

SHEET INDEX

No. NAME

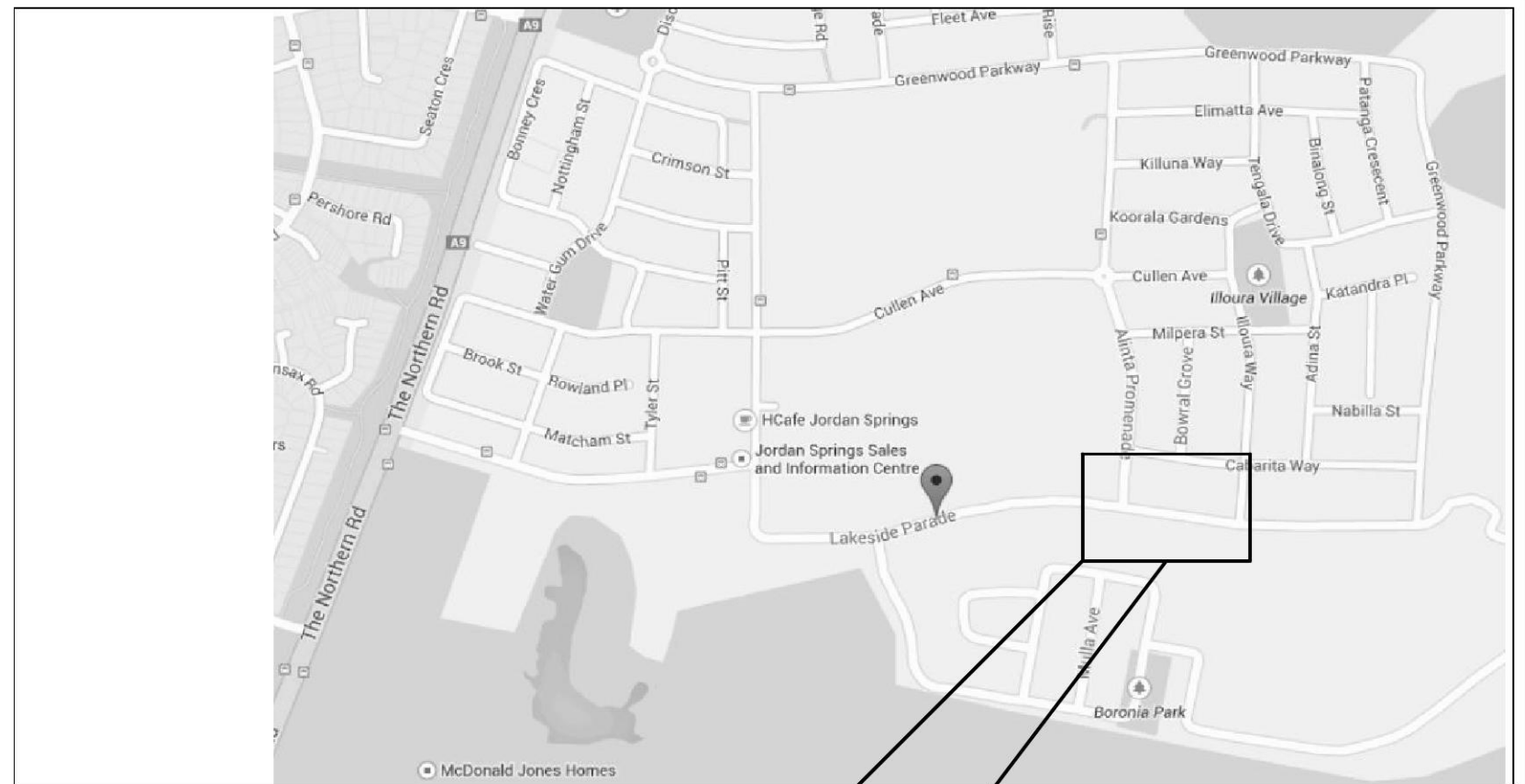
- 01 COVER SHEET
- 02 DATA PAGE
- 03 SITE PLAN
- 04 GROUND FLOOR PLAN
- 05 ELEVATIONS / SECTION
- 06 ELEVATIONS
- 07 KITCHEN DETAILS
- 08 BATHROOM DETAILS
- 09 ENSUITE DETAILS
- 10 WC DETAILS
- 11 RECYCLED WATER / FLOOR COVERINGS
- 12 SLAB PLAN
- 13 DRAINAGE PLAN



REFER TO SHEET 2 (DATA PAGE) FOR ALL BUILDING INFORMATION REGARDING:

- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

BAL LOW BUSHFIRE REQUIREMENTS



LOCATION MAP

APPROX. LOCATION OF SUBJECT PROPERTY

SKIRTING BOARD POLICY FOR FLOATING DECORATIVE FLOORS (MAXIMUM 16mm THICKNESS)

THE FOLLOWING WILL BE DONE BY McDONALD JONES HOMES FOR NO ADDITIONAL CHARGE:

- STANDARD 67mm HALF SPLAYED SKIRTING IS INSTALLED IN ALL ROOMS EXCLUDING THE ROOMS NOMINATED FOR FUTURE TIMBER FLOORING.
- THE SKIRTING FOR THESE AREAS WILL BE LEFT ON SITE UNCUT AND UNPAINTED.
- THE CLIENTS SHALL ARRANGE FOR THE INSTALLATION OF THE TIMBER FLOOR AND SKIRTING BOARDS AFTER HANDOVER AND FINAL PAYMENT.
- THE OWNERS SHALL PAINT THE SKIRTING ON COMPLETION.
- McDONALD JONES HOMES DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE THEFT AND/OR DAMAGE OF THE SKIRTING MATERIAL LEFT ON SITE.
- THE OWNER ACKNOWLEDGES THAT COUNCIL MAY NOT ISSUE A FINAL INSPECTION CERTIFICATE WITHOUT THE SKIRTING INSTALLED. THE OWNER ACKNOWLEDGES THE HOME WILL REACH PRACTICAL COMPLETION IN ACCORDANCE WITH THE CONTRACT WITHOUT THE INSTALLATION OF THE SKIRTING AND SHALL ARRANGE FOR THE PAYMENT OF THE FINAL ACCOUNT. THE OWNER AGREES THAT IF FUNDS ARE NOT RELEASED FROM A LENDER THAT THE OWNER SHALL MAKE ARRANGEMENTS FOR PAYMENT OF THE ACCOUNT OR SHALL BE CHARGED OVERDUE INTEREST IN ACCORDANCE WITH THE CONTRACT. THE KEYS AND POSSESSION OF THE SITE WILL NOT PASS TO THE OWNER UNTIL AFTER PAYMENT OF THE ACCOUNT.
- THE OWNER SHOULD MAKE THEIR OWN ENQUIRIES OF THE LENDER TO ENSURE FUNDS WILL BE RELEASED UPON PRACTICAL COMPLETION.
- THE FINISHED FLOOR TO CEILING HEIGHT WILL BE AFFECTED BY THE INSTALLATION OF TIMBER FLOORING. THE OWNER SHALL ENSURE THAT THE MINIMUM FLOOR TO CEILING HEIGHT OF 2400mm AS PER NCC REQUIREMENTS IS MAINTAINED.
- THE OWNER ACKNOWLEDGES THAT THE BUILDER HAS ADVISED THEM THAT THE CONCRETE SLAB WILL REQUIRE TREATMENT PRIOR TO THE INSTALLATION OF TIMBER FLOORING WITH AN ADHESIVE TO THE CONCRETE SLAB. THIS IS IN ACCORDANCE WITH NOTIFICATION RECEIVED FROM MASTER BUILDERS ASSOCIATION DATED 6TH MARCH 2008.

THIS PLAN ACCEPTED BY:

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SIGNATURE:

DATE:



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SPECIFICATION:



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| DRAWING | DRAWN |
|-----------------------------|----------------|
| 1 PRELIMINARY PLANS | MFO 2014.04.10 |
| 2 CONTRACT PLANS | VP 2014.04.30 |
| 3 AMENDED AS PER DEV LETTER | VP 2014.06.30 |

CLIENT: Mr B. BUTCHER & Mrs R. BUTCHER
ADDRESS: LAKESIDE PARADE
SUBURB: JORDAN SPRINGS POSTCODE: 2747 COUNCIL: PENRITH

LOT No: 2109
DP No: 1168991
SECTION No: -

HOUSE DESIGN: HAVANA RENWICK
FACADE DESIGN: CLASSIC
SHEET TITLE: COVER SHEET

HOUSE CODE: H-HAVCLAS10410
FACADE CODE: F-HAVCLAS01
SCALES: 1:1, 1:100
SHEET No: 1 / 13

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601643

SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS
 3 STAR TOILET SUITES
 3 STAR KITCHEN TAPS
 3 STAR BATHROOM TAPS

280.68 m² TOTAL ROOF AREA

3000 L WATER TANK(S) MINIMUM CAPACITY
 280.65 m² MINIMUM ROOF AREA TO TANK(S)

RAINWATER TANK(S) TO BE CONNECTED TO:
 - AT LEAST ONE OUTDOOR TAP
 - ALL TOILETS
 - WASHING MACHINE

NO RETICULATED WATER SUPPLY

240 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 5 STAR

HEATING SYSTEM

- 3-PHASE REVERSE CYCLE AIR CONDITIONING
 EER 2.5 - 3.0

COOLING SYSTEM

- 3-PHASE REVERSE CYCLE AIR CONDITIONING
 EER 2.5 - 3.0

VENTILATION (EXHAUST FANS)

- AT LEAST ONE BATHROOM:
 INDIVIDUAL FAN - NOT DUCTED, MANUAL SWITCH ON/OFF
 - KITCHEN RANGEHOOD:
 INDIVIDUAL FAN - NOT DUCTED, MANUAL SWITCH ON/OFF
 - NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER

- 4 BEDROOMS/STUDY, NON DEDICATED
 - 4 LIVING/DINING AREAS, NON DEDICATED
 - KITCHEN, NON DEDICATED
 - ALL BATHROOMS/TOILETS, NON DEDICATED

NATURAL LIGHTING TO

- KITCHEN
 - 2 BATHROOM(S)/TOILET(S)

ALTERNATIVE ENERGY

- N/A

OTHER

- GAS COOKTOP, ELECTRIC OVEN
 - FIXED OUTDOOR CLOTHESLINE BY OWNER

BUILDING INFORMATION

GROUND FLOOR CEILING HEIGHT(S): 2700mm
 FRAMES AND TRUSSES: STEEL
 ROOF PITCH (U.N.O.): 26°
 ELECTRICITY SUPPLY: 3-PHASE
 GAS SUPPLY: RETICULATED NATURAL

ROOF MATERIAL: SHEET METAL
 ROOF COLOUR: DARK
 ROOF INSULATION: R3.0 BATTS
 50mm FOIL FACED BLANKET
 1
 WHIRLYBIRDS: 1

WALL MATERIAL: BRICK VENEER
 WALL COLOUR: MEDIUM
 WALL INSULATION: R1.5 BATTS

FLOOR INSULATION: N/A

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) REINFORCED WITH SL72 MESH(T) (U.N.O.)
 OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING
 COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2005

DESIGN CRITERIA

WIND RATING: N2

SITE CLASSIFICATION

SITE CLASSIFICATION IS: M

SLAB CLASSIFICATION

SLAB CLASSIFICATION IS: M

TOTAL FLOOR AREAS

ALFRESCO 24.02
 GARAGE 33.50
 LIVING 187.44
 PATIO 4.81
249.77 m²

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CLIENT:
Mr B. BUTCHER & Mrs R. BUTCHER

ADDRESS:
LAKESIDE PARADE

SUBURB:
JORDAN SPRINGS

POSTCODE:
2747

COUNCIL:
PENRITH

LOT No:
2109

DP No:
1168991

SECTION No:
-

HOUSE DESIGN:
HAVANA RENWICK

FAÇADE DESIGN:
CLASSIC

SHEET TITLE:
DATA PAGE

HOUSE CODE:
H-HAVCLAS10410

FAÇADE CODE:
F-HAVCLAS01

SCALES:
1:100, 1:1

SHEET No:
2 / 13

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REFER TO SHEET 2 (DATA PAGE) FOR ALL BUILDING INFORMATION REGARDING:
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±100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.
 SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

CLIENT TO SLASH/SCRAPE LONG GRASS AND UNDERGROWTH FROM BUILDING AREA.

