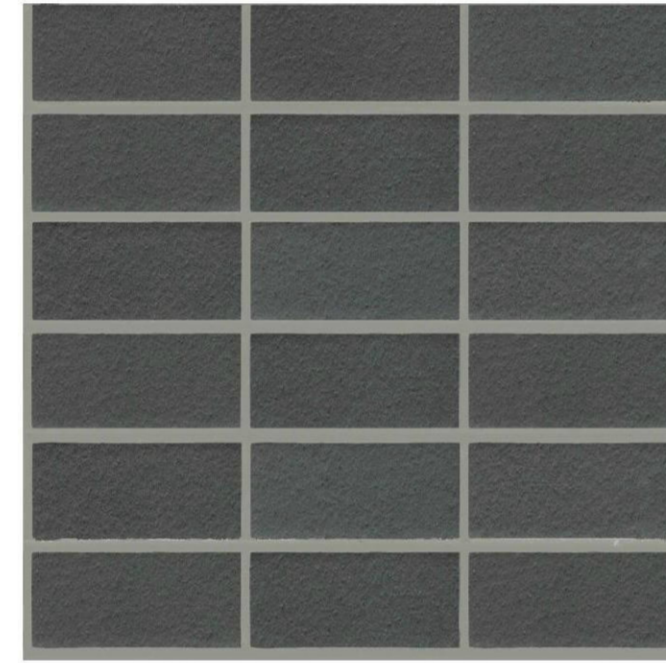
G01
 Location: Sliding doors
 Double Single glazing
 Colour: Clear



L01
 Location: Facade Natural Makeup
 Air Opening
 Aluminium Louvres
 Colour: Dark Grey Powdercoated to
 match G03



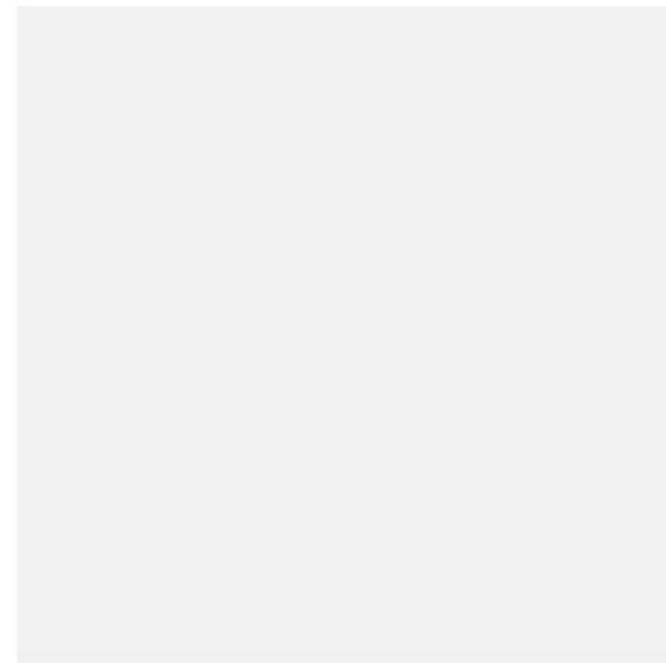
F03
 Location: Facade
 Dark Grey Brick
 Colour: Grey Black or equivalent



F08
 Location: Facade
 Dark Brick
 Colour: Black or equivalent



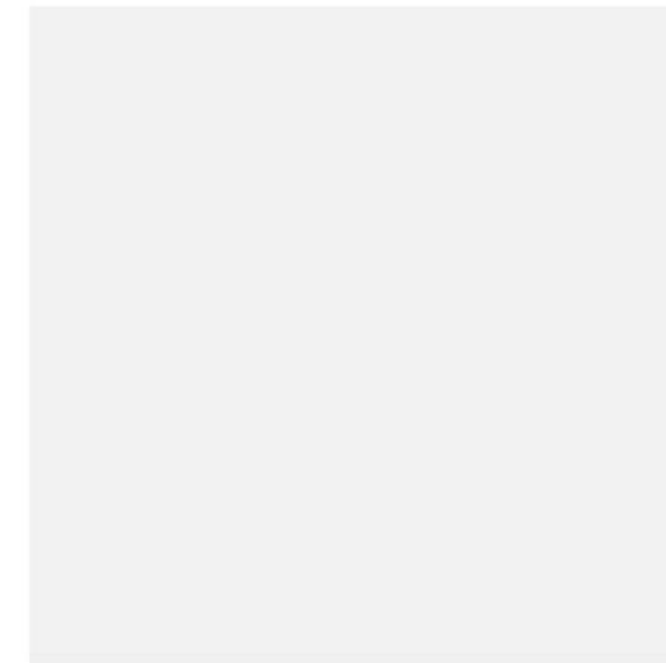
G03
 Location: Aluminium Powdercoated
 Glazing Frames
 Colour: Dark Grey or equivalent



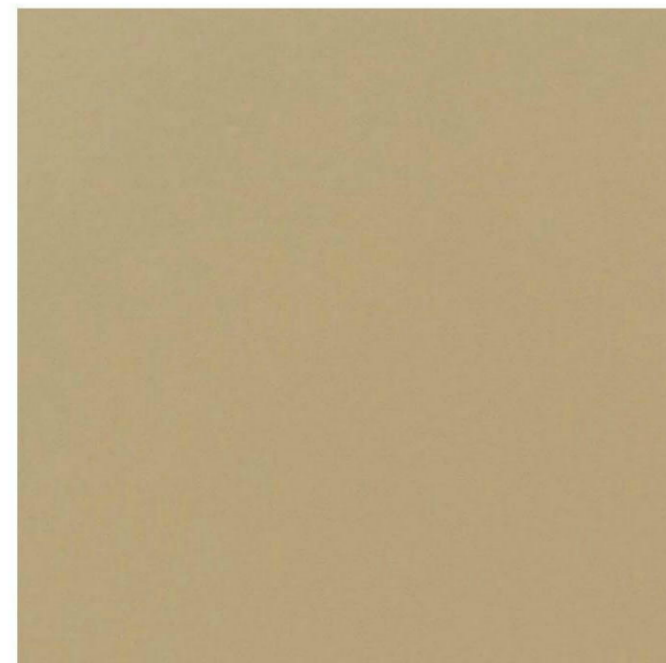
F04
 Location: Facade
 Pre-Finished Non-Combustible
 Facade Panel
 Colour: Smooth White or equivalent



F09
 Location: Facade
 Pre-Finished Non-Combustible
 Facade Panel
 Colour: Dark Grey to match G03



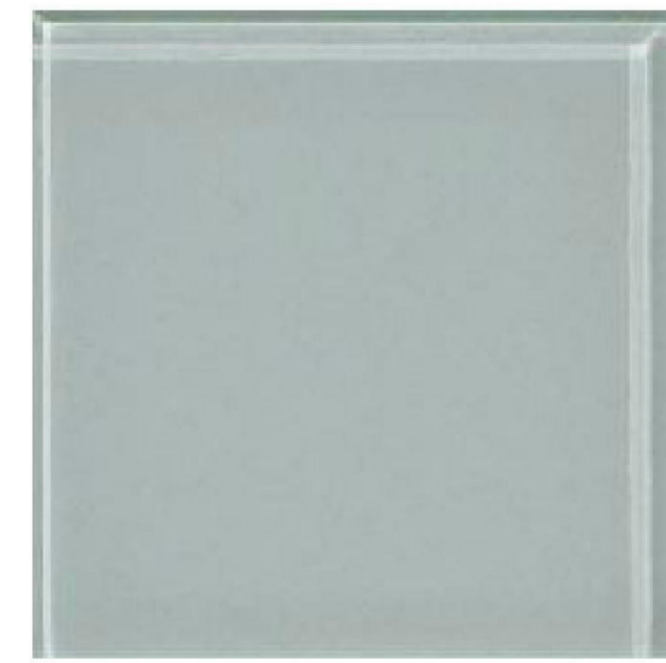
B01
 Location: Balustrade
 Powdercoated Metal
 Colour: To match F04



F05
 Location: Facade
 Pre-Finished Non-Combustible
 Facade Panel
 Colour: Smooth Light Beige or
 equivalent

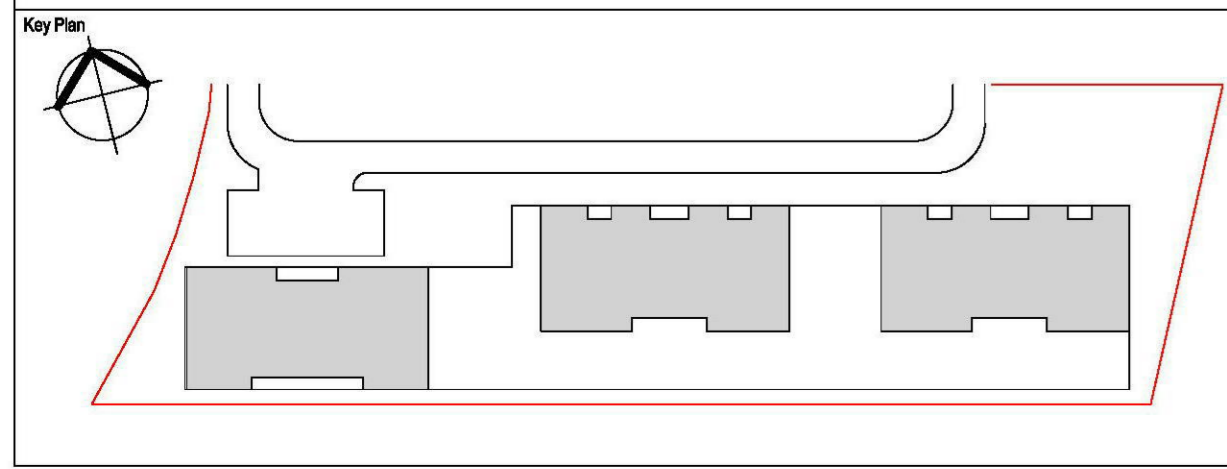


S01
 Location: Facade
 Timber Look Battens
 Colour: Light Teak Timber Look or
 equivalent



B02
 Location: Balustrade
 Glazed
 Colour: Clear

FOR DEVELOPMENT APPLICATION



Rev.	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019



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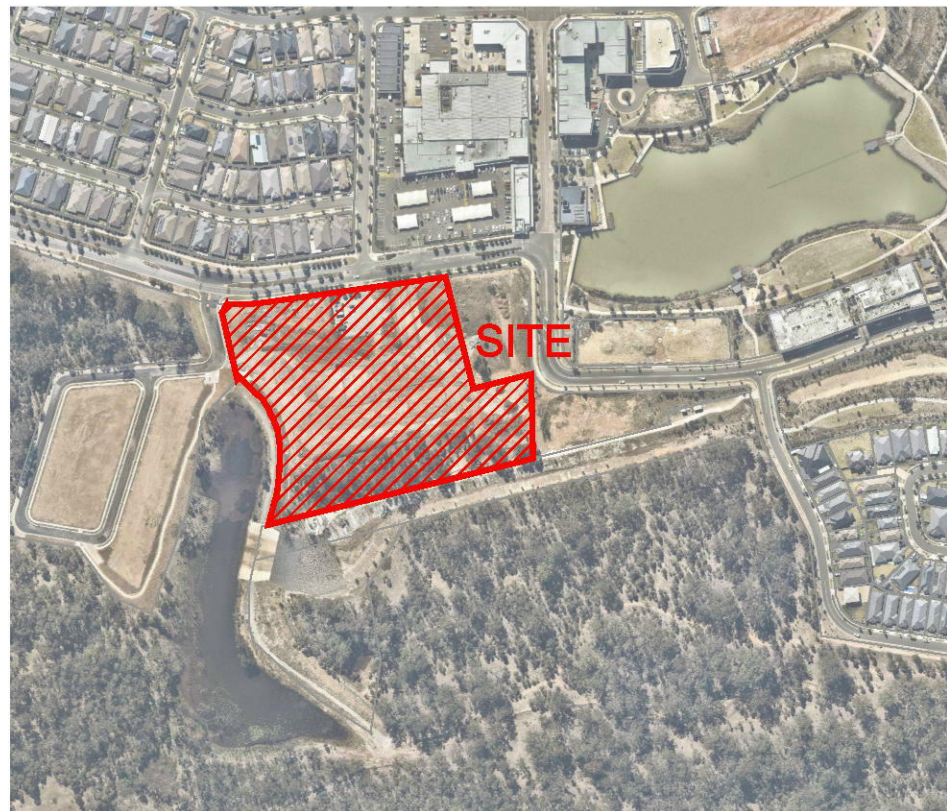
PRINCIPAL ARCHITECT Lendlease Integrated Solutions ABN 51 632 832 391 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2009	PLANNER Keylan Consulting Suite 2, 1 Rialto Lane, Marry NSW Australia 2205	Project JORDAN SPRINGS	Title FAÇADE MATERIALS
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS Lendlease Integrated Solutions ABN 51 632 832 391 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2009	CLIENT Lendlease Retirement Living Jordan Springs Holding Pty Ltd Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2009	Client LENDLEASE RETIREMENT LIVING	Scale @ B1
CIVIL ADW Johnson 5 Pioneer Avenue, Liverpool NSW Australia 2209	LANDSCAPE Clouston Associates PO BOX R1388, Royal Exchange NSW Australia 1225	Drawn LLIS	Checked Marc-Jean-Baptiste
		Approved Stephanie Smith	Drawing Status DA
		Project No. 260436	Drawing No. DA_5_70037
		Revision 1	

