

EXISTING VEGETATION CONSISTS PREDOMINATELY OF EUCALYPTUS PARRAMATTENSIS SSP. PARRAMATTENSIS, EUCALYPTUS SCLEROPHYLLA AND ANGOPHORA BAKERI SSP. BAKERI

APPROX EXTENT OF DOTTED VEGETATION

EXTRACTS FROM BUSHFIRE REPORT

- * ASSET PROTECTION ZONE TO BE AN INNER PROTECTION ZONE FOR THE WHOLE OF THE OPEN SPACE SURROUNDING THE PROPOSED SECOND DWELLING
- * THE APZ IS TO BE CONSTRUCTED TO AN "INNER PROTECTION ZONE" STANDARD OF CONSTRUCTION AND ACHIEVE A MAXIMUM OF 5T/HA OF RESIDUAL COMBUSTIBLE FUEL LOADING AT ANY ONE TIME.
- * MINIMUM APZ LOCATED WITHIN LOT - TO IPA STANDARD. SITE CONDITIONS ALLOW FOR MINIMAL APZ. A DEFENDABLE SPACE IS AVAILABLE TO THE FRONT AND REAR PORTIONS OF THE DWELLING.
- * APZ WITHIN LOT IS FULLY CLEARED AND LANDSCAPED. EXPOSED BUILDING ELEMENTS TO BE SCREENED TO PREVENT EMBER ENTRY TO BUILDING.
- * ALL LANDSCAPING WILL BE KEPT TO AN IPA STANDARD OF CONSTRUCTION AND EXTERNAL GARDEN BEDS TO BE LOCATED OFF THE EXTERNAL CURTLIDGE OF THE SECOND DWELLING.
- **NOTE** - ALL LANDSCAPING COMPLIES WITH PLANNING FOR BUSHFIRE PROTECTION REQUIREMENTS 2006

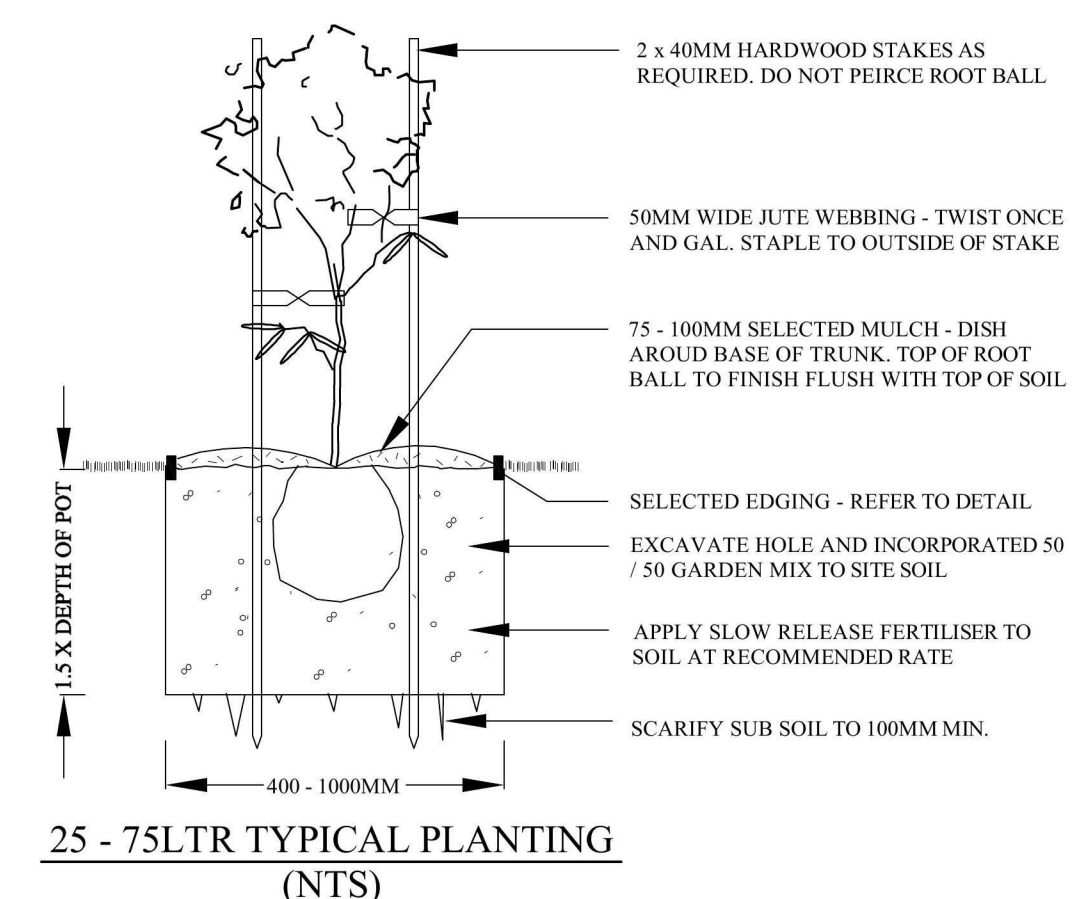
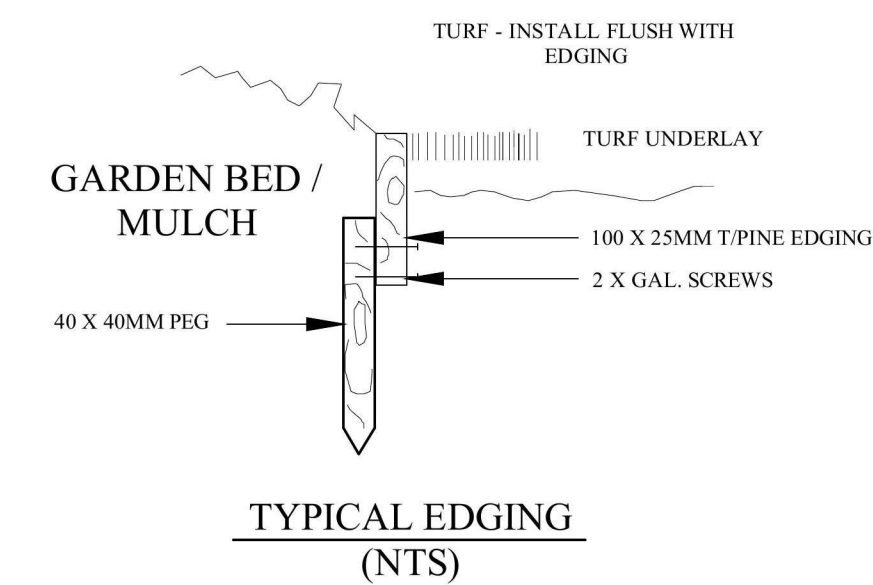
GENERAL NOTES:-

- * LANDSCAPE CONTRACTOR TO CHECK CERTIFICATION LETTER AND STAMPED LANDSCAPE PLAN BEFORE COMMENCING WORKS TO ENSURE NO ADDITIONS / AMENDMENTS TO PLAN.
- * PREMIUM ORGANIC GARDEN MIX TO BE USED
- * MULCH PLANTING BEDS TO BE A MINIMUM DEPTH OF 70MM AS SELECTED
- * CONTRACTORS RESPONSIBILITY TO CHECK AND ADJUST SOIL pH AS REQUIRED
- * PROVIDE TIMBER EDGE AS A MINIMUM BENEATH FENCING / GATES TO DEFINE TURF AND GARDEN BEDS / PATHWAYS. EDGING TO BE PROVIDED TO ALL AREAS WHERE DIFFERING MATERIALS MEET, IE TURF / GARDEN, TURF / GRAVEL PATH ETC.
- * WEEDMAT BENEATH GRAVEL PATHWAYS SUGGESTED
- * ALL PLANTS TO BE HEALTHY AND VIGOROUS
- * BUFFALO TURF SUGGESTED
- * GARDEN BEDS IN OSD BASIN TO CONSIST OF NON FLOATABLE DECORATIVE GRAVEL
- * CONTRACTORS RESPONSIBILITY TO MAKE GOOD TURF ON NATURE STRIP AFTER CONSTRUCTION
- * REFER TO HYDRAULICS PLAN FOR OSD DETAILS
- * DO NOT SCALE ARCHITECTURALS OFF DRAWING
- * EXISTING TREE SPREAD APPROXIMATE ONLY
- * SITE SURVEY PROVIDED BY OTHERS

PLANT SCHEDULE

BOTANIC NAME	KEY	QTY	POT SIZE	HT (M)	WTH (M)
TREES					
MELALEUCA DECORA*	MD	9	25LTR	9	6
MELALEUCA STYPHELOIDES*	MS	7	25LTR	9	6
PYRUS 'CHANTICLEER' (ORNAMENTAL PEAR)	PC	4	25LTR	9	7
ZELKOVA SERRATA (JAPANESE ELM)	ZS	1	25LTR	10	7
SHRUBS					
ACMENA 'HEDGEMASTER' (LILLY PILLY)*	AH	28	200MM	1	-
ACMENA SMITHI 'MINOR' (LILLY PILLY)*	ASM	25	200MM	3	3
GREVILLEA SERICEA	G	12	200MM	1.5	1
HARDENBERGIA 'MEEMA' (SASPARILLA)*	H	6	150MM	0.75	1
LOMANDRA 'KATRINUS' (MATT RUSH)*	L	36	150MM	0.75	0.75
ROSMARINUS 'BLUE LAGOON'	R	52	150MM	0.75	1