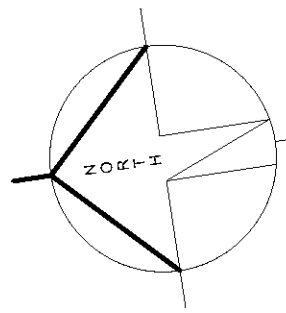
BAL LOW BUSHFIRE REQUIREMENTS

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

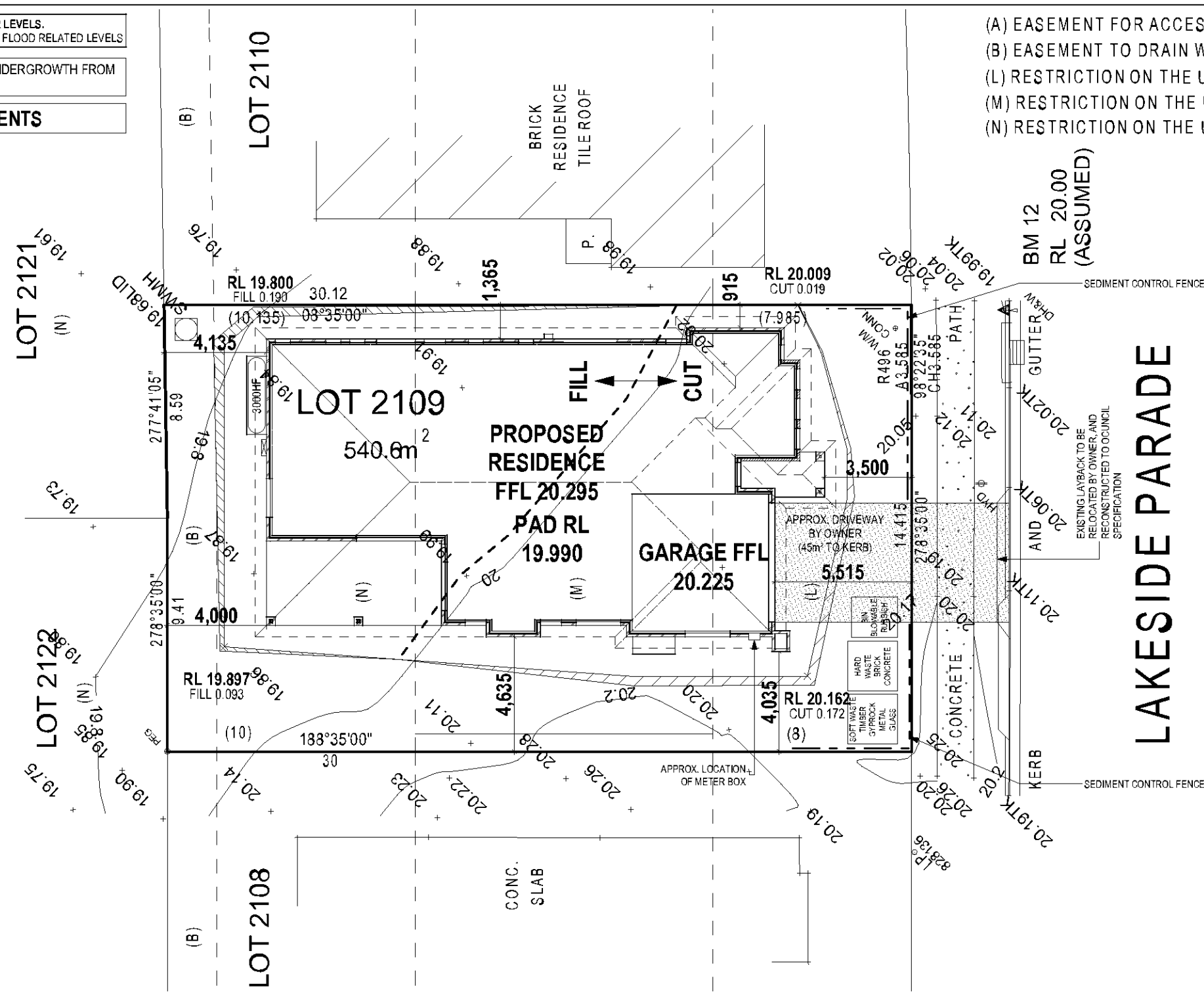
CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. McDONALD JONES HOMES PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

| | |
|-------------------------------------|----|
| WIND CLASSIFICATION | N2 |
| WITHIN 1 KM. OF BREAKING SALT WATER | NO |
| WITHIN 100 M. OF SALT WATER | NO |
| MINIMUM AHD FLOOR LEVEL APPLICABLE | NO |

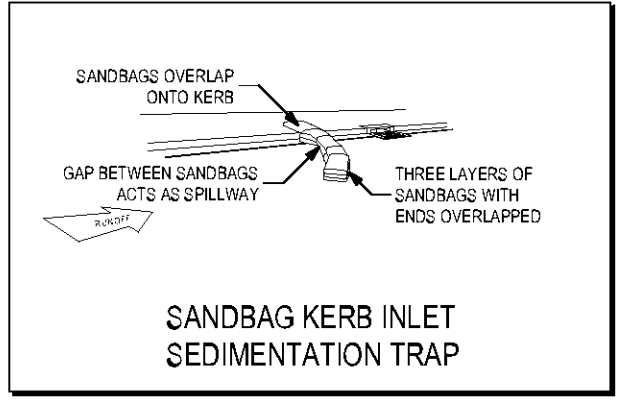
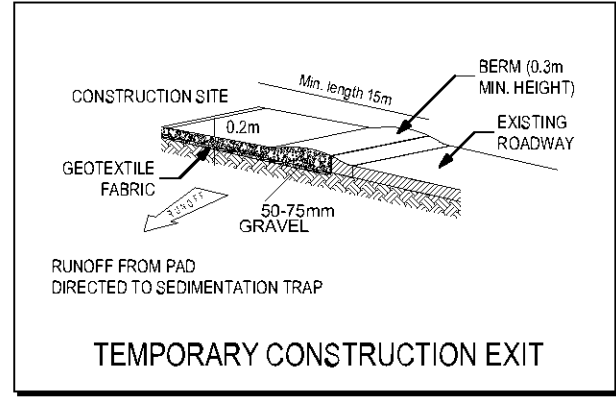
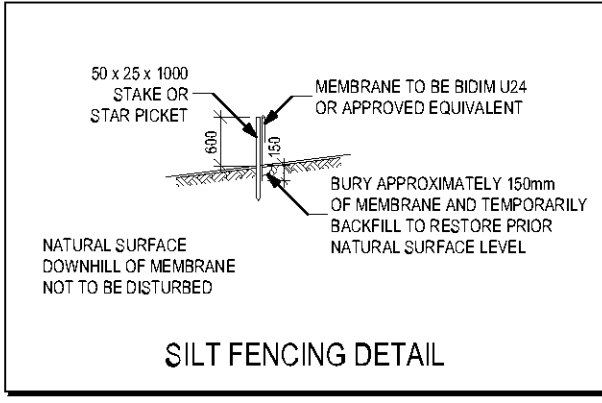
- (A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
- (B) EASEMENT TO DRAIN WATER 2 WIDE
- (L) RESTRICTION ON THE USE OF LAND
- (M) RESTRICTION ON THE USE OF LAND
- (N) RESTRICTION ON THE USE OF LAND



M.G.A. DP 1168991



LAKESIDE PARADE



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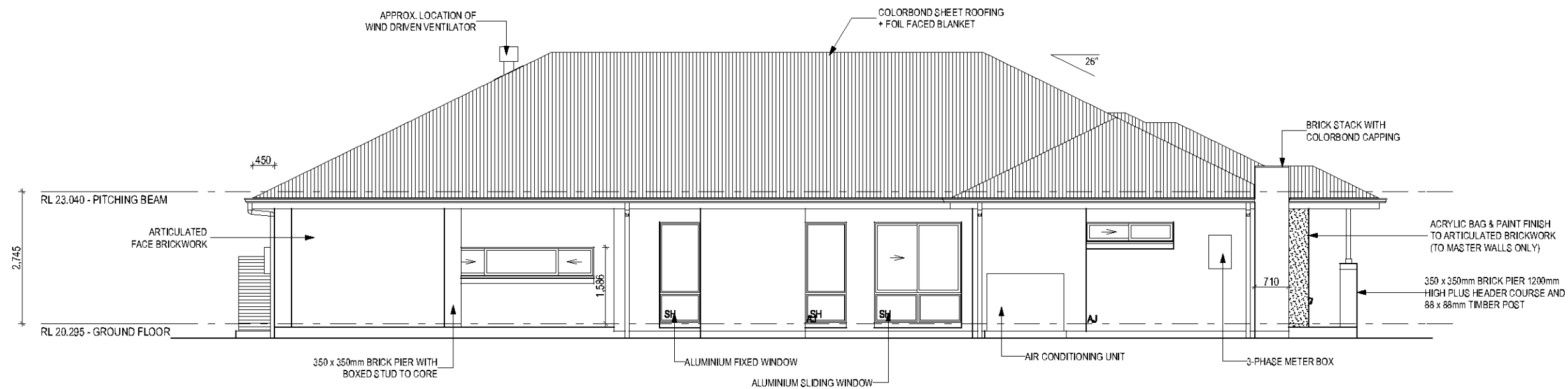
CLIENT: Mr B. BUTCHER & Mrs R. BUTCHER
 ADDRESS: LAKESIDE PARADE
 SUBURB: JORDAN SPRINGS POSTCODE: 2747 COUNCIL: PENRITH
 LOT No: 2109 DP No: 1168991 SECTION No: -

HOUSE DESIGN: HAVANA RENWICK
 FACADE DESIGN: CLASSIC
 SHEET TITLE: SITE PLAN

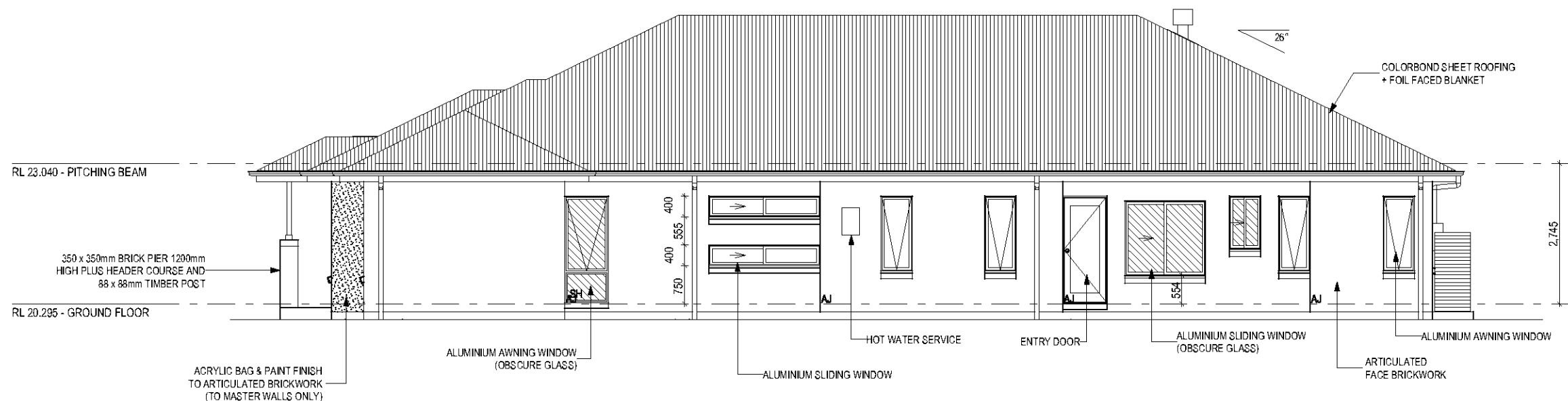
HOUSE CODE: H-HAVCLAS10410
 FACADE CODE: F-HAVCLAS01
 SCALES: 1:200, 1:100 SHEET No: 3 / 13

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601643

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LEFT ELEVATION
 Scale: 1:100