DEVELOPMENT APPLICATION

' PROPOSED RETIREMENT LIVING DEVELOPMENT '

LOT 1 IN D.P.1248137

JORDAN SPRINGS BLVD, JORDAN SPRINGS



LOCALITY SKETCH
NOT TO SCALE

INDEX OF DRAWINGS

DRAWING No.	NAME
300100(3)-CENG-001	COVER SHEET, INDEX OF DRAWINGS & LOCALITY SKETCH
300100(3)-CENG-002	OVERALL SITE PLAN
300100(3)-CENG-003	STAGING PLAN
300100(3)-CENG-101	DETAIL PLAN - SHEET 1
300100(3)-CENG-102	DETAIL PLAN - SHEET 2
300100(3)-CENG-103	DETAIL PLAN - SHEET 3
300100(3)-CENG-201	TYPICAL SECTIONS
300100(3)-CENG-202	KERB RETURN LONGITUDINAL SECTIONS
300100(3)-CENG-211	RAMP LONGITUDINAL SECTIONS
300100(3)-CENG-501	SITE REGRADE PLAN - STAGE 1
300100(3)-CENG-502	SITE REGRADE PLAN - STAGE 2
300100(3)-CENG-511	SITE REGRADE SECTIONS - SHEET 1
300100(3)-CENG-601	EROSION & SEDIMENT CONTROL PLAN
300100(3)-CENG-611	EROSION & SEDIMENT CONTROL DETAILS & NOTES



drawing title:
COVER SHEET, INDEX OF DRAWINGS & LOCALITY SKETCH

location: **LOT 1 IN DP1248137
JORDAN SPRINGS BLVD,
JORDAN SPRINGS**

council: **PENRITH**

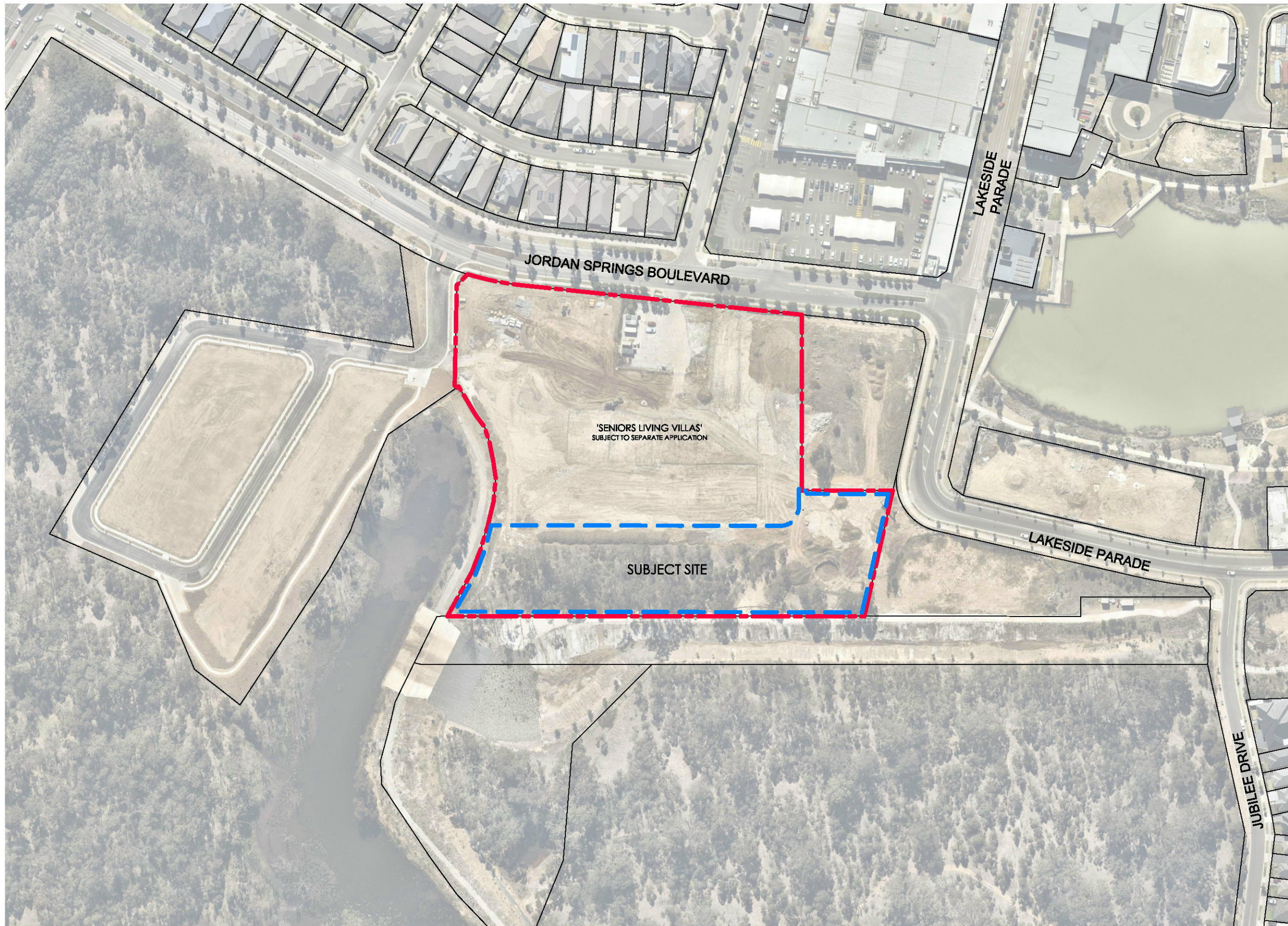
dwg ref: **300100(3)-CENG-001**



central coast office ph: (02) 4305 4300
hunter office ph: (02) 4978 5100
sydney office ph: (02) 8046 7411

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ver.	date	comment	drawn	pm	level information	scale (A1 original size)	notes
A	11.11.19	INITIAL ISSUE	AE	BM	DATUM: CONTOUR INTERVAL:	NOT TO SCALE	



LEGEND

- SITE BOUNDARY
- - - SITE EXTENTS BOUNDARY
- PROPOSED LOT BOUNDARY
- - - EXISTING LOT BOUNDARY
- - - FUTURE LOT BOUNDARY



OVERALL PLAN
SCALE 1:1000



drawing title:
OVERALL PLAN

location: LOT 1 IN DP1248137
JORDAN SPRINGS BLVD,
JORDAN SPRINGS

council: PENRITH

dwg ref: 300100(3)-CENG-002

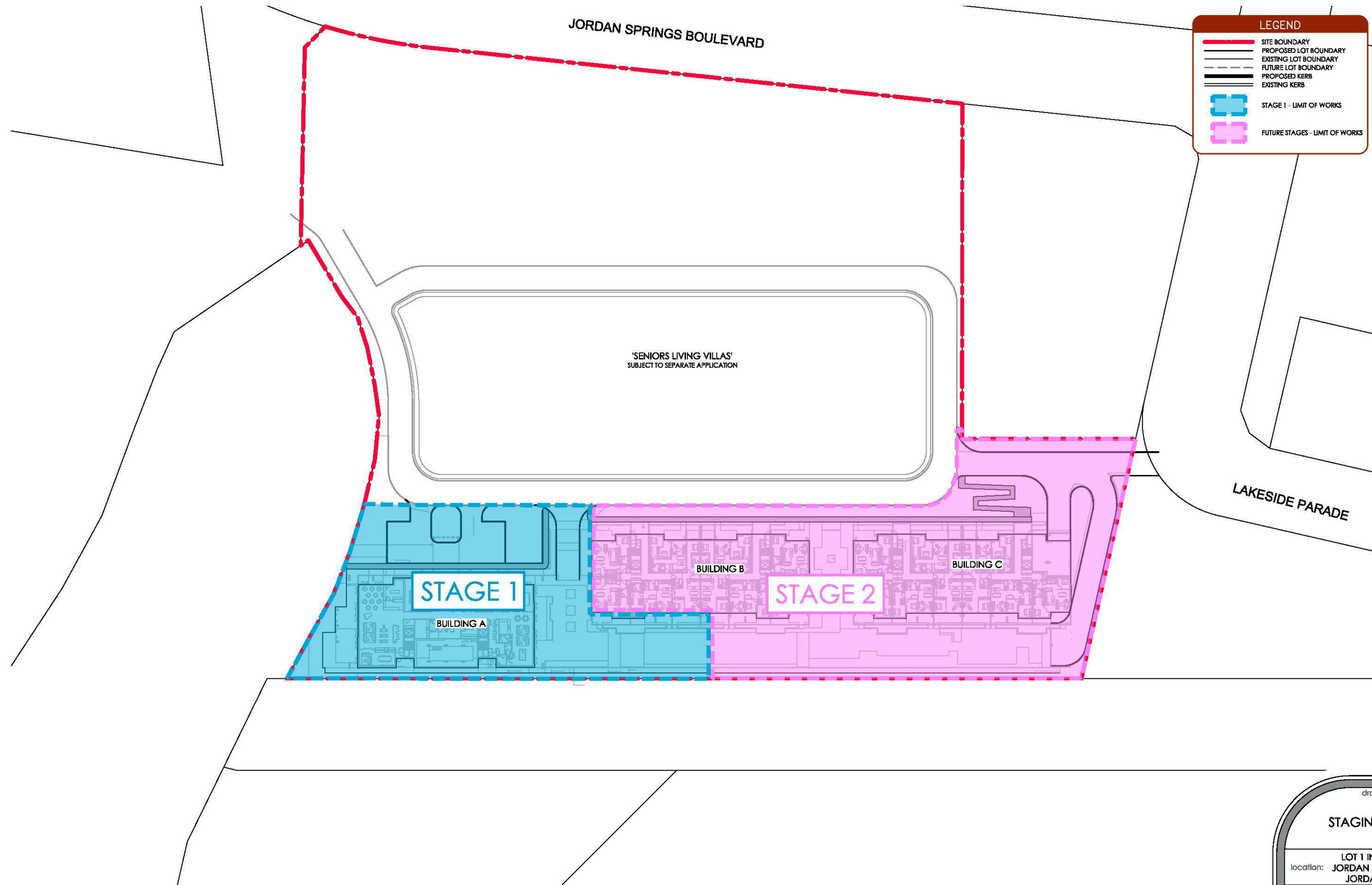
client:

central coast office ph: (02) 4305 4300
hunter office ph: (02) 4978 5100
sydney office ph: (02) 8046 7411

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Plotted By: Andy Eving Plot Date: 11/11/19 4:17:53PM Cad File: S:\300100\300100(3)\DWG\ENGINEERING\CIVIL\CENG\300100(3)-CENG-002.DWG
 This plan includes coloured information. If you have a black and white copy you do not have all of the information. This note is coloured RED.

ver.	date	comment	drawn	pm	level information	scale (A1 original size)	notes
A	11.11.19	INITIAL ISSUE	AE	BM	DATUM: CONTOUR INTERVAL:	A1 0 25 50m A3 1:1000 1:2000	



LEGEND

- SITE BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
- FUTURE LOT BOUNDARY
- PROPOSED KERB
- EXISTING KERB
- STAGE 1 - LIMIT OF WORKS
- FUTURE STAGES - LIMIT OF WORKS



STAGING PLAN
SCALE 1:500



drawing title:
STAGING PLAN

location: LOT 1 IN DP1248137
JORDAN SPRINGS BLVD,
JORDAN SPRINGS

council: PENRITH

dwg ref: 300100(3)-CENG-003

client:

lendlease

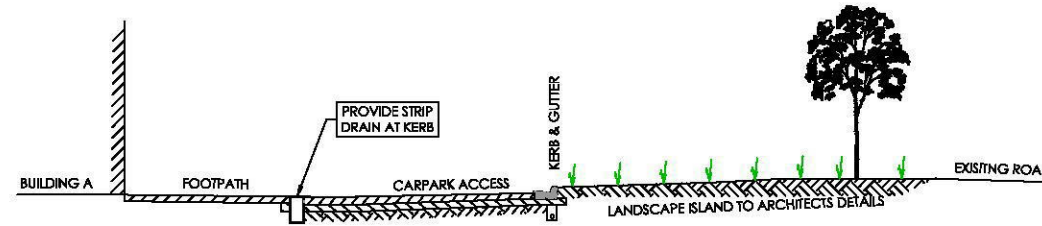
adw johnson

central coast office ph: (02) 4305 4300
hunter office ph: (02) 4978 5100
sydney office ph: (02) 8046 7411

