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**BAL 29 BUSHFIRE REQUIREMENTS**  
MCDONALD JONES HOMES USES MATERIALS THAT HAVE BEEN TESTED TO AS1530.8.1 IN ACCORDANCE WITH AS3959-2009 (CLAUSE 3.8)

- PROVIDE BAL 29 RATED ALUMINIUM WINDOWS AND EXTERNAL GLASS SLIDING/STACKER DOORS  
- BRADNAMS ALUMINIUM FRENCH DOORS HAVE BEEN TESTED TO AS1530.8.1 WITHOUT SCREENS  
- BRADNAMS ALUMINIUM WINDOWS HAVE BEEN TESTED TO AS1530.8.1 WITHOUT SCREENS TO FIXED PANELS  
- PROVIDE FLYSCREENS WITH CORROSION RESISTANT MESH TO ALL OPERABLE WINDOW SASHES (NO REQUIREMENT TO SCREEN SLIDING/STACKER DOORS)  
- PROVIDE MERBAU TIMBER EXTERNAL DOOR JAMBS  
- PROVIDE SEAL TO GARAGE DOOR  
- PROVIDE ADDITIONAL FRAMEWORK & SUPPORT BRACKETS AT 450mm CENTRES TO REINFORCE METAL FASCIA

SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS  
3 STAR TOILET SUITES  
3 STAR KITCHEN TAPS  
3 STAR BATHROOM TAPS

462.61 m² TOTAL ROOF AREA

10000 L WATER TANK(S) MINIMUM CAPACITY  
462.61 m² MINIMUM ROOF AREA TO TANK(S)

RAINWATER TANK(S) TO BE CONNECTED TO:  
- AT LEAST ONE OUTDOOR TAP  
- WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

500 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

**HOT WATER SYSTEM**  
- GAS CONTINUOUS FLOW - 5.5 STAR

**HEATING SYSTEM**  
- 3-PHASE REVERSE CYCLE AIR CONDITIONING  
EER 3.5 - 4.0

**COOLING SYSTEM**  
- 3-PHASE REVERSE CYCLE AIR CONDITIONING  
EER 3.0 - 3.5

**VENTILATION (EXHAUST FANS)**  
- NO MECHANICAL VENTILATION TO BATHROOMS  
- KITCHEN RANGEHOOD:  
INDIVIDUAL FAN - NOT DUCTED, MANUAL SWITCH ON/OFF  
- NO MECHANICAL VENTILATION TO LAUNDRY

**PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER**  
- 4 BEDROOMS/STUDY, NON DEDICATED  
- 2 LIVING/DINING AREAS, NON DEDICATED  
- LAUNDRY, NON DEDICATED

**NATURAL LIGHTING TO**  
- KITCHEN  
- 4 BATHROOM(S)/TOILET(S)

**ALTERNATIVE ENERGY**  
- N/A

**OTHER**  
- GAS COOKTOP, ELECTRIC OVEN  
- FIXED OUTDOOR CLOTHESLINE BY OWNER

BUILDING INFORMATION

GROUND FLOOR CEILING HEIGHT(S): 2700mm  
FRAMES AND TRUSSES: STEEL  
ROOF PITCH (U.N.O.): 26°  
ELECTRICITY SUPPLY: 3-PHASE  
GAS SUPPLY: RETICULATED NATURAL

ROOF MATERIAL: SHEET METAL  
ROOF COLOUR: DARK  
ROOF INSULATION: R3.0 BATTS  
50mm FOIL FACED BLANKET  
1

WHIRLYBIRDS:  
  