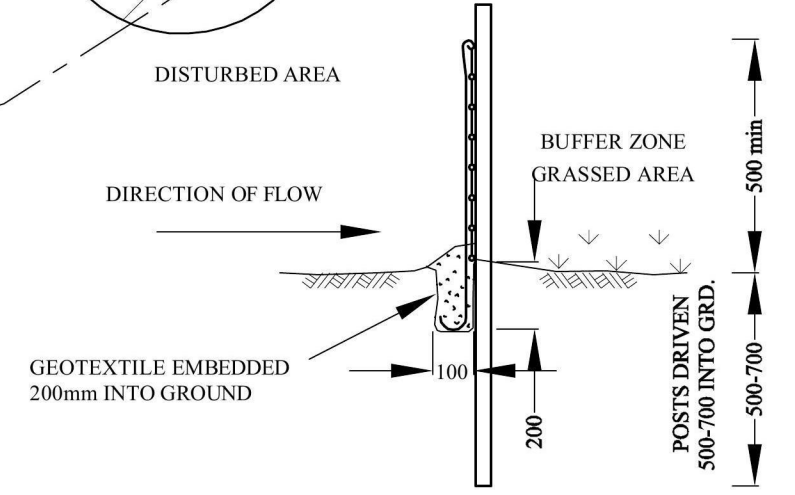
*NATIVE SPECIES



PLANTING AND MAINTENANCE NOTES

- * GLAZED OR POLISHED PLANTING HOLES, PARTICULARLY IN CLAY SHOULD BE AVOIDED.
- * PLANTS SHOULD BE PLANTED STRAIGHT, WITH THE TOP OF THE ROOT BALL LEVEL WITH OR SLIGHTLY LOWER THAN THE SOIL SURFACE.
- * PLANTS SHOULD BE WATERED AS SOON AS POSSIBLE AFTER PLANTING.
- * PLANTING SHOULD BE AVOIDED AT THE HEIGHT OF SUMMER (DECEMBER - JANUARY)
- * PLANTS SHOULD BE WATERED AT LEAST WEEKLY FOR SIX WEEKS TO AID ESTABLISHMENT. WATER CRYSTALS MAY BE USED TO REDUCE THE AMOUNT OF WATER REQUIRED.
- * IF A FERTILISER IS TO BE APPLIED, A SLOW RELEASE 8 - 9 MONTH PLANT FOOD WOULD BE APPROPRIATE, AT A RATE OF 5 - 10 GRAMS PER PLANT.
- * ONLY SPECIES WITHIN THE LANDSCAPE PLAN SHOULD BE PLANTED. PERMISSION SHOULD BE SOUGHT BEFORE ALTERING THE PLANT SPECIES LIST.
- * STOCK SHOULD BE FREE OF PESTS, DISEASE AND WEEDS. PLANTS SHOULD BE ACTIVELY GROWING WITH ROOTS HEALTHY, WHITE AND NOT POT BOUND.
- * REPLACEMENT PLANTS SHOULD BE MADE AVAILABLE FOR ANY LOSSES OF PLANT STOCK THAT MAY OCCUR FOR A MINIMUM 12 MONTH PERIOD.
- * WEEDS SHOULD BE REMOVED ON A FORTNIGHTLY BASIS.
- * PEST OR DISEASE SAMPLES TO THE LOCAL NURSERY FOR IDENTIFICATION AND APPROPRIATE REMEDY.

SEDIMENT BARRIER (NTS)



(PROVIDE ON ALL DOWN HILL SLOPES - UNLESS STATED OTHERWISE)

*ALL PATHWAYS, LANDSCAPING, FENCING TO BE COMPLETED BY OWNERS UNLESS NOTED OTHERWISE WITHIN TENDER. ALL ITEMS NOTED WITHIN ARE TO BE COMPLETED IN ACCORDANCE WITH THE ESTATE AND / OR COUNCIL GUIDELINES TO THE SATISFACTION OF THE PRINCIPLE CERTIFYING AUTHORITY. MONACO DESIGNS PL RESERVES THE RIGHT NOT TO UNDERTAKE NOR SUPPLY LANDSCAPE CERTIFICATION FOR OCCUPATION CERTIFICATE OR 12 MONTH LANDSCAPE CERTIFICATION FOR RELEASE OF BOND HELD BY COUNCIL WHEN APPLICABLE

NOTE:- TO AID COMPLIANCE WITH BASIX LEGISLATION - PLANTS (WHERE APPLICABLE) HAVE BEEN SELECTED FROM THE LOCAL CITY COUNCIL / SHIRE PLANT LIST.

NOTE: LOCATION OF SEWER MAINS / LINES, WATER PIPES, UNDERGROUND ELECTRICITY AND OTHER SERVICES MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. [DIAL BEFORE YOU DIG 1100.](#)

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CONTRACTORS NOTE:- CALCULATED AREAS DETERMINED BY CAD AND HAVE BEEN ROUNDED UP FOR USE AS A GUIDE ONLY. ALLOW FOR STANDARD PERCENTAGE FOR CUTTING AND WASTAGE. CONTRACTOR TO CONFIRM DIMENSIONS PRIOR TO QUOTING / ORDERING.



20 SEPT 2013

MONACO
DESIGNS PL

14 York Street, Glenbrook NSW, 2773
ph & fax: 0247395136 mb: 0409123200
email: paul@monaco.net.au

PROJECT:
PROPOSED DWELLING

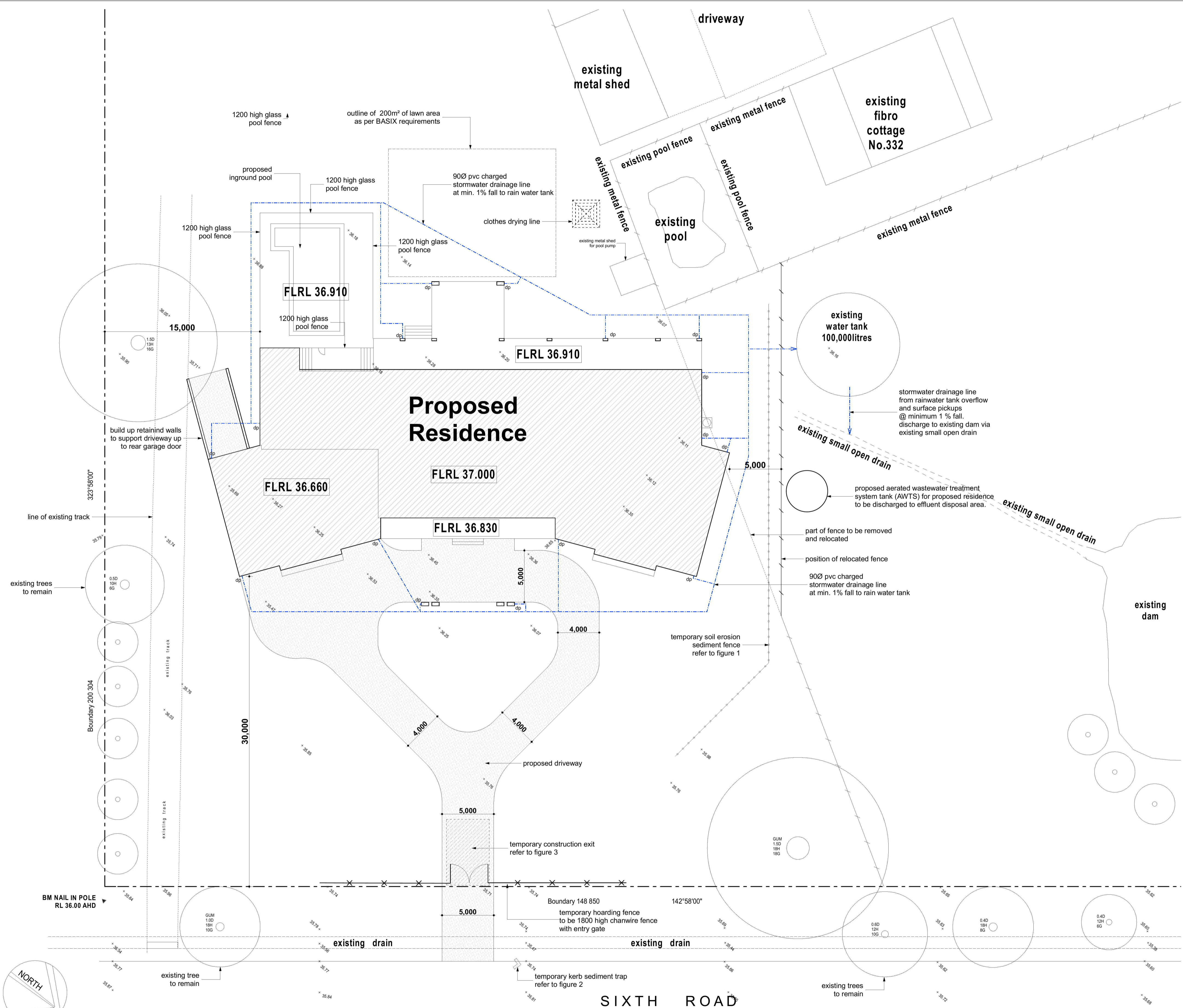
ADDRESS:
232-252 LLANDILO ROAD,
BERKSHIRE PARK

CLIENT:
MR AND MRS SAMMUT

TITLE:
LANDSCAPE CONCEPT

DATE: 13 SEPT 12	SCALE: 1 : 300 - A1	SHEET No: 1 OF 1
JOB No. 3165	DRAWN: P MONACO	

TREE PLANS
LANDSCAPE PLANS
VEGETATION MANAGEMENT PLANS



Building Envelope Plan scale 1:200
 Soil Sediment & Erosion Plan
 Stormwater Drainage Plan

