

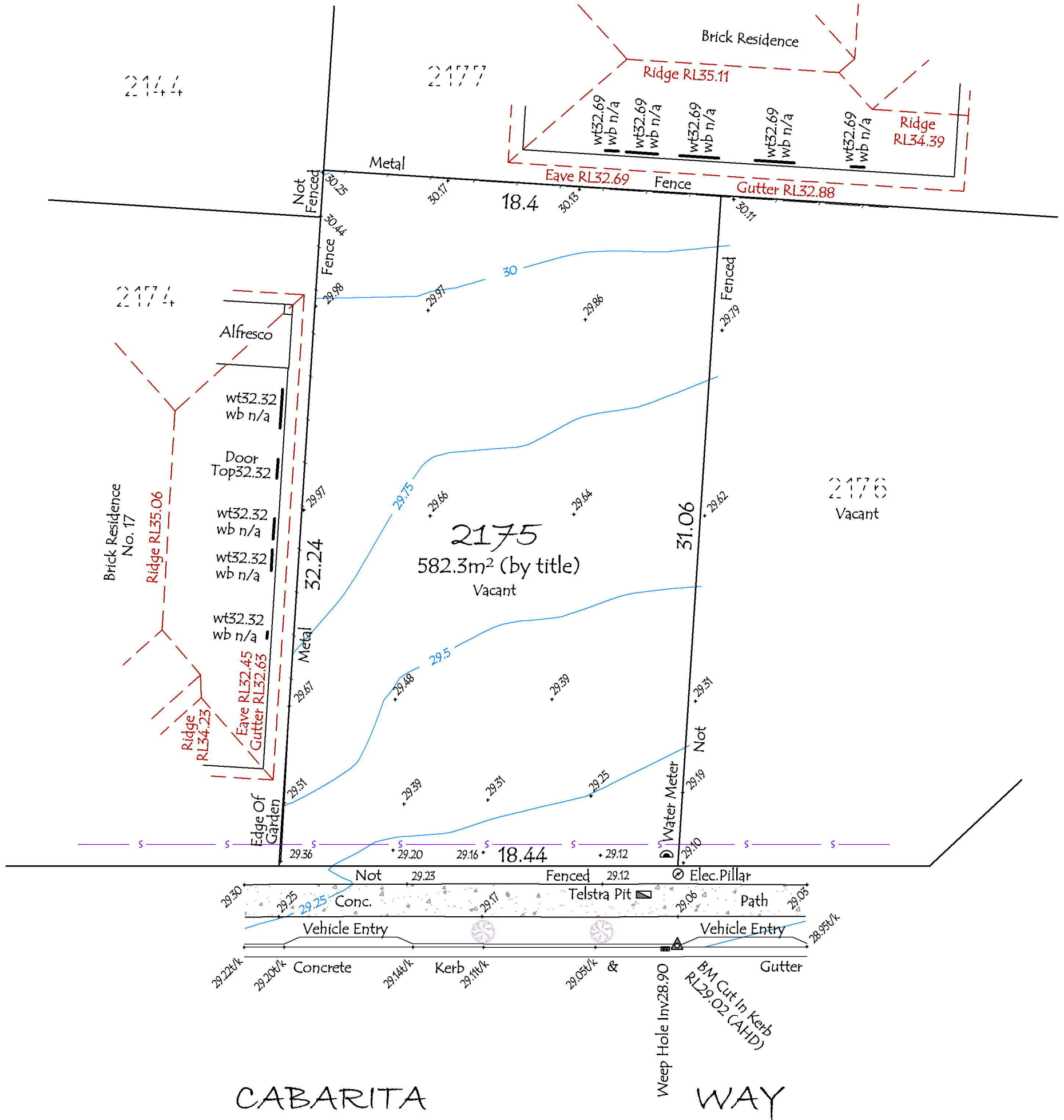


wt ~ DENOTES WINDOW TOP
wb ~ DENOTES WINDOW BOTTOM

DENOTES SEWERMAIN (approx. position only)



MGA North



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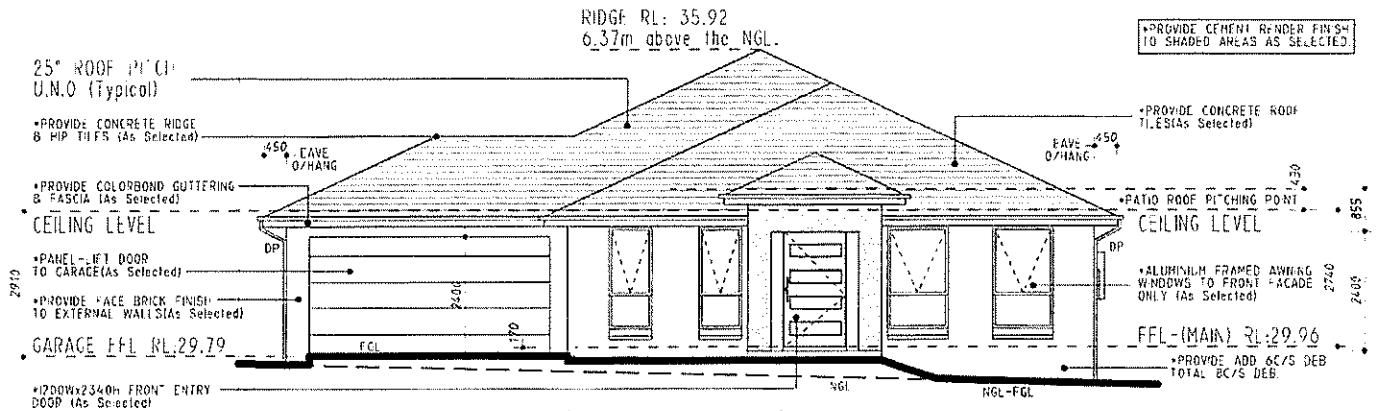
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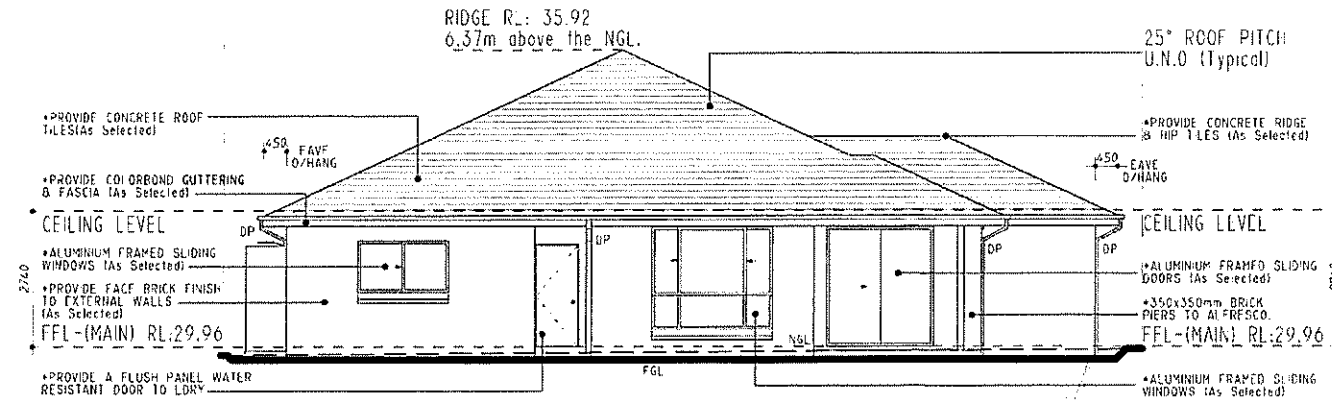
NOTE: SPREAD OF TREES IS APPROXIMATE ONLY
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BOUNDARY DIMENSIONS AND AREA ARE BY TITLE ONLY.
t/k DENOTES TOP OF KERB

	Vince Morgan (Surveyors) Pty Ltd 77 UNION ROAD PENRITH PO BOX 4156 PENRITH 2750 Ph 47215293 Fax 47312821 email mail@vmsurvey.com.au www.vincemorgansurveyors.com.au	A.C.N. 065 060 808	DATE: 06.03.14	ORIGIN: 55M181220 RL 28.801	CLIENT: SETT HOMES PTY LTD	PLAN SHOWING LEVELS, DETAIL & CONTOURS OVER LOT 2175 D.P.1168992 CABARITA WAY, JORDAN SPRINGS	PLAN No. 18838T
			SCALE 1:200@A3	FILENAME:			
			DRAWN: MP				
			DATUM: A.H.D.				
						SHEET 1 OF 1 SHEETS	

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Front(southern)Elevation



Rear(northern)Elevation

FOR AND TO LENTLEASE COVENANT MANAGER
 - 3 JUN 2014
 Signed: [Signature]

REVISION SCHEDULE

ISSUE	DESCRIPTION	BY	DATE
A	PRELIM PLANS-PRIOR TO CONTRACTS	AM	30.04.14
B	ESTATE APPROVAL	AM	13.05.14

GENERAL BUILDING NOTES

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED.
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BUILDERS TENDER/CONTRACT DOCUMENTATION.
3. DIMENSIONS MUST TAKE PREFERENCE TO SCALING.
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7. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BEFORE COMMENCEMENT OF BUILDING WORKS BY REGISTERED SURVEYOR.
8. BUILDING WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE TO THESE DRAWINGS.
9. BUILDING IS TO STRICTLY COMPLY WITH ALL RELEVANT BUILDING CODE OF AUSTRALIA CONSTRUCTION REQUIREMENTS AND AUSTRALIAN STANDARDS.
10. IN CASE OF ALTERATIONS OR DISCREPANCIES NOTIFY MARRETTA DESIGN IMMEDIATELY.



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Ph: 97565010
 Fax: 97252022
 Building Designers & Development Planners
 www.marrettdesign.com.au
 admin@marrettdesign.com.au