WALL MATERIAL: HEBEL  
WALL COLOUR: N/A  
WALL INSULATION: R2.0 BATTS

FLOOR INSULATION: N/A

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2005

DESIGN CRITERIA

WIND RATING: N2

SITE CLASSIFICATION

SITE CLASSIFICATION IS: H1

SLAB CLASSIFICATION

SLAB CLASSIFICATION IS: H1

BASIX AREAS

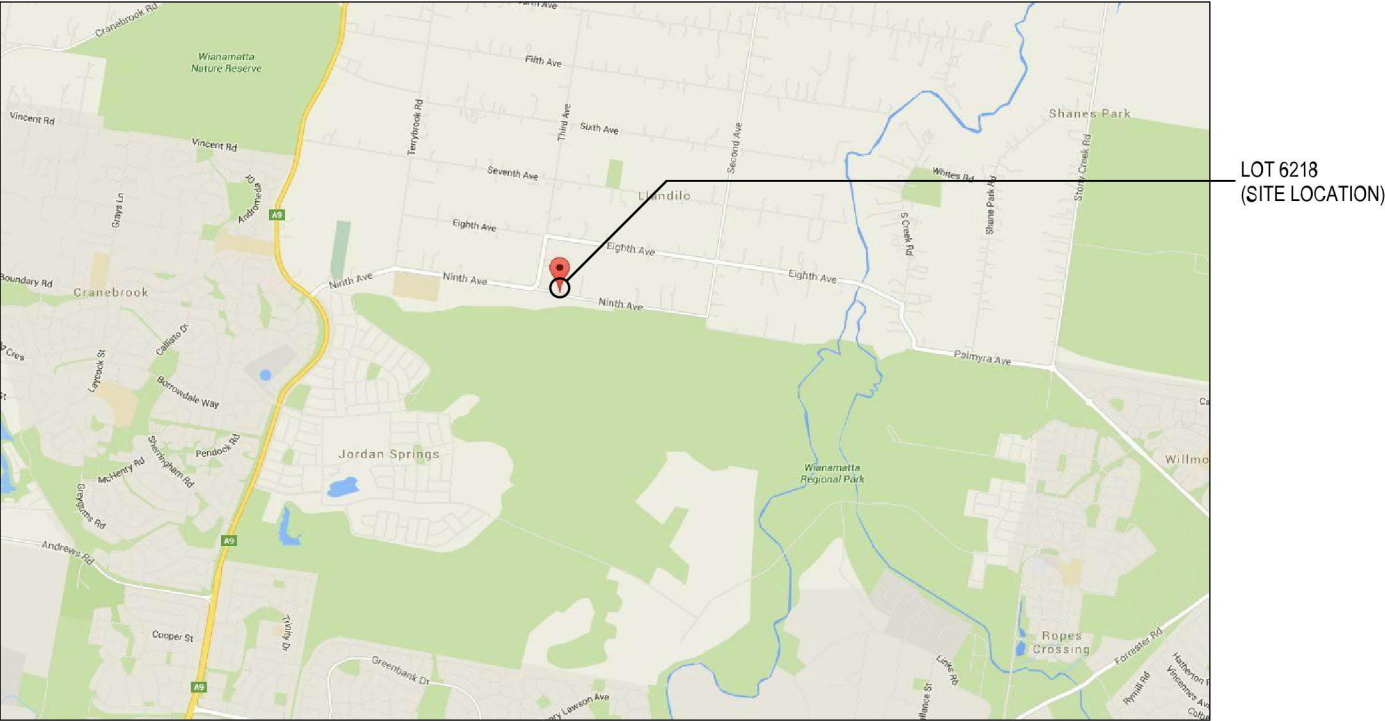
CONDITIONED 243.07  
UNCONDITIONED 20.73

TOTAL FLOOR AREAS

ALFRESCO 21.80  
GARAGE 55.79  
LIVING 292.46  
PATIO 40.83  
410.88 m²



LOCATION MAP



CONSTRUCTION PLANS

DATE:  
24/11/2016

DRAFTER: DBN ESTIMATOR: DRI

DRAFTING OFFICE:  
SYDNEY

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. McDONALD JONES HOMES PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	-

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.  
SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