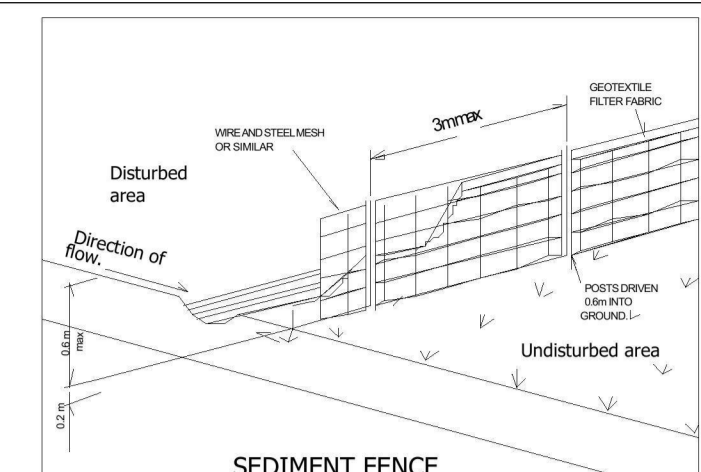


FIG 1

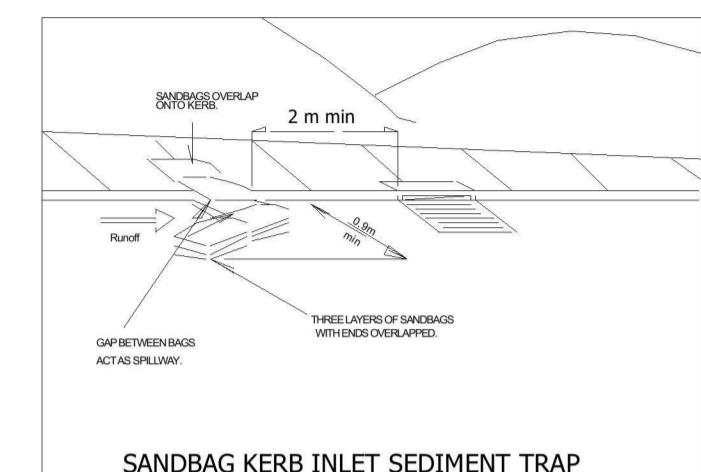


FIG 2

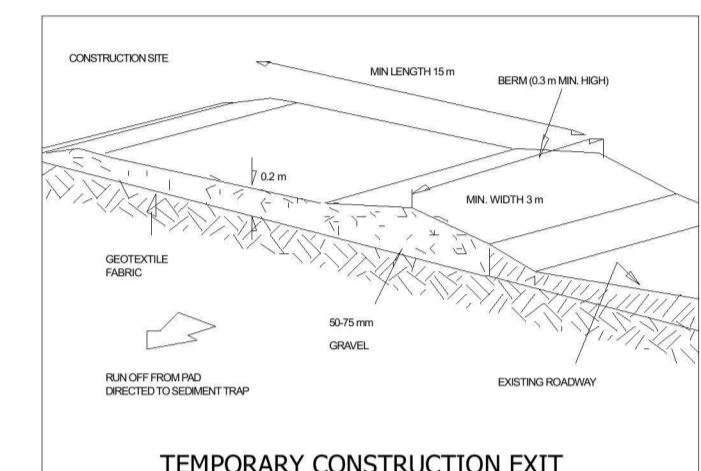


FIG 3

BUSHFIRE:
 - All bushfire requirements to comply with AS 3959 - 2009 Construction of buildings in bushfire prone areas. (BAL LOW)
 - Refer to the bushfire assessment report prepared by 'Bushfire Safety Solutions' dated August 2012, Report No. 2012/152B for bushfire requirements.

BASIX NOTES		DWELLING
PROJECT DETAILS		
SITE AREA:	20,250m ²	
GROSS FLOOR AREA:	1,002.57m ²	
ROOF AREA:	1,111.90m ²	
No OF BEDROOMS:	4	
LANDSCAPE		
AREA OF LANDSCAPE:	Garden & Lawn	200m ²
STORMWATER		
ROOF AREA COLLECTED:	1,111.90m ²	
RAINWATER USED FOR:	GARDEN & TOILETS	
RAINWATER TANK SIZE:	1 x 100,000L rainwater tank	
WATER		
TOILET RATING:	4 STAR	
SHOWERHEAD RATING:	3 STAR	
ALL TAP FITTING:	4 STAR	
SWIMMING POOL VOLUME:	max. 68,000litres	
SWIMMING POOL SHADED & INDOOR:	YES	
GARDEN TAP:	1 GARDEN TAP CONNECT TO TANK	
TOILETS & COLD WATER TAP TO CLOTHES WASHER :	ALL CONNECTED TO TANK WATER	
THERMAL COMFORT		
"ABS" CERTIFICATE No:	NOT APPLICABLE	
INSULATION	R 2.0 TO EXTERNAL WALLS	
INSULATION	R 3.5 TO CEILINGS EXCL GARAGES	
INSULATION	R 1.0 TO SUSPENDED TIMBER FLOOR	
EAVES	600MM EAVE INC FASCIA & GUTTER	
EAVES	NO MORE THAN 500MM OVER WINDOW OR DOOR HEAD	
INSULATION	SARKING TO UNDERSIDE OF ROOF	
ALL WINDOWS	STANDARD ALUMINIUM, SINGLE CLEAR GLAZING OR U-value: 7.63, SHGC: 0.75 - AS PER BASIX	
TILED ROOF		
	DARK (SOLAR ABSORPTION >0.70) WITH SARKING TO ROOF	
ENERGY		
LIVING COOLING SYSTEM:	3 PHASE AIRCONDITIONING EER 3.0 - 3.5	
BEDROOM COOLING SYSTEM:	3 PHASE AIRCONDITIONING EER 3.0 - 3.5	
LIVING HEATING SYSTEM:	3 PHASE AIRCONDITIONING EER 3.0 - 3.5	
BEDROOM HEATING SYSTEM:	3 PHASE AIRCONDITIONING EER 3.0 - 3.5	
BATHROOM:	NATURAL VENTILATION	
POWDER ROOM:	INDIVIDUAL FAN DUCTED TO FACADE OR ROOF	
KITCHEN:	INDIVIDUAL FAN NOT DUCTED	
LIGHTING		
	ENERGY LIGHTING THROUGHOUT WHOLE OF HOUSE	
HOT WATER SYSTEM:	SOLAR / ELECTRIC BOOSTED 36-40 RECs	
COOKING SYSTEM:	ELECTRIC COOKTOP/ ELECTRIC OVEN	
POOL/SPA PUMP TIMER:	YES	
POOL HEATING:	NO	
POOL COVER:	NO	
OUTDOOR CLOTHES LINE:	YES	

Print Date: 25/09/2013

DATE	ISSUE	AMENDMENTS
05/03/12	A	Issue for client approval
15/06/12	B	Draft DA/CC
12/09/12	C	DA/CC
22/08/13	D	removed enclosure (walls & roof) to pool area, adjusted pool to suit

DISCLAIMER

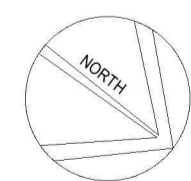
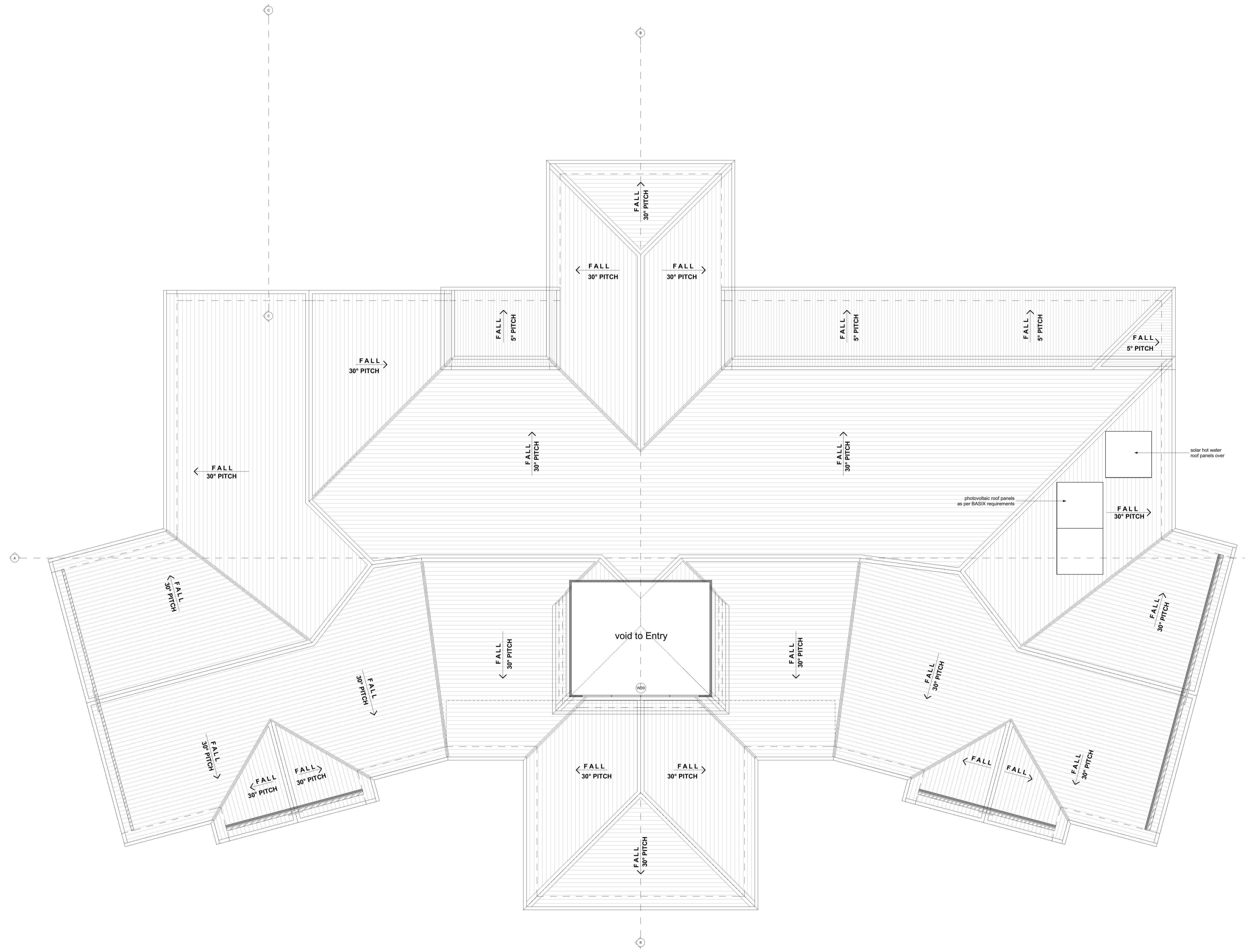
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PROJECT	FOR	DATE	DRAWN	SCALE
Proposed single storey dwelling consisting of dual occupancy	Zammit Residence	Jun 12	J V V	1:200
AT Lot 4 DP 510842 232-252 Llandilo Road BERKSHIRE PARK	TITLE Building Envelope Plan	JOB NO	SHEET	
		012/2011	02	



