

weast manegment plan & site plan

sidewalk control plan

sidewalk control plan

Driver way Exit

two story  
brick  
have  
Roof tiles.

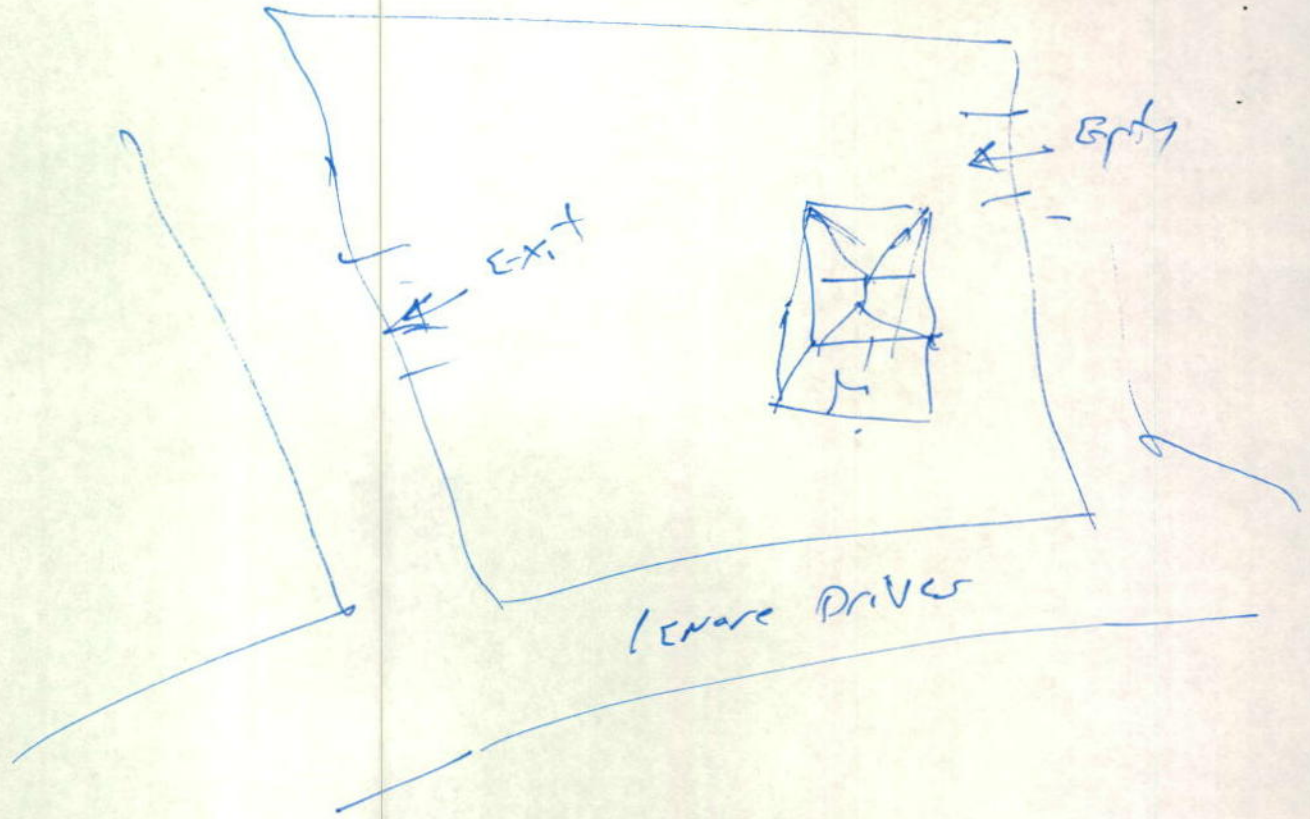
Portable toilet

ESK PARK

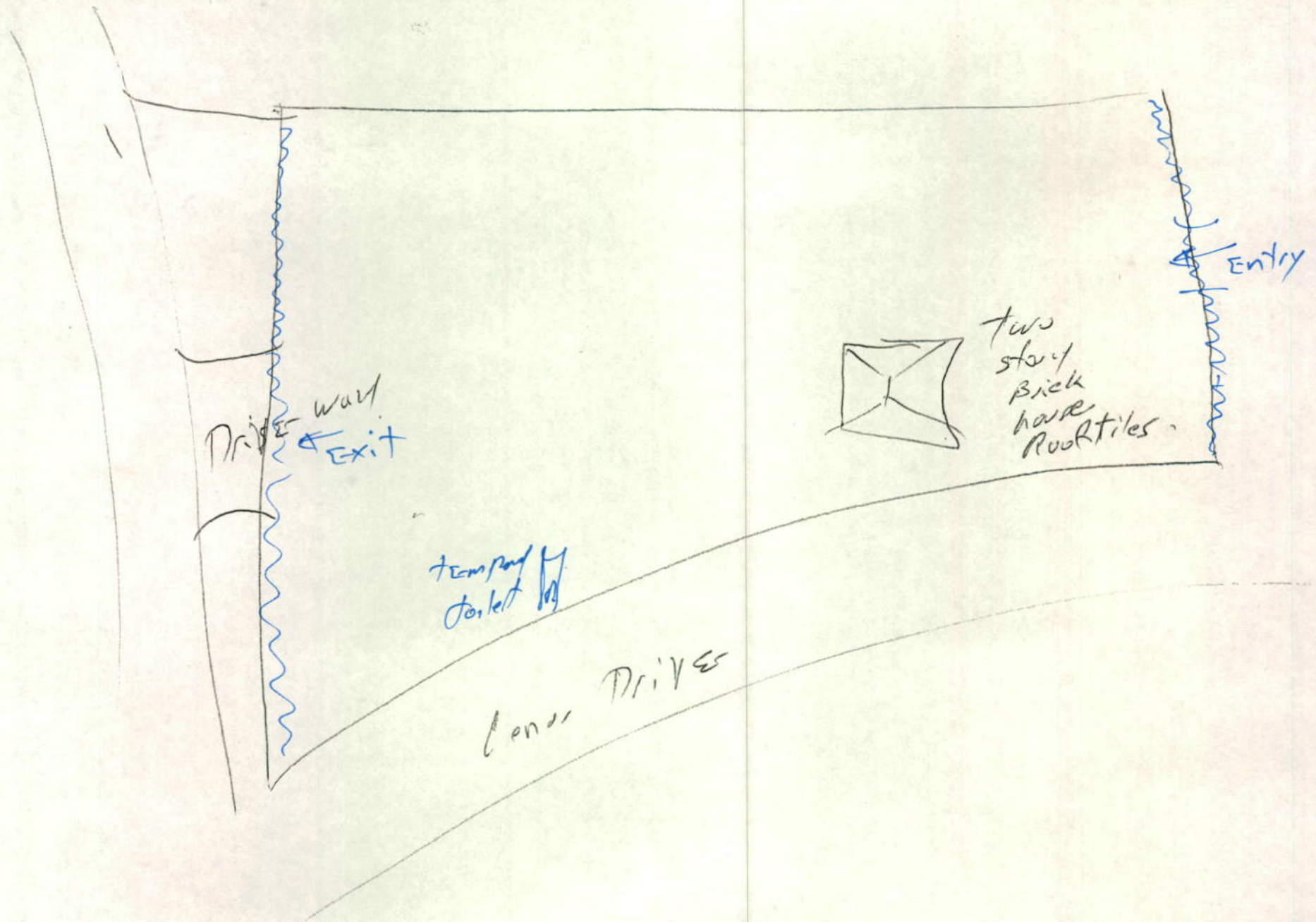
Center Drives