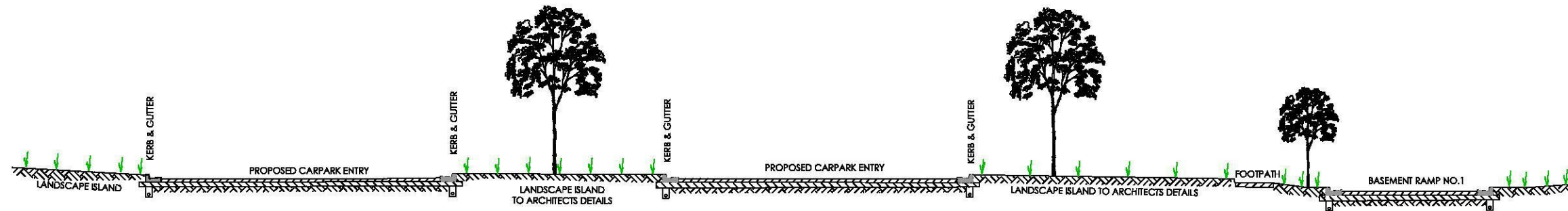
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ver.	date	comment	drawn	pm	level information	scale (A1 original size)	notes
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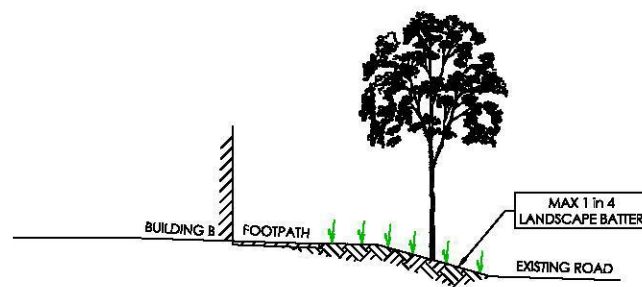
NOTE:
1. LANDSCAPE SHOWN INDICATIVE ONLY.
REFER TO LANDSCAPE DESIGN FOR DETAILS



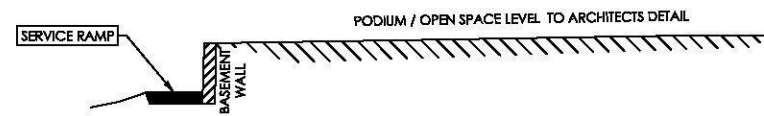
TYPICAL SECTION 01
HORIZONTAL SCALE 1:100
VERTICAL SCALE 1:100



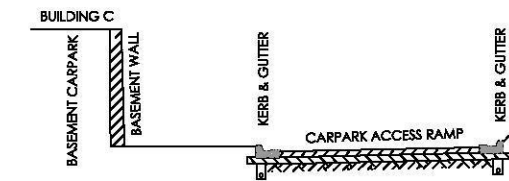
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HORIZONTAL SCALE 1:100
VERTICAL SCALE 1:100



TYPICAL SECTION 03
HORIZONTAL SCALE 1:100
VERTICAL SCALE 1:100



TYPICAL SECTION 04
HORIZONTAL SCALE 1:100
VERTICAL SCALE 1:100



TYPICAL SECTION 05
HORIZONTAL SCALE 1:100
VERTICAL SCALE 1:100



drawing title:
TYPICAL SECTIONS

location: **LOT 1 IN DP1248137
JORDAN SPRINGS BLVD,
JORDAN SPRINGS**

council: **PENRITH**

dwg ref: **300100(3)-CENG-201**

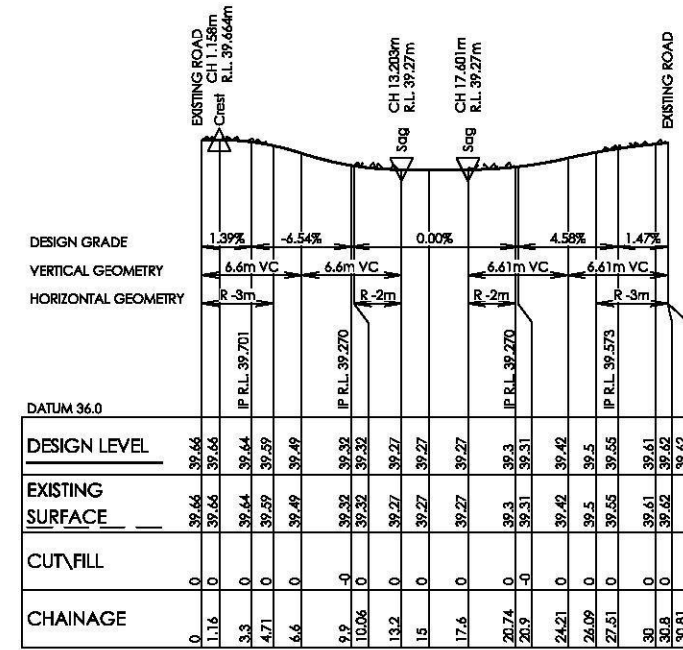
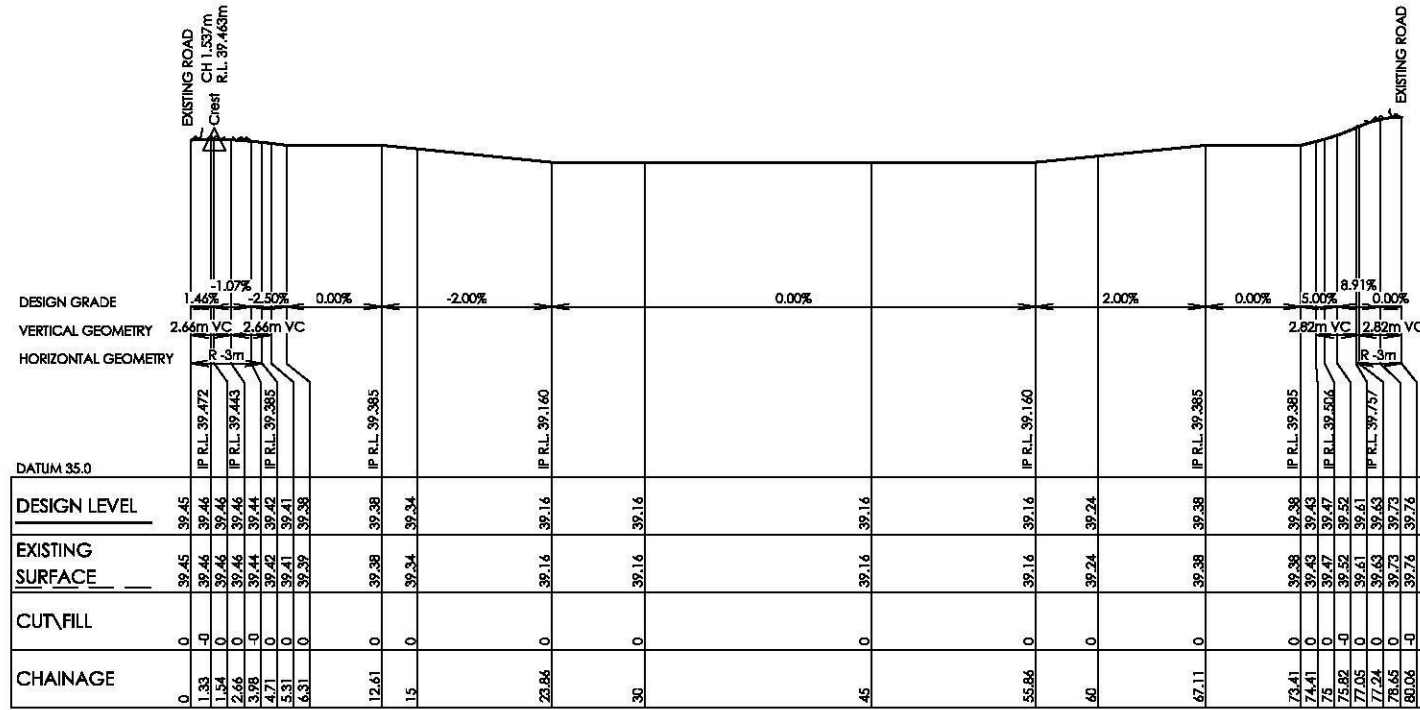
client:



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sydney office ph: (02) 8046 7411

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ver.	date	comment	drawn	pm	level information	scale (A1 original size)	notes
A	11.11.19	INITIAL ISSUE	AE	BM	DATUM: CONTOUR INTERVAL:	A1 1:1000 0 25 50m A3 1:2000 A1 1:200 0 5.0 10.0m A3 1:400	



LONGITUDINAL SECTION KR 01
 HORIZONTAL SCALE 1:250
 VERTICAL SCALE 1:50

LONGITUDINAL SECTION KR 02
 HORIZONTAL SCALE 1:250
 VERTICAL SCALE 1:50



working beyond expectations

drawing title:
KERB RETURN LONGITUDINAL SECTIONS

location: **LOT 1 IN DP1248137 JORDAN SPRINGS BLVD, JORDAN SPRINGS**

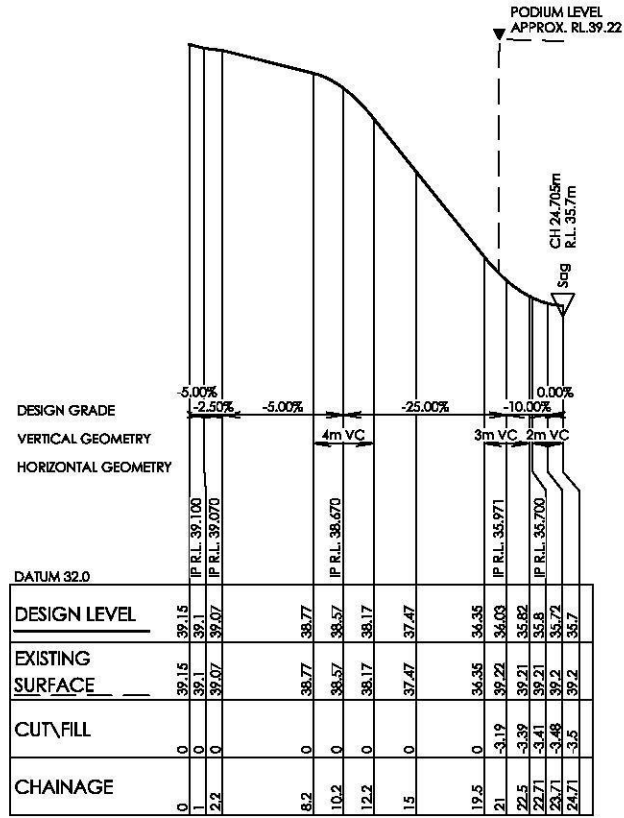
council: **PENRITH**

dwg ref: **300100(3)-CENG-202**

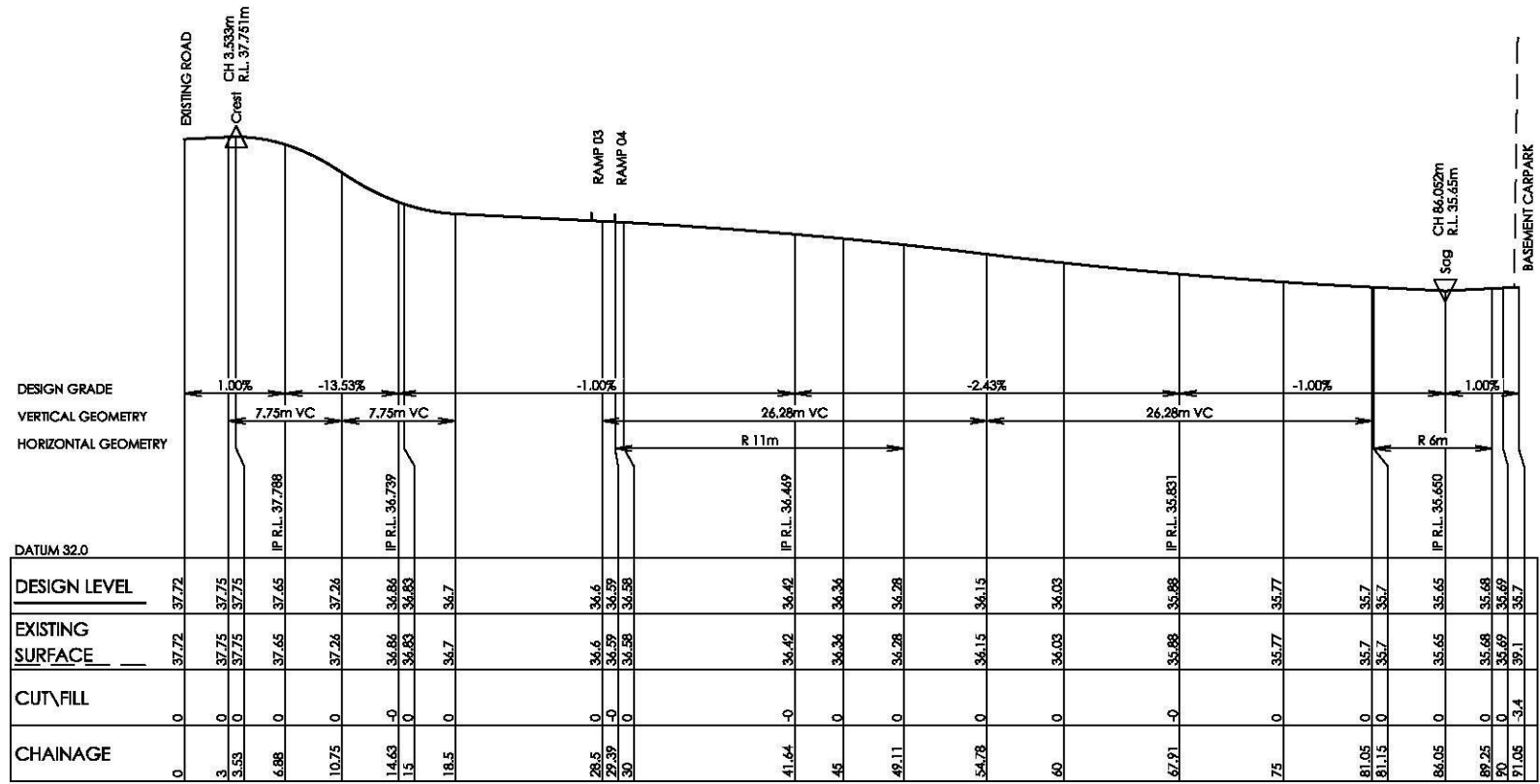
client:  

central coast office ph: (02) 4305 4300
 hunter office ph: (02) 4978 5100
 sydney office ph: (02) 8046 7411
www.adwjohanson.com.au