Roof Plan scale 1:100

Print Date: 25/09/2013

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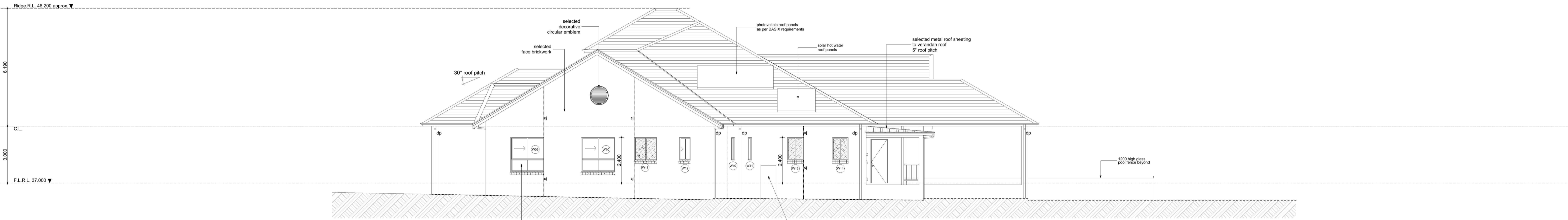
PROJECT Proposed single storey dwelling consisting of dual occupancy
 AT Lot 4 DP 510842
 232-252 Llandilo Road
 BERKSHIRE PARK

FOR Zammit Residence
 TITLE Roof Plan

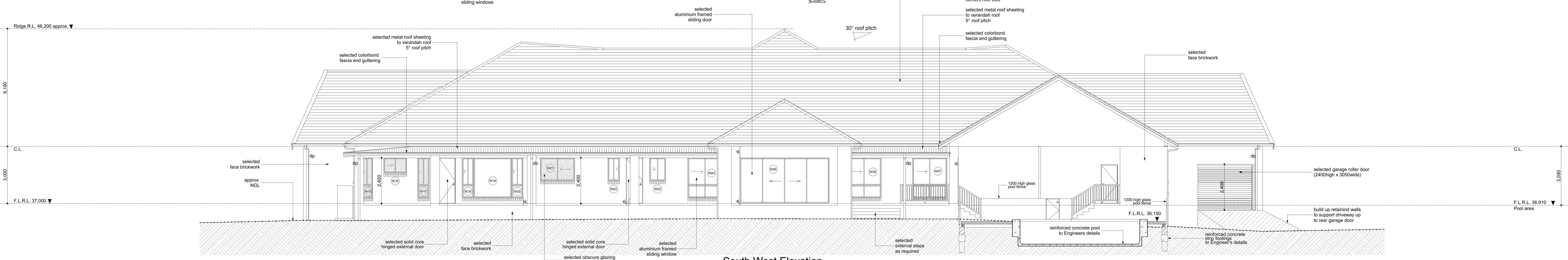
DATE	DRAWN	SCALE
Jun 12	J V V	1:100
JOB NO	SHEET	
012/2011	04	



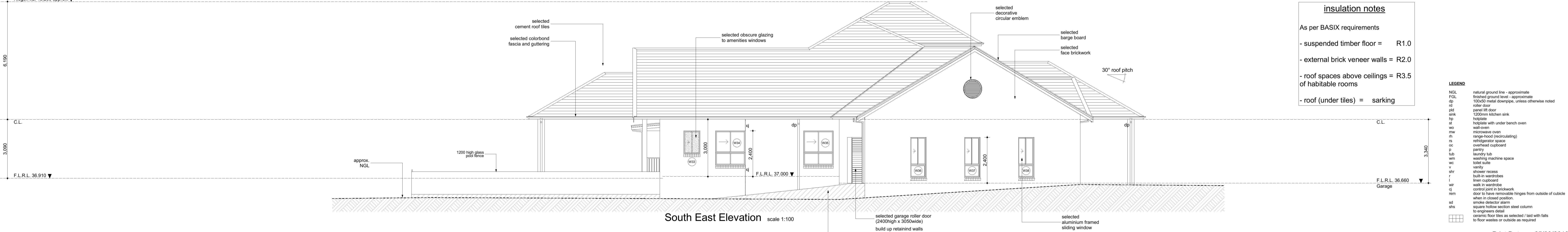
North East Elevation scale 1:100



North West Elevation scale 1:100



South West Elevation scale 1:100



South East Elevation scale 1:100

insulation notes
 As per BASIX requirements
 - suspended timber floor = R1.0
 - external brick veneer walls = R2.0
 - roof spaces above ceilings = R3.5 of habitable rooms
 - roof (under tiles) = sarking

LEGEND

NGL	natural ground line - approximate
FGL	finished ground level - approximate
dp	100x50 metal downpipe, unless otherwise noted
rd	roller door
pld	panel lift door
sk	1200mm kitchen sink
hp	hobplate
st	habitable with under bench oven
wp	wall-oven
mo	microwave oven
rh	range-hood (recirculating)
rs	refrigerator space
oc	overhead cupboard
p	pantry
lab	laundry tub
wm	washing machine space
ec	table case
v	vanity
sh	shower recess
f	built-in wardrobes
lc	linen cupboard
ur	walk in wardrobe
cd	control panel in brickwork
rem	door to have removable hinges from outside of cubicle when in closed position.
sd	smoke detector alarm
stc	squares hollow section steel column to engineers detail
stf	ceramic floor tiles as selected / laid with falls to floor wastes or outside as required

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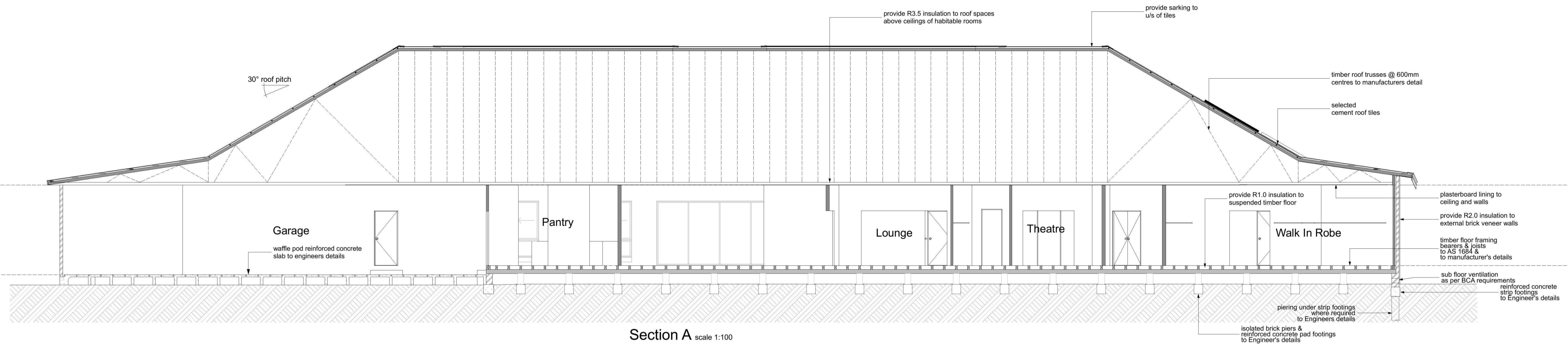
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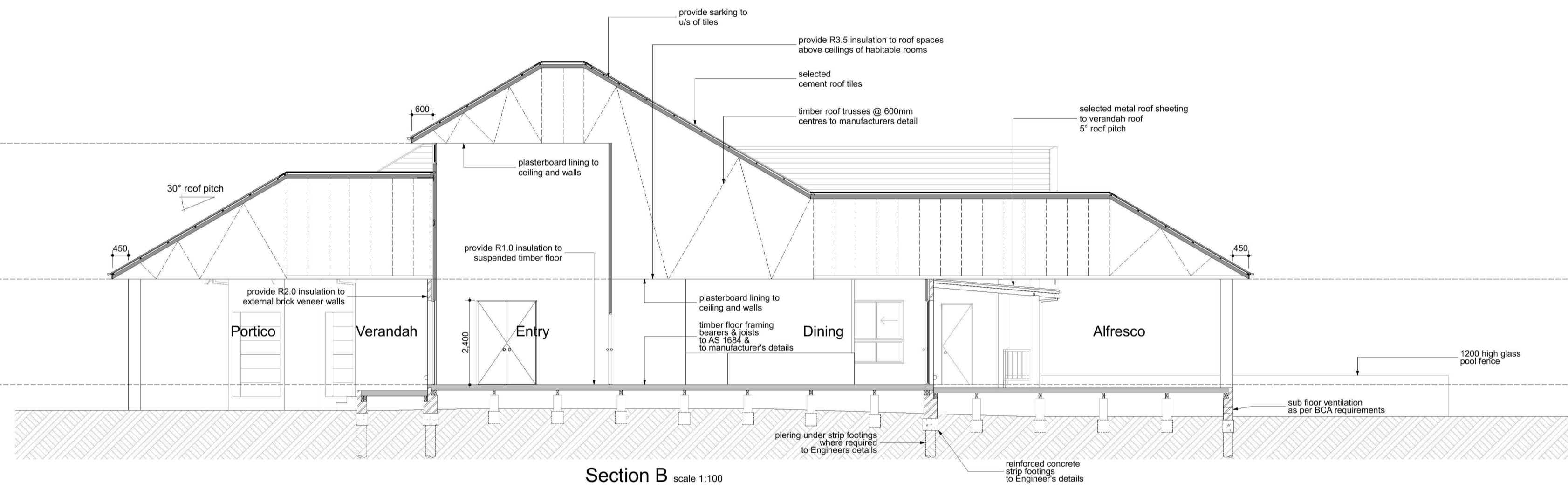
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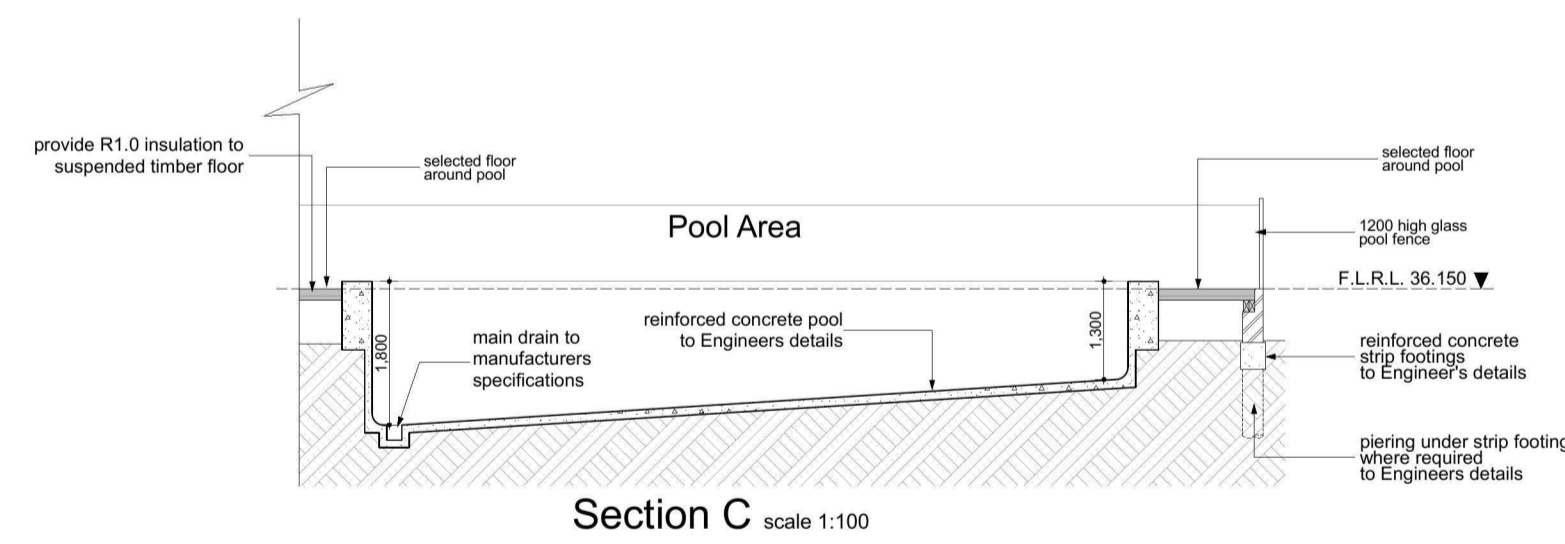
PROJECT	Proposed single storey dwelling consisting of dual occupancy	FOR	Zammit Residence	DATE	Jun 12	DRAWN	J V V	SCALE	1:100
AT	Lot 4 DP 510842 232-252 Llandilo Road BERKSHIRE PARK	TITLE	Elevations	JOB NO	012/2011	SHEET	05		