**BAL 29 BUSHFIRE REQUIREMENTS**  
SEE SHEET 1 (COVER SHEET) FOR DETAILS

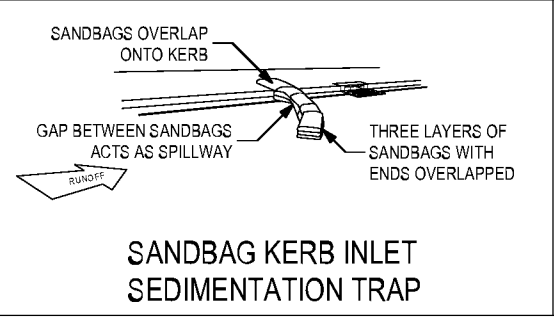
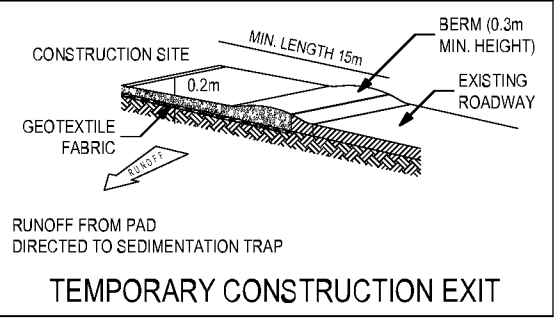
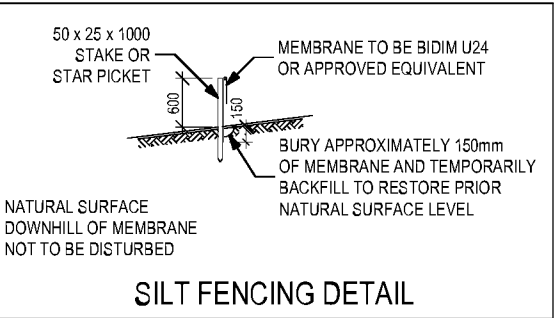
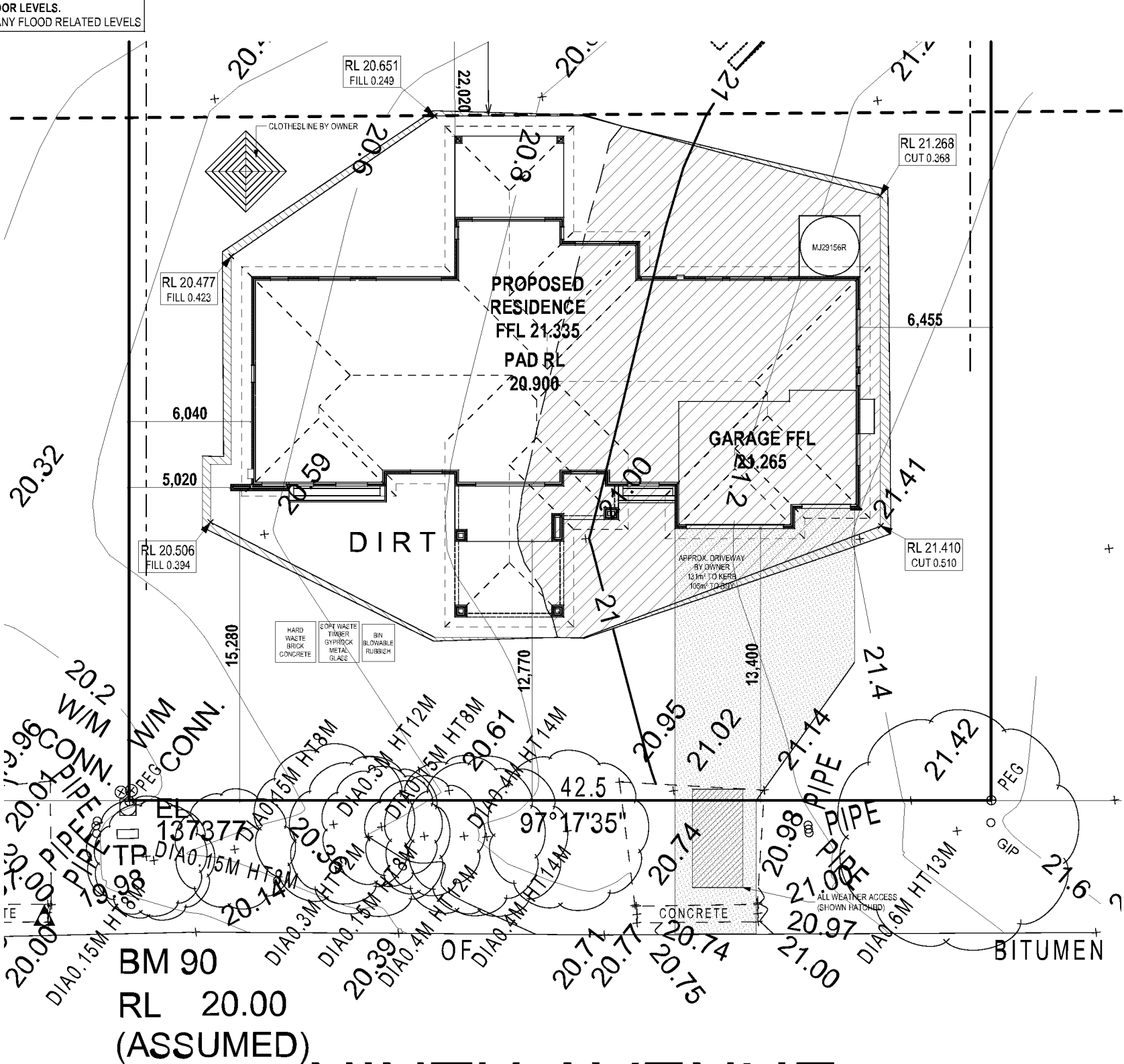
**AGGRESSIVE SOIL REQUIREMENTS**