RIGHT ELEVATION
 Scale: 1:100

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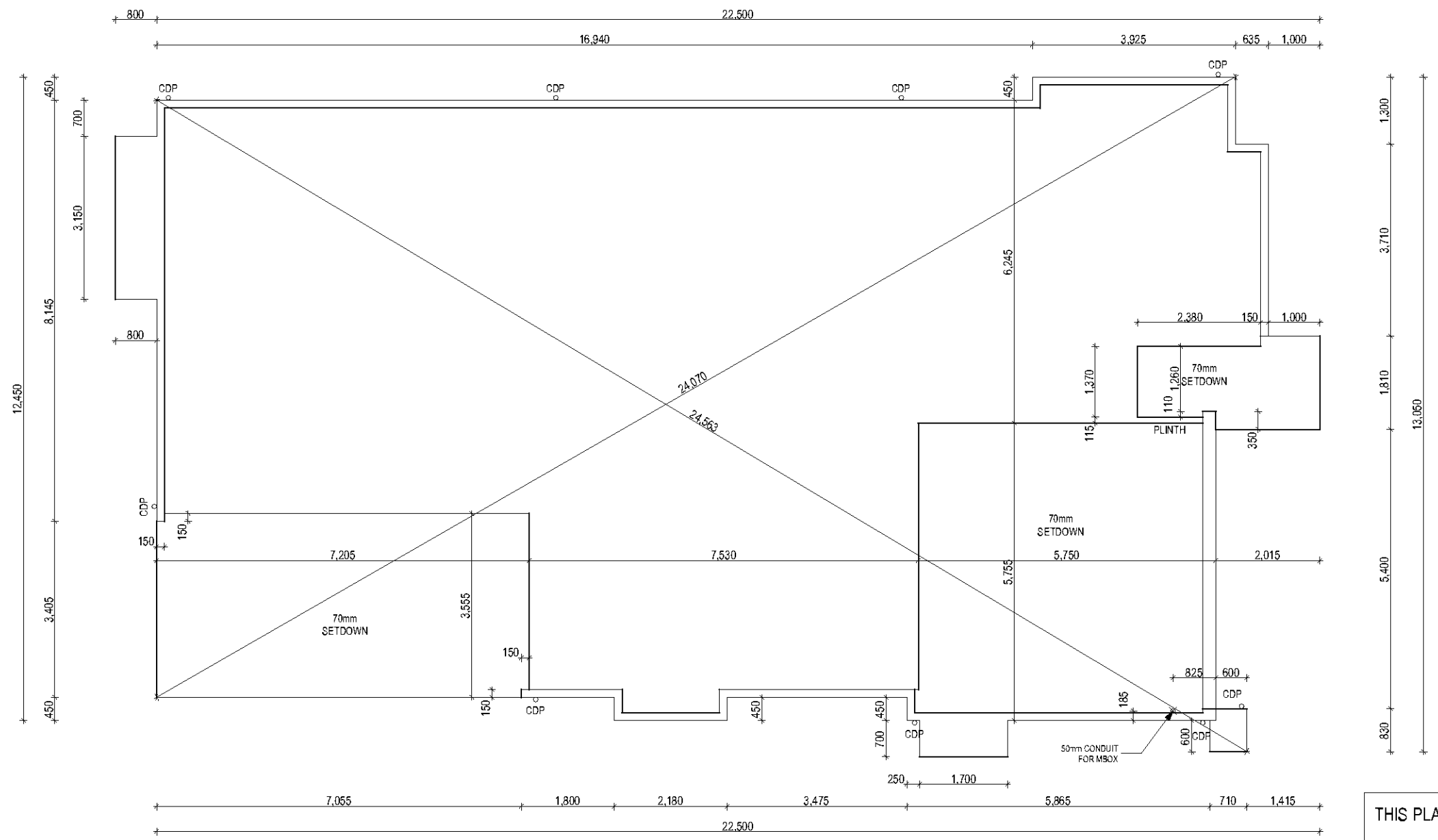
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| FACADE DESIGN: CLASSIC | FACADE CODE: F-HAVCLAS01 |
| SHEET TITLE: ELEVATIONS | SCALES: 1:100 |
| | SHEET No: 6 / 13 |

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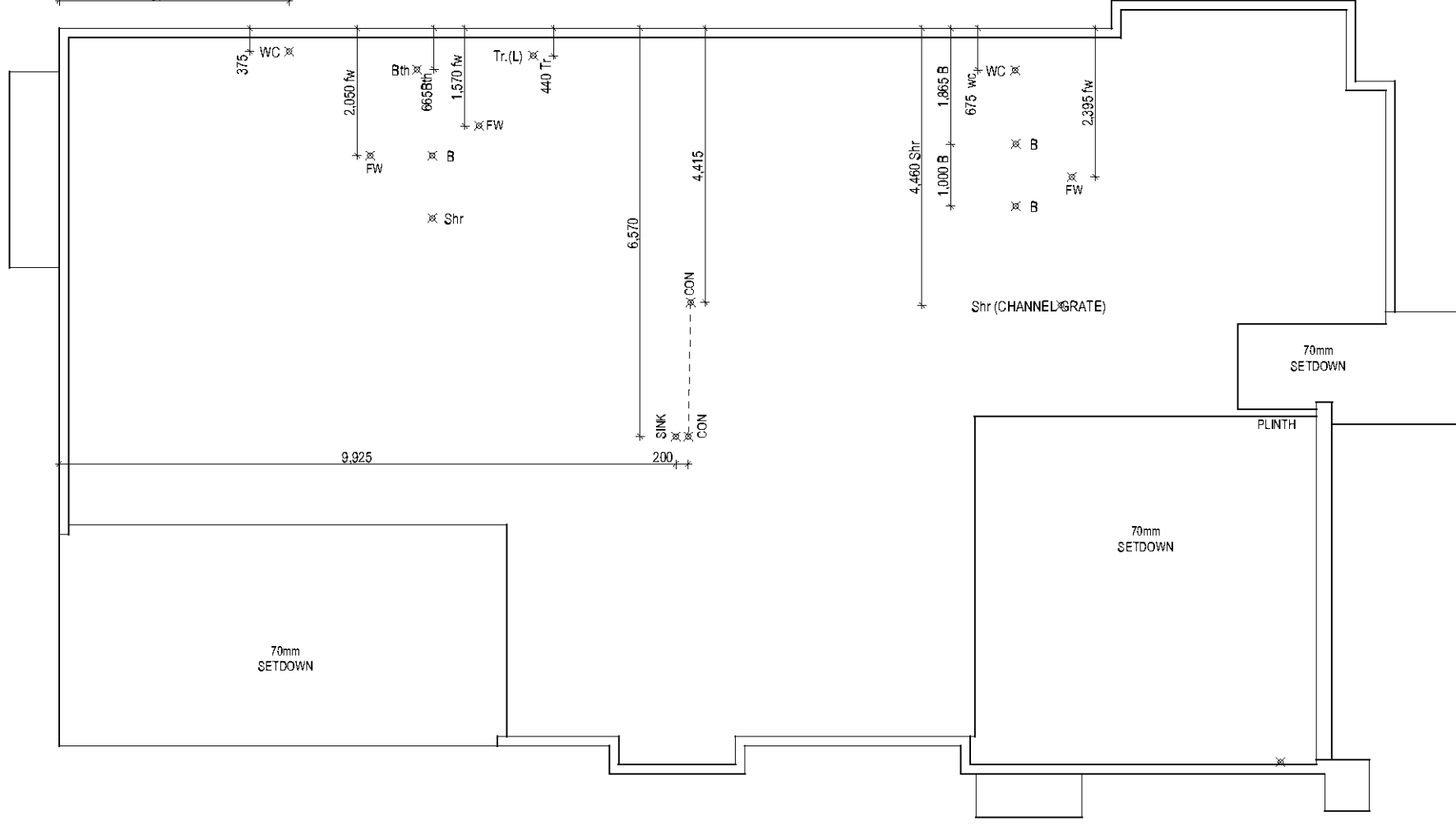
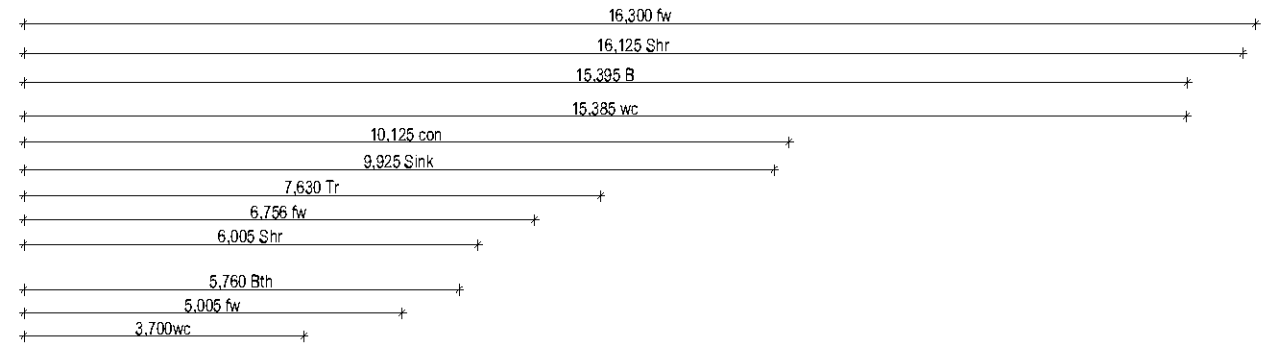
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| HOUSE DESIGN: HAVANA RENWICK | HOUSE CODE: H-HAVCLAS10410 |
| FACADE DESIGN: CLASSIC | FACADE CODE: F-HAVCLAS01 |
| SHEET TITLE: SLAB PLAN | SCALES: 1:100 |

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|-----------------------------|
| SHEET No: 12 / 13 |
|-----------------------------|

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| LEGEND | |
|--------|-------------------|
| B | BASIN |
| Bth | BATH WASTE |
| FW | FLOOR WASTE GULLY |
| Shr | SHOWER |
| S | SINK (KITCHEN) |
| Tr.(L) | TROUGH (LAUNDRY) |
| WC | WATER CLOSET |

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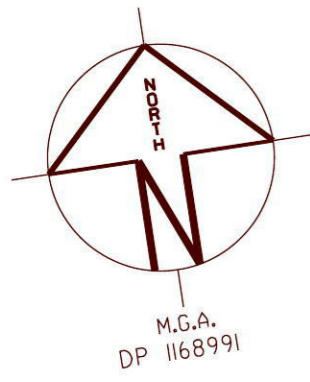
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| FAÇADE DESIGN: CLASSIC | FAÇADE CODE: F-HAVCLAS01 |
| SHEET TITLE: DRAINAGE PLAN | SCALES: 1:100 |

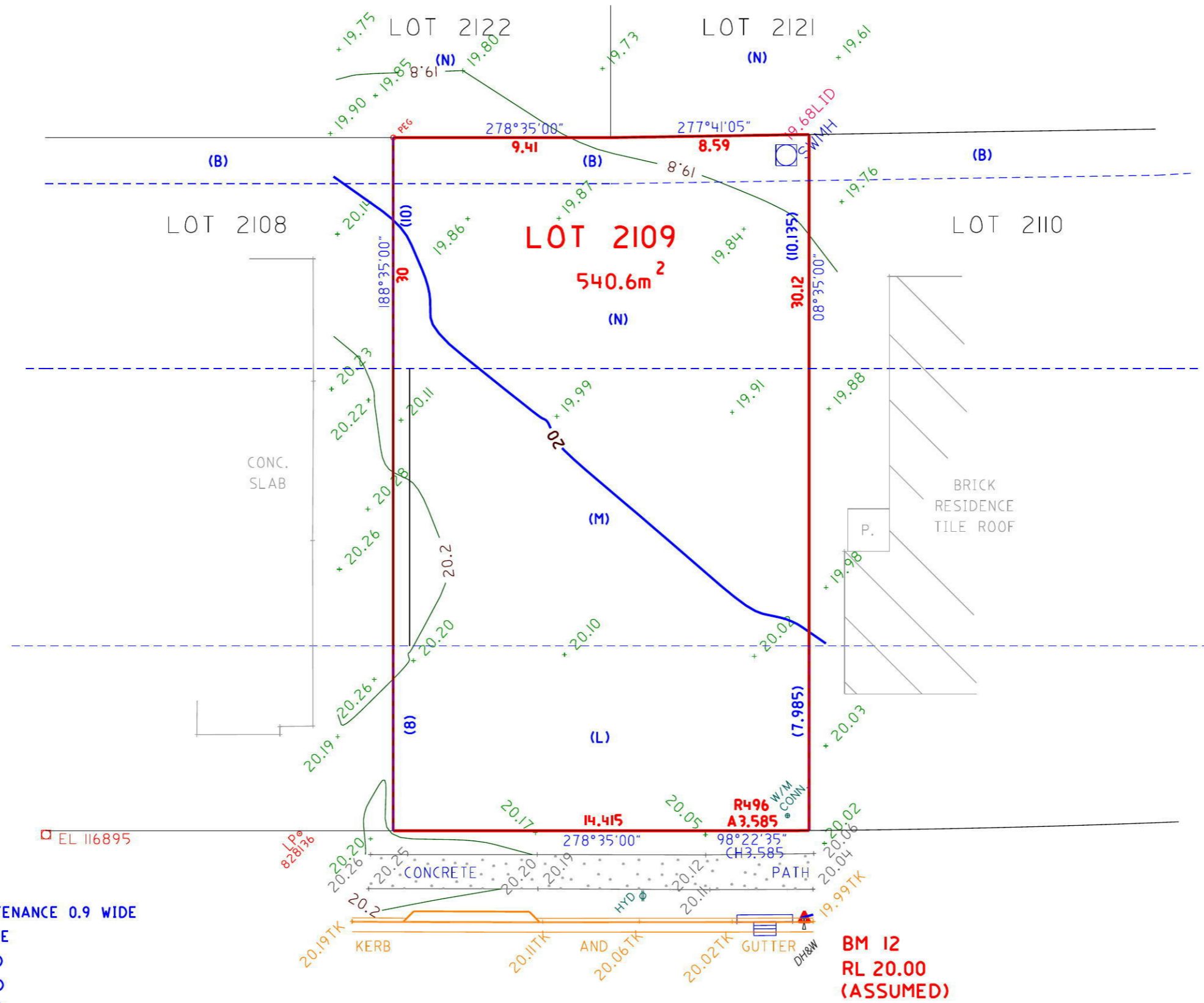
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| 601643 | |

NORTH

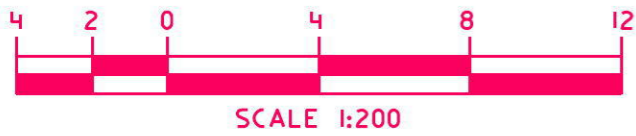


LOCALITY SKETCH

UBD AREA: SYD REVISION: 49
 MAP: 144 REF: F15
 S 33.43714
 GPS E 150.43914



- (A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
- (B) EASEMENT TO DRAIN WATER 2 WIDE
- (L) RESTRICTION ON THE USE OF LAND
- (M) RESTRICTION ON THE USE OF LAND
- (N) RESTRICTION ON THE USE OF LAND