PROPOSED:
New S-Storey Dwelling

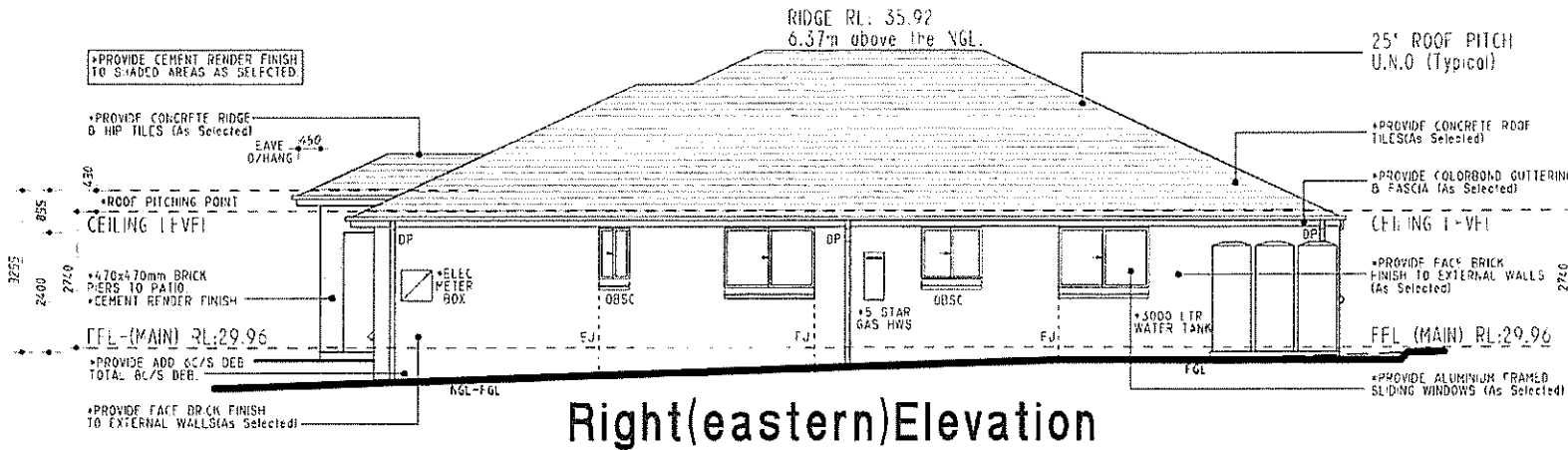
CLIENT:
Mr Jose & Mrs Thomas

LOCATION:
**Lot 2175 DP:1168992
 Cabarita Way,
 Jordan Springs (Illoura)**

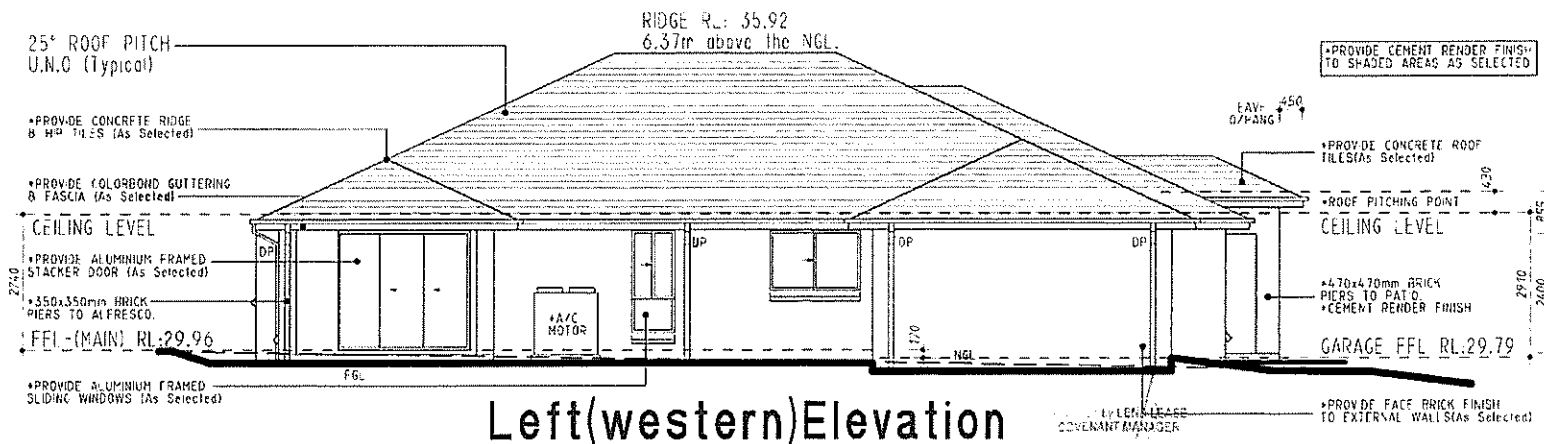
COUNCIL:
Penrith

DATE DRAWN:	ISSUE:	SHEET:	DESCRIPTION:
30.04.14	B	06 OF 09	Custom
DESIGNED BY:	DRAWN:	SCALE:	REFERENCE:
FS	FS/AM	1:100 UNO	MS025-14

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Right (eastern) Elevation




Left (western) Elevation

By LEAN LEASE COVENANT MANAGER


3 JULY 2014

REVISION SCHEDULE				DESIGNED:	FS	PROPOSED:	DESCRIPTION:
ISSUE	DESCRIPTION	BY	DATE	FS		New S-Storey Dwelling	Custom Design
A	PRELIM PLANS PRIOR TO CONTRACTS	AM	30.04.14	FS/AM		Mr Jose & Mrs Thomas	
B	ESTATE APPROVAL	AM	13.05.14		B	LOCATION	COUNCIL:
						Lot 2175 DP:1168992 Cabarita Way, Jordan Springs (Illoura)	Penrith
				SCALE:	1:100 UNO		



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Lifestyle Designers



Building Designers & Development Planners
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admin@marrettdesign.com.au

SHEET 07 OF 09

REFERENCE MS026-14

PLANT SCHEDULE Prepared by **ecodesign Pty Ltd**

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Aam	Acmena smithii 'Alyn Magic'	Alyn Magic Lillypilly	9	200mm	0.5-1m
Ag	Agave attenuata	Soft-leaved Agave	6	25L	1m
CJj	Callistemon 'Little John'	Dwarf Bottlebrush	7	200mm	1m
Du	Dianella prunina 'Utopia'	Blue-Leaved Flax Lily	7	150mm	0.5m
Er	Elaeocarpus reticulatus	Blueberry Ash	1	25L	9m
Lem	Liriope muscari 'El Marco'	Dwarf Liriope	12	150mm	0.4m
TJl	Tristanopsis laurina 'Luscious'	Luscious Water Gum	1	25L	7-12m

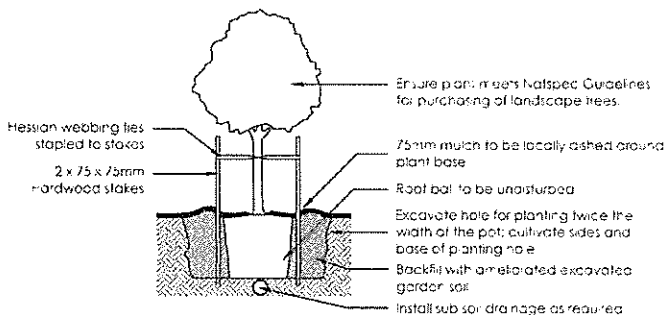
* Australian native plants

PLANTING SUMMARY

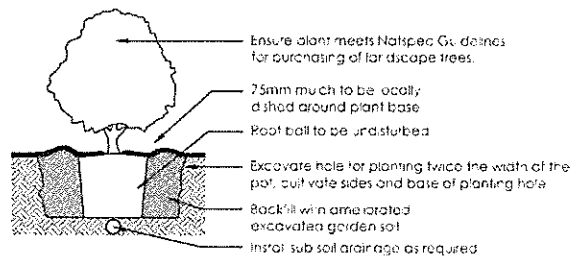
Total Plants	Total Native Plants	Total Exotic Plants	% Native Plants**	Total Trees***	Area of low water use/native plants m2
43	25	18	58%	2	15.8 m2

**Minimum required 50%

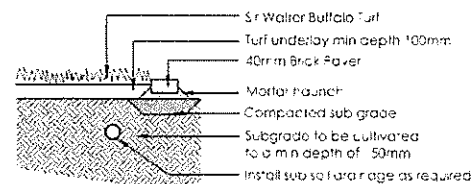
***Minimum 2 trees



1 Tree Planting Detail
NTS 25L - 75L Pot Size



2 Planting Detail
NTS Tub, 50mm, 200mm Pot Size



3 Turf Detail
NTS Brick Paver Edge

LEGEND

- Proposed trees - refer to plant schedule
- Proposed accents & grasses - refer to plant schedule
- Proposed shrubs - refer to plant schedule
- Proposed groundcovers and grasses - refer to plant schedule
- Existing levels
- Proposed levels
- Proposed Top Of Wall levels
- Boundary
- Fence
- Garden edging
- Timber retaining walls
- Masonry retaining walls
- Existing contours
- To be removed / demolished
- Existing tree to be retained
- Existing tree to be removed

	175 Cabarita Way Jordan Springs, NSW 2589 Tel: 02 9437 1111 Fax: 02 9437 1112 Email: info@ecodesign.com.au	LOT 2175 CABARITA WAY JORDAN SPRINGS, NSW	NEW RESIDENCE		
	MR JOSE & MRS THOMAS	LANDSCAPE PLAN 1:100 @ A3 DA 11-02		JD MD 09-05-14 A	

PLANT SCHEDULE Prepared by ecodeign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Aam	Acmena smithii 'Allyn Magic'*	Allyn Magic Lillypilly	9	200mm	0.5-1m
Ag	Agave attenuata	Soft-leaved Agave	6	25L	1m
Clj	Callistemon 'Little John'*	Dwarf Bottlebrush	12	200mm	1m
Er	Elaeocarpus reticulatus*	Blueberry Ash	1	25L	9m
Dlr	Dianella revoluta 'Little Rev'*	Dwarf Blue Flax Lily	22	150mm	0.3m
Tll	Tristaniopsis laurina 'Luscious'*	Luscious Water Gum	1	25L	7-12m

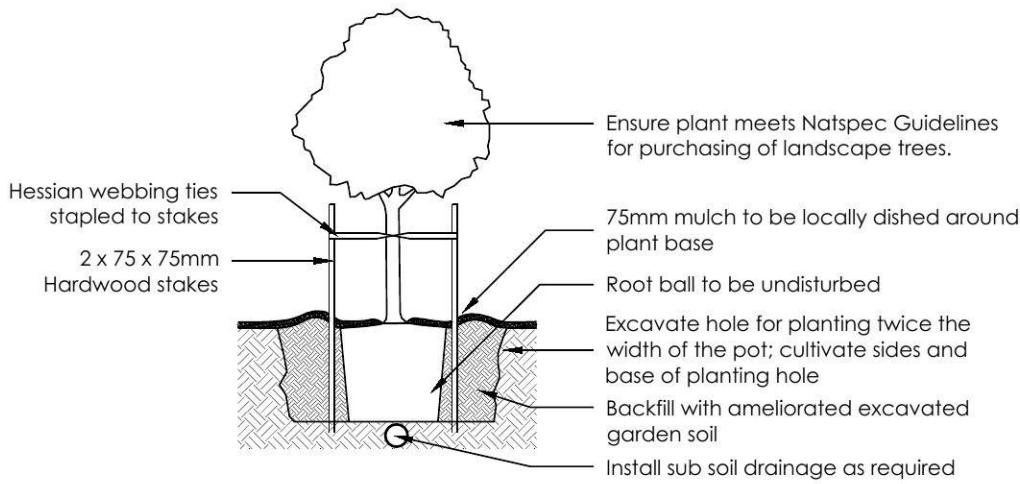
*Australian native plants

PLANTING SUMMARY

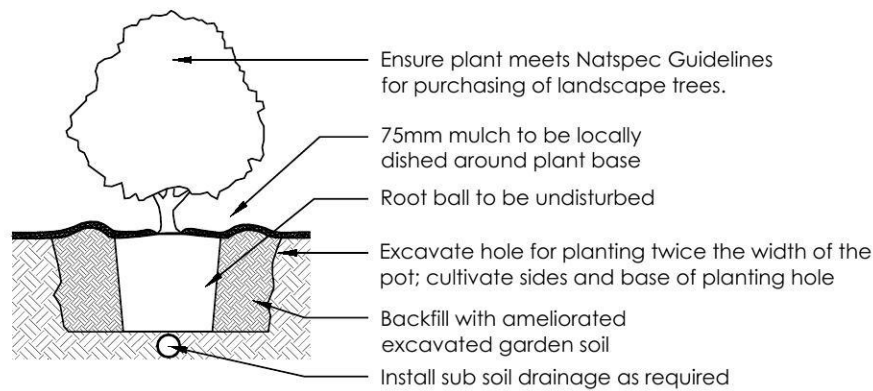
Total Plants	Total Native Plants	Total Exotic Plants	% Native Plants**	Total Trees***	Area of low water use/native plants m2
51	45	6	88%	2	15.8 m2