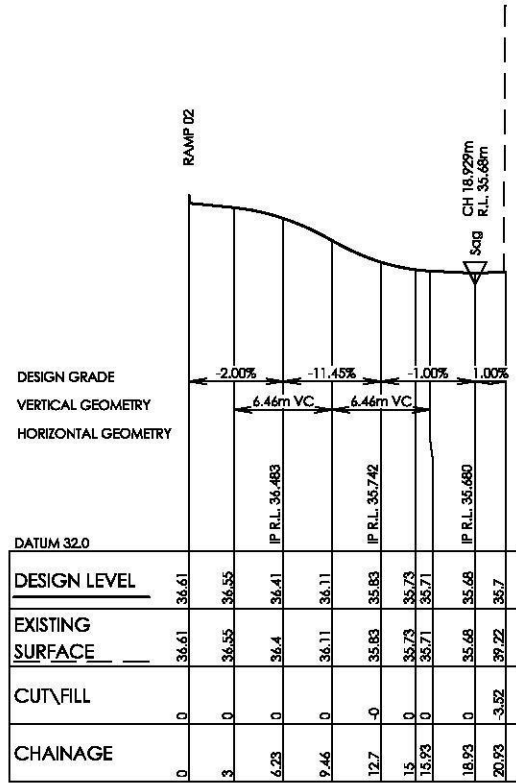
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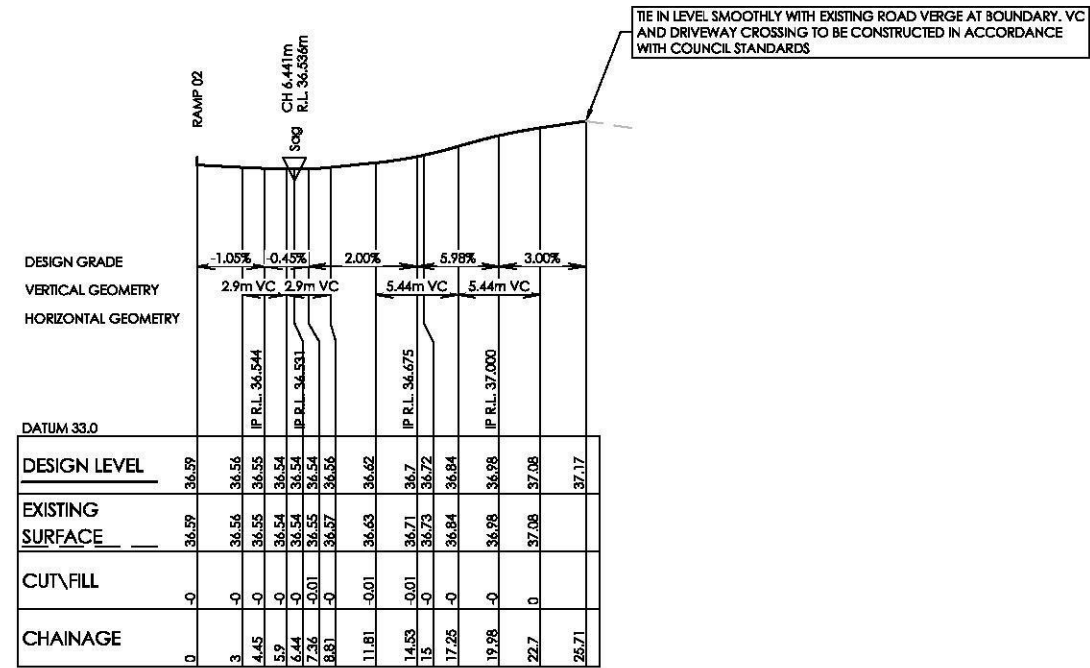
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HORIZONTAL SCALE 1:250
VERTICAL SCALE 1:50



LONGITUDINAL SECTION RAMP 02
HORIZONTAL SCALE 1:250
VERTICAL SCALE 1:50



LONGITUDINAL SECTION RAMP 03
HORIZONTAL SCALE 1:250
VERTICAL SCALE 1:50



LONGITUDINAL SECTION RAMP 04
HORIZONTAL SCALE 1:250
VERTICAL SCALE 1:50

TIE IN LEVEL SMOOTHLY WITH EXISTING ROAD VERGE AT BOUNDARY. VC AND DRIVEWAY CROSSING TO BE CONSTRUCTED IN ACCORDANCE WITH COUNCIL STANDARDS



drawing title:
RAMP LONGITUDINAL SECTIONS

location: LOT 1 IN DP1248137
JORDAN SPRINGS BLVD,
JORDAN SPRINGS

council: PENRITH

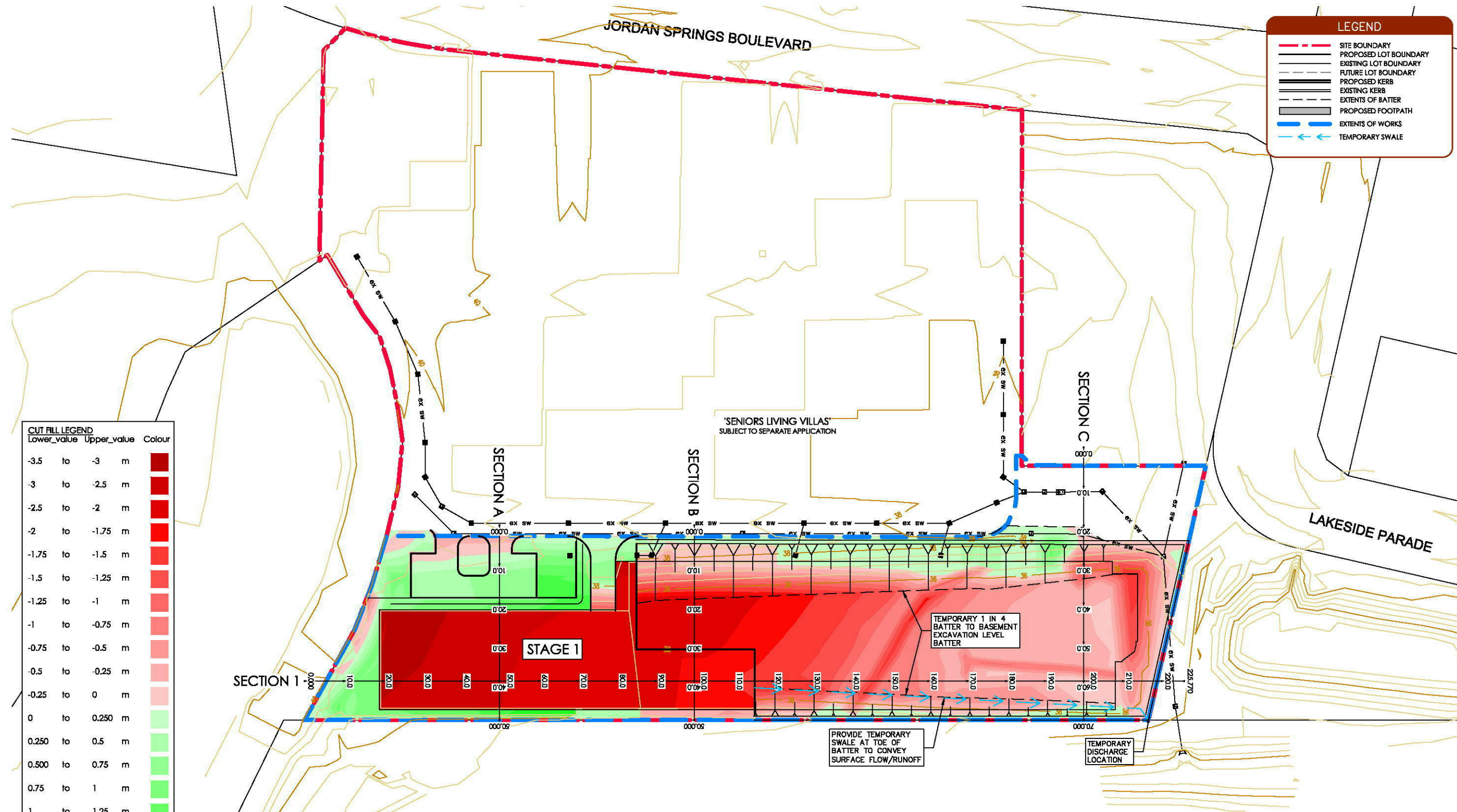
dwg ref: 300100(3)-CENG-211

client:

lendlease **adw johnson**

central coast office ph: (02) 4305 4300
hunter office ph: (02) 4978 5100
sydney office ph: (02) 8046 7411

www.adwjohson.com.au



CUT/FILL VOLUMES:

TOTAL CUT:	9,860m ³
TOTAL FILL:	1,060m ³
CUT TO STOCKPILE/EXPORT:	8,800m ³
STOCKPILE/EXPORT (WITH BULKING FACTOR 20%)	10560m ³

- VOLUME ASSUMPTIONS:**
- CUT FILL VOLUMES BASED UPON STAGE 1 EXCAVATION WORKS ONLY.
 - VOLUMES HAVE BEEN CALCULATED FROM EXISTING NATURAL SURFACE TO STAGE 1 BASEMENT EXCAVATION SURFACE.
 - ALLOWANCE OF 250mm FOR SLAB THICKNESS AND 150mm SUBBASE HAS BEEN MADE FOR SLAB/FOUNDATION THICKNESS.
 - ALLOWANCE OF 300mm HAS BEEN MADE FOR HORIZONTAL OVER EXCAVATION OF WALLS
 - ALLOWANCE OF 400mm HAS BEEN MADE FOR PAVEMENT BOXING FOR TOP CARPARK.
 - ALLOWANCE OF 20% HAS BEEN MADE FOR BULKING FACTORS ON EXCESS MATERIAL.
 - NO ALLOWANCE HAS BEEN MADE FOR SITE STRIPPING.
 - NO ALLOWANCE HAS BEEN MADE FOR THE DISCOVERY AND REMEDIATION OF CONTAMINANTS OR UNSUITABLE MATERIAL.

SITE REGRADE PLAN
SCALE 1:500



drawing title:

**SITE REGRADE PLAN
STAGE 1**

location: LOT 1 IN DP1248137
JORDAN SPRINGS BLVD,
JORDAN SPRINGS

council: PENRITH

dwg ref: 300100(3)-CENG-501

client:

lendlease

adw johnson

central coast office ph: (02) 4305 4300
hunter office ph: (02) 4978 5100
sydney office ph: (02) 8046 7411

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ver.	date	comment	drawn	pm	level information	scale (A1 original size)	notes
A	11.11.19	INITIAL ISSUE	AE	BM	DATUM: CONTOUR INTERVAL:	A1 1:500 0 12.5 25.0m A3 1:1000	

JORDAN SPRINGS BOULEVARD

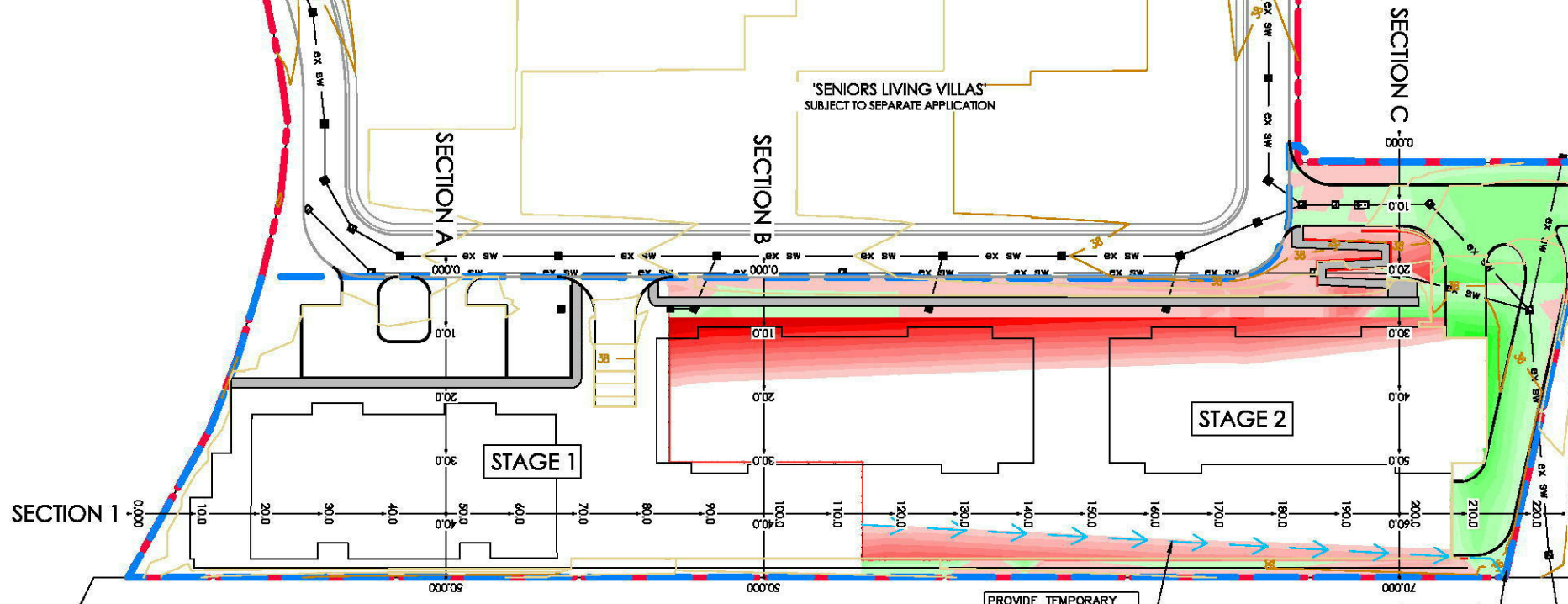
LEGEND

- SITE BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
- FUTURE LOT BOUNDARY
- PROPOSED KERB
- EXISTING KERB
- EXTENTS OF BATTER
- PROPOSED FOOTPATH
- EXTENTS OF WORKS
- TEMPORARY SWALE