PROVIDE ADDITIONAL STRUCTURAL REQUIREMENTS, DUE TO BUILDING IN AN 'AGGRESSIVE SOIL ENVIRONMENT'. THIS SHALL INCLUDE THE FOLLOWING:-

- PROVIDE 25MPa CONCRETE TO THE PIERS AND FLOOR SLABS IN LIEU OF STANDARD.
- PROVIDE HIGH IMPACT MEMBRANE BELOW THE FLOOR SLAB.
- PROVIDE A MIN. 50mm BLINDING LAYER OF SAND UNDERNEATH THE FLOOR STRUCTURE.
- PROVIDE POLYETHYLENE DAMP PROOF COURSE TO THE EXTERNAL WALLS IN LIEU OF STANDARD.
- USE EXPOSURE GRADE MORTAR BELOW DAMP PROOF COURSE IN LIEU OF STANDARD.
- USE EXPOSURE GRADE BRICKWORK FROM OUR STANDARD RANGE BELOW THE DAMP PROOF COURSE.

LANDSCAPING AND DESIGN TO COMPLY WITH DEVELOPER'S REQUIREMENTS BY OWNER.

CLIENT TO REMOVE TREES, STUMPS, ROOTS AND SLASH/SCRAPE LONG GRASS AND UNDERGROWTH FROM BUILDING AREA. WHERE STUMPS HAVE BEEN REMOVED THE GROUND IS TO BE FILLED AND COMPACTED.



**CONSTRUCTION PLANS**

DATE:

24/11/2016

DRAFTER:

DBN

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4	BASIX CERTIFICATE	PVA 2016.07.29
5	AMENDED AS PER PCV011	VP 2016.11.08
6	CONSTRUCTION PLANS	DBN 2016.11.24
7	PLANTER BOX DETAIL	JAO 2017.02.17
8	AMENDED AS PER PCV022	VP 2017.07.20

CLIENT: Mr. JAMES AGIUS & Mrs. TENILLE AGIUS			LOT No: 6218	
ADDRESS: NINTH AVENUE			DP No: 1211124	
SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH	SECTION No: -	

HOUSE DESIGN: BRONTE EXCEUTIVE LODGE		HOUSE CODE: H-BROCLAS13400	
FACADE DESIGN: PAVILLION		FACADE CODE: F-BROPV0101	
SHEET TITLE: SITE PLAN		SCALES: 1:250	SHEET No: 2 / 13