Section A scale 1:100



Section B scale 1:100



Section C scale 1:100

insulation notes
 As per BASIX requirements
 - suspended timber floor = R1.0
 - external brick veneer walls = R2.0
 - roof spaces above ceilings = R3.5 of habitable rooms
 - roof (under tiles) = sarking

Window Schedule					
ID	Height	Width	Frame Type	Glazing	Type
W01	2,100	1,210	aluminium	clear	sliding
W02	2,100	1,210	aluminium	clear	sliding
W03	2,100	1,210	aluminium	clear	sliding
W04	2,100	1,210	aluminium	clear	sliding
W05	2,100	2,100	aluminium	clear	sliding
W06	2,100	1,570	aluminium	clear	sliding
W07	2,100	1,570	aluminium	clear	sliding
W08	2,100	2,100	aluminium	clear	sliding
W09	1,800	1,810	aluminium	clear	sliding
W10	1,800	1,810	aluminium	clear	sliding
W11	1,200	1,210	aluminium	obscure	sliding
W12	1,200	610	aluminium	clear	sliding
W13	1,200	850	aluminium	obscure	sliding
W14	1,200	850	aluminium	obscure	sliding
W15	2,100	610	aluminium	obscure	sliding
W16	800	1,210	aluminium	obscure	sliding
W17	2,100	610	aluminium	obscure	sliding
W18	2,100	600	aluminium	clear	sliding
W19	2,100	2,000	aluminium	clear	fixed
W20	2,100	600	aluminium	clear	sliding
W21	1,200	1,810	aluminium	obscure	sliding
W22	1,200	610	aluminium	clear	sliding
W23	1,200	850	aluminium	clear	sliding
W24	2,100	1,810	aluminium	clear	sliding
W25	2,400	4,700	aluminium	clear	sliding door
W26	2,100	1,810	aluminium	clear	sliding
W27	2,100	1,810	aluminium	clear	sliding
W33	1,200	850	aluminium	obscure	sliding
W34	1,800	1,570	aluminium	clear	sliding
W35	1,800	1,570	aluminium	clear	sliding
W36	2,100	850	aluminium	clear	sliding
W37	2,100	850	aluminium	clear	sliding
W38	2,100	850	aluminium	clear	sliding
W39	600	5,100	aluminium	clear	fixed
W40	1,200	200	aluminium	clear	fixed
W41	1,200	200	aluminium	clear	fixed

Print Date: 25/09/2013

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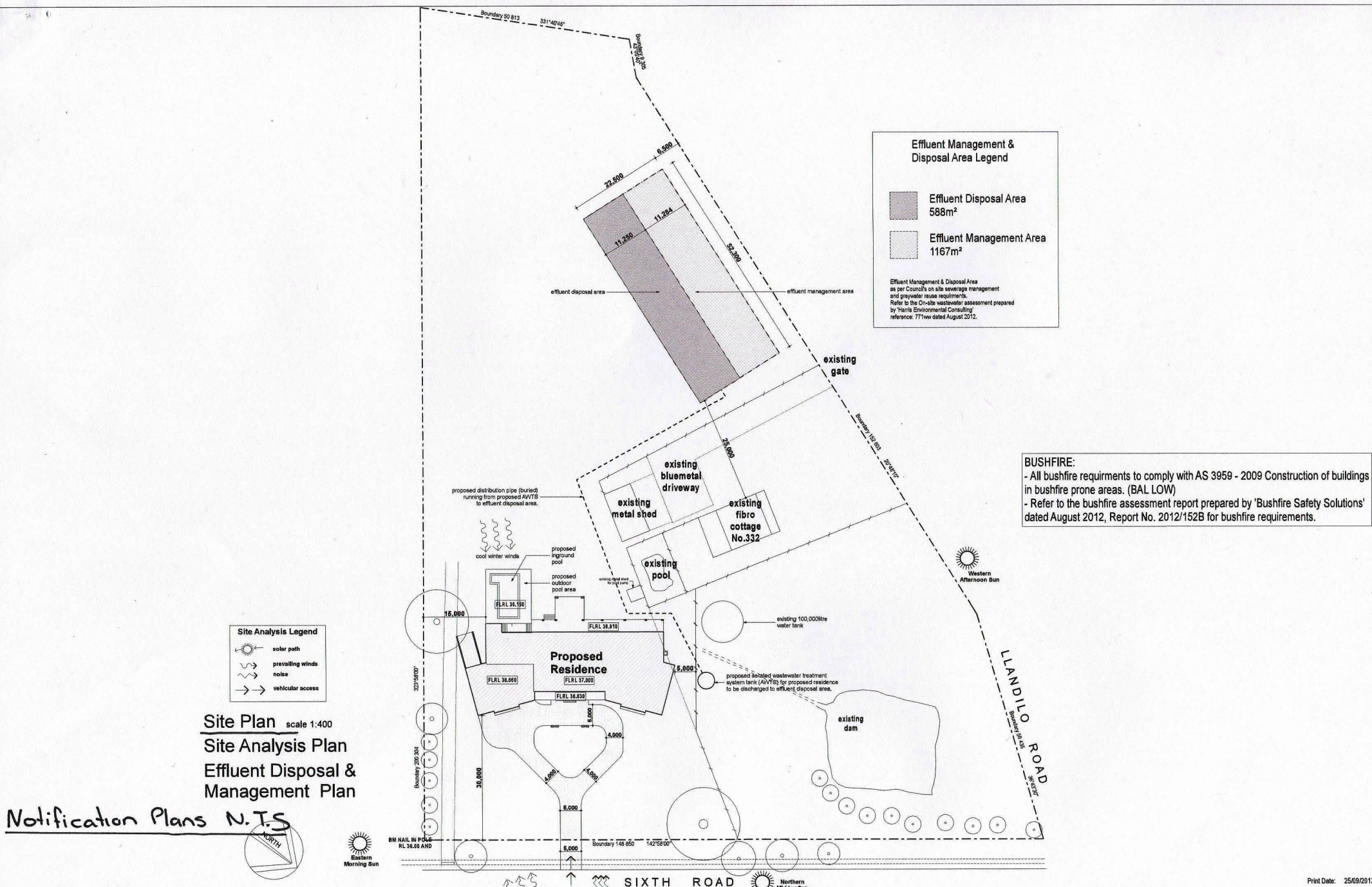
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PROJECT	Proposed single storey dwelling consisting of dual occupancy	FOR	Zammit Residence
AT	Lot 4 DP 510842 232-252 Llandilo Road BERKSHIRE PARK	TITLE	Sections A, B & C

DATE	DRAWN	SCALE
Jun 12	J V V	
JOB NO	SHEET	
012/2011	06	



Effluent Management & Disposal Area Legend

- Effluent Disposal Area 588m²
- Effluent Management Area 1167m²

Effluent Management & Disposal Area as per Council's on site sewerage management and greywater reuse requirements. Refer to the On-site wastewater assessment prepared by 'Harris Environmental Consulting' reference: 771/wv dated August 2012.

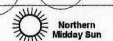
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 - All bushfire requirements to comply with AS 3959 - 2009 Construction of buildings in bushfire prone areas. (BAL LOW)
 - Refer to the bushfire assessment report prepared by 'Bushfire Safety Solutions' dated August 2012, Report No. 2012/152B for bushfire requirements.