**Minimum required 50%

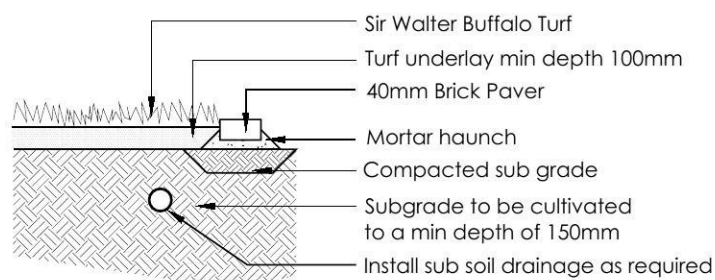
***Minimum 2 trees



1 Tree Planting Detail
NTS 25L - 75L Pot Size



2 Planting Detail
NTS Tube, 150mm, 200mm Pot Size



3 Turf Detail
NTS Brick Paver Edge

LEGEND

- Proposed trees - refer to plant schedule
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<table border="1"> <thead> <tr> <th>REVISION</th> <th>DESCRIPTION</th> <th>DRAWN</th> <th>CHECK</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>SUBMITTED TO CLIENT FOR COMMENT</td> <td>JD</td> <td>MD</td> <td>09-05-14</td> </tr> <tr> <td>B</td> <td>SUBMITTED TO CLIENT FOR COMMENT</td> <td>JD</td> <td>MD</td> <td>10-06-14</td> </tr> </tbody> </table>	REVISION	DESCRIPTION	DRAWN	CHECK	DATE	A	SUBMITTED TO CLIENT FOR COMMENT	JD	MD	09-05-14	B	SUBMITTED TO CLIENT FOR COMMENT	JD	MD	10-06-14	<p>ecodeign <i>outdoor living environments</i></p> <p>PO Box 8136, Southam Hills, NSW 2153 Ph: (02) 9480 7712 Fax: (02) 9480 7705 Email: info@ecodeign.com.au Web: www.ecodeign.com.au Member of the Australian Institute of Landscape Designers and Managers</p>	<p>ADDRESS LOT 2175 CABARITA WAY JORDAN SPRINGS, NSW</p>	<p>PROJECT NEW RESIDENCE</p> <p>DRAWING LANDSCAPE PLAN</p> <p>SCALE 1:100 @ A3</p> <p>ISSUE DA</p> <p>SHEET L - 02</p>	
REVISION	DESCRIPTION	DRAWN	CHECK	DATE															
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<p>1. Do not scale from drawings. 2. Verify all measurements on site. 3. Notify ecodeign of any inconsistencies. 4. Copyright © ecodeign. All rights reserved. 5. Drawing remains the property of ecodeign.</p>		<p>6. All work to comply with relevant Australian Standards or Building Code of Australia. 7. All work to be performed by a suitably qualified tradesperson. 8. For application purposes only - NOT FOR CONSTRUCTION</p>		<p>CLIENT MR JOSE & MRS THOMAS</p>	<table border="1"> <thead> <tr> <th>DRAWN</th> <th>CHECK</th> <th>DATE</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td>JD</td> <td>MD</td> <td>10-06-14</td> <td>B</td> </tr> </tbody> </table>	DRAWN	CHECK	DATE	REVISION	JD	MD	10-06-14	B						
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SCHEDULE OF BASIX COMMITMENTS

WATER COMMITMENTS

FIXTURES
 *THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (> 4.5 BUT <= 6 L/MIN) IN ALL SHOWERS IN THE DEVELOPMENT.
 *THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 4 STAR IN EACH TOILET IN THE DEVELOPMENT.
 *THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM RATING OF 5 STAR IN THE KITCHEN IN THE DEVELOPMENT.
 *THE APPLICANT MUST INSTALL BASIN TAPS WITH A MINIMUM RATING OF 3 STAR IN EACH BATHROOM IN THE DEVELOPMENT.

ALTERNATIVE WATER
 *THE APPLICANT MUST INSTALL A RAINWATER TANK WITH A CAPACITY OF AT LEAST 3000 LITRES ON THE SITE.
 THIS RAINWATER TANK MUST MEET AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.
 *THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 100 SQUARE METRES OF THE ROOF AREA OF THE DEVELOPMENT (excluding the area of the roof which drains to any stormwater tank or dam).
 *THE APPLICANT MUST CONNECT THE RAINWATER TANK TO--
 -ALL TOILETS IN THE DEVELOPMENT
 -THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER IN THE D'PMENT
 -AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT (NOTE: NSW health does not recommend that rainwater be used for human consumption in areas with portable water supply).

THERMAL COMFORT COMMITMENTS

FLOOR, WALLS AND CEILING/ROOF
 *THE APPLICANT MUST CONSTRUCT THE FLOOR(S), WALLS, AND CEILING/ROOF OF THE DWELLING IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE CONSTRUCTION ADDITIONAL INSULATION REQUIRED (R-VALUE) OTHER SPECIFICATION
 *FLOOR - CONCRETE SLAB ON GROUND NIL
 *EXTERNAL WALL - BRICK VENEER L66 (OR 220 INCLUDING CONSTRUCTION)
 *INTERNAL WALL SHARED WITH GARAGE - PLASTERBOARD NIL
 *CEILING AND ROOF - FLAT CEILING / PITCHED ROOF CEILING: 3 (UP).
 *ROOF: FOIL/SARKING UNVENTILATED; MEDIUM (SOLAR ABSORPTANCE 0.475-0.70)

WINDOWS, GLAZED DOORS AND SKYLIGHTS
 *THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES DESCRIBED IN THE BASIX TABLE, IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE BASIX TABLE. RELEVANT OVERSHADOWING SPECIFICATIONS MUST BE SATISFIED FOR EACH WINDOW AND GLAZED DOOR.
 *THE DWELLING MAY HAVE 1 SKYLIGHT (<0.7 SQUARE METRES) AND UP TO 2 WINDOWS/GLAZED DOORS (<0.7 SQUARE METRES) WHICH ARE NOT LISTED IN THE FOLLOWING REQUIREMENTS MUST ALSO BE SATISFIED IN RELATION TO EACH WINDOW AND GLAZED DOOR EXCEPT WHERE THE GLASS IS 'SINGLE CLEAR' OR 'SINGLE TONED'. EACH WINDOW AND GLAZED DOOR MUST HAVE A U-VALUE NO GREATER THAN THAT LISTED AND A SOLAR HEAT GAIN COEFFICIENT (SHGC) +/- 10% OF THAT LISTED. TOTAL SYSTEM U-VALUES AND SHGC MUST BE CALCULATED IN ACCORDANCE WITH NATIONAL FENESTRATION RATING COUNCIL (NFR) CONDITIONS.
 *THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDAH, BALCONY OR AWNING MUST BE NO MORE THAN 500 MILLIMETRES ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR, EXCEPT THAT A PROJECTION GREATER THAN 500MM AND UP TO 1500 MM ABOVE THE HEAD MUST BE TWICE THE VALUE.
 *PERGOLAS WITH POLYCARBONATE ROOF OR SIMILAR TRANSLUCENT MATERIAL MUST HAVE A SHADING COEFFICIENT OF LESS THAN 0.35.
 *UNLESS THEY HAVE ADJUSTABLE SHADING, PERGOLAS MUST HAVE FIXED BATTENS PARALLEL TO THE WINDOW OR GLAZED DOOR ABOVE WHICH THEY ARE SITUATED, UNLESS THE PERGOLA ALSO SHADES A PERPENDICULAR WINDOW, THE SPACING BETWEEN BATTENS MUST NOT BE MORE THAN 50 MM.

SPECIFICATIONS FOR ALL WINDOWS/ASD

WINDOW OR NO.	ORIENTATION	AREA	TYPE	SHADING	O/SHADOWING
*STUDY	W	2.77sqm	IMPROVED ALUMINIUM, SINGLE CLEAR (OR U-VALUES: 0.44, SHGC: 0.75)	EAVE/VERANDAH/PERGOLA/BALCONY 450-600mm	NOT O/SHADOWED
*DINING	W	1.70sqm	AS ABOVE	450-600mm	AS ABOVE
*DINING SLIDING	N	5.77sqm	AS ABOVE	>2000mm	AS ABOVE
*FAMILY STACKER	W	6.36sqm	AS ABOVE	>2000mm	AS ABOVE
*FAMILY	N	4.82sqm	AS ABOVE	450-600mm	AS ABOVE
*BED 3	N	1.88sqm	AS ABOVE	NONE	AS ABOVE
*BED 4	E	2.77sqm	AS ABOVE	450-600mm	AS ABOVE
*BATH	E	1.28sqm	AS ABOVE	450-600mm	AS ABOVE
*BED 2	E	2.77sqm	AS ABOVE	450-600mm	AS ABOVE
*ENSUITE	E	0.61sqm	AS ABOVE	450-600mm	AS ABOVE
*MASTER BED	S	4.84sqm	AS ABOVE	450-600mm	AS ABOVE
*LIVING/ HOME THEATRE	S	3.40sqm	AS ABOVE	450-600mm	AS ABOVE

ENERGY COMMITMENTS

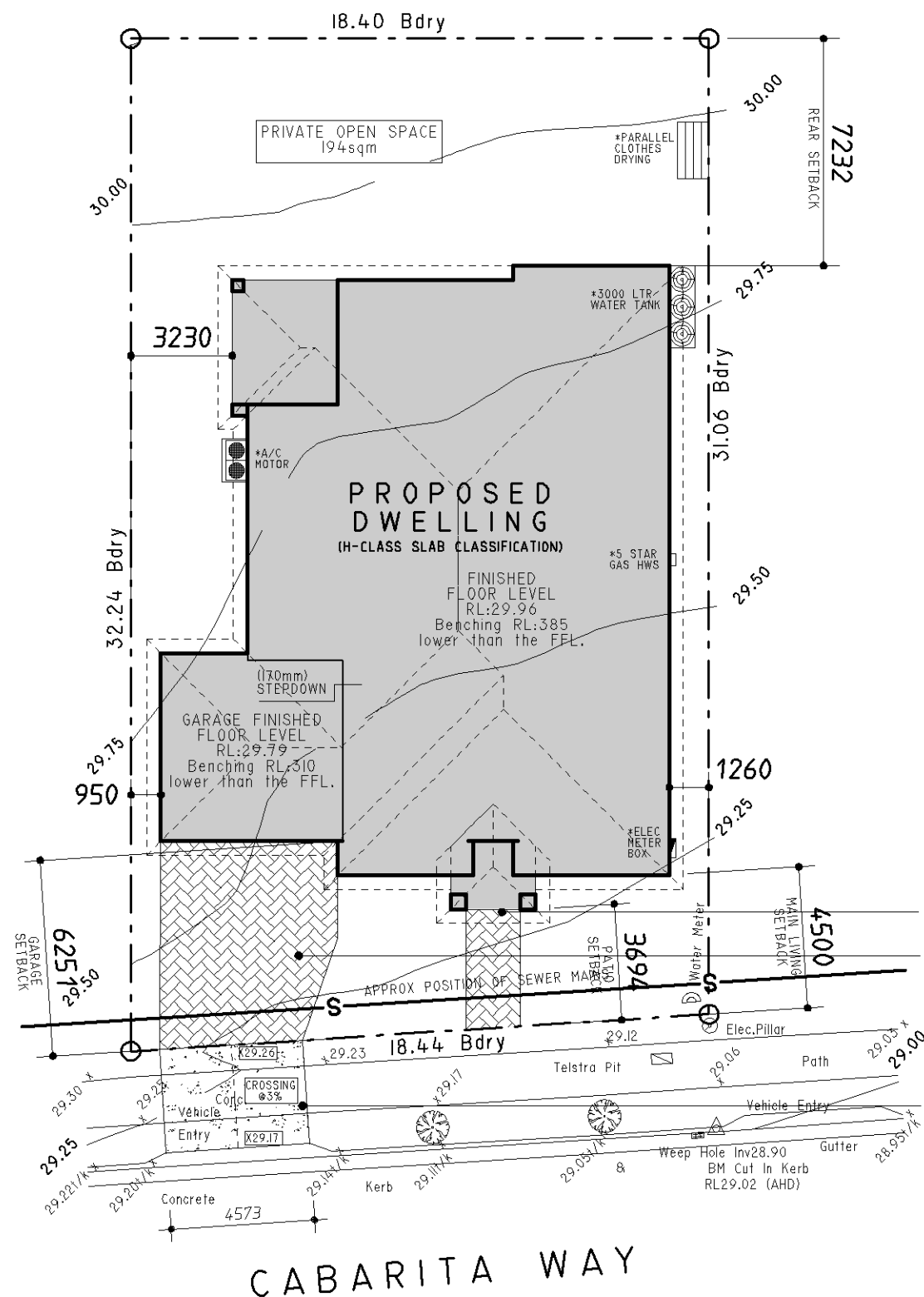
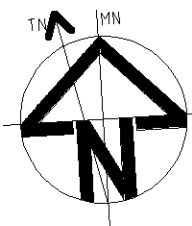
HOT WATER
 *THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT WITH A HIGHER ENERGY RATING: GAS INSTANTANEOUS-5 STAR

COOLING SYSTEM/HEATING SYSTEM
 *THE APPLICANT MUST INSTALL THE FOLLOWING COOLING/HEATING SYSTEM IN THE DEVELOPMENT, OR A SYSTEM WITH A HIGHER ENERGY RATING: LIVING AREAS: 3-PHASE AIRCONDITIONING; ENERGY RATING: EER 2.5-3.0. BEDROOMS: 3-PHASE AIRCONDITIONING; ENERGY RATING: EER 2.5-3.0. THE COOLING/HEATING SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS.