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WINDOW SCHEDULE

IDENTIFICATION		SIZE						REVEAL & REVEAL COVERPLATE (CPL)				ADDITIONAL INFORMATION <sup>3</sup>
ID	CODE <sup>o</sup>	HEIGHT	WIDTH	AREA (m²)	FRAME	SILL TYPE	GLAZING	HEAD	SILL	LEFT¹	RIGHT²	
W01	FF430x1210	430	1,210	0.52	ALUMINIUM	SNAP HEADER	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	MP 605
W02	FF/WW1800x1210	1,800	1,210	2.18	ALUMINIUM	ANGLED	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	BP 1370, MP 605/605
W03	FF/WW1800x1570	1,800	1,570	2.83	ALUMINIUM	ANGLED	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	BP 1370, MP 785/785
W04	FF/WW1800x1570	1,800	1,570	2.83	ALUMINIUM	ANGLED	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	BP 1370, MP 785/785
W05	FF/WW1800x1570	1,800	1,570	2.83	ALUMINIUM	ANGLED	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	BP 1370, MP 785/785
W06	XO0616	600	1,570	0.94	ALUMINIUM	ANGLED	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	
W07	XO1006	1,030	610	0.63	ALUMINIUM	ANGLED	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	
W08	W/F2080x850	2,080	850	1.77	ALUMINIUM	SNAP HEADER	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
W09	F400x1810	400	1,810	0.72	ALUMINIUM	ANGLED	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	
W10	W/F2080x850	2,080	850	1.77	ALUMINIUM	SNAP HEADER	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
W11	W/F2080x850	2,080	850	1.77	ALUMINIUM	SNAP HEADER	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
W12	W/F2080x610	2,080	610	1.27	ALUMINIUM	SNAP HEADER	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
W14	W/F2080x610	2,080	610	1.27	ALUMINIUM	SNAP HEADER	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
W15	W/F2080x610	2,080	610	1.27	ALUMINIUM	SNAP HEADER	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	BP 600
W16	XO1516	1,460	1,570	2.29	ALUMINIUM	ANGLED	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	
W17	XO/O2080x850	2,080	850	1.77	ALUMINIUM	SNAP HEADER	CLEAR	SINGLE	SINGLE	SINGLE	SINGLE	BP 600

<sup>0,3</sup> ASSUME LOOKING FROM OUTSIDE<sup>1,2</sup> ASSUME LOOKING FROM INSIDE

EXTERIOR DOOR SCHEDULE

ID	CODE <sup>o</sup>	HEIGHT	WIDTH	AREA (m²)	FRAME	SILL TYPE	GLAZING	ADDITIONAL INFORMATION¹
D01	1200	2,340	1,267	2.96	TIMBER	SNAP HEADER	DOOR(S): CLEAR - SIDE LIGHT(S): N/A	
D02	2 x 2100x820	2,100	1,704	3.58	ALUMINIUM	SNAP HEADER	CLEAR	
D03	FSS2136	2,100	3,588	7.53	ALUMINIUM	SNAP HEADER	CLEAR	
D04	FSS2132	2,100	3,228	6.78	ALUMINIUM	SNAP HEADER	CLEAR	
D05	820	2,106	867	1.83	TIMBER	SNAP HEADER	DOOR(S): CLEAR - SIDE LIGHT(S): N/A	
D06	2 x 2100x820	2,100	3,404	7.15	ALUMINIUM	SNAP HEADER	CLEAR	2 x FIXED SIDE LIGHTS
W13	SSF1460x2170	1,460	2,170	3.17	ALUMINIUM	SNAP HEADER	CLEAR	

<sup>0,1</sup> ASSUME LOOKING FROM OUTSIDE

INTERIOR DOOR SCHEDULE

TYPE	CODE	QTY	HEIGHT	WIDTH	ADDITIONAL INFORMATION
CAVITY SLIDING	2 x 820 CSD	1	2,340	1,640	SELECT
SQUARE SET OPENING	1030 SS	1	2,445	1,030	
SQUARE SET OPENING	1200 SS	1	2,455	1,200	
SQUARE SET OPENING	1230 SS	1	2,545	1,230	
SQUARE SET OPENING	1370 SS	1	2,455	1,370	
SQUARE SET OPENING	2000 SS	1	2,455	2,000	
SQUARE SET OPENING	850 SS	2	2,455	850	
SWINGING	2 x 720	3	2,340	1,440	
SWINGING	2 x 820	1	2,340	1,640	
SWINGING	770	3	2,340	770	
SWINGING	820	5	2,340	820	
SWINGING	820	2	2,340	820	LIFT-OFF HINGES