Site Analysis Legend

- solar path
- prevailing winds
- noise
- vehicular access

Site Plan scale 1:400
Site Analysis Plan
Effluent Disposal & Management Plan

Notification Plans N.T.S



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 AT Lot 4 DP 510842
 232-252 Llandilo Road
 BERKSHIRE PARK

FOR Zammit Residence
 TITLE Site Plan

Print Date: 25/09/2013

DATE	DRAWN	SCALE
Jun 12	JVV	1:400
JOB NO	SHEET	
012/2011	01	



insulation notes
 As per BASIX requirements
 - suspended timber floor = R1.0
 - external brick veneer walls = R2.0
 - roof spaces above ceilings = R3.5 of habitable rooms
 - roof (under tiles) = sarking

LEGEND

100	interior plasterboard
101	interior plasterboard
102	interior plasterboard
103	interior plasterboard
104	interior plasterboard
105	interior plasterboard
106	interior plasterboard
107	interior plasterboard
108	interior plasterboard
109	interior plasterboard
110	interior plasterboard
111	interior plasterboard
112	interior plasterboard
113	interior plasterboard
114	interior plasterboard
115	interior plasterboard
116	interior plasterboard
117	interior plasterboard
118	interior plasterboard
119	interior plasterboard
120	interior plasterboard

Print Date: 25/09/2013

Notification Plans N.T.S

DATE	ISSUE	AMENDMENTS
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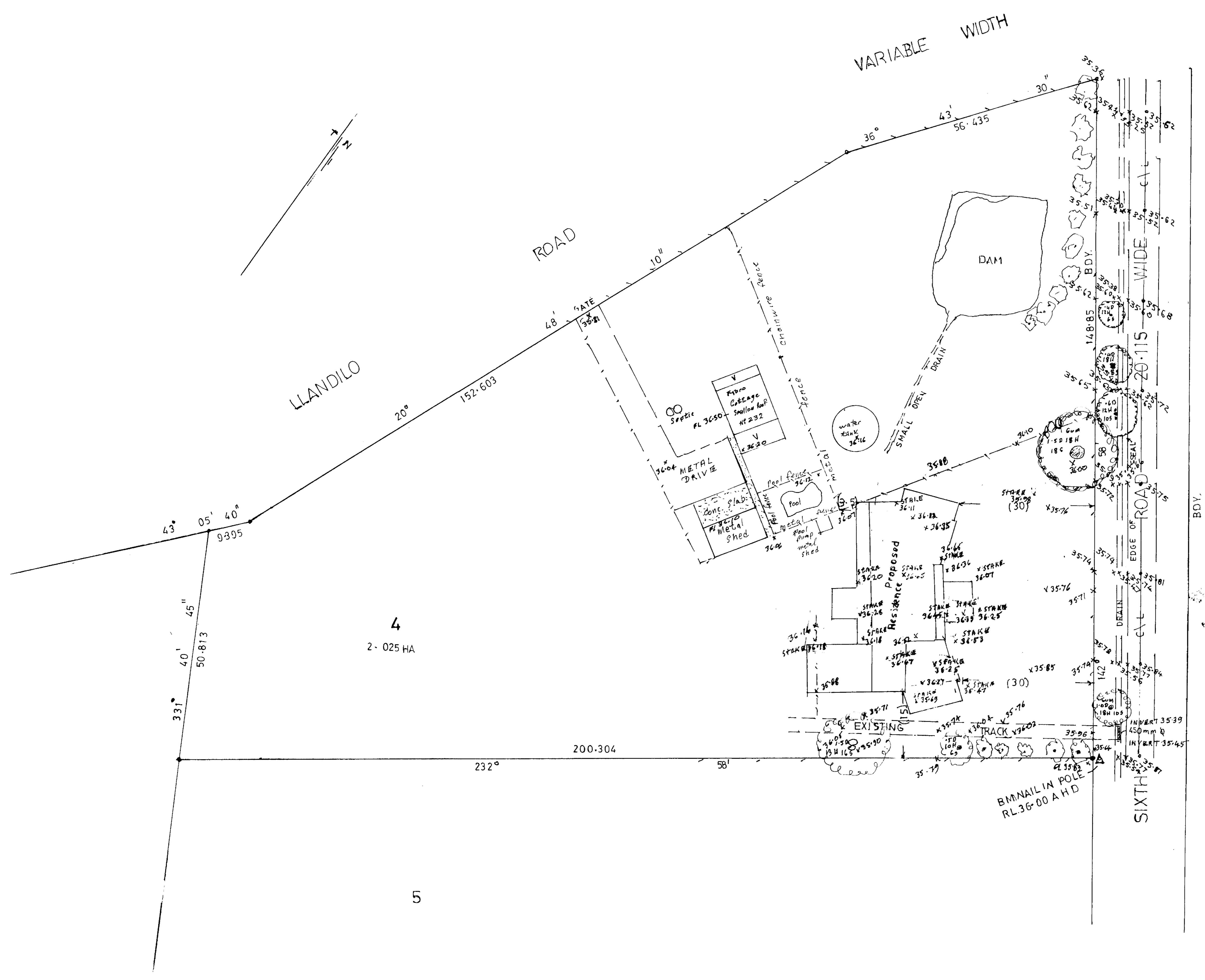
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PROJECT	Proposed single storey dwelling consisting of dual occupancy	FOR	Zammit Residence	DATE	DRAWN	SCALE
	AT		Lot 4 DP 510842 232-252 Llandilo Road BERKSHIRE PARK	TITLE	Elevations	012/2011
				JUN 12	J V V	1:100
				JOB NO	SHEET	
				012/2011	05	



VARIABLE WIDTH

LLANDILO

ROAD

DAM

4
2.025 HA

200.304

20.115

WIDE

ROAD

SIXTH

SCALE 1:400

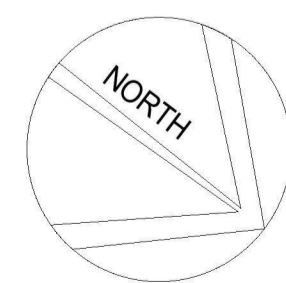
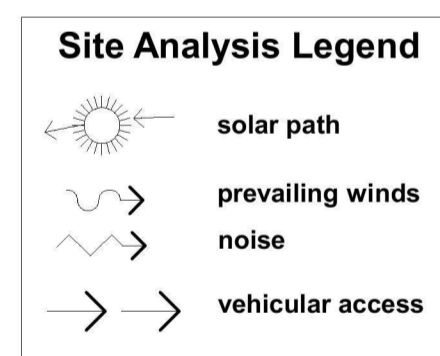
LEVELS ON AUSTRALIAN
HEIGHT DATUM.
SOURCE OF A.H.D. LEVEL
PM 67653 RL 35.55

L G A PBNRITH
DETAIL PLAN PART LOT 4 ON
DP 510842 LLANDILO ROAD,
LLANDILO FOR MR & MRS.
J. ZAMMIT

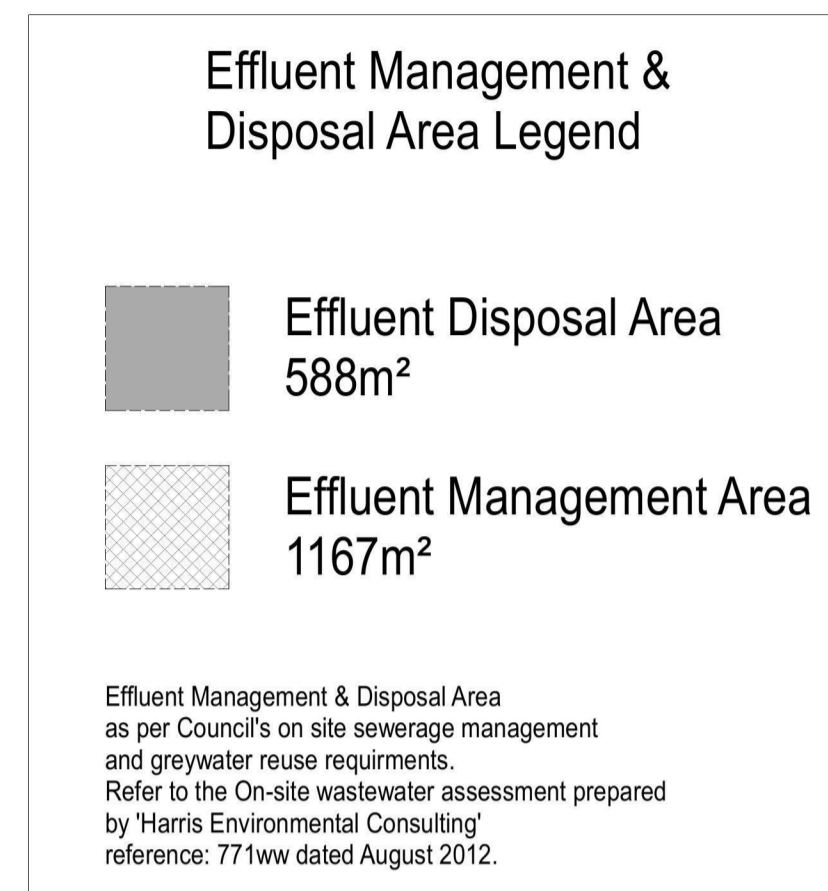
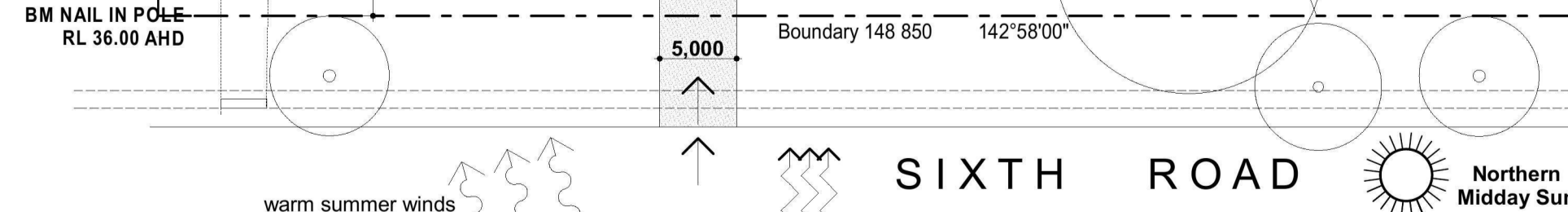
PLAN BY PETER Mc CARTNEY
Registered Surveyor
76 ANDREW THOMPSON DR,
McGRATHS HILL 2756
PH & FAX 4587 9700

REF L89 6.7.2012

Site Plan scale 1:400
 Site Analysis Plan
 Effluent Disposal &
 Management Plan



BM NAIL IN POLE
 RL 36.00 AHD



BUSHFIRE:
 - All bushfire requirements to comply with AS 3959 - 2009 Construction of buildings
 in bushfire prone areas. (BAL LOW)
 - Refer to the bushfire assessment report prepared by 'Bushfire Safety Solutions'
 dated August 2012, Report No. 2012/152B for bushfire requirements.