LAKESIDE PARADE

| | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|---|--|--------------|------------------------|-------------|----------------|-----------------------|--------------|----------------------------|---------------|-------------------|------------------------|-----------------|-------------------------|--------------------|--------------------|----------------|------------------|---------------------|------------|---------------|----------------|-------------------------|----------------|---|---|--|
| <p>COPYRIGHT</p> <p>COPYRIGHT OF THIS PLAN AND IN THE ACCOMPANYING CAD FILE(S) WHERE APPLICABLE VESTS WITH ASPECT DEVELOPMENT & SURVEY PTY LTD.</p> <p>THE PLAN AND CAD FILE SHALL ONLY BE USED BY THE ADDRESSED CLIENT FOR THE PURPOSE FOR WHICH THE SURVEY WAS CARRIED OUT.</p> | <p>GENERAL NOTES</p> <p>A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.</p> <p>B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.</p> <p>D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.</p> | <p>SYMBOLS & ABBREVIATIONS:</p> <table border="0"> <tr> <td>GP GULLY PIT</td> <td>-E- OVERHEAD ELEC LINE</td> </tr> <tr> <td>HYD HYDRANT</td> <td>-S- SEWER LINE</td> </tr> <tr> <td>SIP SURFACE INLET PIT</td> <td>GM GAS METER</td> </tr> <tr> <td>SIC SEWER INSPECTION COVER</td> <td>LP LIGHT POLE</td> </tr> <tr> <td>SMH SEWER MANHOLE</td> <td>EC ELECTRICITY CONDUIT</td> </tr> <tr> <td>W/M WATER METER</td> <td>ECT ELEC & TELE CONDUIT</td> </tr> <tr> <td>EL ELECTRICITY BOX</td> <td>TC TELECOM CONDUIT</td> </tr> <tr> <td>TP TELECOM PIT</td> <td>WC WATER CONDUIT</td> </tr> <tr> <td>VC VEHICLE CROSSING</td> <td>INV INVERT</td> </tr> <tr> <td>SV STOP VALVE</td> <td>KO KERB OUTLET</td> </tr> <tr> <td>SMWH STORMWATER MANHOLE</td> <td>TK TOP OF KERB</td> </tr> </table> | GP GULLY PIT | -E- OVERHEAD ELEC LINE | HYD HYDRANT | -S- SEWER LINE | SIP SURFACE INLET PIT | GM GAS METER | SIC SEWER INSPECTION COVER | LP LIGHT POLE | SMH SEWER MANHOLE | EC ELECTRICITY CONDUIT | W/M WATER METER | ECT ELEC & TELE CONDUIT | EL ELECTRICITY BOX | TC TELECOM CONDUIT | TP TELECOM PIT | WC WATER CONDUIT | VC VEHICLE CROSSING | INV INVERT | SV STOP VALVE | KO KERB OUTLET | SMWH STORMWATER MANHOLE | TK TOP OF KERB | <p>ASPECT DEVELOPMENT & SURVEY PTY LTD CONSULTING REGISTERED SURVEYORS ABN 60 078 649 000</p> <p>SUITE 1 103 VANESSA STREET KINGSGROVE NSW 2208 PHONE (02) 9554 8388 FAX (02) 9554 8588</p> <p>PO BOX 161 KINGSGROVE NSW 1480 DX 11392 HURSTVILLE</p> | <p>PROJECT</p> <p>OUR REFERENCE 3/1025312/149080</p> <p>LOT 2109 DP 1168991 SECTION</p> <p>DATUM ASSUMED SOURCE</p> <p>ORIGIN OF LEVELS BM 12 REDUCED LEVEL 20.00</p> <p>SURVEYED NR DATE 12/03/2014</p> <p>DRAWN SK/BK DATE 13/03/2014</p> <p>SCALE 1: 200 A3 SHEET</p> | <p>CLIENT: McDONALD JONES HOMES</p> <p>REF: BUTCHER</p> <p>REF: 601643</p> <p>ADDRESS: LAKESIDE PARADE</p> <p>SUBURB JORDAN SPRINGS</p> |
| GP GULLY PIT | -E- OVERHEAD ELEC LINE | | | | | | | | | | | | | | | | | | | | | | | | | | |
| HYD HYDRANT | -S- SEWER LINE | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SIP SURFACE INLET PIT | GM GAS METER | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SIC SEWER INSPECTION COVER | LP LIGHT POLE | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SMH SEWER MANHOLE | EC ELECTRICITY CONDUIT | | | | | | | | | | | | | | | | | | | | | | | | | | |
| W/M WATER METER | ECT ELEC & TELE CONDUIT | | | | | | | | | | | | | | | | | | | | | | | | | | |
| EL ELECTRICITY BOX | TC TELECOM CONDUIT | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TP TELECOM PIT | WC WATER CONDUIT | | | | | | | | | | | | | | | | | | | | | | | | | | |
| VC VEHICLE CROSSING | INV INVERT | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SV STOP VALVE | KO KERB OUTLET | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SMWH STORMWATER MANHOLE | TK TOP OF KERB | | | | | | | | | | | | | | | | | | | | | | | | | | |

SHEET INDEX

| No. | NAME |
|-----|----------------------------------|
| 01 | COVER SHEET |
| 02 | DATA PAGE |
| 03 | SITE PLAN |
| 04 | GROUND FLOOR PLAN |
| 05 | ELEVATIONS / SECTION |
| 06 | ELEVATIONS |
| 07 | KITCHEN DETAILS |
| 08 | BATHROOM DETAILS |
| 09 | ENSUITE DETAILS |
| 10 | WC DETAILS |
| 11 | RECYCLED WATER / FLOOR COVERINGS |
| 12 | SLAB PLAN |
| 13 | DRAINAGE PLAN |

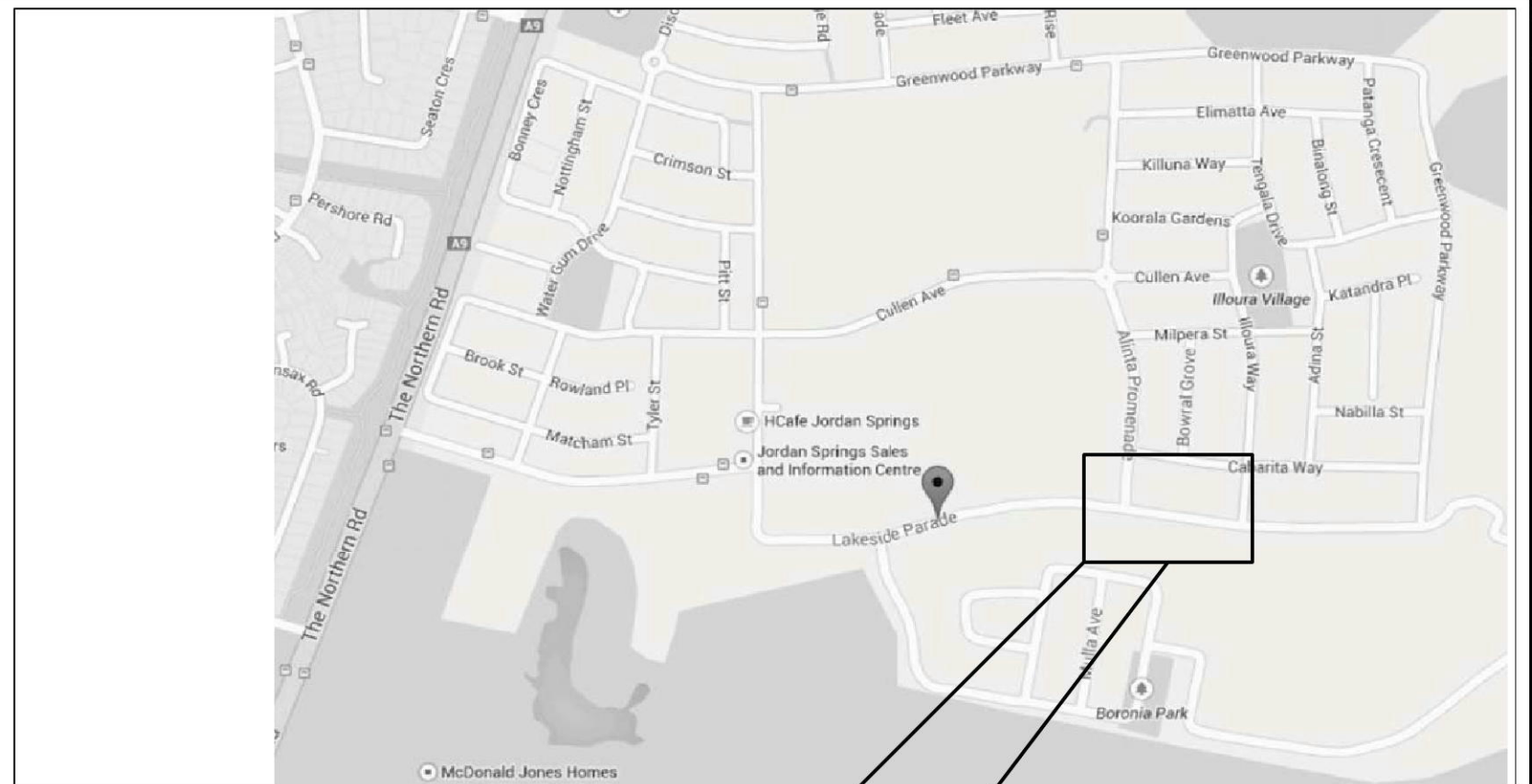


REFER TO SHEET 2 (DATA PAGE) FOR ALL BUILDING INFORMATION REGARDING:

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BAL LOW BUSHFIRE REQUIREMENTS



LOCATION MAP

APPROX. LOCATION OF SUBJECT PROPERTY

SKIRTING BOARD POLICY FOR FLOATING DECORATIVE FLOORS (MAXIMUM 16mm THICKNESS)

THE FOLLOWING WILL BE DONE BY McDONALD JONES HOMES FOR NO ADDITIONAL CHARGE:

- STANDARD 67mm HALF SPLAYED SKIRTING IS INSTALLED IN ALL ROOMS EXCLUDING THE ROOMS NOMINATED FOR FUTURE TIMBER FLOORING.
- THE SKIRTING FOR THESE AREAS WILL BE LEFT ON SITE UN CUT AND UNPAINTED.
- THE CLIENTS SHALL ARRANGE FOR THE INSTALLATION OF THE TIMBER FLOOR AND SKIRTING BOARDS AFTER HANDOVER AND FINAL PAYMENT.
- THE OWNERS SHALL PAINT THE SKIRTING ON COMPLETION.
- MCDONALD JONES HOMES DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE THEFT AND/OR DAMAGE OF THE SKIRTING MATERIAL LEFT ON SITE.
- THE OWNER ACKNOWLEDGES THAT COUNCIL MAY NOT ISSUE A FINAL INSPECTION CERTIFICATE WITHOUT THE SKIRTING INSTALLED. THE OWNER ACKNOWLEDGES THE HOME WILL REACH PRACTICAL COMPLETION IN ACCORDANCE WITH THE CONTRACT WITHOUT THE INSTALLATION OF THE SKIRTING AND SHALL ARRANGE FOR THE PAYMENT OF THE FINAL ACCOUNT. THE OWNER AGREES THAT IF FUNDS ARE NOT RELEASED FROM A LENDER THAT THE OWNER SHALL MAKE ARRANGEMENTS FOR PAYMENT OF THE ACCOUNT OR SHALL BE CHARGED OVERDUE INTEREST IN ACCORDANCE WITH THE CONTRACT. THE KEYS AND POSSESSION OF THE SITE WILL NOT PASS TO THE OWNER UNTIL AFTER PAYMENT OF THE ACCOUNT.
- THE OWNER SHOULD MAKE THEIR OWN ENQUIRIES OF THE LENDER TO ENSURE FUNDS WILL BE RELEASED UPON PRACTICAL COMPLETION.
- THE FINISHED FLOOR TO CEILING HEIGHT WILL BE AFFECTED BY THE INSTALLATION OF TIMBER FLOORING. THE OWNER SHALL ENSURE THAT THE MINIMUM FLOOR TO CEILING HEIGHT OF 2400mm AS PER NCC REQUIREMENTS IS MAINTAINED.
- THE OWNER ACKNOWLEDGES THAT THE BUILDER HAS ADVISED THEM THAT THE CONCRETE SLAB WILL REQUIRE TREATMENT PRIOR TO THE INSTALLATION OF TIMBER FLOORING WITH AN ADHESIVE TO THE CONCRETE SLAB. THIS IS IN ACCORDANCE WITH NOTIFICATION RECEIVED FROM MASTER BUILDERS ASSOCIATION DATED 6TH MARCH 2008.