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- SITE CLASSIFICATION  
- GENERAL HOUSE SPECIFICATIONS

CONSTRUCTION PLANS

DATE:  
24/11/2016

DRAFTER: ESTIMATOR:  
DBN DRI

DRAFTING OFFICE:  
SYDNEY

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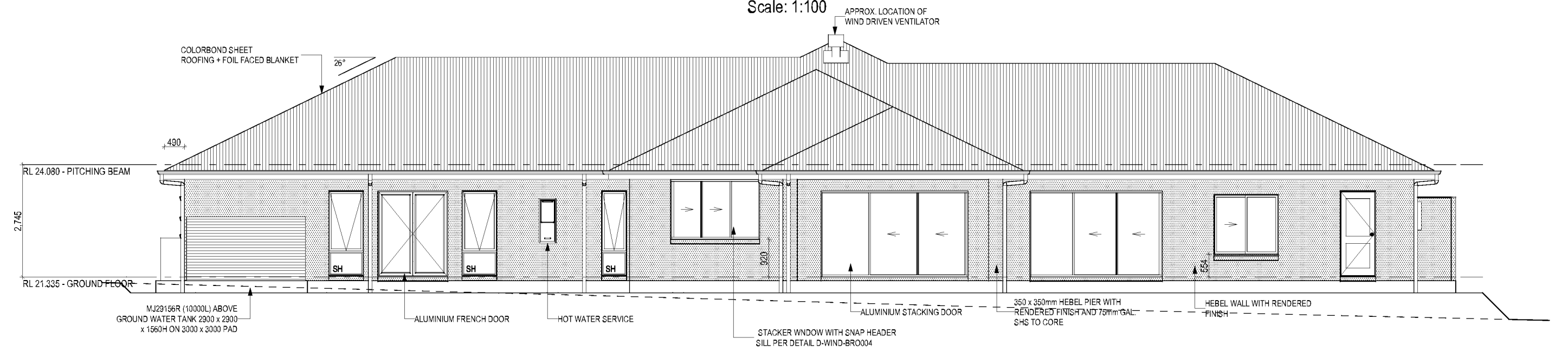
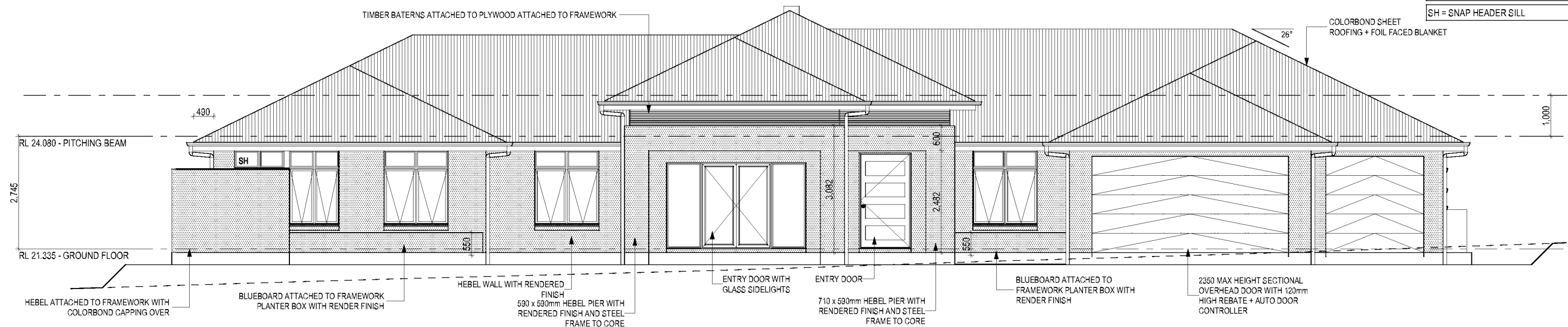
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SH = SNAP HEADER SILL