Print Date: 25/09/2013

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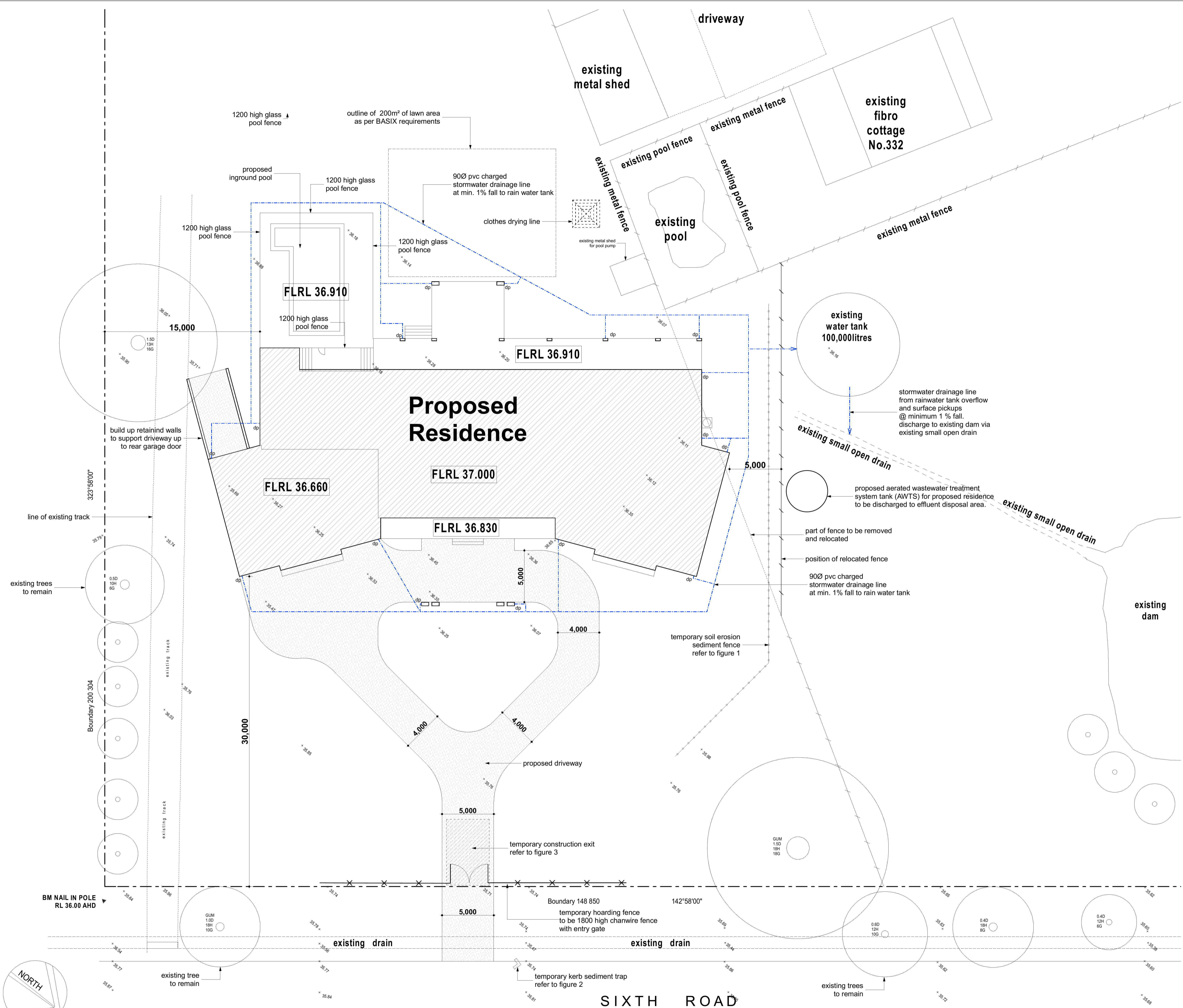
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PROJECT Proposed single storey dwelling consisting of dual occupancy
 AT Lot 4 DP 510842
 232-252 Llandilo Road
 BERKSHIRE PARK

FOR Zammit Residence
 TITLE Site Plan

DATE	DRAWN	SCALE
Jun 12	J V V	1:400
JOB NO	SHEET	
012/2011	01	



Building Envelope Plan scale 1:200
 Soil Sediment & Erosion Plan
 Stormwater Drainage Plan

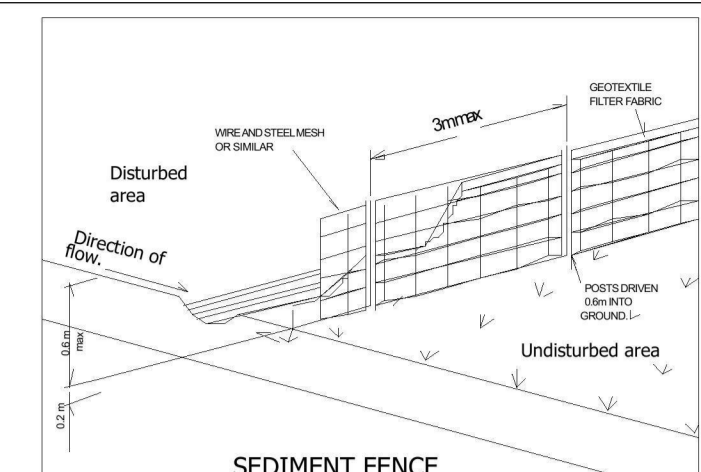


FIG 1

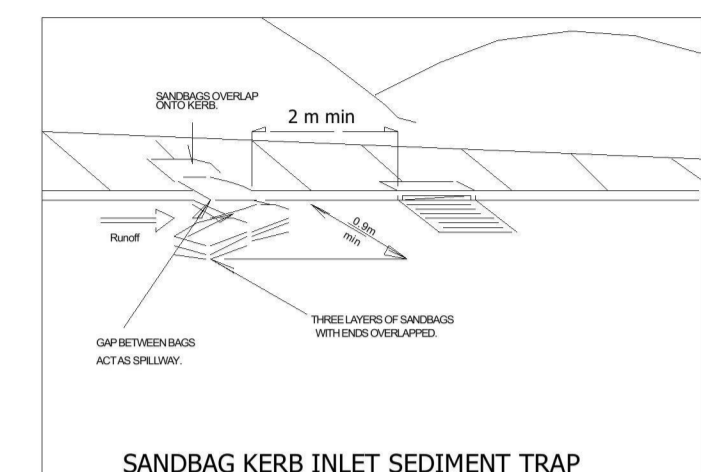


FIG 2

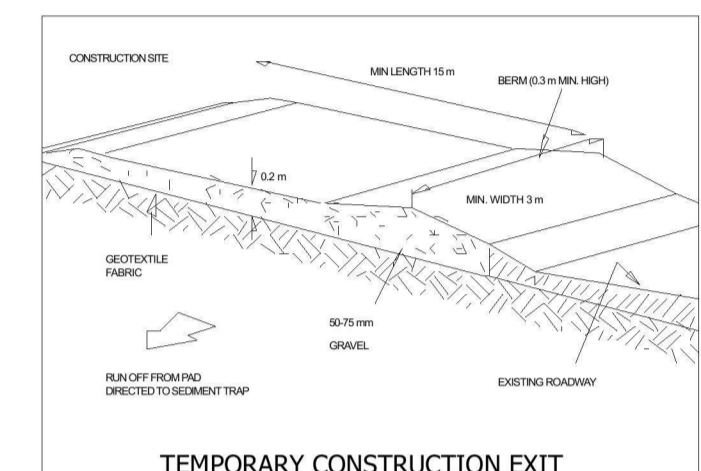


FIG 3

BUSHFIRE:
 - All bushfire requirements to comply with AS 3959 - 2009 Construction of buildings in bushfire prone areas. (BAL LOW)
 - Refer to the bushfire assessment report prepared by 'Bushfire Safety Solutions' dated August 2012, Report No. 2012/152B for bushfire requirements.