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

| | | | | | | | | |
|---|-----------------------|--|---|--|--|--|--|--|
| <p>mc donald jones YOUR HOME, YOUR DREAM</p> <p>www.mcdonaldjoneshomes.com.au © 2014</p> | <p>SPECIFICATION:</p> | <p>DRAWING</p> <p>1 PRELIMINARY PLANS MFO 2014.04.10</p> <p>2 CONTRACT PLANS VP 2014.04.30</p> | <p>DRAWN</p> <p>MFO 2014.04.10</p> <p>VP 2014.04.30</p> | <p>CLIENT:</p> <p>Mr B. BUTCHER & Mrs R. BUTCHER</p> | <p>LOT No:</p> <p>2109</p> | <p>HOUSE DESIGN:</p> <p>HAVANA RENWICK</p> | <p>HOUSE CODE:</p> <p>H-HAVCLAS10410</p> | <p>DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.</p> <p>601643</p> |
| | | <p>ADDRESS:</p> <p>LAKESIDE PARADE</p> | <p>DP No:</p> <p>1168991</p> | <p>FAÇADE DESIGN:</p> <p>CLASSIC</p> | <p>FAÇADE CODE:</p> <p>F-HAVCLAS01</p> | <p>SUBURB:</p> <p>JORDAN SPRINGS</p> | <p>POSTCODE:</p> <p>2747</p> | |

SUSTAINABILITY COMMITMENTS

WATER COMMITMENTS

- 3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS
- 3 STAR TOILET SUITES
- 3 STAR KITCHEN TAPS
- 3 STAR BATHROOM TAPS

280.68 m² TOTAL ROOF AREA

3000 L WATER TANK(S) MINIMUM CAPACITY
280.65 m² MINIMUM ROOF AREA TO TANK(S)

RAINWATER TANK(S) TO BE CONNECTED TO:

- AT LEAST ONE OUTDOOR TAP
- ALL TOILETS
- WASHING MACHINE

NO RETICULATED WATER SUPPLY

240 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 5 STAR

HEATING SYSTEM

- 3-PHASE REVERSE CYCLE AIR CONDITIONING
EER 2.5 - 3.0

COOLING SYSTEM

- 3-PHASE REVERSE CYCLE AIR CONDITIONING
EER 2.5 - 3.0

VENTILATION (EXHAUST FANS)

- AT LEAST ONE BATHROOM:
INDIVIDUAL FAN - NOT DUCTED, MANUAL SWITCH ON/OFF
- KITCHEN RANGEHOOD:
INDIVIDUAL FAN - NOT DUCTED, MANUAL SWITCH ON/OFF
- NO MECHANICAL VENTILATION TO LAUNDRY

PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER

- 4 BEDROOMS/STUDY, NON DEDICATED
- 4 LIVING/DINING AREAS, NON DEDICATED
- KITCHEN, NON DEDICATED
- ALL BATHROOMS/TOILETS, NON DEDICATED

NATURAL LIGHTING TO

- KITCHEN
- 2 BATHROOM(S)/TOILET(S)

ALTERNATIVE ENERGY

- N/A

OTHER

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY OWNER

BUILDING INFORMATION

GROUND FLOOR CEILING HEIGHT(S): 2700mm
FRAMES AND TRUSSES: STEEL
ROOF PITCH (U.N.O.): 26°
ELECTRICITY SUPPLY: 3-PHASE
GAS SUPPLY: RETICULATED NATURAL

ROOF MATERIAL: SHEET METAL
ROOF COLOUR: DARK
ROOF INSULATION: R3.0 BATTS
50mm FOIL FACED BLANKET
1

WHIRLYBIRDS:
WALL MATERIAL: BRICK VENEER
WALL COLOUR: MEDIUM
WALL INSULATION: R1.5 BATTS

FLOOR INSULATION: N/A

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) REINFORCED WITH SL72 MESH(T) (U.N.O.) OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2005

DESIGN CRITERIA

WIND RATING: N2

SITE CLASSIFICATION

SITE CLASSIFICATION IS: M

SLAB CLASSIFICATION

SLAB CLASSIFICATION IS: M

TOTAL FLOOR AREAS

ALFRESCO 24.02
GARAGE 33.50
LIVING 187.44
PATIO 4.81
249.77 m²



THIS PLAN ACCEPTED BY:

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| 2 | CONTRACT PLANS | VP 2014.04.30 |

| | | | |
|--|--------------------------|----------------------------|--------------------------|
| CLIENT: Mr B. BUTCHER & Mrs R. BUTCHER | | | LOT No: 2109 |
| ADDRESS: LAKESIDE PARADE | | | DP No: 1168991 |
| SUBURB: JORDAN SPRINGS | POSTCODE: 2747 | COUNCIL: PENRITH | SECTION No: - |

| | |
|--|--------------------------------------|
| HOUSE DESIGN: HAVANA RENWICK | HOUSE CODE: H-HAVCLAS10410 |
| FACADE DESIGN: CLASSIC | FACADE CODE: F-HAVCLAS01 |
| SHEET TITLE: DATA PAGE | SCALES: 1:100, 1:1 |
| | SHEET No: 2 / 13 |

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+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS. SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

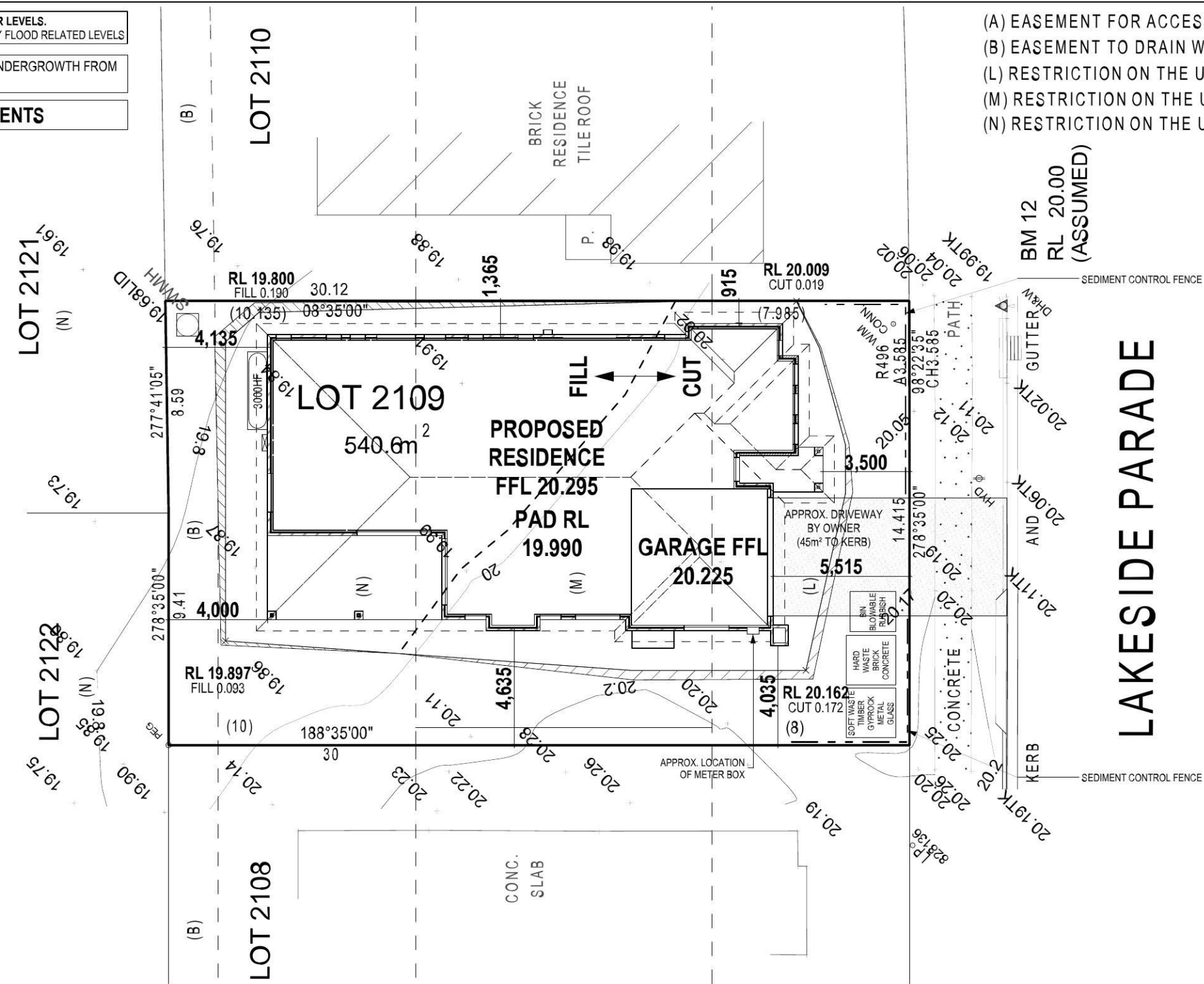
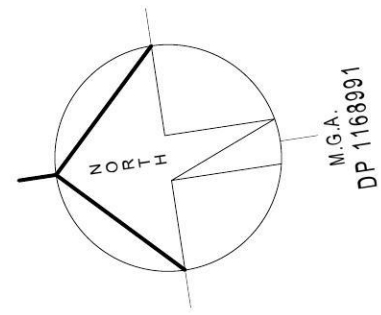
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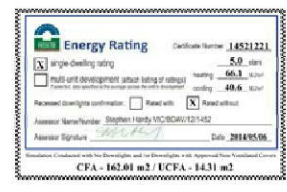
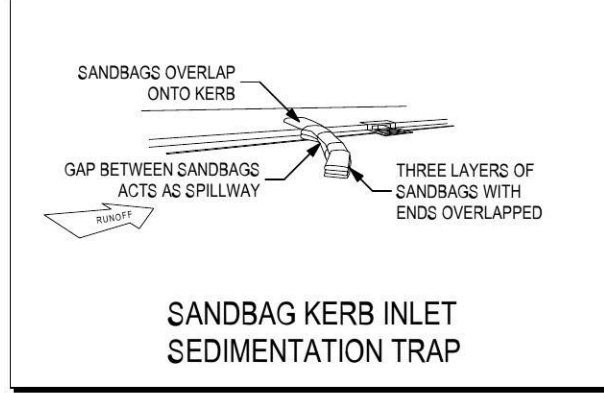
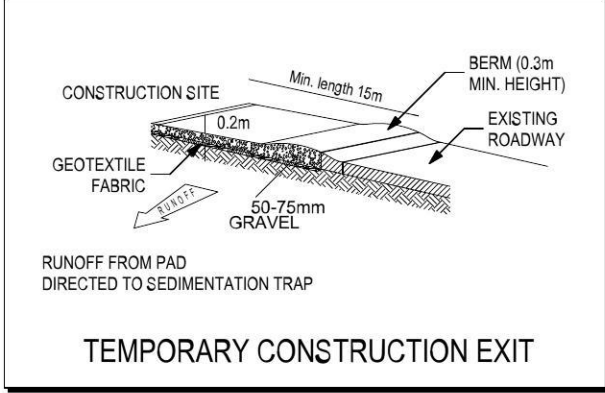
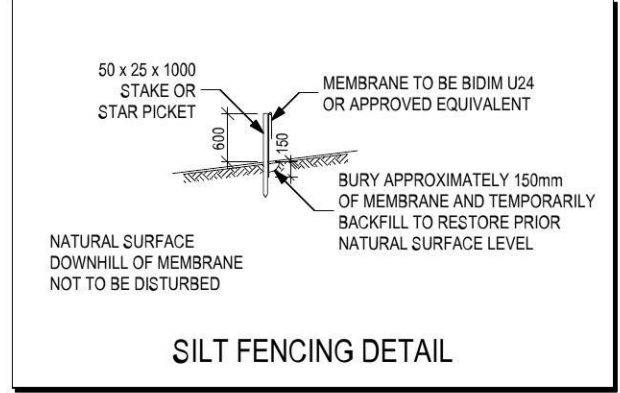
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| | |
|-------------------------------------|----|
| WIND CLASSIFICATION | N2 |
| WITHIN 1 KM. OF BREAKING SALT WATER | NO |
| WITHIN 100 M. OF SALT WATER | NO |
| MINIMUM AHD FLOOR LEVEL APPLICABLE | NO |



- (A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
- (B) EASEMENT TO DRAIN WATER 2 WIDE
- (L) RESTRICTION ON THE USE OF LAND
- (M) RESTRICTION ON THE USE OF LAND
- (N) RESTRICTION ON THE USE OF LAND

LAKESIDE PARADE



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|---------------------|----------------|
| 1 PRELIMINARY PLANS | MFO 2014.04.10 |
| 2 CONTRACT PLANS | VP 2014.04.30 |