VENTILATION
 *THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEM IN THE DEVELOPMENT: 1 BATHROOM: INDIVIDUAL FAN, NOT DUCTED; OPERATION CONTROL: MANUAL SWITCH ON/OFF
 KITCHEN: INDIVIDUAL FAN, NOT DUCTED; OPERATION CONTROL: MANUAL SWITCH ON/OFF
 LDRY: NATURAL VENTILATION OR NO LDRY; OPERATION CONTROL: N/A

NATURAL LIGHTING
 *THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 2 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

OTHER
 *THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.
 *THE APPLICANT MUST CONSTRUCT EACH REFRIGERATOR SPACE IN THE DEVELOPMENT SO THAT IT IS 'WELL VENTILATED', AS DEFINED IN THE BASIX DEFINITIONS.
 *THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT.



DEVELOPMENT CALCS USING LGA D'PMENT CONTROL PLANS.

LOT: 2175 CABARITA WAY.
 JORDAN SPRINGS LOT AREA: 582.3sqm

ITEMISED FLOOR AREA	Area:
GROUND FLR.:	223.42sqm
GARAGE:	33.95sqm
PATIO:	4.27sqm
ALFRESCO:	13.47sqm
TOTAL FLOOR AREA:	275.11sqm
TOTAL NETT LIVING AREA:	223.42sqm
FLOOR SPACE RATIO:	38.36%
TOTAL FOOTPRINT AREA:	275.11sqm
FOOTPRINT SITE RATIO:	47.24%
TOTAL DRIVEWAY+PATH AREA:	41.31sqm
TOTAL FOOTPRINT+DRIVEWAY+PATH:	316.42sqm
IMPERVIOUS SITE COVER RATIO:	54.33%
TOTAL LANDSCAPED AREA:	235.77sqm
RATIO:	40.48%
TOTAL ROOF AREA:	306.73sqm

SURVEYORS NOTE:

*DATUM ASSUMED UNLESS NOTED OTHERWISE
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IMPORTANT NOTE:

*TREES WITHIN BUILDING AREA & 3.0m SURROUNDING TO BE FELLED & REMOVED.

*LANDSCAPING NOTE

*ALL DRIVEWAYS, PATHWAYS, LANDSCAPING, FENCING TO BE COMPLETED AS NOTED WITHIN QUOTATION/TENDER.
 *ALL ITEMS NOT REFERRED TO WITHIN QUOTATION/TENDER TO BE COMPLETED BY OWNER.
 *ALL ITEMS NOTED WITHIN ARE TO BE COMPLETED IN ACCORDANCE WITH THE ESTATE AND/OR COUNCIL GUIDELINES TO COUNCIL SATISFACTION.
 *ALL EXTERNAL FINISHED GROUND LEVELS & EXTERNAL STEPS ARE ALL SUBJECT TO A COMPREHENSIVE LANDSCAPE PLAN PREPARED BY A LANDSCAPE ARCHITECT/CONSULTANT.
 REFER TO LANDSCAPE CONSULTANTS PLANS FOR LANDSCAPING DETAILS

*APPROX 1 STEP REQUIRED. STEPS REQUIRED SUBJECT TO LANDSCAPE CONSULTANTS PLANS

*PROVIDE NON SLIP CONCRETE FINISH TO DRIVEWAY.

*PROVIDE A LANDSCAPING STRIP ADJACENT TO DRIVEWAY AS REQUIRED.

*PROVIDE APPROX 15.05SQM OF CONCRETE FINISH TO VEHICLE CROSSING (Non Slip Finish) IN ACCORDANCE WITH COUNCIL REQUIREMENTS

Site Plan

SCALE 1:200

REVISION SCHEDULE

ISSUE	DESCRIPTION	BY	DATE
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B	ESTATE APPROVAL	AM	13.05.14
B-1	DA APPROVAL	AM	11.06.14

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 Fax: 97252022
 Building Designers & Development Planners
 www.marrettadesign.com.au
 admin@marrettadesign.com.au

PROPOSED: New S-Storey Dwelling

CLIENT: Mr Jose & Mrs Thomas

LOCATION: Lot 2175 DP:1168992 Cabarita Way, Jordan Springs (Illoura)

COUNCIL:	DESCRIPTION:
Penrith	Custom
DATE DRAWN: 30.04.14	ISSUE: B-1
SHEET: 01 OF 09	REFERENCE: MS025-14
DESIGNED: FS	DRAWN: FS/AM
SCALE: 1:100 UNO	

REVISION SCHEDULE

ISSUE	DESCRIPTION	BY	DATE
A	PRELIM PLANS-PRIOR TO CONTRACTS	AM	30.04.14
B	ESTATE APPROVAL	AM	13.05.14
B-1	DA APPROVAL	AM	11.06.14

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PROPOSED:
New S-Storey Dwelling

CLIENT:
Mr Jose & Mrs Thomas

LOCATION:
**Lot 2175 DP:1168992
 Cabarita Way,
 Jordan Springs (Illoura)**

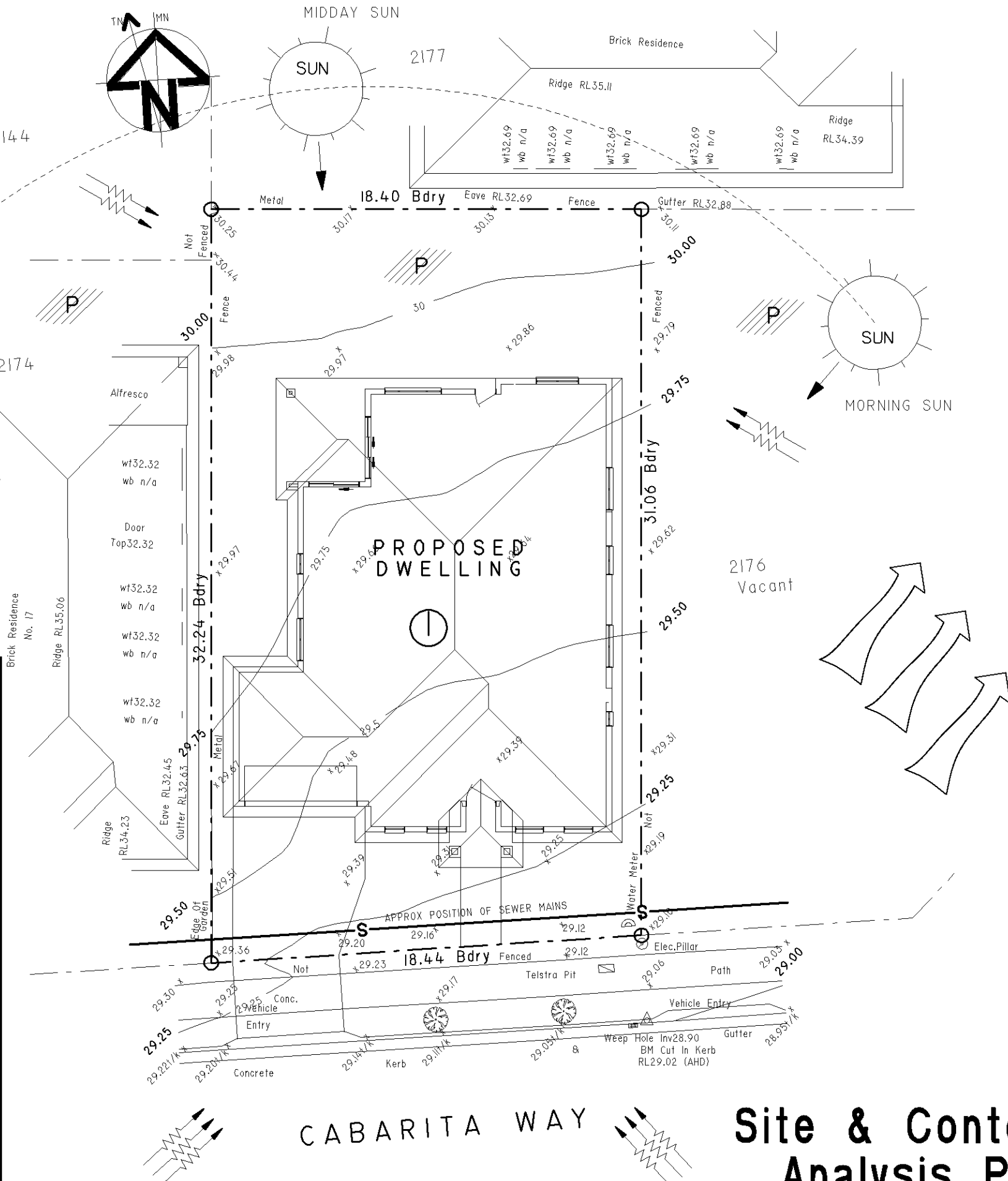
COUNCIL:
Penrith

DESCRIPTION:
Custom

DATE DRAWN: 30.04.14	ISSUE: B-1	SHEET: 03 OF 09	REFERENCE: MS025-14
DESIGNED: FS	DRAWN: FS/AM	SCALE: 1:100 UNO	

SITE ANALYSIS SCHEDULE

- PRIVATE OPEN SPACE
- OVERLOOKING
- SINGLE STOREY
- DOUBLE STOREY
- PREVAILING WINDS
- DOMESTIC NOISE
- TRAFFIC NOISE
- *ALL EXISTING STRUCTURES NOMINATED AS DASHED TO BE REMOVED