CUT/FILL LEGEND

Lower_value	Upper_value	Colour
-3.5	to -3	m
-3	to -2.5	m
-2.5	to -2	m
-2	to -1.75	m
-1.75	to -1.5	m
-1.5	to -1.25	m
-1.25	to -1	m
-1	to -0.75	m
-0.75	to -0.5	m
-0.5	to -0.25	m
-0.25	to 0	m
0	to 0.250	m
0.250	to 0.5	m
0.500	to 0.75	m
0.75	to 1	m
1	to 1.25	m
1.25	to 1.5	m
1.5	to 1.75	m
1.75	to 2	m



LAKESIDE PARADE

PROVIDE TEMPORARY SWALE AT TOE OF BATTER TO CONVEY SURFACE FLOW/RUNOFF

TEMPORARY DISCHARGE LOCATION

SITE REGRADE PLAN
SCALE 1:500

CUT/FILL VOLUMES:

TOTAL CUT:	1,350m ³
TOTAL FILL:	550m ³
CUT TO STOCKPILE/EXPORT:	800m ³
STOCKPILE/EXPORT (WITH BULKING FACTOR 20%)	960m ³

VOLUME ASSUMPTIONS:

1. CUT FILL VOLUMES BASED UPON STAGE 2 EXCAVATION WORKS ONLY.
2. VOLUMES HAVE BEEN CALCULATED FROM EXISTING NATURAL SURFACE TO FINISH LEVELS.
3. ALLOWANCE OF 250mm FOR SLAB THICKNESS AND 150mm SUBBASE HAS BEEN MADE FOR SLAB/FOUNDATION THICKNESS.
4. ALLOWANCE OF 300mm HAS BEEN MADE FOR HORIZONTAL OVER EXCAVATION OF WALLS
5. ALLOWANCE OF 400mm HAS BEEN MADE FOR PAVEMENT BOXING FOR TOP CARPARK.
6. ALLOWANCE OF 20% HAS BEEN MADE FOR BULKING FACTORS ON EXCESS MATERIAL.
7. NO ALLOWANCE HAS BEEN MADE FOR SITE STRIPPING.
8. NO ALLOWANCE HAS BEEN MADE FOR THE DISCOVERY AND REMEDIATION OF CONTAMINANTS OR UNSUITABLE MATERIAL.



drawing title:
**SITE REGRADE PLAN
STAGE 2**

location: LOT 1 IN DP1248137
JORDAN SPRINGS BLVD,
JORDAN SPRINGS

council: PENRITH

dwg ref: 300100(3)-CENG-502

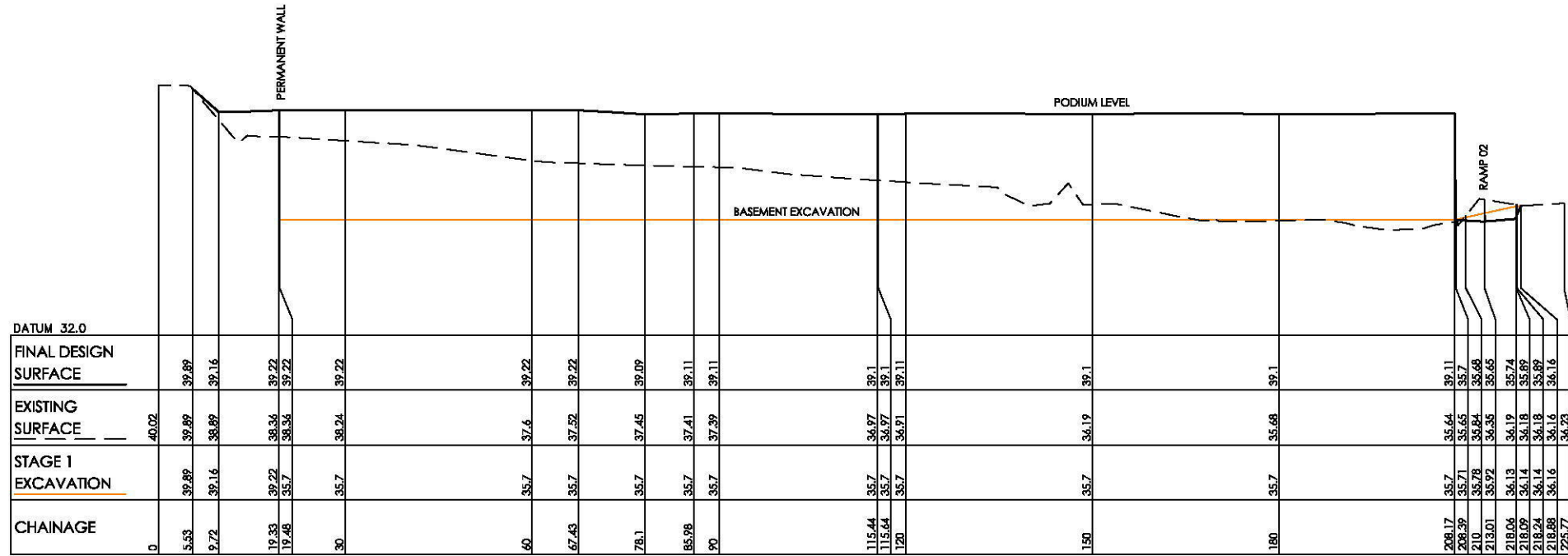
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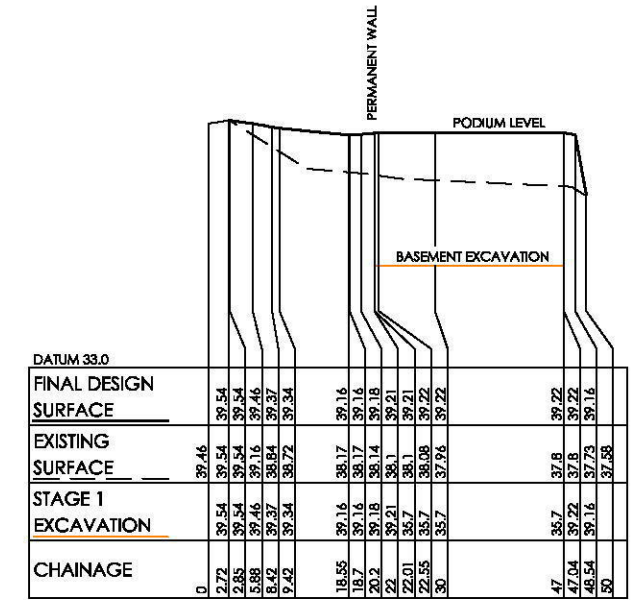
central coast office ph: (02) 4305 4300
hunter office ph: (02) 4978 5100
sydney office ph: (02) 8046 7411

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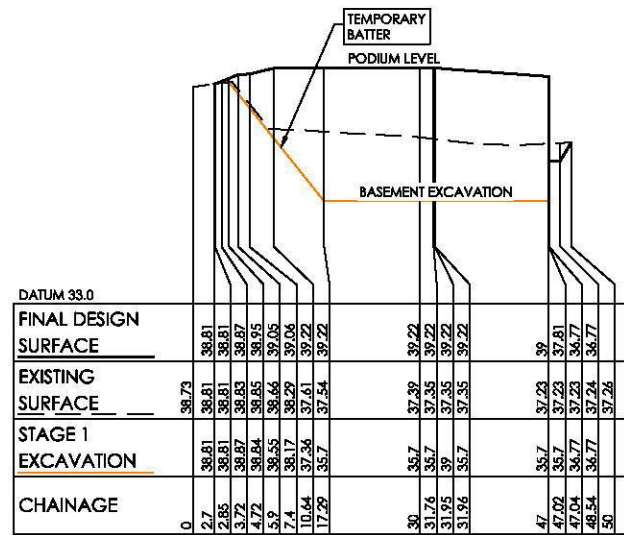
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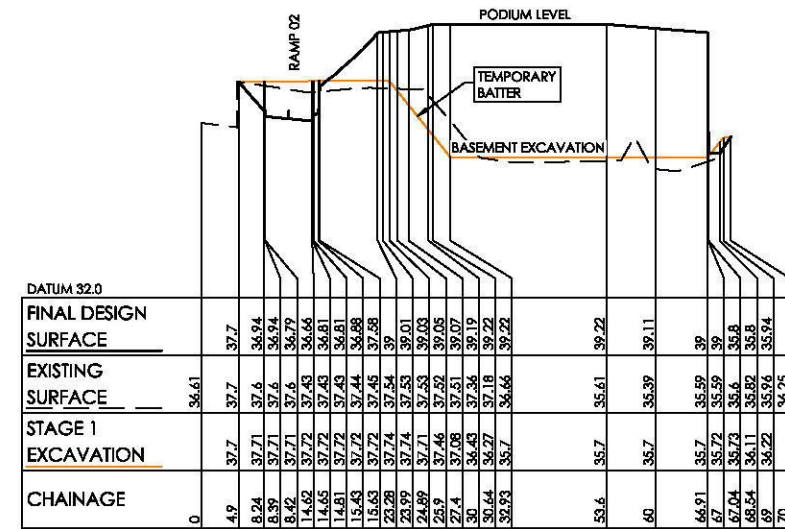
SITE SECTION SECTION 1
HORIZONTAL SCALE 1:500
VERTICAL SCALE 1:100



SITE SECTION SECTION A
HORIZONTAL SCALE 1:500
VERTICAL SCALE 1:100



SITE SECTION SECTION B
HORIZONTAL SCALE 1:500
VERTICAL SCALE 1:100



SITE SECTION SECTION C
HORIZONTAL SCALE 1:500
VERTICAL SCALE 1:100



drawing title:

SITE SECTIONS

location: LOT 1 IN DP1248137
JORDAN SPRINGS BLVD,
JORDAN SPRINGS

council: PENRITH

dwg ref: 300100(3)-CENG-511

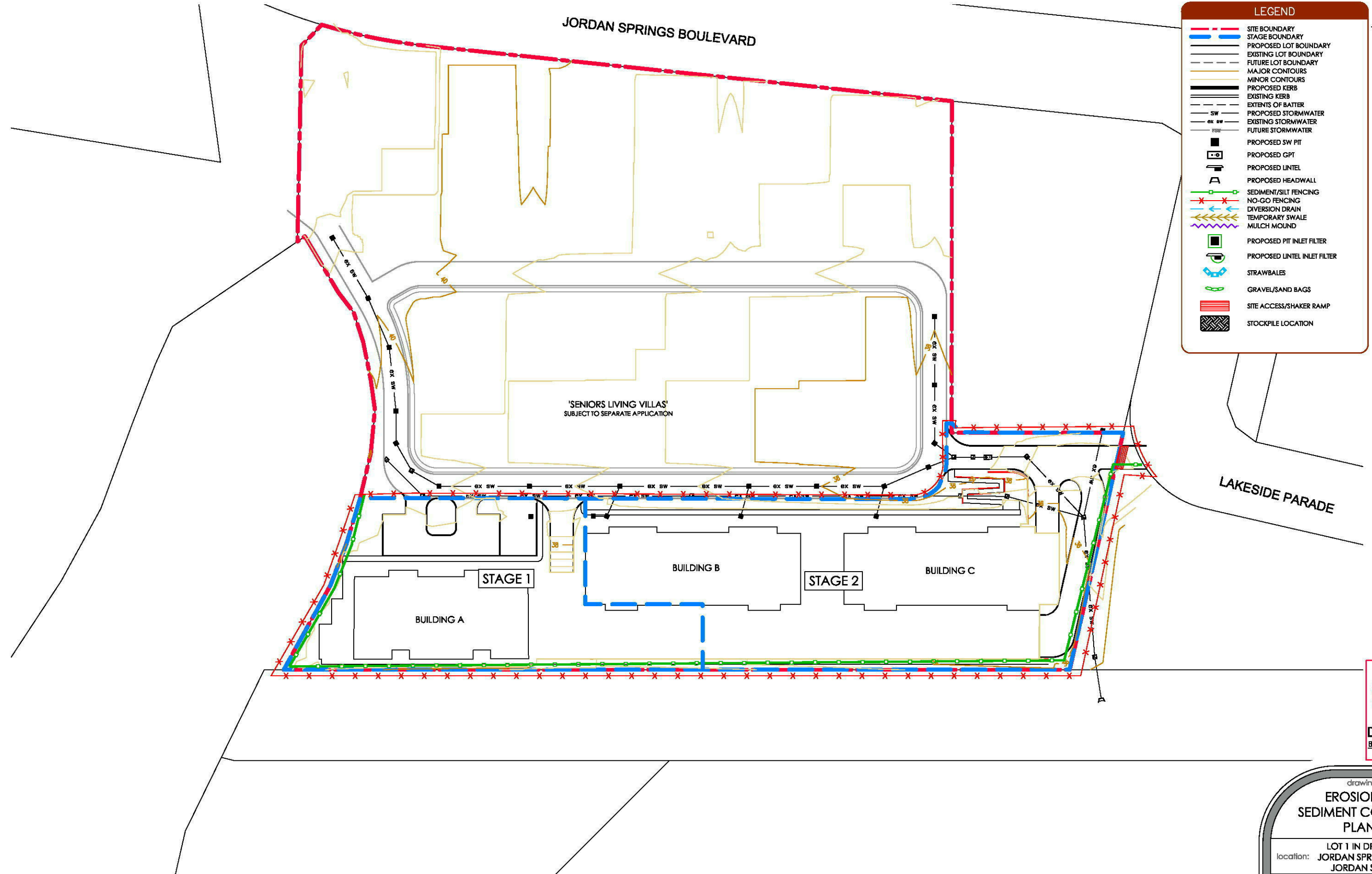
client:



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hunter office ph: (02) 4978 5100
sydney office ph: (02) 8046 7411

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ver.	date	comment	drawn	pm	level information	scale (A1 original size)	notes
A	11.11.19	INITIAL ISSUE	AE	BM	DATUM: CONTOUR INTERVAL:	A1 1:500 0 12.5 25.0m A2 1:1000	A1 1:100 0 2.5 5.0m A2 1:200



LEGEND

- SITE BOUNDARY
- STAGE BOUNDARY
- PROPOSED LOT BOUNDARY
- EXISTING LOT BOUNDARY
- FUTURE LOT BOUNDARY
- MAJOR CONTOURS
- MINOR CONTOURS
- PROPOSED KERB
- EXISTING KERB
- EXTENTS OF BATTER
- SW --- PROPOSED STORMWATER
- EX SW --- EXISTING STORMWATER
- FSW --- FUTURE STORMWATER
- PROPOSED SW PIT
- PROPOSED GPT
- PROPOSED LINTEL
- PROPOSED HEADWALL
- SEDIMENT/SILT FENCING
- NO-GO FENCING
- DIVERSION DRAIN
- TEMPORARY SWALE
- MULCH MOUND
- PROPOSED PIT INLET FILTER
- PROPOSED LINTEL INLET FILTER
- STRAWBALES
- GRAVEL/SAND BAGS
- SITE ACCESS/SHAKER RAMP
- STOCKPILE LOCATION



EROSION & SEDIMENT CONTROL PLAN
SCALE 1:500



drawing title:
EROSION & SEDIMENT CONTROL PLAN

location: LOT 1 IN DP1248137
JORDAN SPRINGS BLVD,
JORDAN SPRINGS

council: PENRITH

dwg ref: 300100(3)-CENG-601

client:

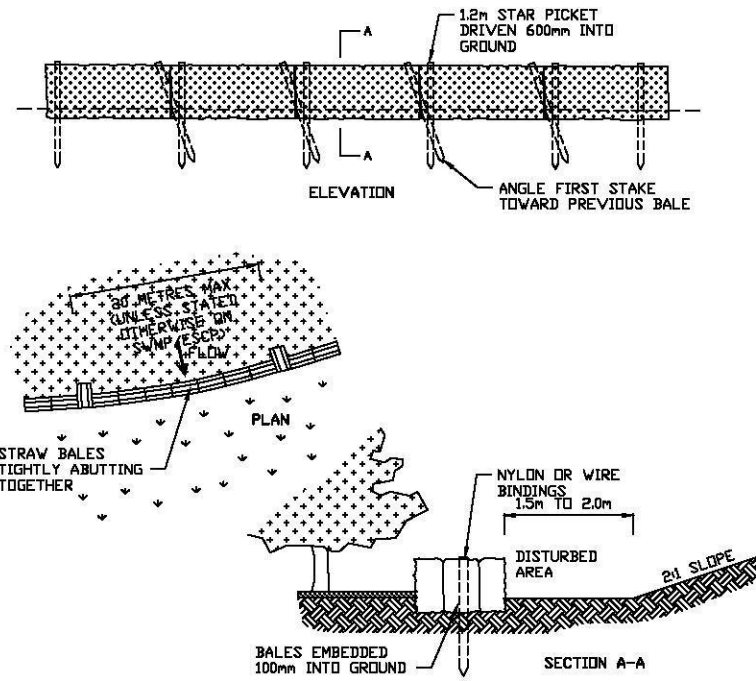
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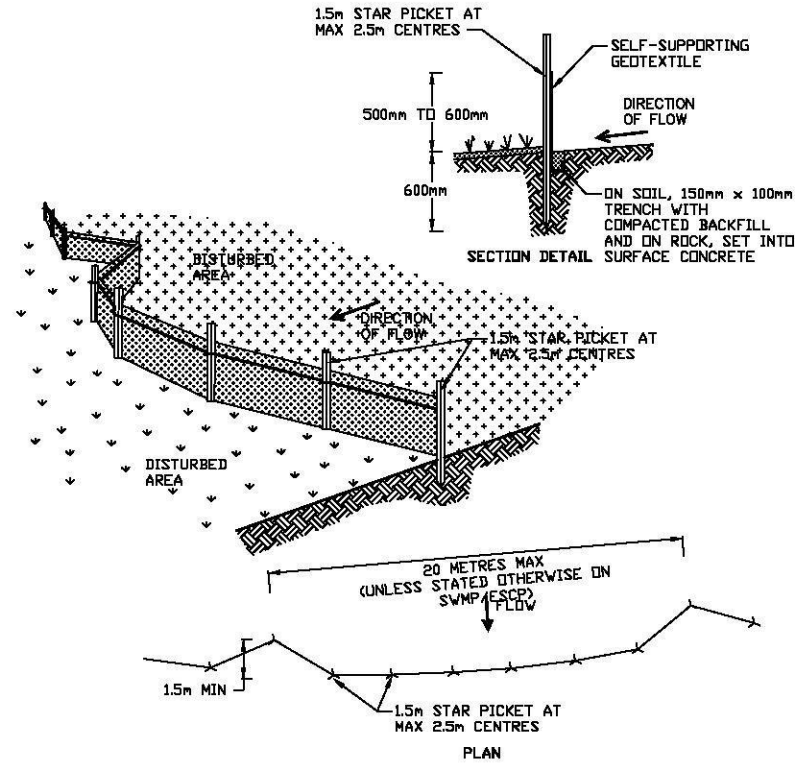
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A	11.11.19	INITIAL ISSUE	AE	BM	DATUM: CONTOUR INTERVAL:	A1 1:500 0 12.5 25.0m A3 1:1000	



STRAW BALE FILTER (SD6-7)
N.T.S.

CONSTRUCTION NOTES:

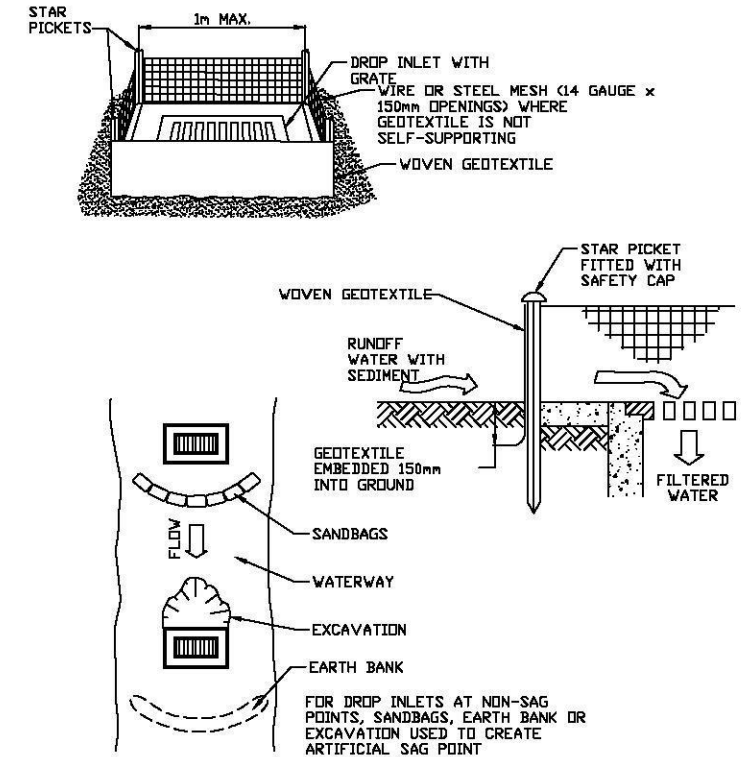
1. CONSTRUCT THE STRAW BALE FILTER AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE.
2. PLACE BALES LENGTHWISE IN A ROW WITH ENDS TIGHTLY ABUTTING. USE STRAW TO FILL ANY GAPS BETWEEN BALES. STRAWS ARE TO BE PLACED PARALLEL TO GROUND.
3. ENSURE THAT THE MAXIMUM HEIGHT OF THE FILTER IS ONE BALE.
4. EMBED EACH BALE IN THE GROUND 75mm TO 100mm AND ANCHOR WITH TWO 1.2m STAR PICKETS OR STAKES. ANGLE THE FIRST STAR PICKET OR STAKE IN EACH BALE TOWARDS THE PREVIOUSLY LAID BALE. DRIVE THEM 600mm IN THE GROUND AND, IF POSSIBLE, FLUSH WITH THE TOP OF THE BALES. WHERE STAR PICKETS ARE USED AND THEY PROTRUDE ABOVE THE BALES, ENSURE THEY ARE FITTED WITH SAFETY CAPS.
5. WHERE A STRAW BALE FILTER IS CONSTRUCTED DOWNSLOPE FROM A DISTURBED BATTER, ENSURE THE BALES ARE PLACED 1 TO 2 METRES DOWNSLOPE FROM THE TOE.
6. ESTABLISH A MAINTENANCE PROGRAM THAT ENSURES THE INTEGRITY OF THE BALES IS RETAINED - THEY COULD REQUIRE REPLACEMENT EACH TWO TO FOUR MONTHS.



SEDIMENT FENCE (SD6-8)
N.T.S.

CONSTRUCTION NOTES:

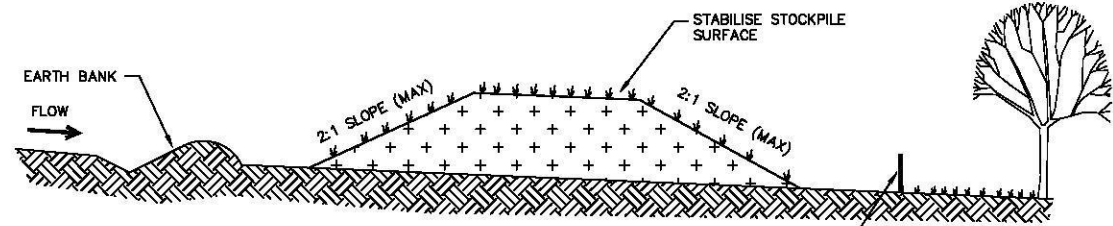
1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND AT 2.5 METRE INTERVALS (MAX) AT DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE TRENCH ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



GEOTEXTILE INLET FILTER (SD6-12)
N.T.S.

CONSTRUCTION NOTES:

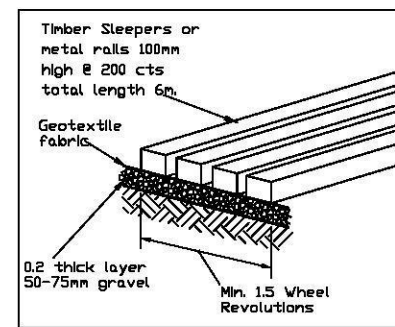
1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
2. REFER STANDARD DRAWINGS 6-7 & 6-8 FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOTEXTILE. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
4. DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.



STOCKPILES (SD4-1)
N.T.S.

CONSTRUCTION NOTES:

1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
4. WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
5. CONSTRUCT EARTH BANKS (STANDARD DRAWING 5-5) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES (STANDARD DRAWING 6-8) 1 TO 2 METRES DOWNSLOPE.