CLIENT: Mr B. BUTCHER & Mrs R. BUTCHER

ADDRESS: LAKESIDE PARADE

SUBURB: JORDAN SPRINGS POSTCODE: 2747 COUNCIL: PENRITH

LOT No: 2109 DP No: 1168991 SECTION No: -

HOUSE DESIGN: HAVANA RENWICK

FACADE DESIGN: CLASSIC

SHEET TITLE: SITE PLAN

HOUSE CODE: H-HAVCLAS10410

FACADE CODE: F-HAVCLAS01

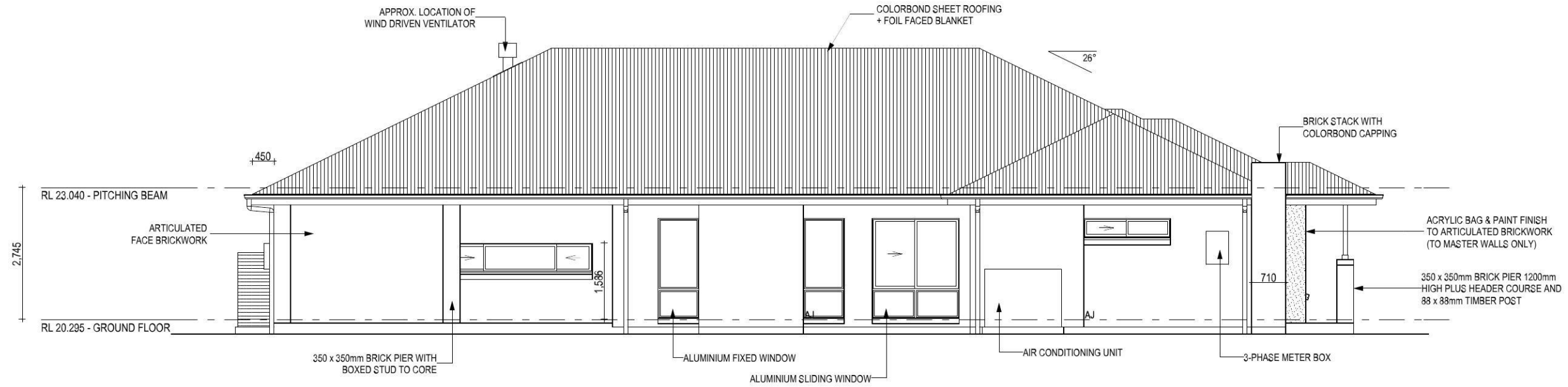
SCALES: 1:200, 1:100

SHEET No: 3 / 13

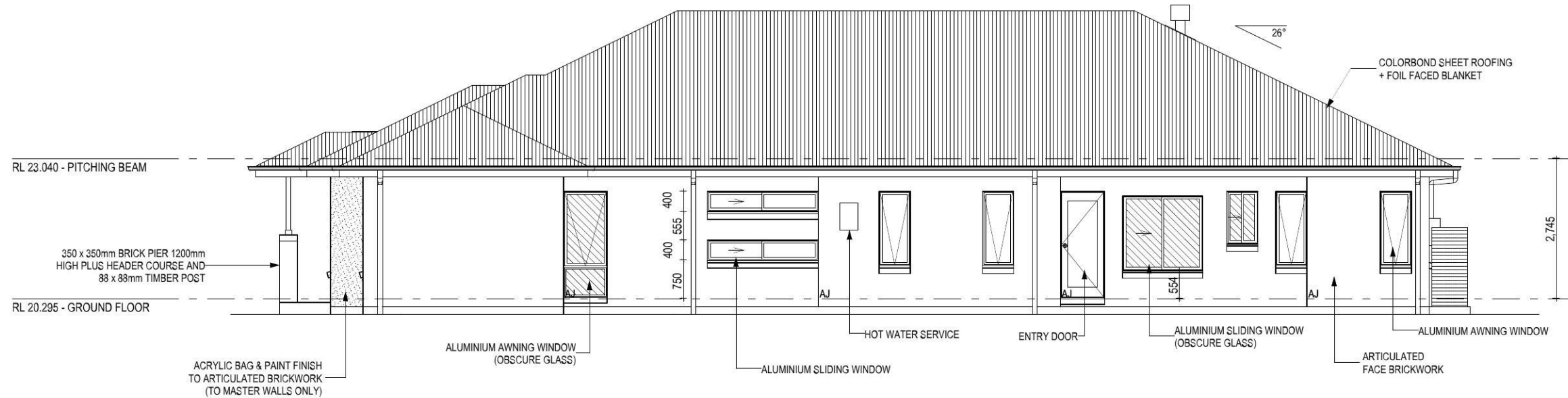
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LEFT ELEVATION
 Scale: 1:100



RIGHT ELEVATION
 Scale: 1:100



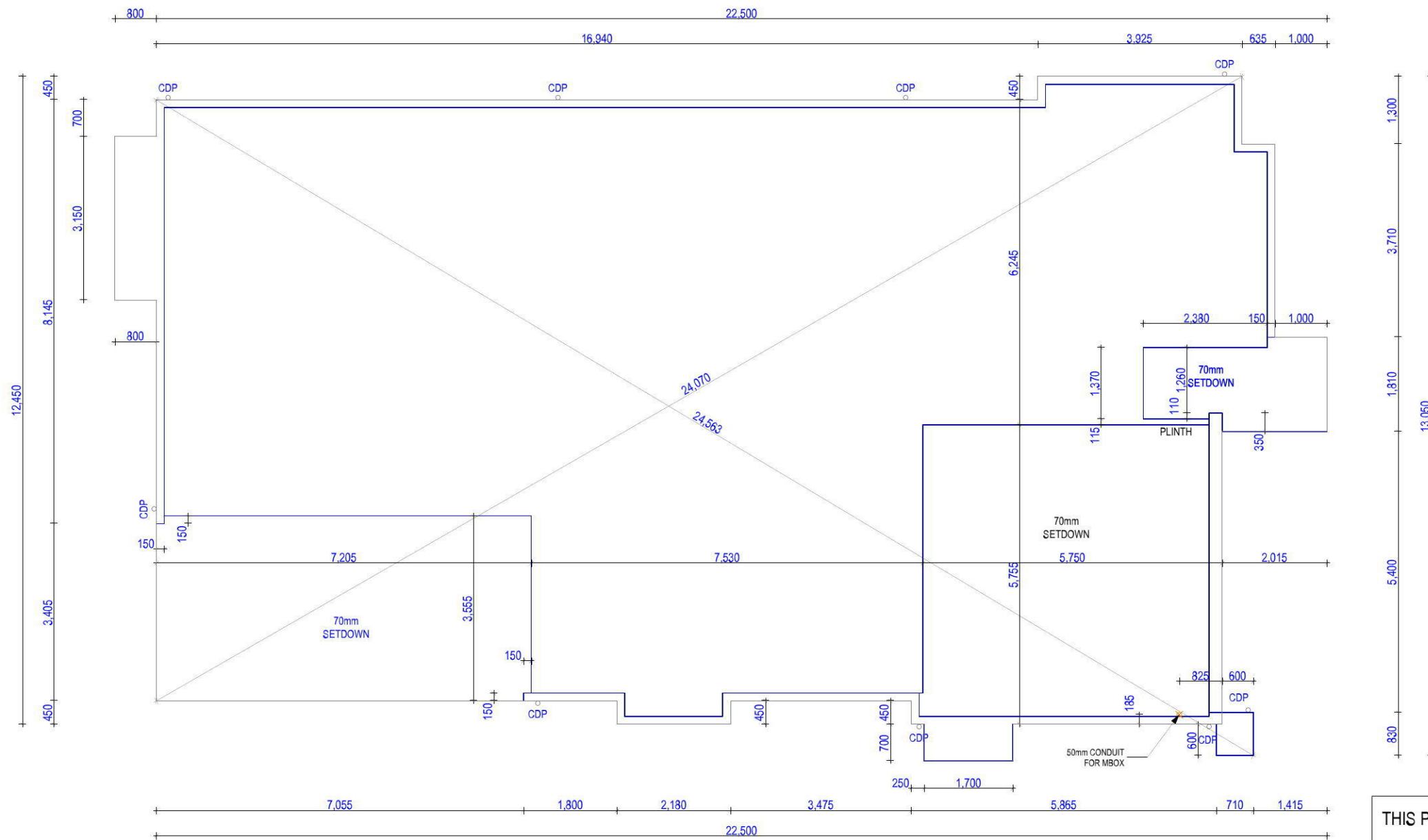
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|---|--|---------------------------|-----------------------------|------------------------------------|-------------------------------------|--|---------------|---|-------------------------|---|---------------------------------------|
| | | DRAWING | DRAWN | | | | | | | | |
| 1 PRELIMINARY PLANS | MFO 2014.04.10 | | | | | | | | | | |
| 2 CONTRACT PLANS | VP 2014.04.30 | | | | | | | | | | |
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| <p>SUBURB: JORDAN SPRINGS</p> | <p>SECTION No: -</p> | | | <p>SHEET TITLE: ELEVATIONS</p> | <p>SCALES: 1:100</p> | | | | | | |
| | | | | | <p>SHEET No: 6 / 13</p> | <p>DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.</p> <p>601643</p> | | | | | |



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CLIENT:
Mr B. BUTCHER & Mrs R. BUTCHER

ADDRESS:
LAKESIDE PARADE

SUBURB:
JORDAN SPRINGS

POSTCODE:
2747

COUNCIL:
PENRITH

LOT No:
2109

DP No:
1168991

SECTION No:
-

HOUSE DESIGN:
HAVANA RENWICK

FACADE DESIGN:
CLASSIC

SHEET TITLE:
SLAB PLAN

HOUSE CODE:
H-HAVCLAS10410

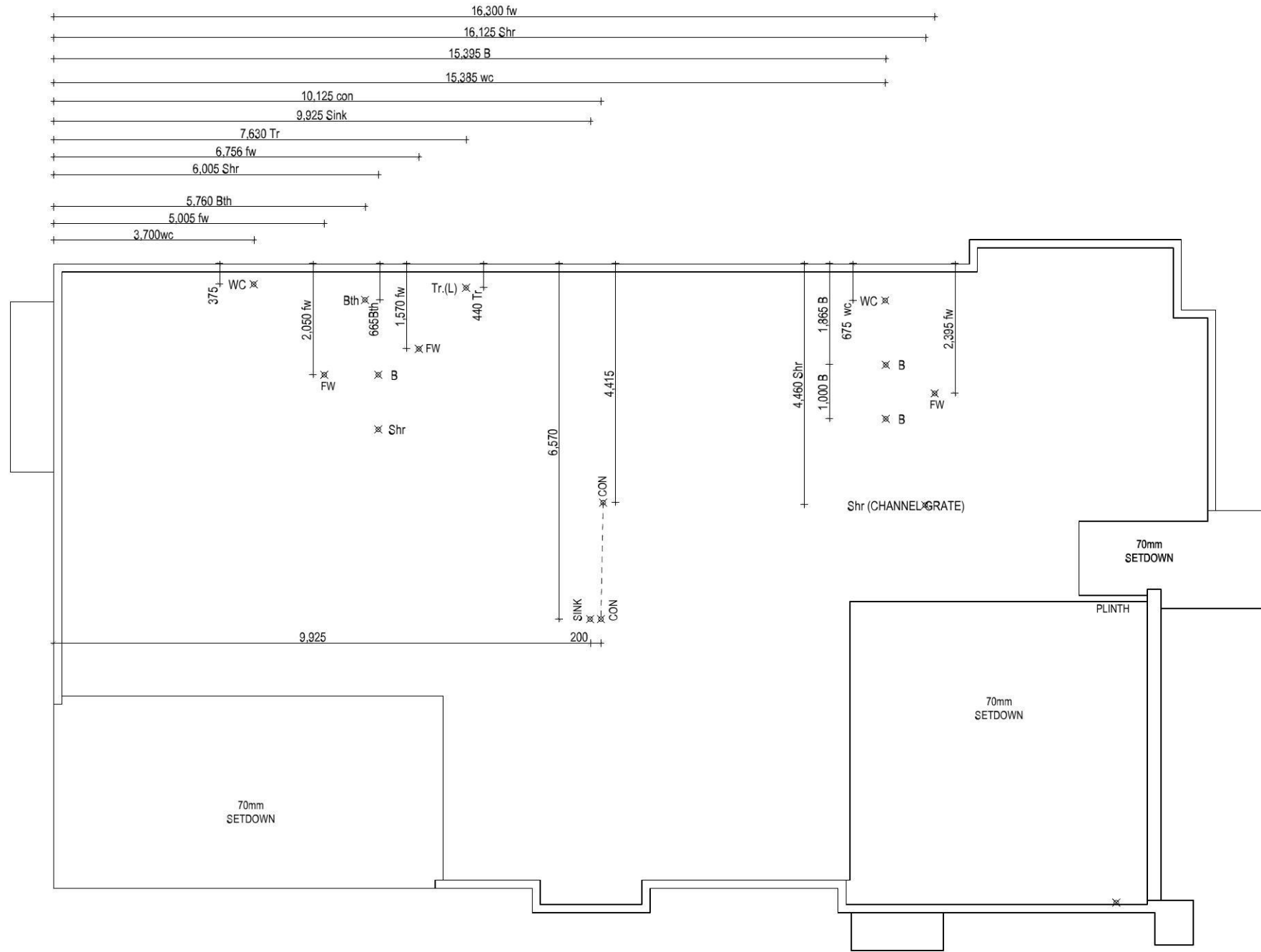
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F-HAVCLAS01

SCALES:
1:100

SHEET No:
12 / 13

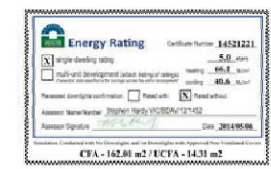
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LEGEND

| | |
|--------|-------------------|
| B | BASIN |
| Bth | BATH WASTE |
| FW | FLOOR WASTE GULLY |
| Shr | SHOWER |
| S | SINK (KITCHEN) |
| Tr.(L) | TROUGH (LAUNDRY) |
| WC | WATER CLOSET |