Site & Context Analysis Plan

SCALE 1:200

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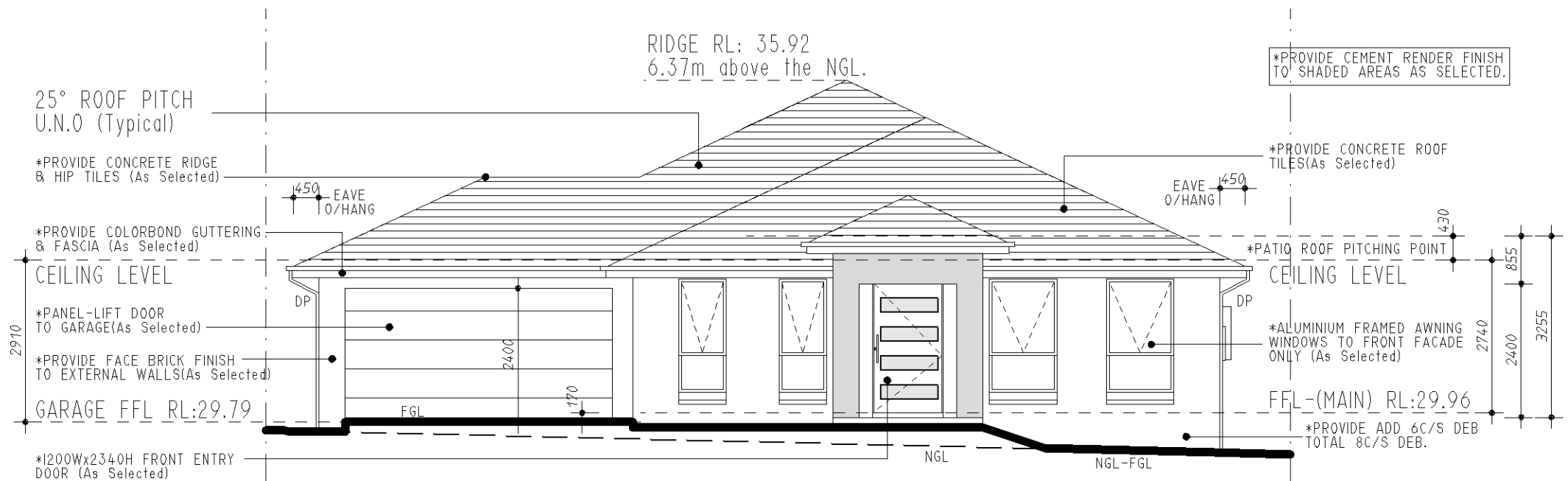
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New S-Storey Dwelling

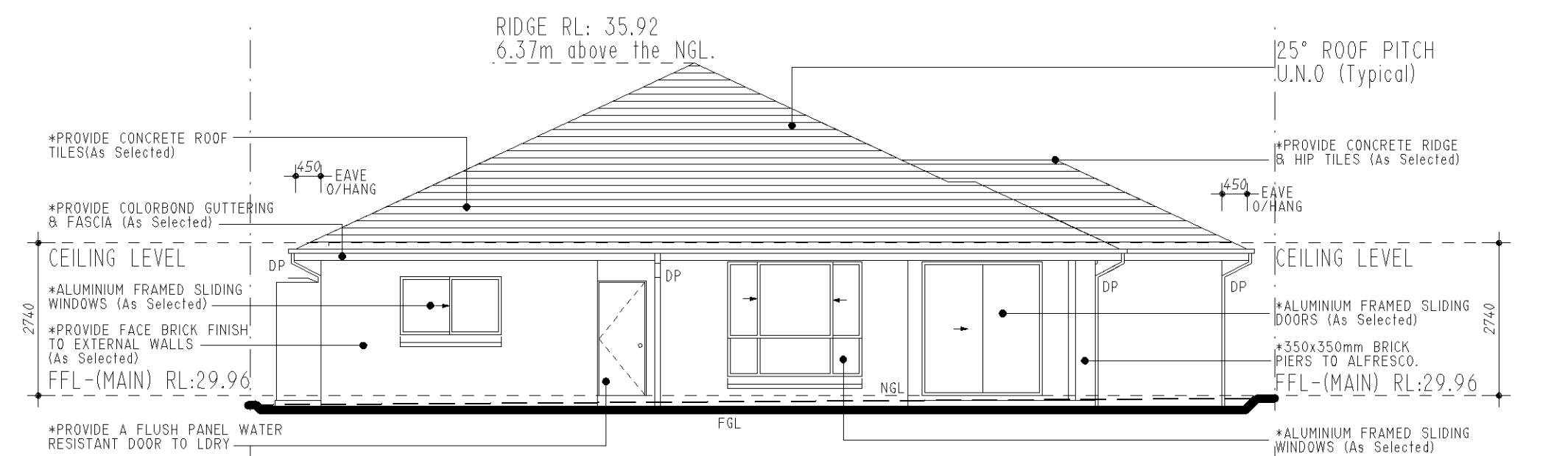
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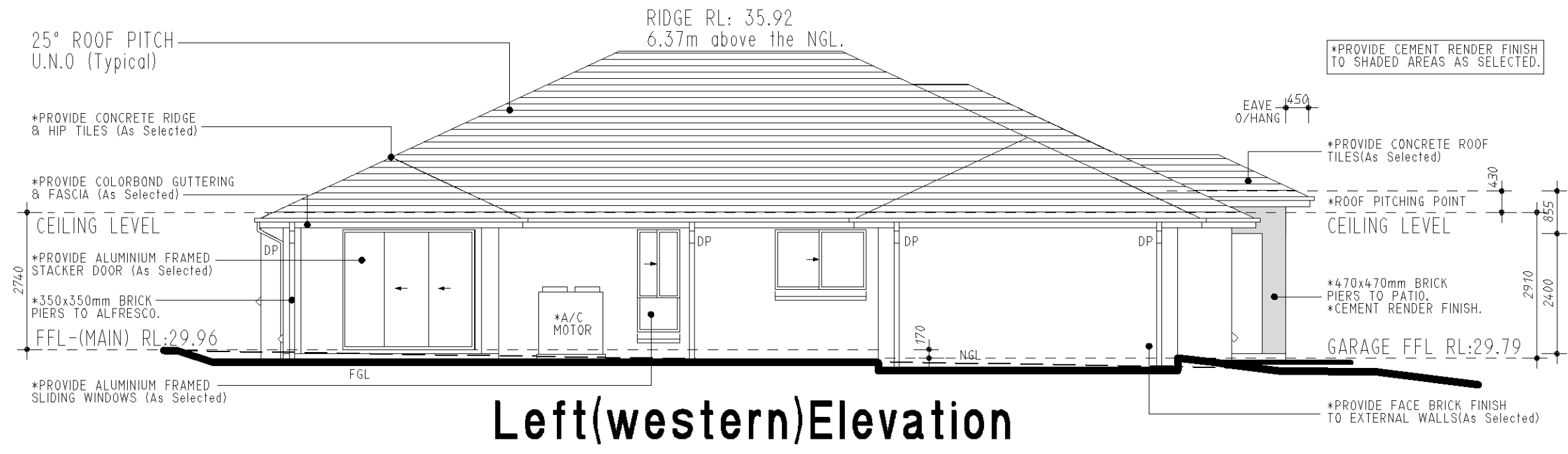
COUNCIL: Penrith		DESCRIPTION: Custom	
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Front(southern)Elevation



Rear(northern)Elevation



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DESCRIPTION:	Custom Design
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SCHEDULE OF BASIX COMMITMENTS

WATER COMMITMENTS

FIXTURES
 *THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (> 4.5 BUT <= 6 L/MIN) IN ALL SHOWERS IN THE DEVELOPMENT.
 *THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 4 STAR IN EACH TOILET IN THE DEVELOPMENT.
 *THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM RATING OF 5 STAR IN THE KITCHEN IN THE DEVELOPMENT.
 *THE APPLICANT MUST INSTALL BASIN TAPS WITH A MINIMUM RATING OF 3 STAR IN EACH BATHROOM IN THE DEVELOPMENT.

ALTERNATIVE WATER
 *THE APPLICANT MUST INSTALL A RAINWATER TANK WITH A CAPACITY OF AT LEAST 3000 LITRES ON THE SITE.
 THIS RAINWATER TANK MUST MEET AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.
 *THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 100 SQUARE METRES OF THE ROOF AREA OF THE DEVELOPMENT (excluding the area of the roof which drains to any stormwater tank or dam).
 *THE APPLICANT MUST CONNECT THE RAINWATER TANK TO--
 -ALL TOILETS IN THE DEVELOPMENT
 -THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER IN THE D'PMENT
 -AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT (NOTE: NSW health does not recommend that rainwater be used for human consumption in areas with portable water supply).

THERMAL COMFORT COMMITMENTS

FLOOR, WALLS AND CEILING/ROOF
 *THE APPLICANT MUST CONSTRUCT THE FLOOR(S), WALLS, AND CEILING/ROOF OF THE DWELLING IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE CONSTRUCTION ADDITIONAL INSULATION REQUIRED (R-VALUE) OTHER SPECIFICATION
 *FLOOR - CONCRETE SLAB ON GROUND NIL
 *EXTERNAL WALL - BRICK VENEER L66 (OR 2.20 INCLUDING CONSTRUCTION)
 *INTERNAL WALL SHARED WITH GARAGE - PLASTERBOARD NIL
 *CEILING AND ROOF - FLAT CEILING / PITCHED ROOF CEILING: 3 (UP).
 *ROOF: FOIL/SARKING UNVENTILATED; MEDIUM (SOLAR ABSORPTANCE 0.475-0.70)

WINDOWS, GLAZED DOORS AND SKYLIGHTS
 *THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES DESCRIBED IN THE BASIX TABLE IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE BASIX TABLE. RELEVANT OVERSHADOWING SPECIFICATIONS MUST BE SATISFIED FOR EACH WINDOW AND GLAZED DOOR.
 *THE DWELLING MAY HAVE 1 SKYLIGHT (<0.7 SQUARE METRES) AND UP TO 2 WINDOWS/GLAZED DOORS (<0.7 SQUARE METRES) WHICH ARE NOT LISTED IN THE FOLLOWING REQUIREMENTS MUST ALSO BE SATISFIED IN RELATION TO EACH WINDOW AND GLAZED DOOR EXCEPT WHERE THE GLASS IS 'SINGLE CLEAR' OR 'SINGLE TONED'. EACH WINDOW AND GLAZED DOOR MUST HAVE A U-VALUE NO GREATER THAN THAT LISTED AND A SOLAR HEAT GAIN COEFFICIENT (SHGC) +/-10% OF THAT LISTED. TOTAL SYSTEM U-VALUES AND SHGC MUST BE CALCULATED IN ACCORDANCE WITH NATIONAL FENESTRATION RATING COUNCIL (NFR) CONDITIONS.
 *THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDAH, BALCONY OR AWNING MUST BE NO MORE THAN 500 MILLIMETRES ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR, EXCEPT THAT A PROJECTION GREATER THAN 500MM AND UP TO 1500 MM ABOVE THE HEAD MUST BE TWICE THE VALUE.
 *PERGOLAS WITH POLYCARBONATE ROOF OR SIMILAR TRANSLUCENT MATERIAL MUST HAVE A SHADING COEFFICIENT OF LESS THAN 0.35. UNLESS THEY HAVE ADJUSTABLE SHADING, PERGOLAS MUST HAVE FIXED BATTENS PARALLEL TO THE WINDOW OR GLAZED DOOR ABOVE WHICH THEY ARE SITUATED, UNLESS THE PERGOLA ALSO SHADES A PERPENDICULAR WINDOW, THE SPACING BETWEEN BATTENS MUST NOT BE MORE THAN 50 MM.