SHAKER RAMP



drawing title:
EROSION & SEDIMENT CONTROL DETAILS PLAN

location: LOT 1 IN DP1248137
JORDAN SPRINGS BLVD,
JORDAN SPRINGS

council: PENRITH

dwg ref: 300100(3)-CENG-611

client:



central coast office ph: (02) 4305 4300
hunter office ph: (02) 4978 5100
sydney office ph: (02) 8046 7411

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1 NORTH ELEVATION
1:100



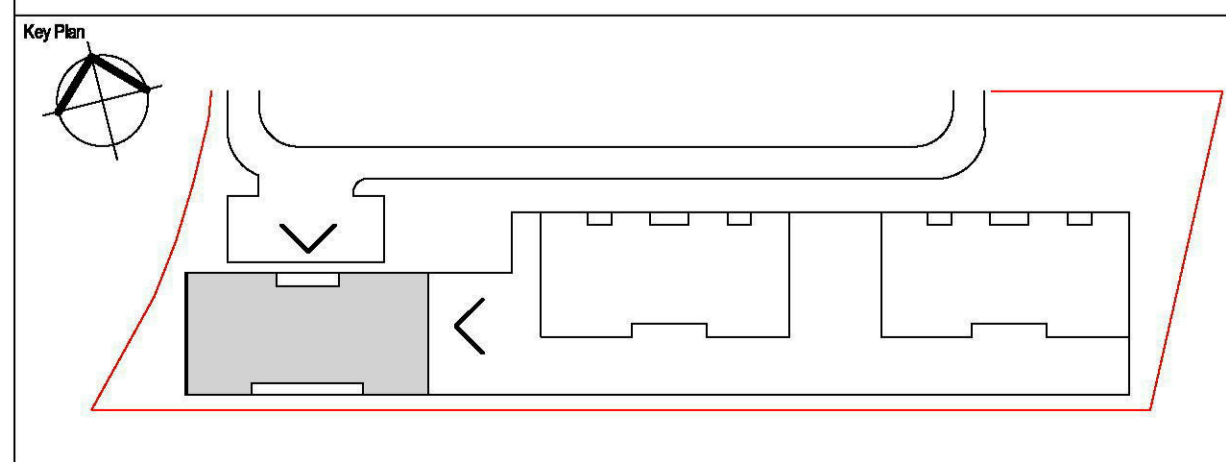
2 EAST ELEVATION
1:100

7.3
Average star rating
NATIONWIDE HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

Certificate Number: UEJHRO7TWC
Assessor Name: Guljit Bates
Accreditation number: VIC/BDV/16/1751
Certificate date: 14 Nov 2019
Dwelling address: Jordan Springs Boulevard, Jordan Springs NSW 2747
www.nathers.gov.au

UEJHRO7TWC
Guljit Bates
VIC/BDV/16/1751
14 Nov 2019

<https://www.ifs.com.au/QRCODE/Landing?PublicId=UEJHRO7TWC&grpCert>



FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION			
F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK DARK'	F07	MEDIUM BROWN BRICK
F02	LIGHT GREY BRICK	F08	DARK BLACK BRICK
F03	DARK GREY BLACK BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH DARK GREY TO MATCH G03
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH WHITE	G01/	SLIDING DOOR GLAZING WINDOW DOOR GLAZING - FRAMES G02. POWDERCOATED TO MATCH B01. GLASS CLEAR
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH LIGHT BEIGE	G03	POWDERCOATED ALUMINUM GLAZING 'FRAMES' DARK GREY
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK LIGHT'	B01	STEEL BALUSTRADE - POWDERCOATED 'DARK GREY'
		B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
		C01	PAINTED CONCRETE FINISH. COLOUR TO MATCH G03
		S01	DARK TIMBER LOOK BATTENS
		S02	LIGHT TEAK TIMBER LOOK BATTENS
		L01	LOUVERE - POWDERCOATED TO MATCH G03



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PRINCIPAL ARCHITECT Lendlease Integrated Solutions AS/NZS 9193:2016 Registered Architect Stephanie Smith NSW ARB 6280 Barangaroo NSW 2000	PLANNER: Keylan Consulting Suite 2, 1 Rialto Lane, Manly NSW Australia 2095	Project JORDAN SPRINGS CLIENT: LENLEASE RETIREMENT LIVING	Title BUILDING A ELEVATIONS SHEET 1 Scale 1:100 @ B1 Drawn: LLAI Checked: [] Approved: [] Drawing Status: DA Project No. 260436 Drawing No. DA_1_30001 Revision: 1
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions AS/NZS 9193:2016 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	CLIENT: Lendlease Development Retirement Living Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000		
CIVIL: ADW Johnson 5 Fraser Avenue, Tuggerah NSW Australia 2259	LANDSCAPE: Coussons Associates PO BOX 41388, Royal Exchange NSW NSW Australia 1215		

FOR DEVELOPMENT APPLICATION



1 SOUTH ELEVATION
1:100



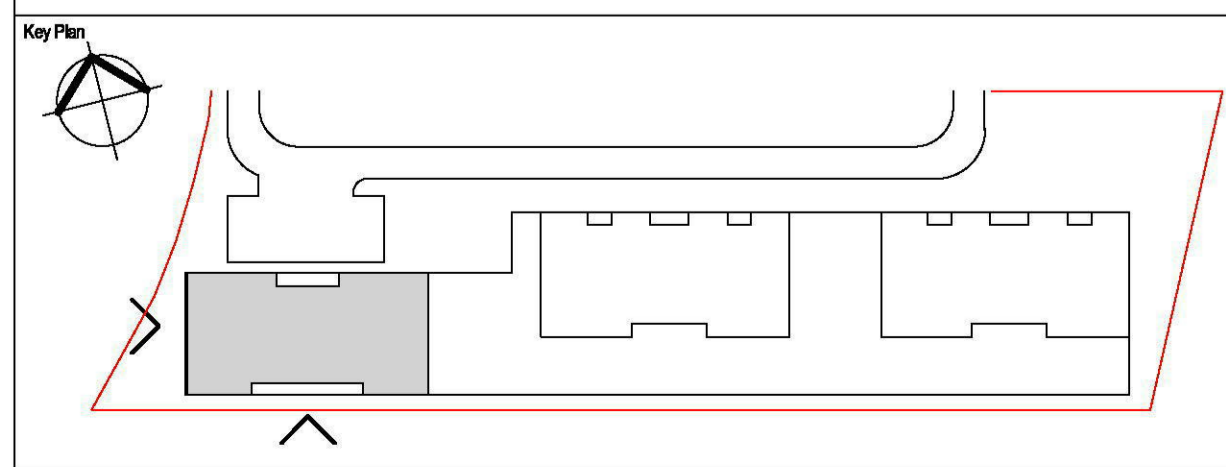
2 WEST ELEVATION
1:100

7.3
Average star rating
NATIONWIDE HOUSE ENERGY RATING SCHEME
www.nathers.gov.au

Certificate Number: **UEJHRO7TWC**
 Assessor Name: **Gujjit Bates**
 Accreditation number: **VIC/BDIV/16/1751**
 Certificate date: **14 Nov 2019**
 Dwelling address: **Jordan Springs Boulevard, Jordan Springs NSW 2747**
www.nathers.gov.au

UEJHRO7TWC
Gujjit Bates
VIC/BDIV/16/1751
14 Nov 2019

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Rev.	Submitted for Development Application Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA 5_70037 FOR FURTHER FINISHES INFORMATION

F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK DARK	F07	MEDIUM BROWN BRICK	B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F02	LIGHT GREY BRICK	F08	DARK BLACK BRICK	C01	PAINTED CONCRETE FINISH, COLOUR TO MATCH G03
F03	DARK GREY BLACK BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH DARK GREY TO MATCH G03	S01	DARK TIMBER LOOK BATTENS
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH WHITE	G01/	SLIDING DOOR GLAZING WINDOW DOOR GLAZING - FRAMES G02. POWDERCOATED TO MATCH B01, GLASS CLEAR	S02	LIGHT TEAK TIMBER LOOK BATTENS
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH LIGHT BEIGE	G03	POWDERCOATED ALUMINIUM GLAZING FRAMES DARK GREY	L01	LOUVRE - POWDERCOATED TO MATCH G03
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL TIMBER LOOK LIGHT	B01	STEEL BALUSTRADE - POWDERCOATED DARK GREY		



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PRINCIPAL ARCHITECT Lendlease Integrated Solutions ABN 51 822 852 391 National Architects Bathurst South, NSW ABN 6280 Barragoola NSW 2000	Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions ABN 51 822 852 391	Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000
CIVIL: ADW Johnson 5 Pinner Avenue, Tuggerah NSW Australia 2259	LANDSCAPE: Cousins Associates PO BOX 81388, Royal Exchange NSW NSW Australia 1215

PLANNER: Keylan Consulting Suite 2, 1 Rialto Lane, Marril NSW Australia 2005	CLIENT: Lendlease Development Retirement Living Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000
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Project JORDAN SPRINGS	Title BUILDING A ELEVATIONS SHEET 2
Client LENLEASE RETIREMENT LIVING	Scale 1:100 @ B1
Drawn LLAI	Checked
Approved	Drawing Status DA
Project No. 260436	Drawing No. DA_1_30002
Revision	1

FOR DEVELOPMENT APPLICATION



1 NORTH ELEVATION
1:100

7.3
Average star rating

NATIONWIDE HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

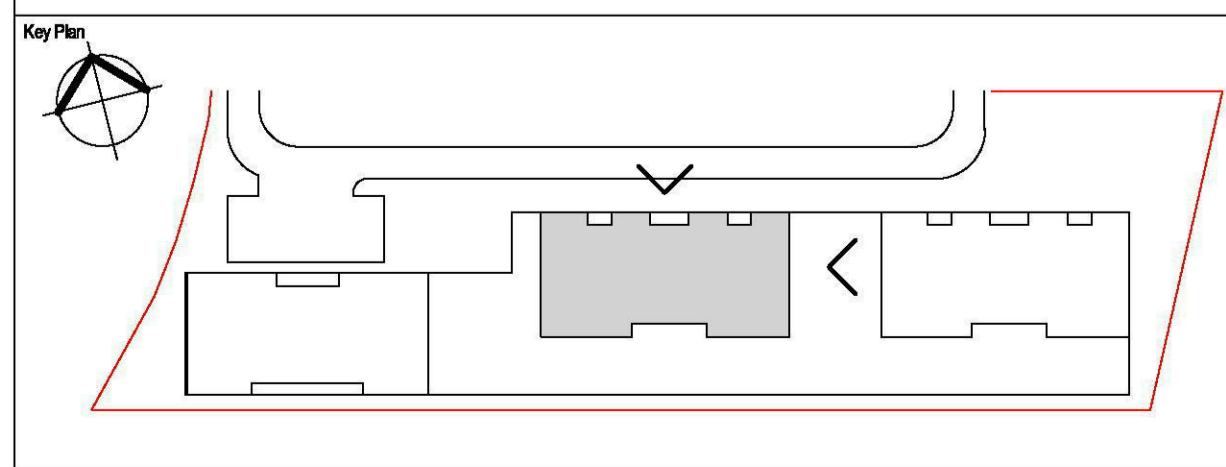
Certificate Number: **UEJHRO7TWC**
 Assessor Name: **Guljit Bates**
 Accreditation number: **VIC/BDAV/16/1751**
 Certificate date: **14 Nov 2019**
 Dwelling address: **Jordan Springs Boulevard, Jordan Springs NSW 2747**
www.nathers.gov.au

<https://www.f5.com.au/QRCodeLanding?PublicId=UEJHRO7TWC&GrpCert>



2 EAST ELEVATION
1:100

FOR DEVELOPMENT APPLICATION



FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION			
F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK DARK'	F07	MEDIUM BROWN BRICK
F02	LIGHT GREY BRICK	F08	DARK BLACK BRICK
F03	DARK GREY BLACK BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH DARK GREY TO MATCH G03
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH WHITE	G01/	SLIDING DOOR GLAZING WINDOW DOOR GLAZING - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH LIGHT BEIGE	G03	POWDERCOATED ALUMINIUM GLAZING 'FRAMES' DARK GREY
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK LIGHT'	B01	STEEL BALUSTRADE - POWDERCOATED 'DARK GREY'
		B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
		C01	PAINTED CONCRETE FINISH, COLOUR TO MATCH G03
		S01	DARK TIMBER LOOK BATTENS
		S02	LIGHT TEAK TIMBER LOOK BATTENS
		L01	LOUVRE - POWDERCOATED TO MATCH G03

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PRINCIPAL ARCHITECT Lendlease Integrated Solutions ASBN 51 852 852 391 National Architect Bosphorus South, NSW AHS 6280 Barangaroo NSW 2000	Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	PLANNER: Keylan Consulting Suite 2, 1 Rialto Lane, Merry NSW Australia 2005	Project JORDAN SPRINGS	Title BUILDING B ELEVATIONS SHEET 1
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions ASBN 51 852 852 391	Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	CLIENT: Lendlease Development Retirement Living Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	Client LENLEASE RETIREMENT LIVING	Scale 1 : 100 @ B1
CIVIL: ADW Johnson 5 Pioneer Avenue, Tuggerah NSW Australia 2259	LANDSCAPE: Ocouson Associates PO BOX 81388, Royal Exchange NSW NSW Australia 1215			Drawn LLAI
				Checked Approved
				Drawing Status DA
				Project No. 260436
				Drawing No. DA_2_30001
				Revision 1

If this drawing is printed or plotted at a size other than B1 - DO NOT SCALE DIMENSIONS FROM DRAWING
Always take figured dimensions in preference to scaling.