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ADDRESS: LAKESIDE PARADE

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LOT No: 2109

DP No: 1168991

SECTION No: -

HOUSE DESIGN: HAVANA RENWICK

FACADE DESIGN: CLASSIC

SHEET TITLE: DRAINAGE PLAN

HOUSE CODE: H-HAVCLAS10410

FACADE CODE: F-HAVCLAS01

SCALES: 1:100

SHEET No: 13 / 13

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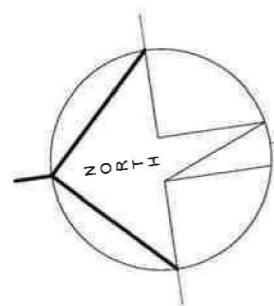
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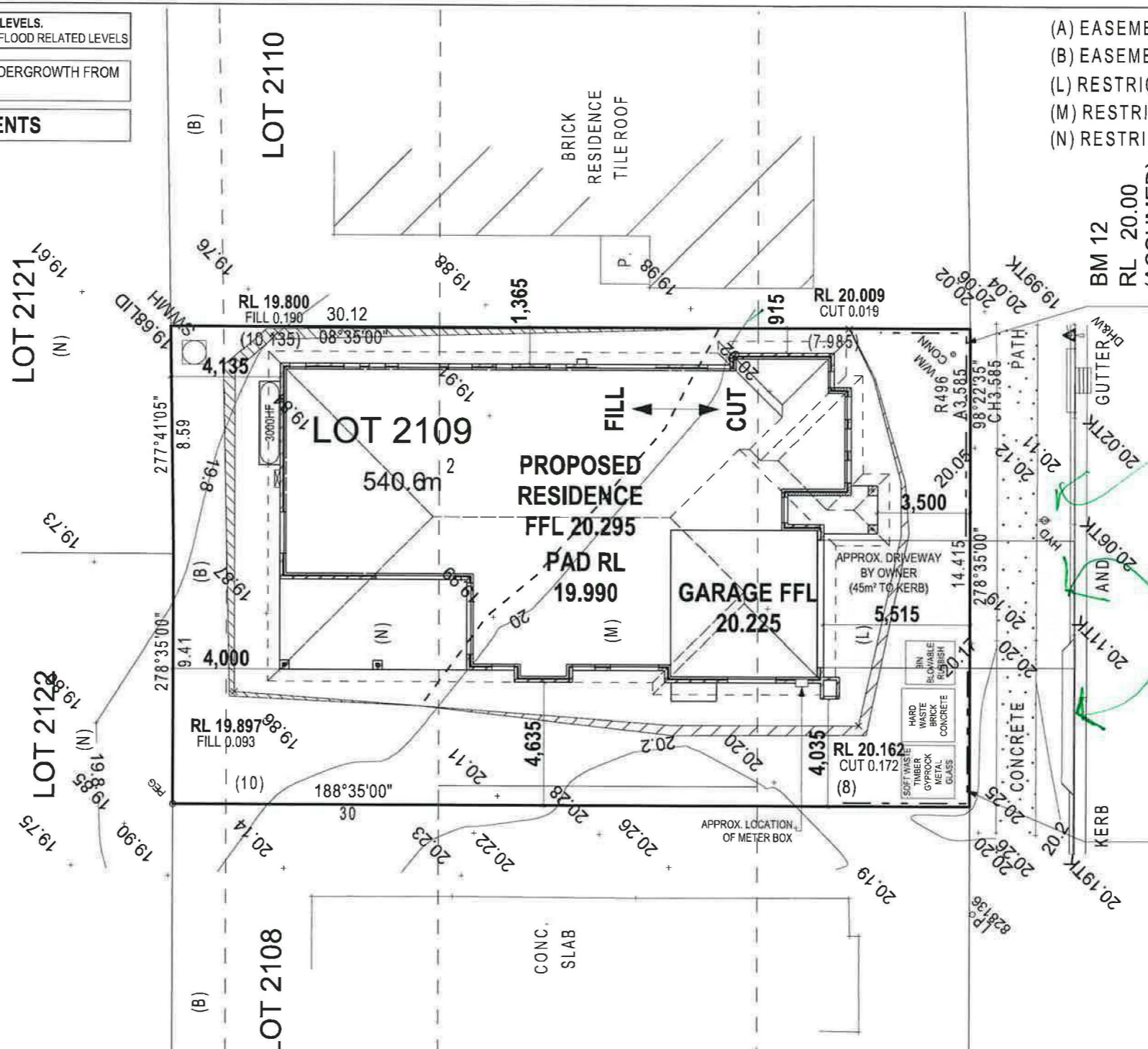
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| | |
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| WITHIN 100 M. OF SALT WATER | NO |
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M.G.A. DP 1168991

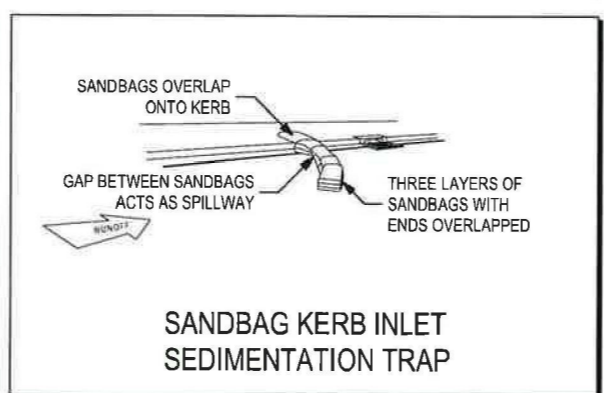
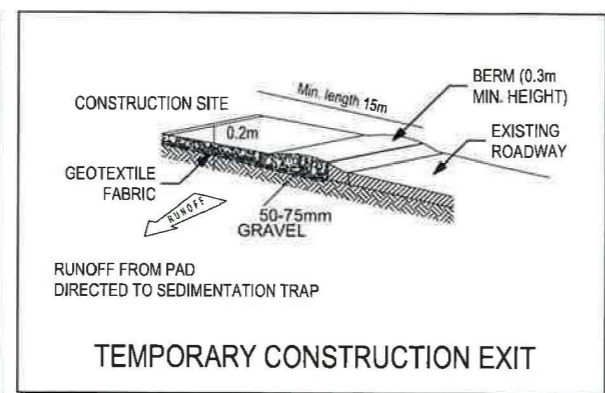
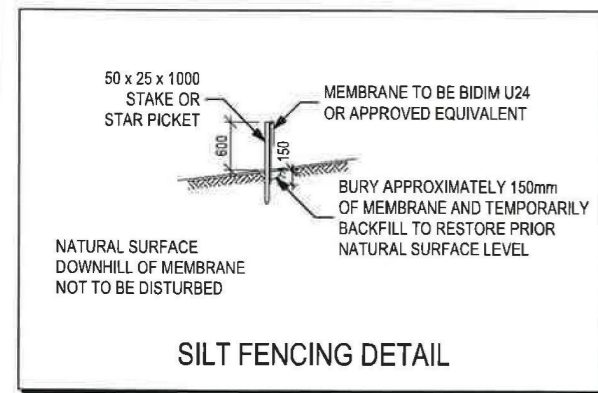
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- (L) RESTRICTION ON THE USE OF LAND
- (M) RESTRICTION ON THE USE OF LAND
- (N) RESTRICTION ON THE USE OF LAND



LAKESIDE PARADE

EXISTING STREET TREES IS TO BE LOCATED AND 6 TO BE RELOCATED TO ADJACENT LOT IN FRONT OF LAKESIDE PARADE OWNERS/BUYERS EXPENSE IF REQUIRED

EXISTING LAYBACK IS TO BE RELOCATED AND RECTIFIED AT OWNER/BUILDER EXPENSE SUBJECT TO APPROVAL



Reviewed by L. COVENANT
 Signed: [Signature]

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE: _____

DATE: _____



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 FACADE CODE: F-HAVCLAS01
 SCALES: 1:200, 1:100
 SHEET No: 3/13

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LEFT ELEVATION
 Scale: 1:100



RIGHT ELEVATION
 Scale: 1:100

Reviewed by LEND LEASE COVENANT MANAGER
 - 2 JUL 2014
 Signed: [Signature]

THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

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ADDRESS:
LAKESIDE PARADE

SUBURB:
JORDAN SPRINGS

POSTCODE:
2747

COUNCIL:
PENRITH

LOT No:
2109

DP No:
1168991

SECTION No:
-

HOUSE DESIGN:
HAVANA RENWICK

FACADE DESIGN:
CLASSIC

SHEET TITLE:
ELEVATIONS

HOUSE CODE:
H-HAVCLAS10410

FACADE CODE:
F-HAVCLAS01

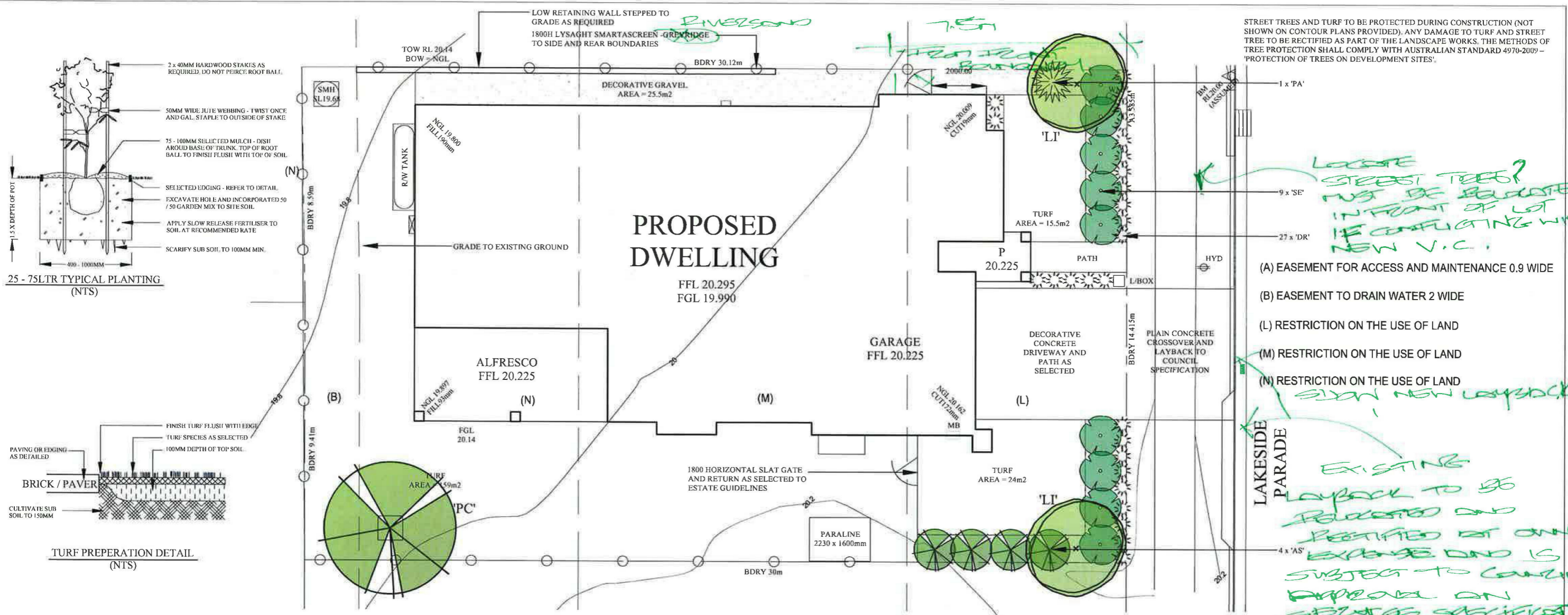
SCALES:
1:100

SHEET No:
6 / 13

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

601643

File Location: G:\Sydney\Drafting\Job Files 600000\Job Files 601601 - 601700\601643 Butcher\Drafting\Plans\601643 Elevator_ACI7.dwg

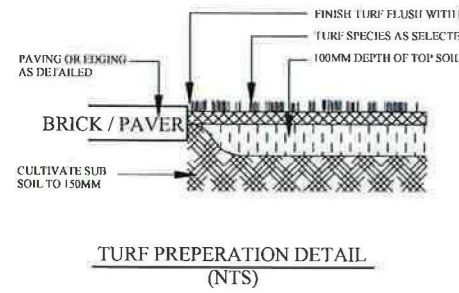
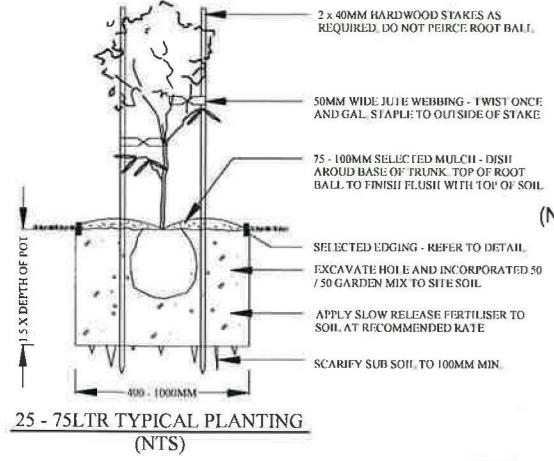


STREET TREES AND TURF TO BE PROTECTED DURING CONSTRUCTION (NOT SHOWN ON CONTOUR PLANS PROVIDED). ANY DAMAGE TO TURF AND STREET TREE TO BE RECTIFIED AS PART OF THE LANDSCAPE WORKS. THE METHODS OF TREE PROTECTION SHALL COMPLY WITH AUSTRALIAN STANDARD 4970-2009 - 'PROTECTION OF TREES ON DEVELOPMENT SITES'.