SPECIFICATIONS FOR ALL WINDOWS/ASD

WINDOW OR NO.	ORIENTATION	AREA	TYPE	SHADING	O/SHADOWING
*STUDY	W	2.77sqm	IMPROVED ALUMINIUM, SINGLE CLEAR (OR U-VALUES: 0.44, SHGC: 0.75)	EAVE/VERANDAH/PERGOLA/BALCONY 450-600mm	NOT O/SHADOWED
*DINING	W	1.70sqm	AS ABOVE	450-600mm	AS ABOVE
*DINING SLIDING	N	5.77sqm	AS ABOVE	>2000mm	AS ABOVE
*FAMILY STACKER	W	6.36sqm	AS ABOVE	>2000mm	AS ABOVE
*FAMILY	N	4.82sqm	AS ABOVE	450-600mm	AS ABOVE
*BED 3	N	1.88sqm	AS ABOVE	NONE	AS ABOVE
*BED 4	E	2.77sqm	AS ABOVE	450-600mm	AS ABOVE
*BATH	E	1.28sqm	AS ABOVE	450-600mm	AS ABOVE
*BED 2	E	2.77sqm	AS ABOVE	450-600mm	AS ABOVE
*ENSUITE	E	0.61sqm	AS ABOVE	450-600mm	AS ABOVE
*MASTER BED	S	4.84sqm	AS ABOVE	450-600mm	AS ABOVE
*LIVING/ HOME THEATRE	S	3.40sqm	AS ABOVE	450-600mm	AS ABOVE

ENERGY COMMITMENTS

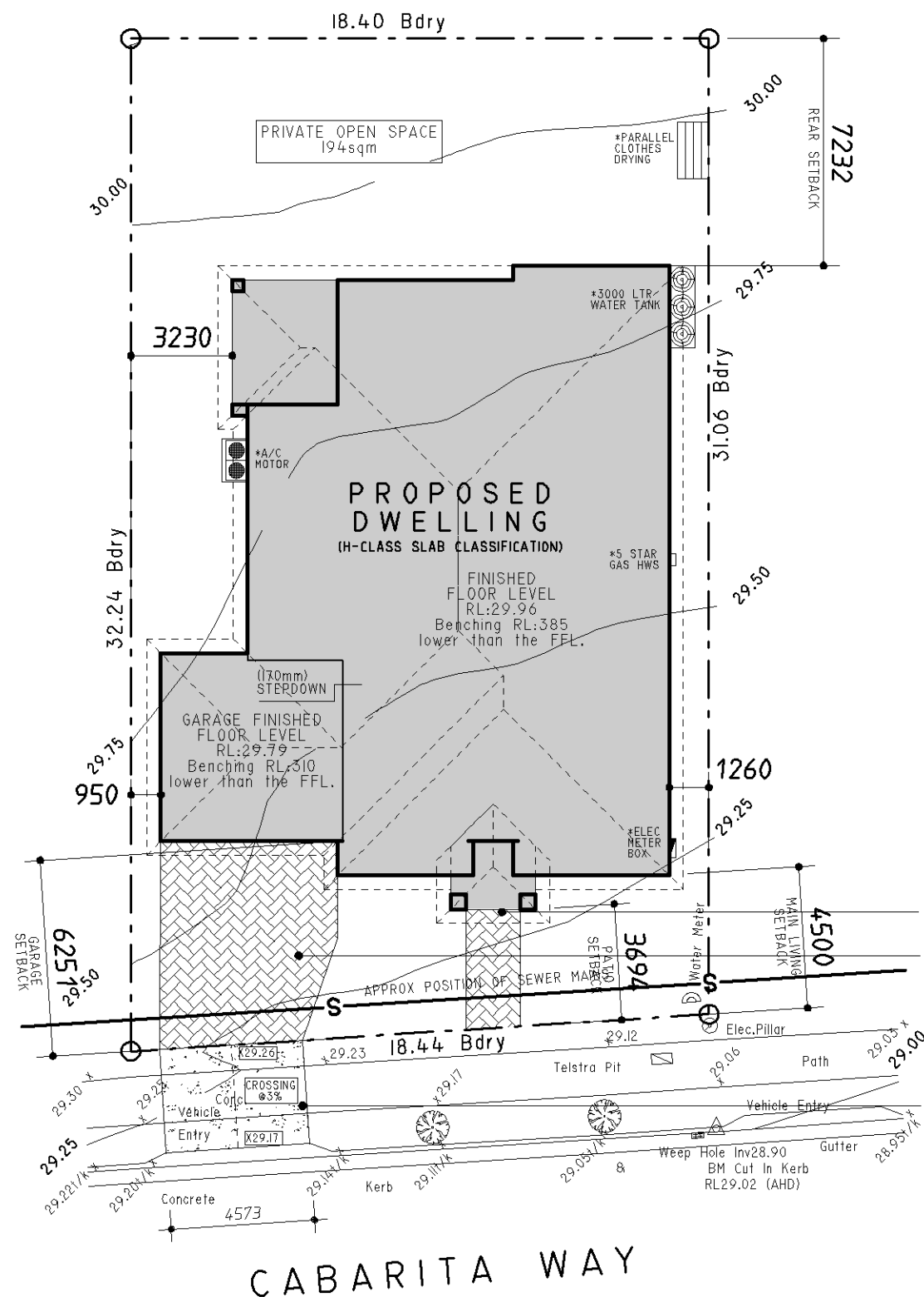
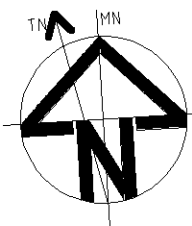
HOT WATER
 *THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT WITH A HIGHER ENERGY RATING: GAS INSTANTANEOUS-5 STAR

COOLING SYSTEM/HEATING SYSTEM
 *THE APPLICANT MUST INSTALL THE FOLLOWING COOLING/HEATING SYSTEM IN THE DEVELOPMENT: OR A SYSTEM WITH A HIGHER ENERGY RATING: LIVING AREAS: 3-PHASE AIRCONDITIONING; ENERGY RATING: EER 2.5-3.0. BEDROOMS: 3-PHASE AIRCONDITIONING; ENERGY RATING: EER 2.5-3.0. THE COOLING/HEATING SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING AREAS AND BEDROOMS.

VENTILATION
 *THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEM IN THE DEVELOPMENT: 1 BATHROOM: INDIVIDUAL FAN, NOT DUCTED; OPERATION CONTROL: MANUAL SWITCH ON/OFF
 KITCHEN: INDIVIDUAL FAN, NOT DUCTED; OPERATION CONTROL: MANUAL SWITCH ON/OFF
 LDRY: NATURAL VENTILATION OR NO LDRY; OPERATION CONTROL: N/A

NATURAL LIGHTING
 *THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 2 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

OTHER
 *THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.
 *THE APPLICANT MUST CONSTRUCT EACH REFRIGERATOR SPACE IN THE DEVELOPMENT SO THAT IT IS 'WELL VENTILATED', AS DEFINED IN THE BASIX DEFINITIONS.
 *THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT.



DEVELOPMENT CALCS USING LGA D'PMENT CONTROL PLANS.

LOT:2175 CABARITA WAY.
 JORDAN SPRINGS LOT AREA: 582.3sqm

ITEMISED FLOOR AREA	Area:
GROUND FLR.:	223.42sqm
GARAGE:	33.95sqm
PATIO:	4.27sqm
ALFRESCO:	13.47sqm
TOTAL FLOOR AREA:	275.11sqm
TOTAL NETT LIVING AREA:	223.42sqm
FLOOR SPACE RATIO:	38.36%
TOTAL FOOTPRINT AREA:	275.11sqm
FOOTPRINT SITE RATIO:	47.24%
TOTAL DRIVEWAY+PATH AREA:	41.31sqm
TOTAL FOOTPRINT+DRIVEWAY+PATH:	316.42sqm
IMPERVIOUS SITE COVER RATIO:	54.33%
TOTAL LANDSCAPED AREA:	235.77sqm
RATIO:	40.48%
TOTAL ROOF AREA:	306.73sqm

SURVEYORS NOTE:

*DATUM ASSUMED UNLESS NOTED OTHERWISE
 *LOCATION OF FENCES ARE APPROXIMATE ONLY
 *ONLY VISIBLE SERVICES HAVE BEEN LOCATED ACCURATELY
 *NO U/GROUND SERVICES SEARCH HAS BEEN CARRIED OUT
 *BOUNDARY DIMENSIONS AND AREA ARE BY TITLE ONLY.

IMPORTANT NOTE:

*TREES WITHIN BUILDING AREA & 3.0m SURROUNDING TO BE FELLED & REMOVED.

***LANDSCAPING NOTE**

*ALL DRIVEWAYS, PATHWAYS, LANDSCAPING, FENCING TO BE COMPLETED AS NOTED WITHIN QUOTATION/TENDER.
 *ALL ITEMS NOT REFERRED TO WITHIN QUOTATION/TENDER TO BE COMPLETED BY OWNER.
 *ALL ITEMS NOTED WITHIN ARE TO BE COMPLETED IN ACCORDANCE WITH THE ESTATE AND/OR COUNCIL GUIDELINES TO COUNCIL SATISFACTION.
 *ALL EXTERNAL FINISHED GROUND LEVELS & EXTERNAL STEPS ARE ALL SUBJECT TO A COMPREHENSIVE LANDSCAPE PLAN PREPARED BY A LANDSCAPE ARCHITECT/CONSULTANT.
 REFER TO LANDSCAPE CONSULTANTS PLANS FOR LANDSCAPING DETAILS

*APPROX 1 STEP REQUIRED. STEPS REQUIRED SUBJECT TO LANDSCAPE CONSULTANTS PLANS

*PROVIDE NON SLIP CONCRETE FINISH TO DRIVEWAY.

*PROVIDE A LANDSCAPING STRIP ADJACENT TO DRIVEWAY AS REQUIRED.

*PROVIDE APPROX 15.05SQM OF CONCRETE FINISH TO VEHICLE CROSSING (Non Slip Finish) IN ACCORDANCE WITH COUNCIL REQUIREMENTS

Site Plan SCALE 1:200

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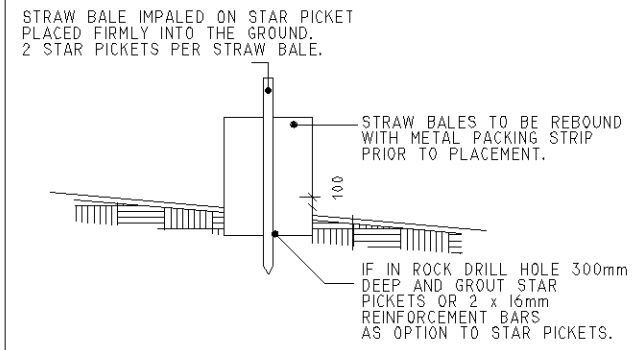
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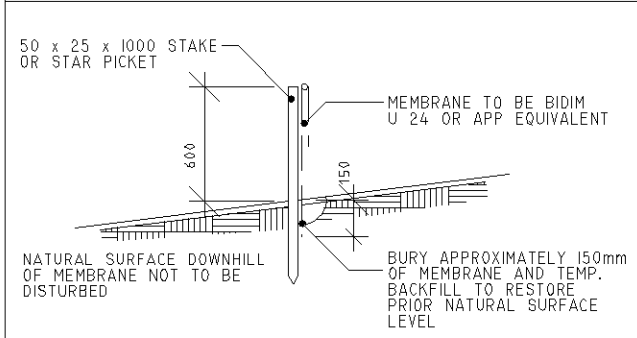
GENERAL DRAINAGE NOTES

- DRAINER TO CONFIRM POSITION OF DOWNPIPES AS INDICATED ON FLOOR PLANS PER SPEC. PROVIDED.
- STORMWATER PIPES TO BE 90MM DIA.(MIN.) AT 1 DEG. GRADE (MIN.).
- STORMWATER PIPES MAY RUN VIA SUB-FLOOR TO ACHIEVE MINIMUM GRADE TO INVERT LEVEL.
- ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D.
- STORMWATER LINES TO BE DISCHARGED INTO EXISTING CITY DRAINAGE SYSTEM & CONNECTED TO COUNCIL REQUIREMENTS.
- SHOULD HYDRAULIC ENGINEERS PLANS BE REQUIRED SUCH SHOULD TAKE PRECEDENCE OVER THESE PLANS.