site plan

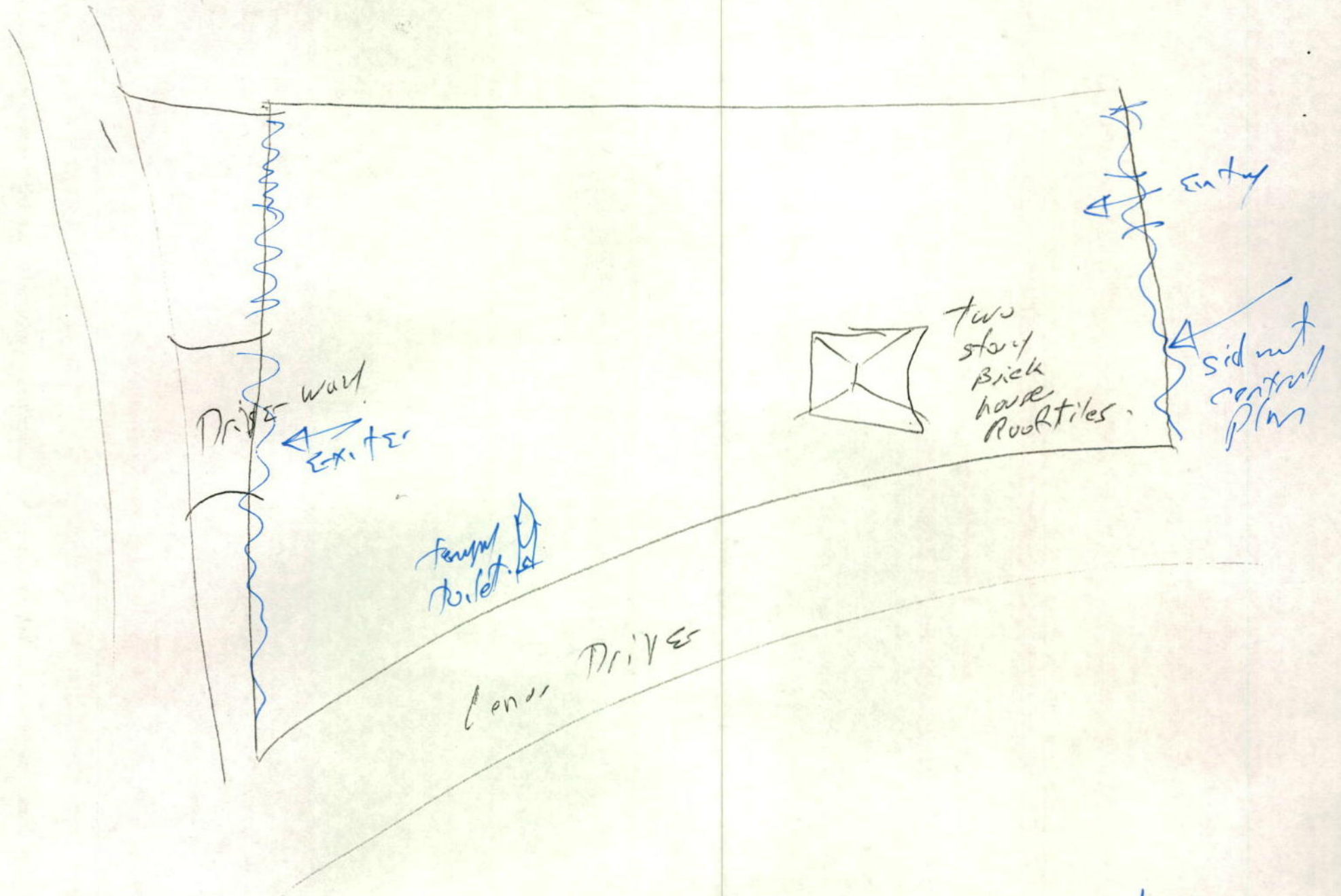
Brick  
concrete Roof  
timber  
steel  
concrete  
slab  
Tree shade