LOOSE STREET TREES? MUST BE RELOCATED IN FRONT OF LOT IF CONFLICTING WITH NEW V.C.I.

EXISTING PLAYBACK TO BE RELOCATED AND RECTIFIED AT OWNER'S EXPENSE AND IS SUBJECT TO COUNCIL APPROVAL ON SPECIFIC SPECIFICATIONS

REMOVE NOTE



JORDAN SPRINGS - ILLOURA - LANDSCAPE CHECKLIST

- PROJECT: LANDSCAPE PLAN - JORDAN SPRINGS
 OWNER: [REDACTED]
 STREET ADDRESS: LOT 2, LOT 4, JORDAN SPRINGS
 DATE: 8 MAR 13
- * THE LANDSCAPE PLAN IS A MINIMUM SCALE OF 1:100. **YES**
 - * A TREE (4-8m) IS REQUIRED IN THE FRONT AND REAR OF EACH DWELLING. **YES**
 - * 300-500mm PLANTING STRIPS BETWEEN FOOTPATH & DRIVEWAY, DRIVEWAY AND BOUNDARY AND ALONG FRONT BOUNDARY. **YES**
 - * THE PLAN HAS BEEN PREPARED BY A QUALIFIED LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER SHOWING SUITABLE REGISTRATION WITH AUSTRALIAN INSTITUTE LANDSCAPE ARCHITECTS OR EQUIVALENT QUALIFICATIONS. **YES**
 - * 50% OF PLANTING ARE TO BE NATIVE AUSTRALIAN SPECIES, WITH PERCENTAGE NOTED. **YES**
 - * THE EXISTING STREET TREE IS TO BE CLEARLY AND ACCURATELY INDICATED ON THE PLAN. THE LANDSCAPE PLAN MUST NOTE THAT THE STREET TREE AND TURF AREAS IN FRONT OF THE HOUSE ARE TO BE PROTECTED DURING CONSTRUCTION, WITH ALL DAMAGE TO BE RECTIFIED AS PART OF THE LANDSCAPE WORKS. **NO**
 - * THE SURFACE TREATMENT OF ALL AREAS IS TO BE CLEARLY INDICATED. **YES**
 - * THE PLAN IS TO BE FULLY DOCUMENTED INCLUDING RETAINING WALL HEIGHTS, MATERIALS, PLANTING LAYOUT, GARDEN EDGING AND GROUND PREPARATION, RETAINERS ABOVE 900mm OR WITHIN FRONT SETBACK TO BE MASONRY. **N/A**
 - * THE REAR FENCE AND SIDE FENCE MATERIAL IS INDICATED AS 1800mm 'LYSAGHT' SMARTASCREEEN - GREY RIDGE OR EQUIVALENT. **YES**
 - * FRONT FENCE TO BE 1200mm MAX WITH PERMEABLE INFILL. **N/A**
 - * SIDE GATE / FENCE TO RETURN 7500mm FROM FRONT BOUNDARY OR 2000mm BEHIND BUILDING FACADE. **YES**
 - * DRIVEWAY MATERIAL MUST BE INDICATED WITHIN THE LOT. NOTE: PLAIN CONCRETE IS NOT PERMITTED WITHIN THE LOT, REFER TO THE BUILDING AND SITING REQUIREMENTS FOR ACCEPTABLE FINISHES. 3m COVER SINGLE OR 5m DOUBLE COVER. **YES**
 - * DRIVEWAY MATERIAL TO BE INDICATED FROM THE KERB TO THE FRONT BOUNDARY AS PLAIN CONCRETE TO COUNCIL SPECIFICATION. **YES**
 - * PROVIDE A SEPARATE PEDESTRIAN ACCESS (NOT THE DRIVEWAY). THE MAXIMUM WIDTH OF THE PEDESTRIAN ACCESS PATH IS 1.8M. **YES**
 - * ENSURE AIR CON, HWS, BINS AND DRYING LOCATIONS ARE SHOWN. **YES**
 - * ENSURE THE LANDSCAPE PLAN COMPLIES WITH BASIX LANDSCAPE SPECIFICATIONS - REFER TO YOUR BASIX CERTIFICATE PROVIDED BY YOUR BUILDER AND THE BASIX WEBSITE - WWW.BASIX.NSW.GOV.AU. **ASSUMED**
 - * REFER TO GUIDELINES FOR SECONDARY CORNER FENCING.
 - * THE PLAN HAS A PLANT SCHEDULE INCLUDING ALL BOTANICAL NAMES AND COMMON NAMES. **YES**

* ALL PATHWAYS, LANDSCAPING, FENCING TO BE COMPLETED BY OWNERS UNLESS NOTED OTHERWISE WITHIN TENDER. ALL ITEMS NOTED WITHIN ARE TO BE COMPLETED IN ACCORDANCE WITH THE ESTATE AND / OR COUNCIL GUIDELINES TO PCA SATISFACTION. MONACO DESIGNS PL RESERVES THE RIGHT NOT TO UNDERTAKE NOR SUPPLY LANDSCAPE CERTIFICATION FOR OCCUPATION CERTIFICATE OR 12 MONTH LANDSCAPE CERTIFICATION FOR RELEASE OF BOND HELD BY COUNCIL WHEN APPLICABLE.

NOTE: TO AID COMPLIANCE WITH BASIX LEGISLATION, PLANTS (WHERE APPLICABLE) HAVE BEEN SELECTED FROM THE LOCAL CITY COUNCIL / SHIRE PLANT LISTS. NOTE: LOCATION OF SEWER MAINS / LINES, WATER PIPES, UNDERGROUND ELECTRICITY AND OTHER SERVICES MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. DIAL BEFORE YOU DIG 1100. COPYRIGHT: THIS PLAN AND DESIGN IS THE PROPERTY OF MONACO DESIGNS PL. IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE COMPANY. REPRODUCTION PARTLY OR IN FULL CONSTITUTES AN INFRINGEMENT OF COPYRIGHT. CONTRACTORS NOTE: CALCULATED AREAS DETERMINED BY CAD AND HAVE BEEN ROUNDED UP FOR USE AS A GUIDE ONLY. ALLOW STANDARD PERCENTAGE S FOR CUTTING AND WASTAGE. CONTRACTOR TO CONFIRM DIMENSIONS PRIOR TO QUOTING / ORDERING.

- #### GENERAL NOTES:-
- * LANDSCAPE CONTRACTOR TO CHECK CERTIFICATION LETTER AND STAMPED LANDSCAPE PLAN BEFORE COMMENCING WORKS TO ENSURE NO ADDITIONS / AMENDMENTS TO PLAN.
 - * GARDEN BEDS IN OSD BASIN TO CONSIST OF NON FLOATABLE DECORATIVE GRAVEL.
 - * MULCH PLANTING BEDS TO BE A MINIMUM DEPTH OF 70MM AS SELECTED.
 - * PROVIDE TIMBER EDGING AS A MINIMUM BENEATH FENCING / GATES TO DEFINE TURF AND GARDEN BEDS / PATHWAYS. EDGING TO BE PROVIDED TO ALL AREAS WHERE DIFFERING MATERIALS MEET. REFER TO PLAN FOR MATERIALS TO BE USED.
 - * WEDGEMAT BENEATH GRAVEL PATHWAYS SUGGESTED.
 - * PREMIUM ORGANIC GARDEN MIX TO BE USED.
 - * ALL PLANTS TO BE HEALTHY AND VIGOROUS.
 - * CONTRACTORS RESPONSIBILITY TO MAKE GOOD TURF ON NAILING STRIP AFTER CONSTRUCTION.
 - * REFER TO HYDRAULICS PLAN FOR OSD DETAILS.
 - * DO NOT SCALE ARCHITECTURAL OFF DRAWING.
 - * EXISTING TREE SPREAD APPROXIMATE ONLY.
 - * SITE SURVEY PROVIDED BY OTHERS.
 - * BUFFALO TURF SUGGESTED.

- #### PLANTING AND MAINTENANCE NOTES
- * GLAZED OR POLISHED PLANTING HOLES, PARTICULARLY IN CLAY SHOULD BE AVOIDED.
 - * PLANTS SHOULD BE PLANTED STRAIGHT, WITH THE TOP OF THE ROOT BALL LEVEL WITH OR SLIGHTLY LOWER THAN THE SOIL SURFACE.
 - * PLANTS SHOULD BE WATERED AS SOON AS POSSIBLE AFTER PLANTING.
 - * PLANTING SHOULD BE AVOIDED AT THE HEIGHT OF SUMMER (DECEMBER - JANUARY).
 - * PLANTS SHOULD BE WATERED AT LEAST WEEKLY FOR SIX WEEKS TO AID ESTABLISHMENT. WATER CRYSTALS MAY BE USED TO REDUCE THE AMOUNT OF WATER REQUIRED.
 - * IF A FERTILISER IS TO BE APPLIED, A SLOW RELEASE 8 - 9 MONTH PLANT FOOD WOULD BE APPROPRIATE, AT A RATE OF 5 - 10 GRAMS PER PLANT.
 - * ONLY SPECIES WITHIN THE LANDSCAPE PLAN SHOULD BE PLANTED. PERMISSION SHOULD BE SOUGHT BEFORE ALTERING THE PLANT SPECIES LIST.
 - * STOCK SHOULD BE FREE OF PESTS, DISEASE AND WEEDS. PLANTS SHOULD BE ACTIVELY GROWING WITH ROOTS HEALTHY, WHITE AND NOT POT BOUND.
 - * REPLACEMENT PLANTS SHOULD BE MADE AVAILABLE FOR ANY LOSSES OF PLANT STOCK THAT MAY OCCUR FOR A MINIMUM 12 MONTH PERIOD.
 - * WEEDS SHOULD BE REMOVED ON A FORTNIGHTLY BASIS.
 - * PEST OR DISEASE SAMPLES TO THE LOCAL NURSERY FOR IDENTIFICATION AND APPROPRIATE REMEDY.

- #### JORDAN SPRINGS - VILLAGE NOTES
- ALL GARDEN EDGING VISIBLE FROM STREET IS TO BE CONSTRUCTED OF TEXTURED OR COLOURED MASONRY BRICKS / BLOCKS OR COLOURED CONCRETE - TIMBER EDGING IS NOT PREFERRED WHERE VISIBLE FROM STREET.
- ARE TO BE OF MASONRY CONSTRUCTION
- ALL FENCING AND RETURNS / GATES ARE TO BE SET BACK MINIMUM 7500mm FROM BOUNDARY OR 2000mm BEHIND BUILDING FASCADA - WHICHEVER IS GREATER.
- VEHICLE CROSSOVER IS TO BE PLAIN CONCRETE TO COUNCIL SPECIFICATION - 5M WIDE FOR A DOUBLE GARAGE AND 3.5M WIDE FOR A SINGLE GARAGE

| PLANT SCHEDULE | | | | | |
|--|-----|-----|-------------|--------|---------|
| BOTANIC NAME | KEY | QTY | POT SIZE | HT (M) | WTH (M) |
| TREES | | | | | |
| LAGERSTROEMIA INDICA (CREPE MYRTLE) | LI | 2 | 45L | 6 | 4 |
| PYRUS 'CHANTICLEER' (FLOWERING PEAR) | PC | 1 | 45L | 8 | 5 |
| SHRUBS | | | | | |
| ACMENA SMITHII var. MINOR (LILLY PILLY)* | AS | 4 | 200MM HEDGE | - | - |
| DIANELLA REVOLUTA (FLAX LILLY)* | DR | 27 | 150MM | 0.6 | 0.6 |
| PHORMIUM 'ANNA'S RED' (FLAX) | PA | 1 | 200MM | 1.5 | 1.5 |
| SYZYGIUM 'ELITE' (LILLY PILLY)* | SE | 9 | 200MM HEDGE | - | - |

* = NATIVE SPECIES GARDEN AND LAWN AREA - 227m2

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PROJECT: PROPOSED DWELLING

ADDRESS: LOT 2/109 LAKESIDE PDE, JORDAN SPRINGS

CLIENT: BUTCHER

TITLE: LANDSCAPE CONCEPT

DATE: 16 JUN 14 SCALE: 1:100 - A2 SHEET No: 1 OF 1

JOB No: 3790 DRAWN: CJ / PM

TREE REPORTS
 LANDSCAPE PLANS
 VEGETATION MANAGEMENT PLANS

Reviewed by LEND LEASE COVENANT MANAGER
 - 2 JUL 2014
 Signed: [Signature]