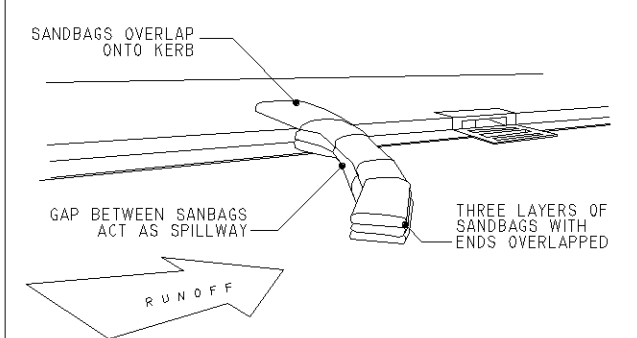
STRAW BALE BARRIER (TYPICAL SECTION)



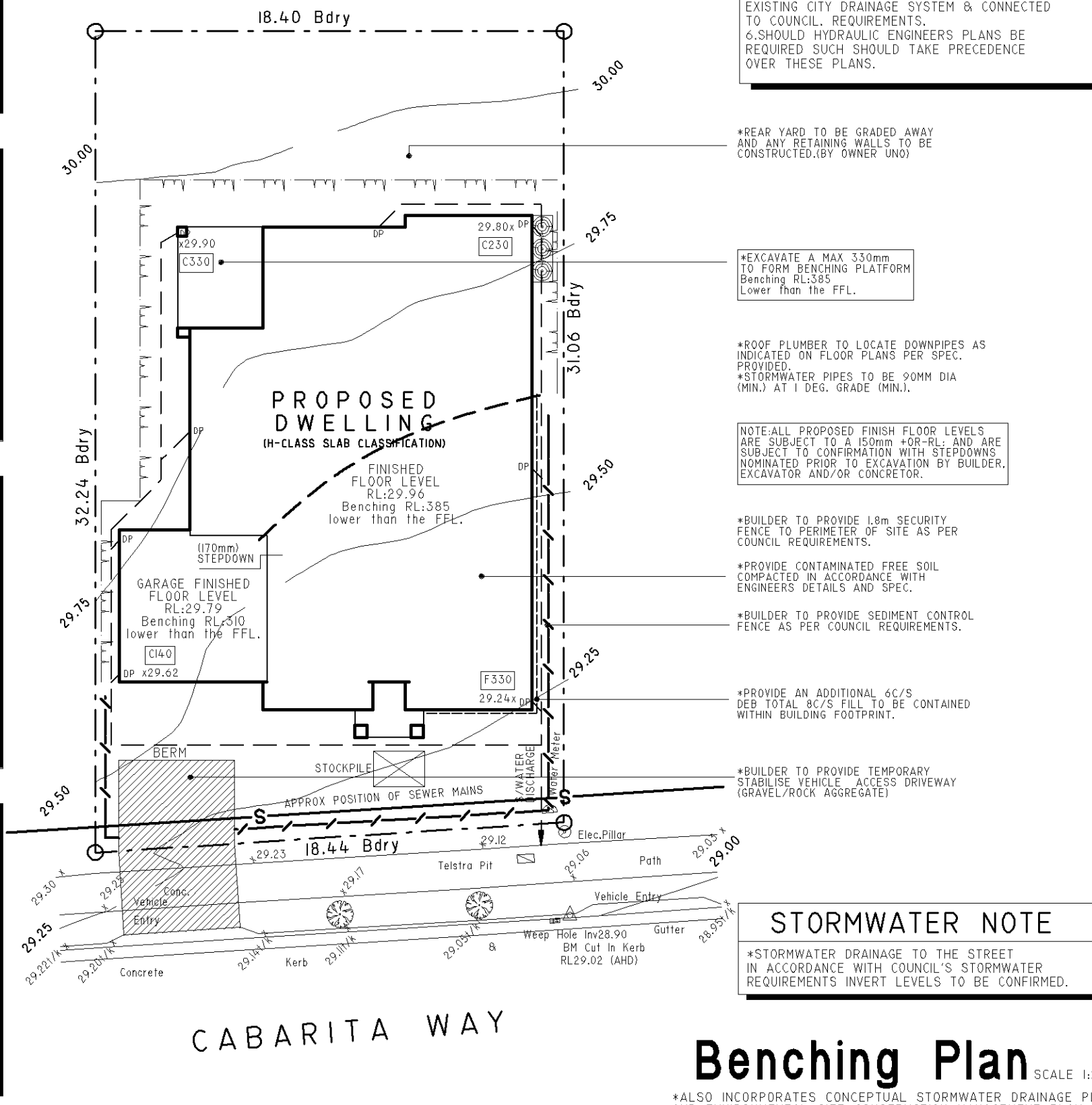
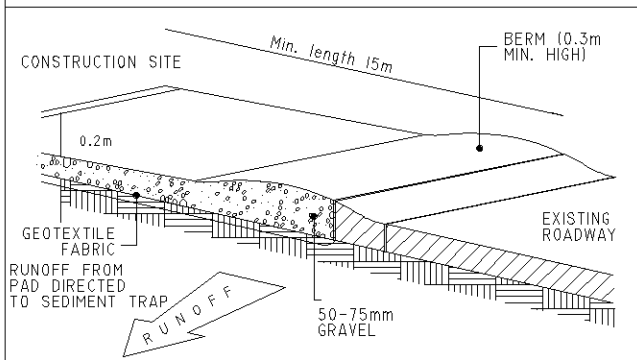
SILT FENCING DETAIL



SANDBAG KERB INLET SEDIMENTATION TRAP



TEMPORARY CONSTRUCTION EXIT



*REAR YARD TO BE GRADED AWAY AND ANY RETAINING WALLS TO BE CONSTRUCTED.(BY OWNER UNO)

*EXCAVATE A MAX 330mm TO FORM BENCHING PLATFORM Benching RL:385 Lower than the FFL.

*ROOF PLUMBER TO LOCATE DOWNPIPES AS INDICATED ON FLOOR PLANS PER SPEC. PROVIDED.
*STORMWATER PIPES TO BE 90MM DIA (MIN.) AT 1 DEG. GRADE (MIN.).

NOTE:ALL PROPOSED FINISH FLOOR LEVELS ARE SUBJECT TO A 150mm +OR-RL; AND ARE SUBJECT TO CONFIRMATION WITH STEP-DOWNS NOMINATED PRIOR TO EXCAVATION BY BUILDER, EXCAVATOR AND/OR CONCRETOR.

*BUILDER TO PROVIDE 1.8m SECURITY FENCE TO PERIMETER OF SITE AS PER COUNCIL REQUIREMENTS.

*PROVIDE CONTAMINATED FREE SOIL COMPACTED IN ACCORDANCE WITH ENGINEERS DETAILS AND SPEC.

*BUILDER TO PROVIDE SEDIMENT CONTROL FENCE AS PER COUNCIL REQUIREMENTS.

*PROVIDE AN ADDITIONAL 6C/S DEB TOTAL 8C/S FILL TO BE CONTAINED WITHIN BUILDING FOOTPRINT.

*BUILDER TO PROVIDE TEMPORARY STABILISE VEHICLE ACCESS DRIVEWAY (GRAVEL/ROCK AGGREGATE)

STORMWATER NOTE

*STORMWATER DRAINAGE TO THE STREET IN ACCORDANCE WITH COUNCIL'S STORMWATER REQUIREMENTS INVERT LEVELS TO BE CONFIRMED.

Benching Plan SCALE 1:200

*ALSO INCORPORATES CONCEPTUAL STORMWATER DRAINAGE PLAN AND ENVIRONMENTAL SITE CONSTRUCTION MANAGEMENT PLAN

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 Building Designers & Development Planners
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 admin@marrettadesign.com.au

PROPOSED:
New S-Storey Dwelling

CLIENT:
Mr Jose & Mrs Thomas

LOCATION:
**Lot 2175 DP:1168992
 Cabarita Way,
 Jordan Springs (Illoura)**

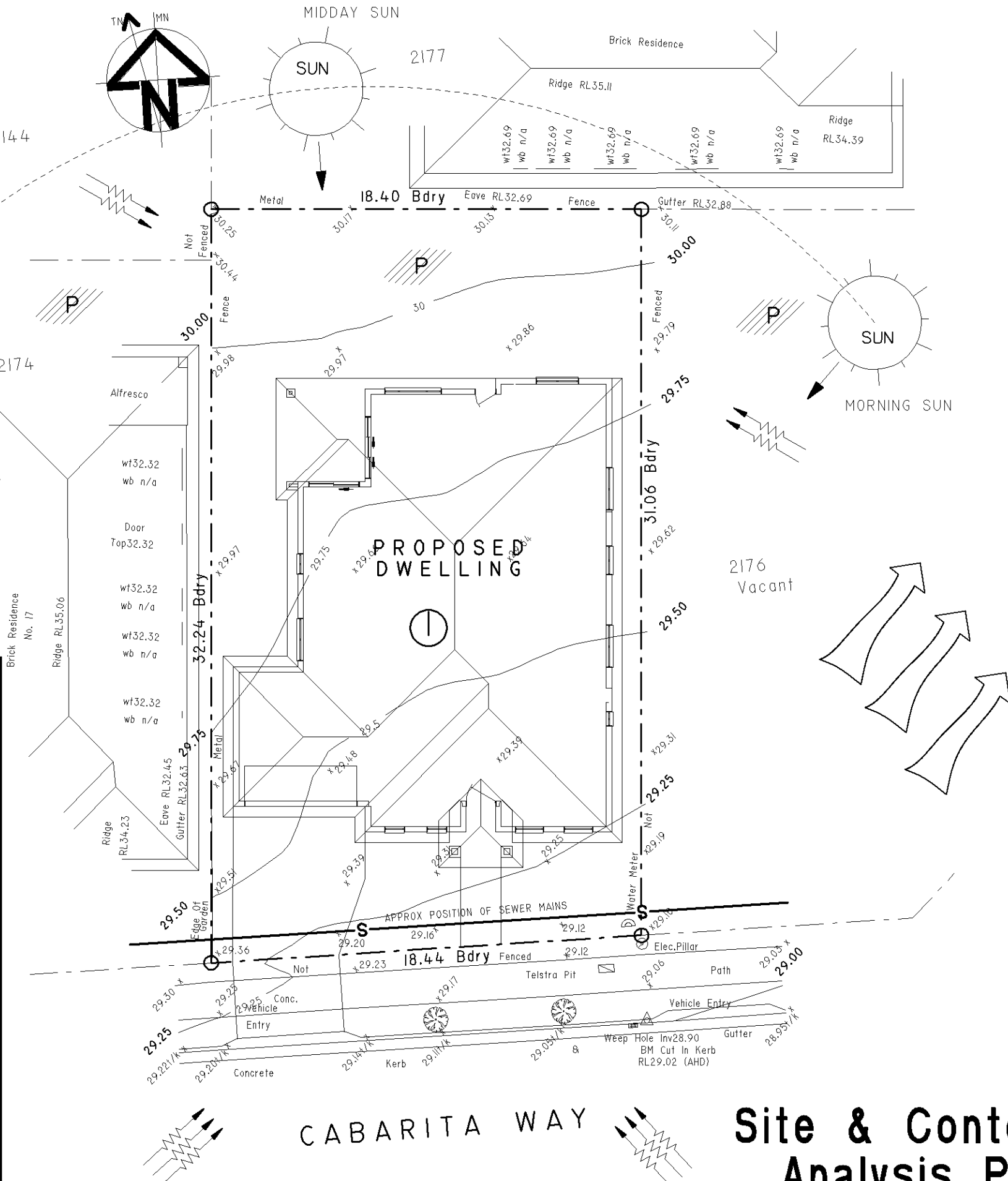
COUNCIL:
Penrith

DESCRIPTION:
Custom

DATE DRAWN: 30.04.14	ISSUE: B-1	SHEET: 03 OF 09	REFERENCE: MS025-14
DESIGNED: FS	DRAWN: FS/AM	SCALE: 1:100 UNO	

SITE ANALYSIS SCHEDULE

- PRIVATE OPEN SPACE
- OVERLOOKING
- SINGLE STOREY
- DOUBLE STOREY
- PREVAILING WINDS
- DOMESTIC NOISE
- TRAFFIC NOISE
- *ALL EXISTING STRUCTURES NOMINATED AS DASHED TO BE REMOVED