**WINDOW TYPE LEGEND**

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

**GLASS TYPE LEGEND**

CLEAR	OBSCURE	ACOUSTIC	LOW-E	TONED

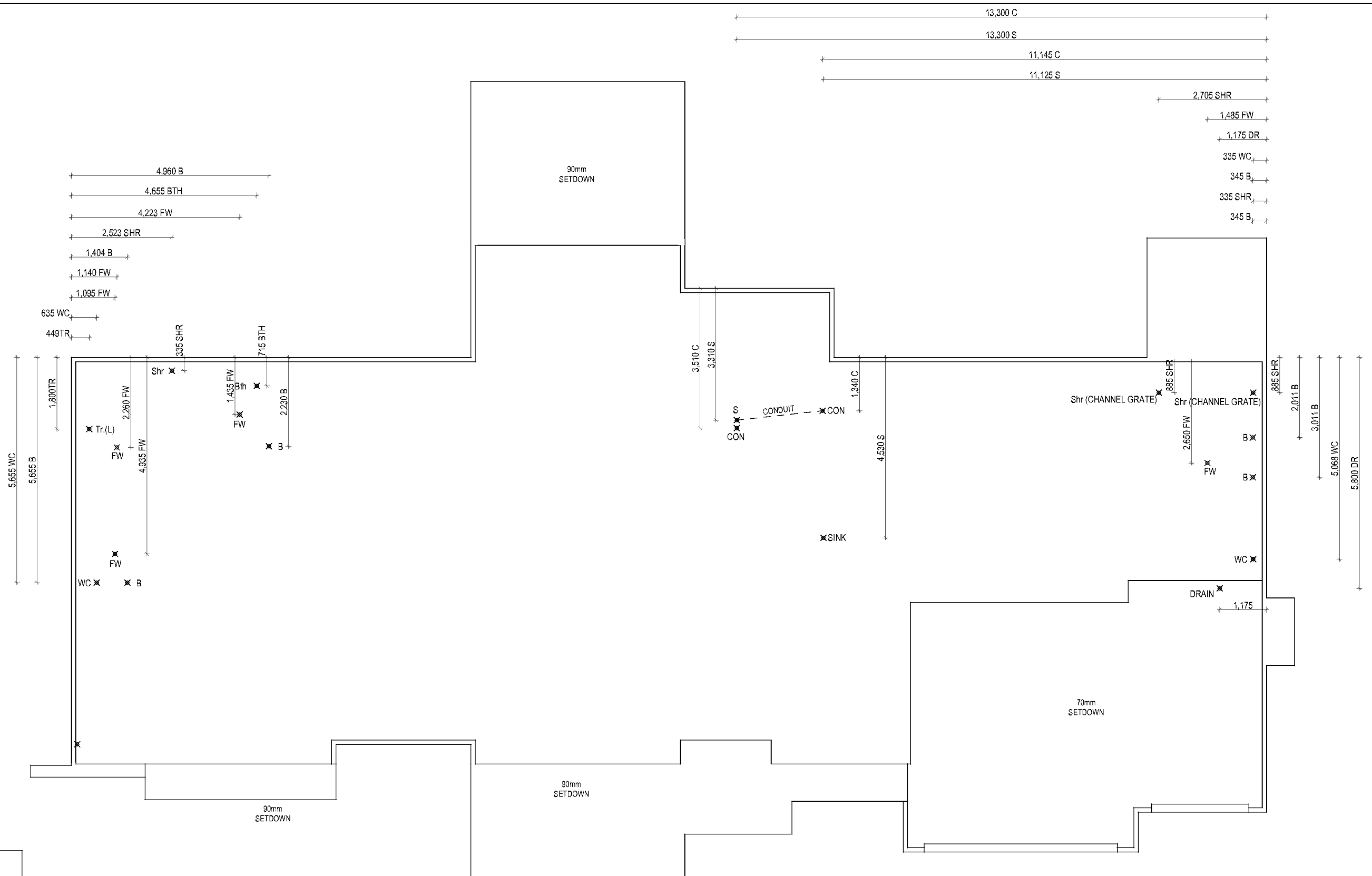
**CONSTRUCTION PLANS**

DATE: 24/11/2016

DRAFTER: DBN ESTIMATOR: DRI

DRAFTING OFFICE: SYDNEY

**BAL 29 BUSHFIRE REQUIREMENTS**  
SEE SHEET 1 (COVER SHEET) FOR DETAILS



## LEGEND

B	BASIN
Bth	BATH WASTE
FW	FLOOR WASTE GULLY
Shr	SHOWER
S	SINK (KITCHEN)
Tr.(L)	TROUGH (LAUNDRY)
WC	WATER CLOSET



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JORDAN SPRINGS

LOT No:	6218
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DP No:	1211124
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SECTION No:  
-