1 SOUTH ELEVATION
1:100

Average star rating
7.3
www.nathers.gov.au

Certificate Number: **UEJHRO7TWC**
 Assessor Name: **Guljit Bates**
 Accreditation number: **VIC/BDAV/16/1751**
 Certificate date: **14 Nov 2019**
 Dwelling address:
Jordan Springs
Boulevard, Jordan Springs NSW 2747
www.nathers.gov.au

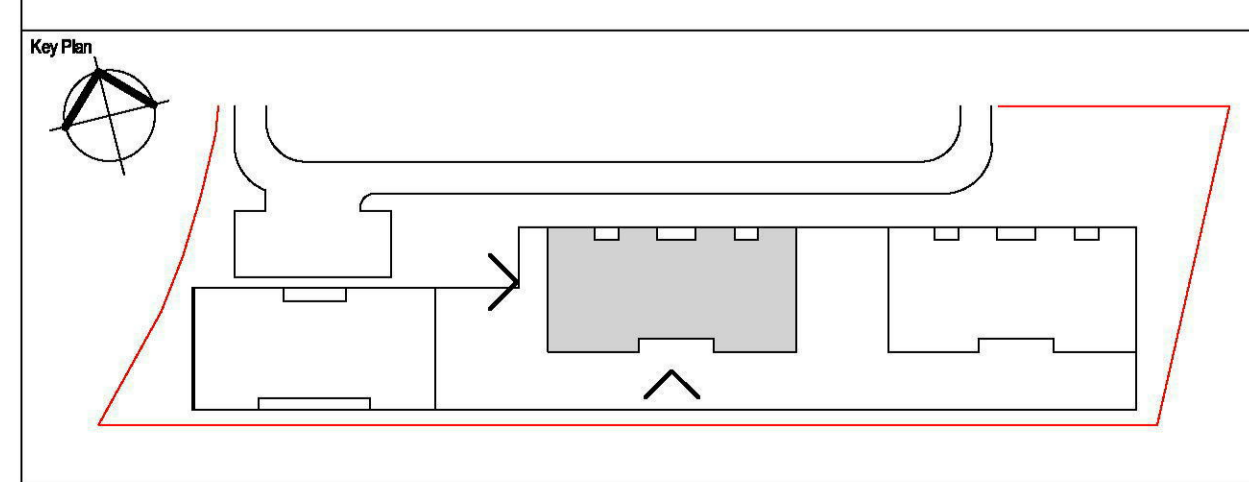
UEJHRO7TWC
Guljit Bates
VIC/BDAV/16/1751
14 Nov 2019

<https://www.frs.com.au/QRCode/Landing?PublicId=UEJHRO7TWC&GrpCert>



2 WEST ELEVATION
1:100

FOR DEVELOPMENT APPLICATION



FINISHES SCHEDULE - REFER TO DA 5_70037 FOR FURTHER FINISHES INFORMATION			
F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK DARK'	F07	MEDIUM BROWN BRICK
F02	LIGHT GREY BRICK	F08	DARK BLACK BRICK
F03	DARK GREY BLACK BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'DARK GREY' TO MATCH G03
G01/	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH 'WHITE'	G01/	SLIDING DOOR GLAZING WINDOW DOOR GLAZING - FRAMES G02. POWDERCOATED TO MATCH B01. GLASS CLEAR
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'SMOOTH LIGHT BEIGE'	G03	POWDERCOATED ALUMINIUM GLAZING 'FRAMES' DARK GREY'
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK LIGHT'	B01	STEEL BALUSTRADE - POWDERCOATED 'DARK GREY'
		B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
		C01	PAINTED CONCRETE FINISH. COLOUR TO MATCH G03
		S01	DARK TIMBER LOOK BATTENS
		S02	LIGHT TEAK TIMBER LOOK BATTENS
		L01	LOUVRE - POWDERCOATED TO MATCH G03

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PRINCIPAL ARCHITECT Lendlease Integrated Solutions <small>ABN 51 632 852 391 National Architect 300 Barangaroo Avenue, Barangaroo NSW 2000</small>	<small>Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000</small>	PLANNER: Keylan Consulting <small>Suite 2, 1 Rialto Lane, Merri NSW Australia 2005</small>	Project JORDAN SPRINGS	Title BUILDING B ELEVATIONS SHEET 2
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions <small>ABN 51 632 852 391</small>	<small>Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000</small>	CLIENT: Lendlease Development Retirement Living <small>Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000</small>	Client LENLEASE RETIREMENT LIVING	Scale 1 : 100 @ B1
CIVIL: ADW Johnson <small>5 Pinner Avenue, Pinner NSW Australia 2109</small>	LANDSCAPE: Coussons Associates <small>PO BOX 81388, Royal Exchange NSW NSW Australia 1515</small>	Drawn LLAI	Checked DA	Approved DA
Project No. 260436			Drawing No. DA_2_30002	Revision 1



1 NORTH ELEVATION
1:100



2 EAST ELEVATION
1:100

7.3
Average star rating

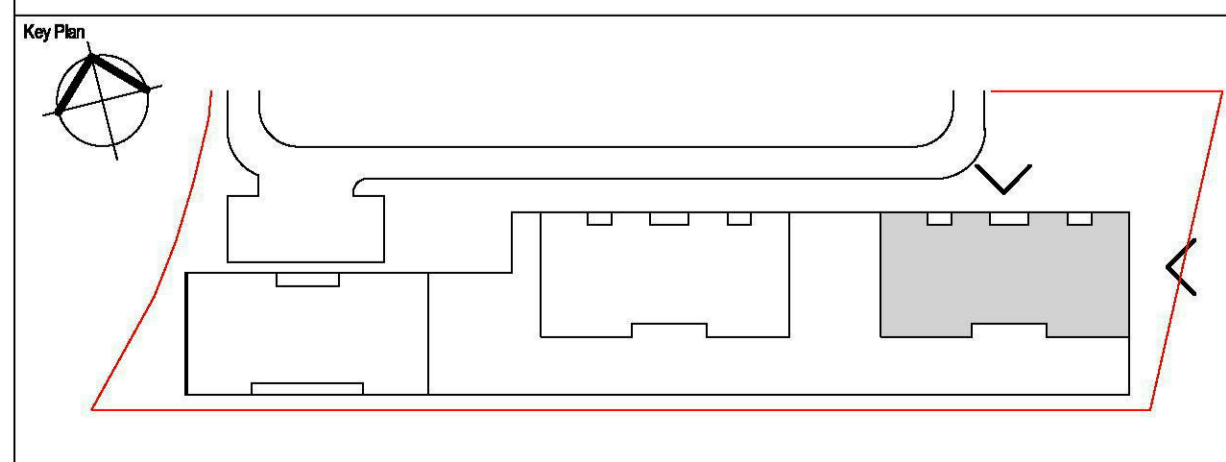
NATIONWIDE HOUSE
ENERGY RATING SCHEME

www.nathers.gov.au

Certificate Number: **UEJHRO7TWC**
 Assessor Name: **Guljit Bates**
 Accreditation number: **VIC/BD/AV/16/1751**
 Certificate date: **14 Nov 2019**
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Boulevard, Jordan Springs NSW 2747
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QR Code

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Rev.	DESCRIPTION	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA 5_70037 FOR FURTHER FINISHES INFORMATION

F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK DARK'	F07	MEDIUM BROWN BRICK	B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
F02	LIGHT GREY BRICK	F08	DARK BLACK BRICK	C01	PAINTED CONCRETE FINISH, COLOUR TO MATCH G03
F03	DARK GREY BLACK BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH DARK GREY TO MATCH G03	S01	DARK TIMBER LOOK BATTENS
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH WHITE	G01/	SLIDING DOOR GLAZING WINDOW DOOR GLAZING - FRAMES G02. POWDERCOATED TO MATCH B01, GLASS CLEAR	S02	LIGHT TEAK TIMBER LOOK BATTENS
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH LIGHT BEIGE	G03	POWDERCOATED ALUMINIUM GLAZING 'FRAMES' DARK GREY	L01	LOUVRE - POWDERCOATED TO MATCH G03
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK LIGHT'	B01	STEEL BALUSTRADE - POWDERCOATED 'DARK GREY'		



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PRINCIPAL ARCHITECT Lendlease Integrated Solutions <small>ABN 51 832 852 391 National Architects Bosphorus South NSW AHS 6280 Barangaroo NSW 2000</small>	<small>Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000</small>	PLANNER: Keylan Consulting <small>Suite 2, 1 Rialto Lane, Manly NSW Australia 2095</small>
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions <small>ABN 51 832 852 391</small>	<small>Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000</small>	CLIENT: Lendlease Development Retirement Living <small>Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000</small>
CIVIL: ADW Johnson <small>5 Pinner Avenue, Tuggerah NSW Australia 2259</small>	LANDSCAPE: Coudoun Associates <small>PO BOX 81388, Royal Exchange NSW NSW Australia 1215</small>	

Project	JORDAN SPRINGS	Title	BUILDING C ELEVATIONS SHEET 1
Client	LENLEASE RETIREMENT LIVING	Scale	1:100 @ B1
Drawn	LLAJ	Checked	
Approved		Approved	
Project No.	260436	Drawing No.	DA_3_30001
		Revision	1

FOR DEVELOPMENT APPLICATION



1 SOUTH ELEVATION
1:100



2 WEST ELEVATION
1:100

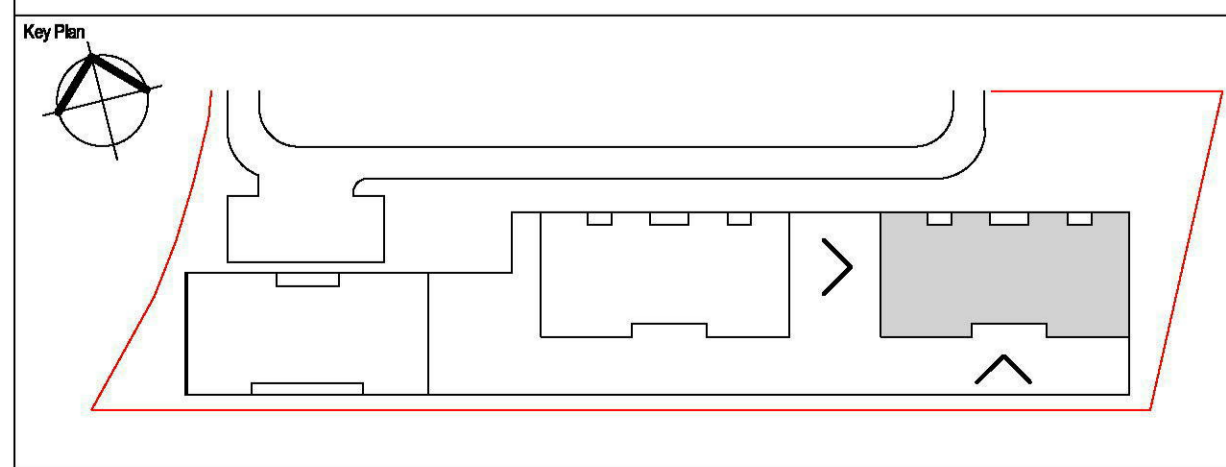
7.3
Average star rating

NATIONWIDE HOUSE
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www.nathers.gov.au

Certificate Number: **UEJHRO7TWC**
 Assessor Name: **Guljit Bates**
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Guljit Bates
VIC/BDAV/16/1751
14 Nov 2019

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Rev	Description	Date
1	SUBMITTED FOR DEVELOPMENT APPLICATION	11/11/2019

FINISHES SCHEDULE - REFER TO DA_5_70037 FOR FURTHER FINISHES INFORMATION			
F01	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK DARK'	F07	MEDIUM BROWN BRICK
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F03	DARK GREY BLACK BRICK	F09	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH DARK GREY TO MATCH G03
F04	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH WHITE	G01/	SLIDING DOOR GLAZING WINDOW DOOR GLAZING - FRAMES G02. POWDERCOATED TO MATCH B01. GLASS CLEAR
F05	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL SMOOTH LIGHT BEIGE	G03	POWDERCOATED ALUMINIUM GLAZING 'FRAMES' DARK GREY
F06	PRE-FINISHED NON-COMBUSTIBLE FACADE PANEL 'TIMBER LOOK LIGHT'	B01	STEEL BALUSTRADE - POWDERCOATED 'DARK GREY'
		B02	GLAZED BALUSTRADE - FRAMES POWDERCOATED TO MATCH B01, GLASS CLEAR
		C01	PAINTED CONCRETE FINISH. COLOUR TO MATCH G03
		S01	DARK TIMBER LOOK BATTENS
		S02	LIGHT TEAK TIMBER LOOK BATTENS
		L01	LOUVRE - POWDERCOATED TO MATCH G03

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PRINCIPAL ARCHITECT Lendlease Integrated Solutions ASB 51 832 852 391 National Australia Bank Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	PLANNER: Keylan Consulting Suite 2, 1 Rialto Lane, Manly NSW Australia 2095	Project JORDAN SPRINGS	Title BUILDING C ELEVATIONS SHEET 2
STRUCTURAL, MECHANICAL, ELECTRICAL, ESD ENGINEERS: Lendlease Integrated Solutions ASB 51 832 852 391 Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	CLIENT: Lendlease Development Retirement Living Level 14, Tower Three, International Towers Sydney Exchange Place, 300 Barangaroo Avenue, Barangaroo NSW 2000	Client LENDLEASE RETIREMENT LIVING	Scale 1:100 @ B1
CIVIL: ADW Johnson 5 Plumer Avenue, Tuggerah NSW Australia 2259	LANDSCAPE: Ocusson Associates PO BOX 81388, Royal Exchange NSW NSW Australia 1515	Drawn LLAI	Checked Approved Drawing Status DA
Project No. 260436		Drawing No. DA_3_30002	Revision 1

FOR DEVELOPMENT APPLICATION

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