BASIX NOTES	DWELLING
PROJECT DETAILS	
SITE AREA:	20,250m ²
GROSS FLOOR AREA:	1,002.57m ²
ROOF AREA:	1,111.90m ²
No OF BEDROOMS:	4
LANDSCAPE	
AREA OF LANDSCAPE: Garden & Lawn	200m ²
STORMWATER	
ROOF AREA COLLECTED:	1,111.90m ²
RAINWATER USED FOR: GARDEN & TOILETS	
RAINWATER TANK SIZE:	1 x 100,000L rainwater tank
WATER	
TOILET RATING:	4 STAR
SHOWERHEAD RATING:	3 STAR
ALL TAP FITTING:	4 STAR
SWIMMING POOL VOLUME:	max. 68,000litres
SWIMMING POOL SHADED & INDOOR:	YES
GARDEN TAP:	1 GARDEN TAP CONNECT TO TANK
TOILETS & COLD WATER TAP TO CLOTHES WASHER :	ALL CONNECTED TO TANK WATER
THERMAL COMFORT	
"ABS" CERTIFICATE No:	NOT APPLICABLE
INSULATION	R 2.0 TO EXTERNAL WALLS
INSULATION	R 3.5 TO CEILINGS EXCL GARAGES
INSULATION	R 1.0 TO SUSPENDED TIMBER FLOOR
EAVES:	600MM EAVE INC FASCIA & GUTTER
EAVES:	NO MORE THAN 500MM OVER WINDOW OR DOOR HEAD
INSULATION	SARKING TO UNDERSIDE OF ROOF
ALL WINDOWS:	STANDARD ALUMINIUM, SINGLE CLEAR GLAZING OR U-value: 7.63, SHGC: 0.75 - AS PER BASIX
TILED ROOF	DARK (SOLAR ABSORPTION >0.70) WITH SARKING TO ROOF
ENERGY	
LIVING COOLING SYSTEM:	3 PHASE AIRCONDITIONING EER 3.0 - 3.5
BEDROOM COOLING SYSTEM:	3 PHASE AIRCONDITIONING EER 3.0 - 3.5
LIVING HEATING SYSTEM:	3 PHASE AIRCONDITIONING EER 3.0 - 3.5
BEDROOM HEATING SYSTEM:	3 PHASE AIRCONDITIONING EER 3.0 - 3.5
BATHROOM:	NATURAL VENTILATION
POWDER ROOM:	INDIVIDUAL FAN DUCTED TO FACADE OR ROOF
KITCHEN:	INDIVIDUAL FAN NOT DUCTED
LIGHTING	ENERGY LIGHTING THROUGHOUT WHOLE OF HOUSE
HOT WATER SYSTEM:	SOLAR / ELECTRIC BOOSTED 36-40 RECs
COOKING SYSTEM:	ELECTRIC COOKTOP/ ELECTRIC OVEN
POOL/SPA PUMP TIMER:	YES
POOL HEATING:	NO
POOL COVER:	NO
OUTDOOR CLOTHES LINE:	YES

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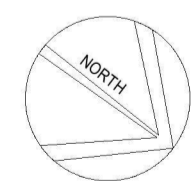
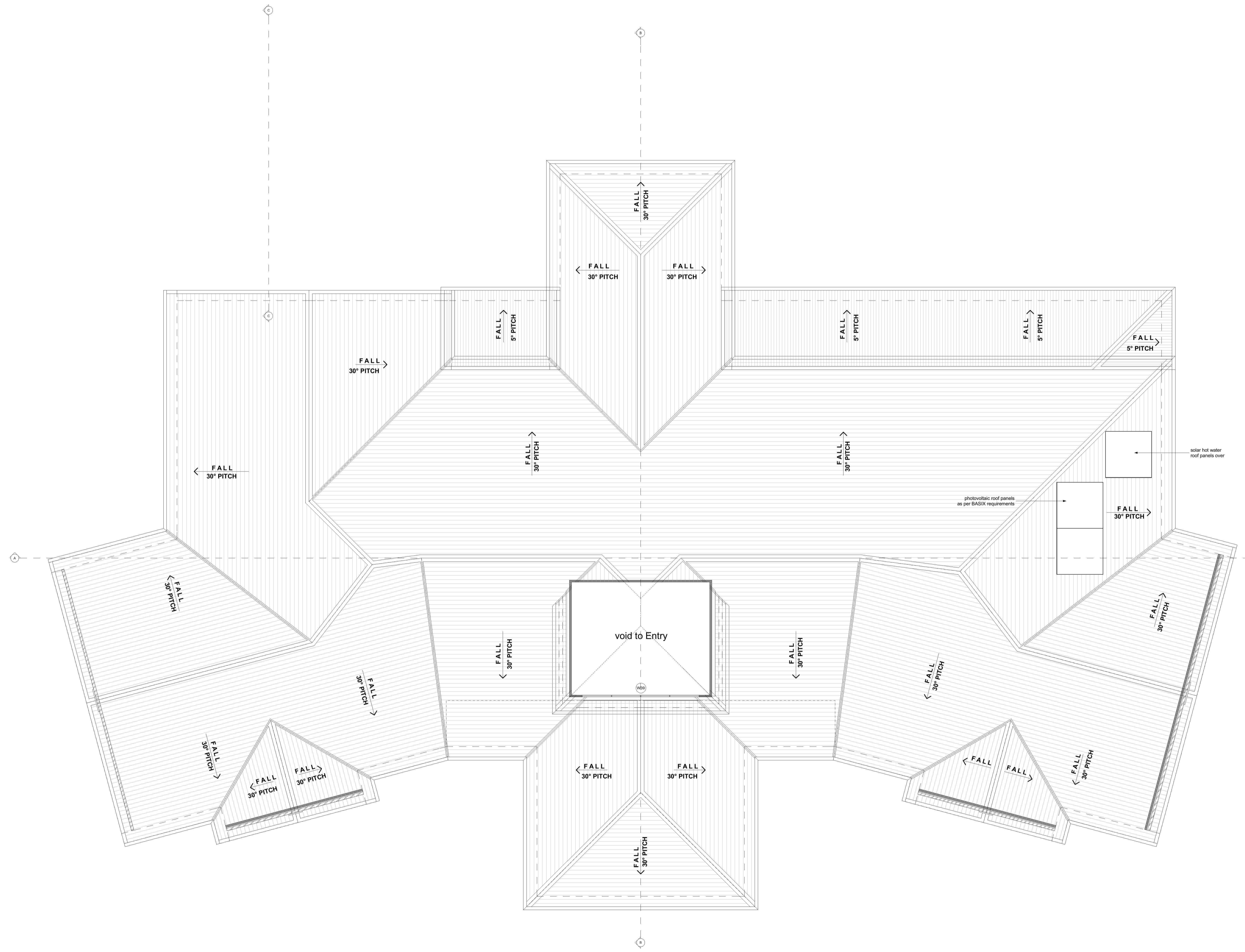
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PROJECT	FOR	DATE	DRAWN	SCALE
Proposed single storey dwelling consisting of dual occupancy	Zammit Residence	Jun 12	J V V	1:200
AT Lot 4 DP 510842 232-252 Llandilo Road BERKSHIRE PARK	TITLE Building Envelope Plan	JOB NO	SHEET	
		012/2011	02	



Roof Plan scale 1:100

Print Date: 25/09/2013

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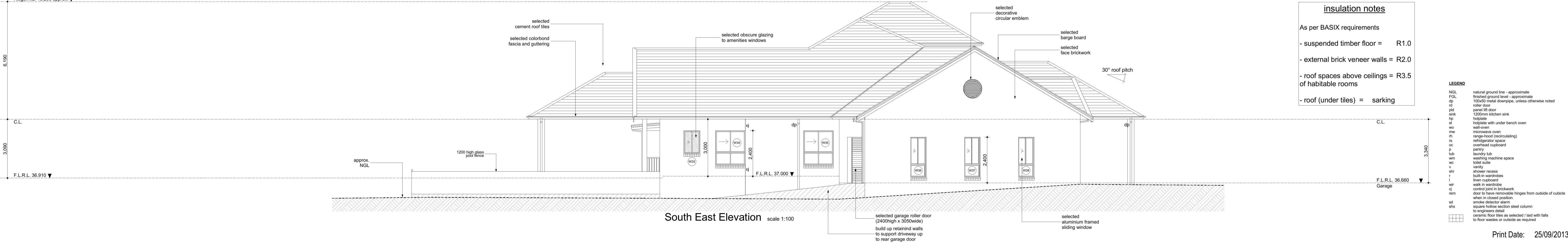
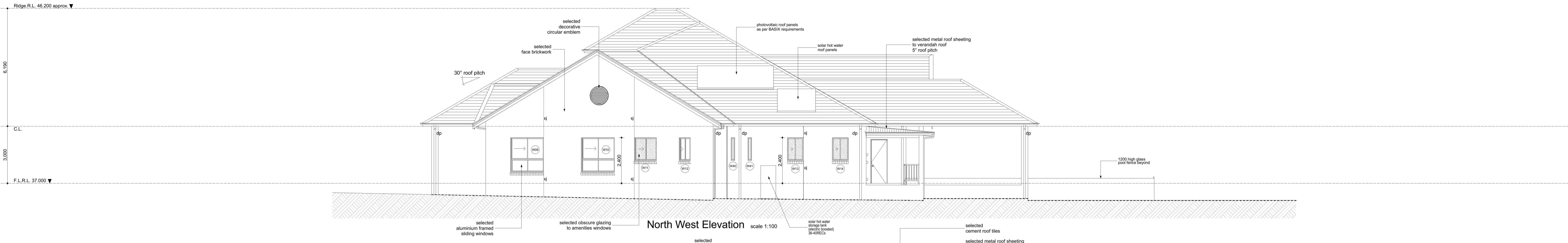
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PROJECT Proposed single storey dwelling consisting of dual occupancy
AT Lot 4 DP 510842
232-252 Llandilo Road
BERKSHIRE PARK

FOR Zammit Residence
TITLE Roof Plan

DATE	DRAWN	SCALE
Jun 12	J V V	1:100
JOB NO	SHEET	
012/2011	04	



insulation notes

As per BASIX requirements

- suspended timber floor = R1.0
- external brick veneer walls = R2.0
- roof spaces above ceilings = R3.5 of habitable rooms
- roof (under tiles) = sarking

LEGEND

NGL	natural ground line - approximate
FGL	finished ground level - approximate
dp	100x50 metal downpipe, unless otherwise noted
rd	roller door
pld	panel lift door
sk	1200mm kitchen sink
hp	hobplate
st	habitable with under bench oven
wp	wall-oven
mo	microwave oven
rh	range-hood (recirculating)
rs	refrigerator space
oc	overhead cupboard
p	pantry
fb	fairing lip
wm	washing machine space
ec	table case
v	vanity
sh	shower recess
f	built-in wardrobes
lc	linen cupboard
ur	walk in wardrobe
cg	control panel in brickwork
rd	door to have removable hinges from outside of cubicle when in closed position.
sd	smoke detector alarm
sd	squares hollow section steel column to engineers detail
stc	ceramic floor tiles as selected / laid with falls to floor wastes or outside as required

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