HOUSE DESIGN:  
**BRONTE EXECUTIVE LODGE**

FACADE DESIGN:  
PAVILLION

SHEET TITLE:  
**DRAINAGE PLAN**

HOUSE CODE:  
H-BROCLAS13400

FACADE CODE:  
**F-BROPAVI01**

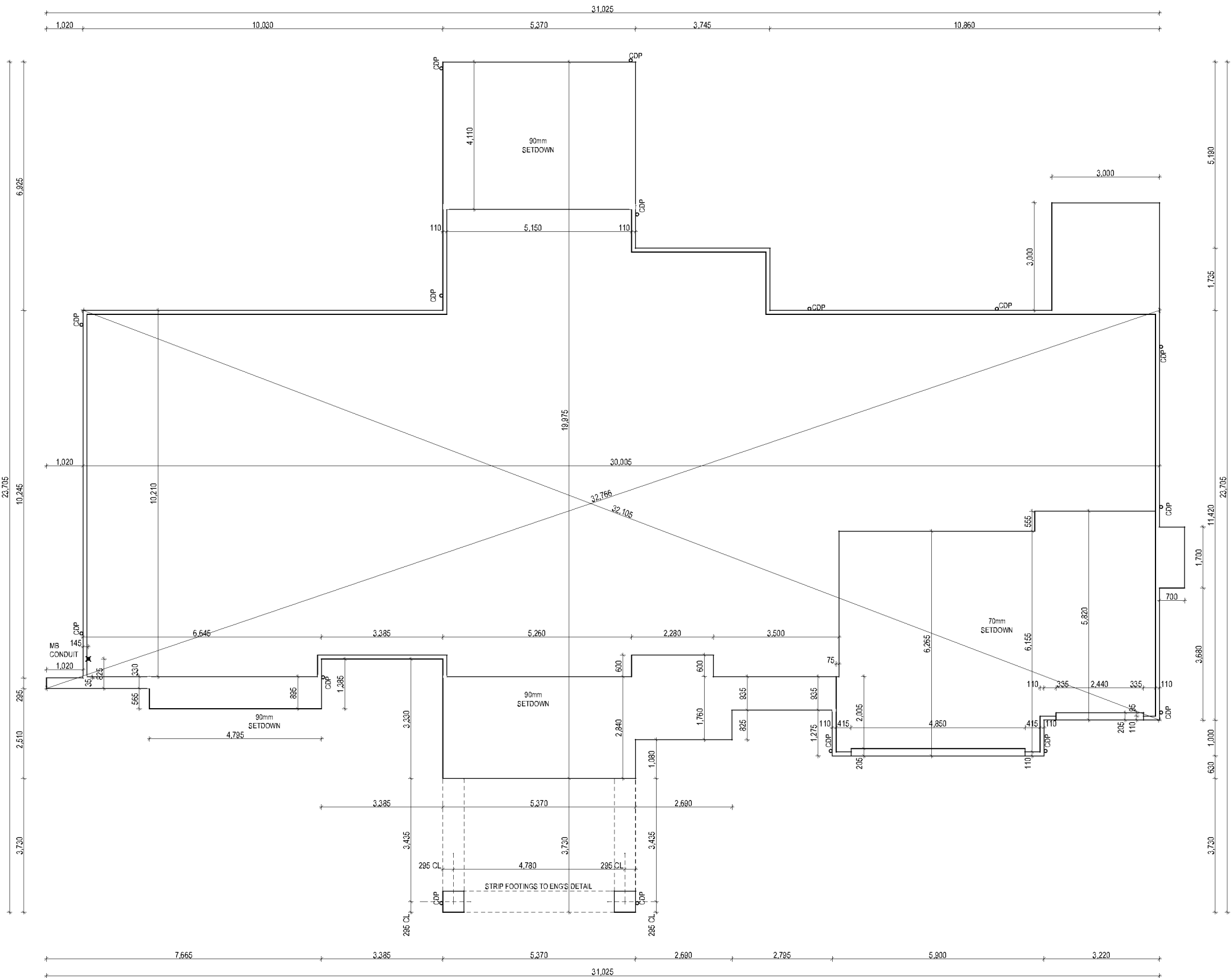
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HOUSE DESIGN:

BRONTE EXCEUTIVE LODGE

FACADE DESIGN:

PAVILLION

SHEET TITLE:

SLAB PLAN

HOUSE CODE:

H-BROCLAS13400

FACADE CODE:

F-BROPAVIO1

SCALES:

1:125

SHEET No:

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