specification plans & site plan

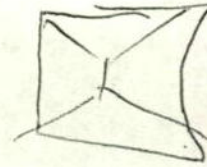


site plan & waste management plan



site plan - at west end  
 and plan

Drive way  
exit



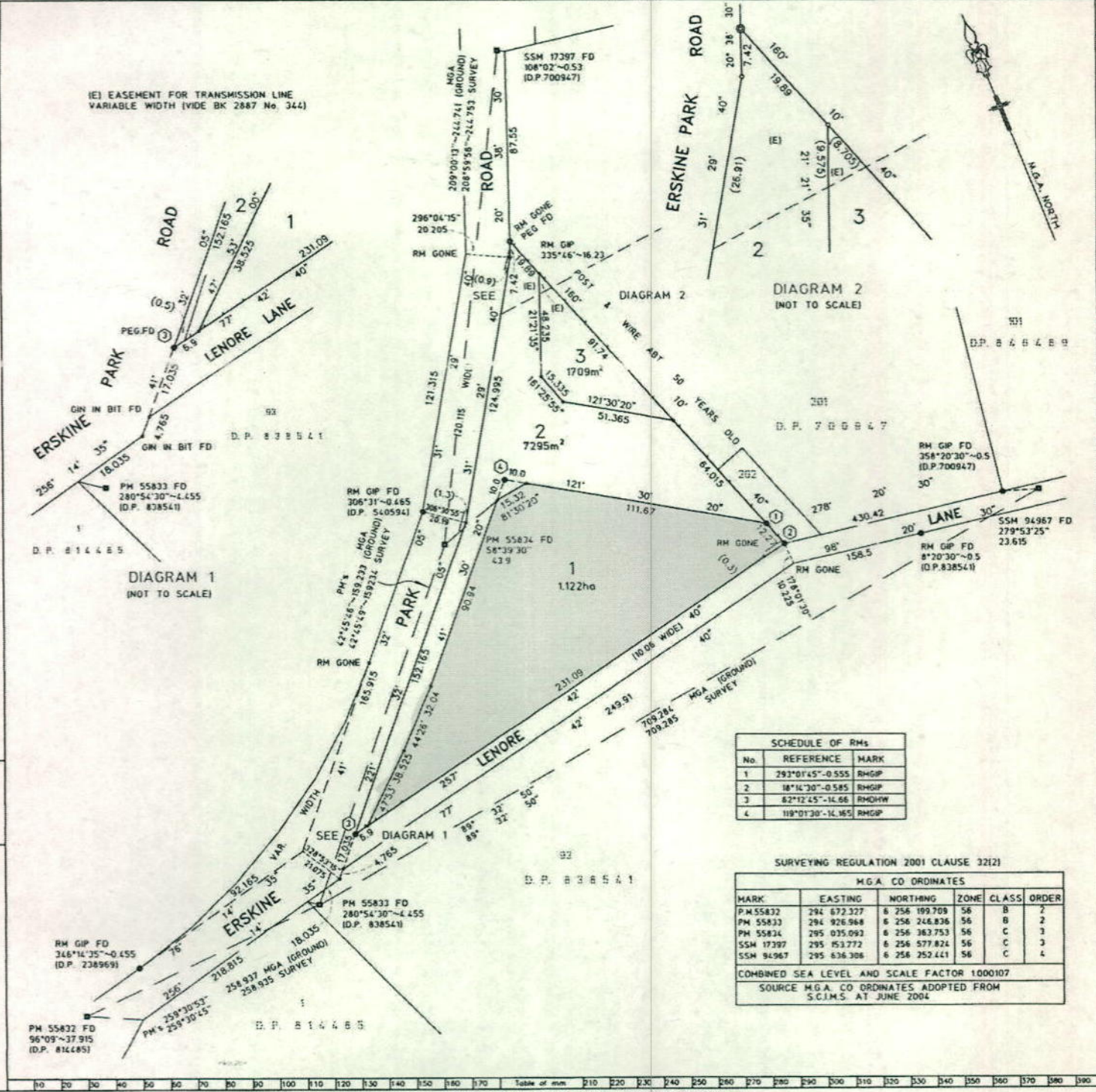
two  
story  
brick  
house  
Roof tiles.