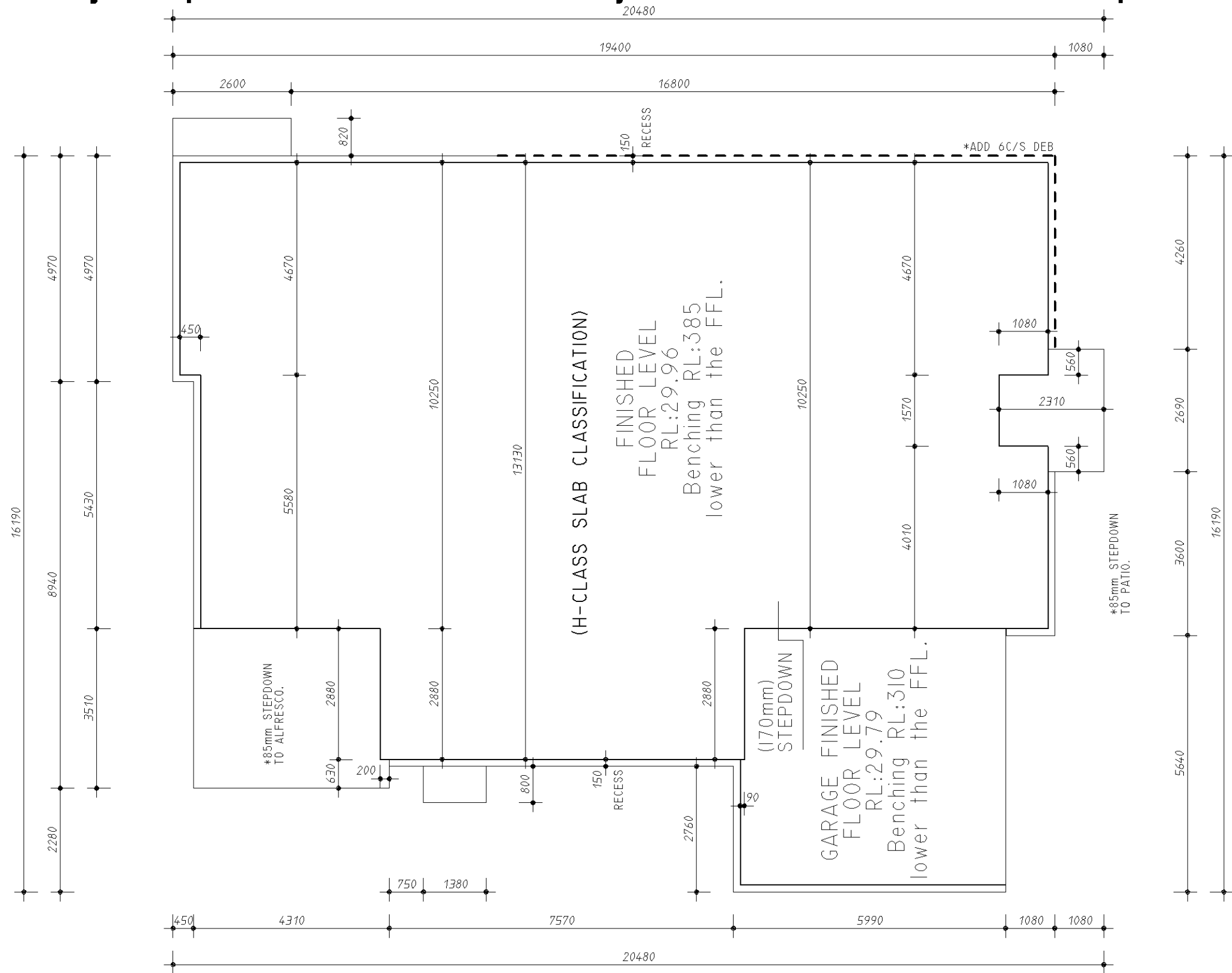


Site & Context Analysis Plan

SCALE 1:200

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****slab layout plan to be read in conjunction with architectural plans!!!!!!**



REVISION SCHEDULE

ISSUE	DESCRIPTION	BY	DATE
A	PRELIM PLANS-PRIOR TO CONTRACTS	AM	30.04.14
B	ESTATE APPROVAL	AM	13.05.14
B-1	DA APPROVAL	AM	11.06.14

GENERAL BUILDING NOTES

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH BUILDERS TENDER/CONTRACT DOCUMENTATION
- FIGURED DIMENSIONS MUST TAKE PREFERENCE TO SCALING.
- LEVELS SHOWN ARE APPROXIMATE AND TO BE CONFIRMED ON SITE BY SURVEYOR.
- DRAINAGE CONCEPT PLAN IS SCHEMATIC ONLY. RELATED WORKS TO BE VERIFIED BY LICENCED DRAINER AND/OR HYDRAULIC ENG PRIOR TO WORK COMMENCING.
- IF ENGINEERS DRAWINGS ARE REQUIRED SUCH MUST TAKE PREFERENCE TO THESE DRAWINGS.
- ALL BOUNDARY CLEARANCES MUST BE VERIFIED BEFORE COMMENCEMENT OF BUILDING WORKS BY REGISTERED SURVEYOR.
- BUILDING WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE TO THESE DRAWINGS.
- BUILDER IS TO STRICTLY COMPLY WITH ALL RELEVANT BUILDING CODE OF AUSTRALIA CONSTRUCTION REQUIREMENTS AND AUSTRALIAN STANDARDS.
- IN CASE OF ALTERATIONS OR DISCREPANCIES NOTIFY MARRETTA DESIGN IMMEDIATELY.



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IMPORTANT SLAB SETOUT NOTES!!!!!!

- THE 'SLAB LAYOUT PLAN' IS TO BE READ AND USED AS AN ADDITIONAL GUIDE FOR THE SOLE PURPOSE OF 'SETTING OUT' THE SLAB.
- THE SLAB LAYOUT PLAN TO BE READ IN CONJUNCTION WITH ARCHITECTURAL PLANS AT ALL TIMES.
- QUERIES OR DISCREPANCIES ARE TO BE RESOLVED PRIOR TO THE COMMENCEMENT OF ANY PIERING AND ANY FORMWORK.
- REFER TO ENGINEER'S DRAWINGS FOR STRUCTURAL DETAILS & CONCRETE SPECIFICATIONS & TO DETERMINE THE LOCATION OF THICKENING BEAMS AND OTHER STRUCTURAL ELEMENTS.
- REFER TO ENGINEER'S DRAWINGS FOR PLUMBING & OTHER SERVICE PENETRATION DETAILS.
- IF IN DOUBT... CONTACT THE BUILDING DESIGNER PRIOR TO COMMENCEMENT OF WORKS.
- NOTE: ALL PROPOSED FINISH FLOOR LEVELS ARE SUBJECT TO CONFIRMATION WITH STEP-DOWNS NOMINATED PRIOR TO EXCAVATION BY BUILDER, EXCAVATOR AND/OR CONCRETOR.

TOTAL SLAB AREA: 275.11SQM

Slab Layout Plan

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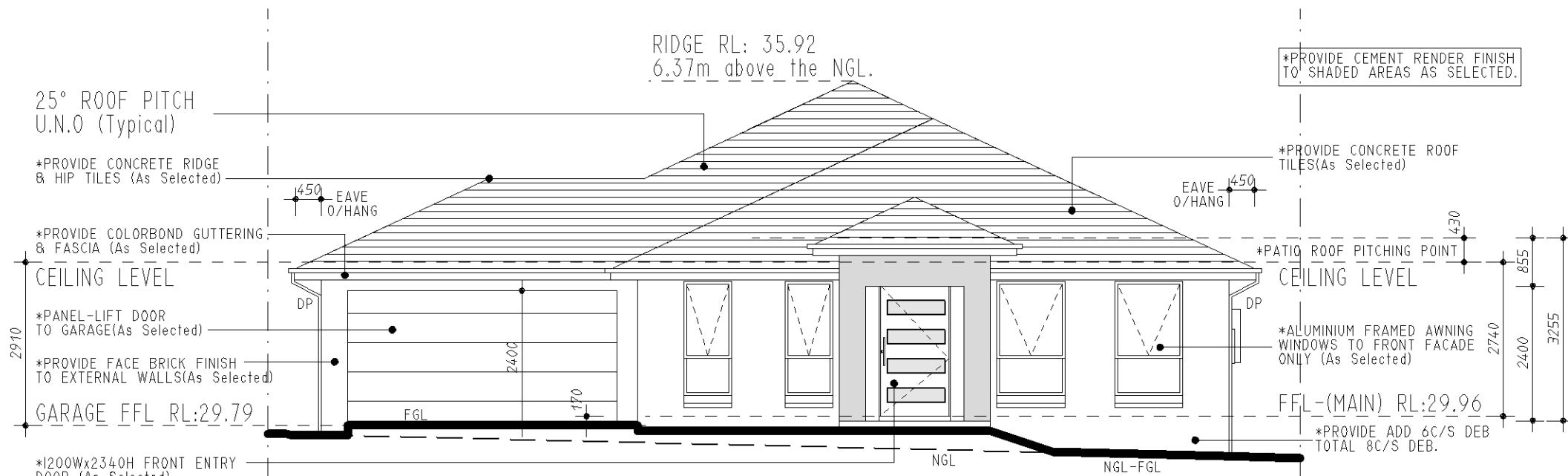
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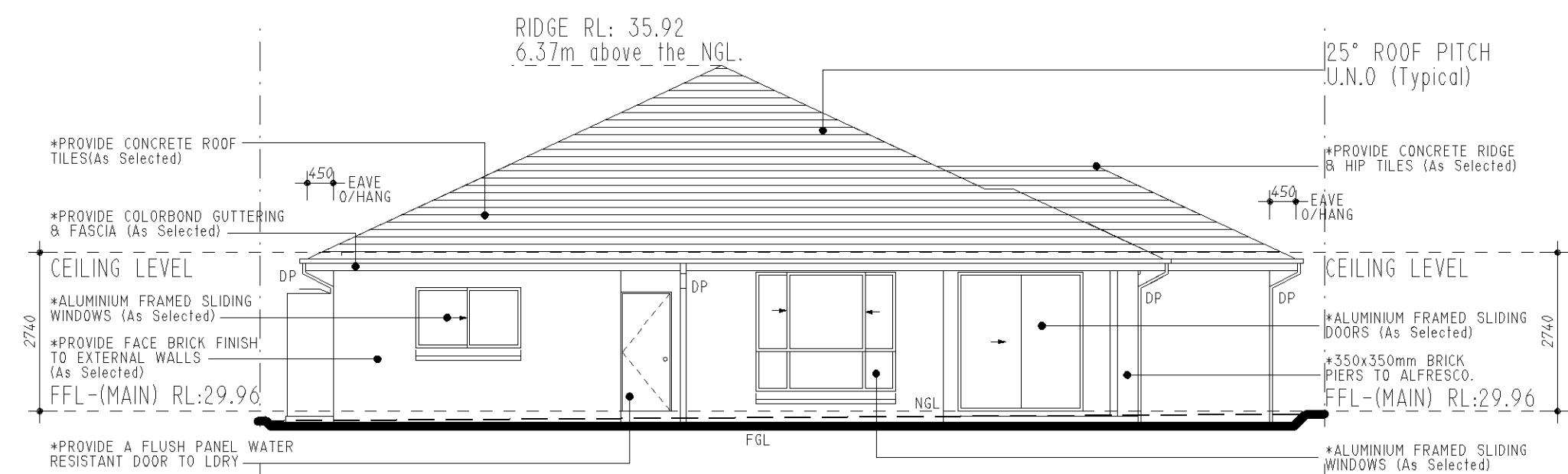
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Front(southern)Elevation



Rear(northern)Elevation



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