Entry

Land Drive

site plan

SIGNATURES AND SEALS ONLY



DP1071114

Registered 14W 06.08.2004  
 CA: \_\_\_\_\_  
 Title System: TORRENS  
 Purpose: ACQUISITION  
 Ref. Map: U7952-6  
 Last Plan: D.P. 164171

PLAN OF ACQUISITION OF PARTS OF LOT A D.P.164171

Lengths are in metres. Reduction Ratio 1:1250

L. O. A.: PENRITH  
 SUBURB: ERSKINE PARK  
 PARISH: MELVILLE  
 COUNTY: CUMBERLAND

This is sheet 1 of my plan in sheets. (Delete if inapplicable)

Survey Certificate  
 Surveying Regulation 2001  
 I, PETER ROBERT SAUNDERS  
 of VINCE MORGAN (SURVEYORS) PTY.LTD.  
 Ph 47215283. Fax 47218221 email info@vincemorgan.com.au  
 a land surveyor registered under the Surveying Act, 2002, certify  
 that the survey represented in this plan is accurate, and has  
 been made in accordance with the Surveying Regulation, 2001  
 and was completed on 27.06.04  
 the survey relates to Lot 1, 2 & 3

(Signatures) \_\_\_\_\_ Date 27.06.04  
 Land Surveyor registered under the Surveying Act, 2002.  
 Orientation: PM55833 to 5584947 Type: Urban

Plans used in preparation of survey.  
 D.P.164171  
 D.P.238969  
 D.P.700947  
 D.P.838541  
 D.P.846489

PANEL FOR USE ONLY for statements of intention to dedicate public roads, to create public reserves, drainage reserves, easements, restrictions on the use of land or positive covenants.

IT IS INTENDED TO ACQUIRE LOT 2 FOR ROAD PURPOSES

IT IS INTENDED TO ACQUIRE LOT 3 FOR RESALE

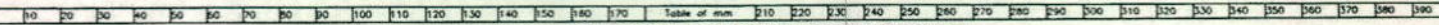
SCHEDULE OF RMs			
No.	REFERENCE	MARK	
1	293°01'45"-0.555	RHGP	
2	18°14'30"-0.585	RHGP	
3	82°12'45"-14.66	RMDHW	
4	119°01'30"-14.165	RHGP	

SURVEYING REGULATION 2001 CLAUSE 32(2)						
MGA CO ORDINATES						
MARK	EASTING	NORTHING	ZONE	CLASS	ORDER	
PM55832	294 672.327	6 256 199.709	56	B	2	
PM 55833	294 926.968	6 256 246.836	56	B	2	
PM 55834	295 035.092	6 256 363.753	56	C	3	
SSM 17397	295 153.772	6 256 577.824	56	C	3	
SSM 94967	295 636.308	6 256 252.411	56	C	4	

COMBINED SEA LEVEL AND SCALE FACTOR 1000107  
 SOURCE MGA CO ORDINATES ADOPTED FROM S.C.I.M.S. AT JUNE 2004

Crown Land Office Approval  
 PLAN APPROVED \_\_\_\_\_  
 Authorized Officer \_\_\_\_\_  
 Land District \_\_\_\_\_  
 Paper No \_\_\_\_\_  
 Field Book \_\_\_\_\_ pages

Subdivision Certificate  
 I certify that the provisions of a 2002 of the Environmental Planning and Assessment Act 1979 have been satisfied in relation to the proposed \_\_\_\_\_ set out herein.  
 (Check 'subdivision' or 'new road')  
 \_\_\_\_\_  
 Multinomial Person/General Manager/Accredited Certifier  
 Consent Authority \_\_\_\_\_  
 Date of endorsement \_\_\_\_\_  
 Accreditation No \_\_\_\_\_  
 Subdivision Certificate No \_\_\_\_\_  
 File No \_\_\_\_\_  
 When this plan is to be lodged electronically in the Land Titles Office, it should include a signature in an electronic or digital format approved by the Registrar General.  
 \*Delete whichever is inapplicable.



WARNING: CREASING OR FOLDING WILL LEAD TO REJECTION