

**NOTE:**

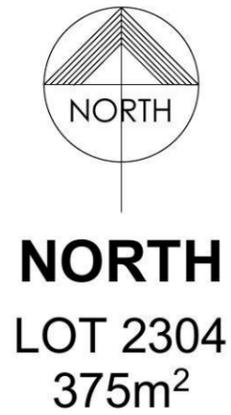
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# Proposed Site Plan & Drainage Plan

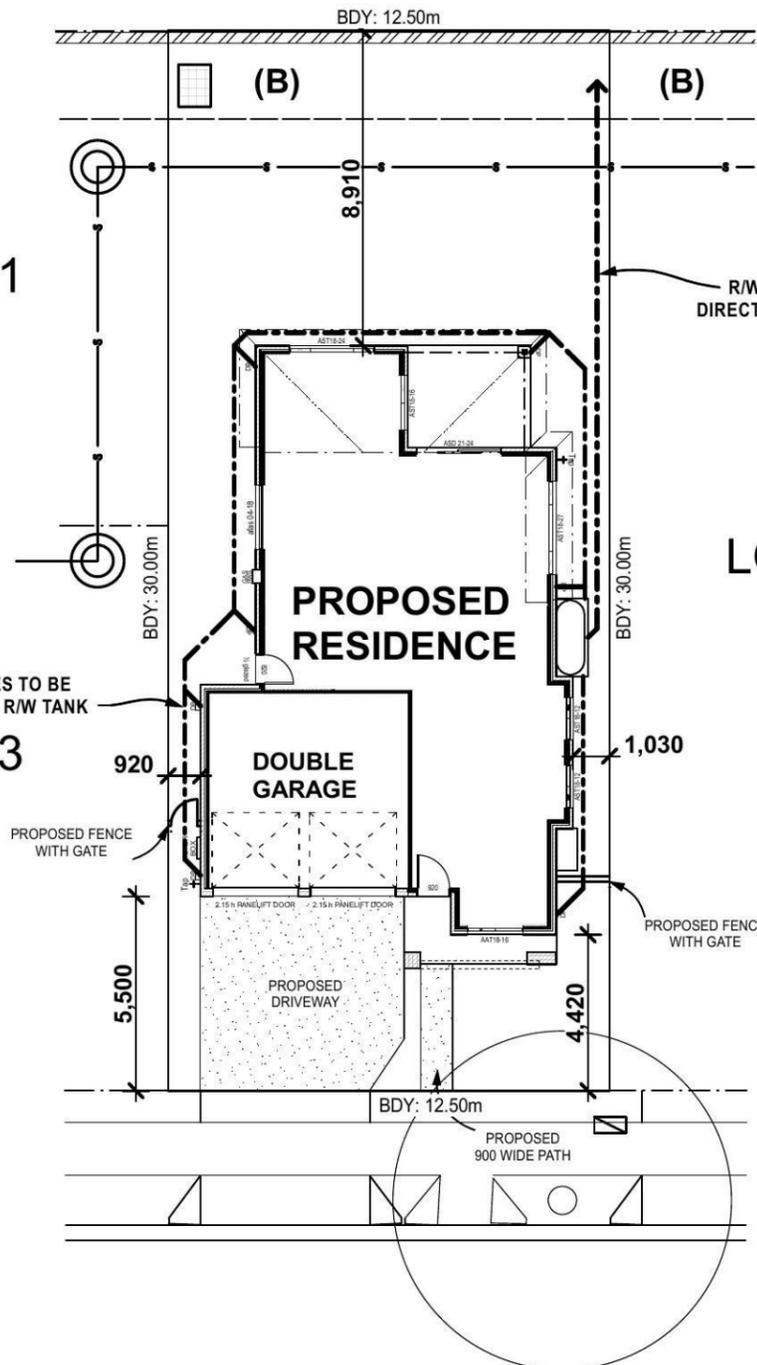
SCALE 1:200

(B) = EASEMENT TO DRAIN WATER 2.5 WIDE



LOT 2301

LOT 2303



LOT 2305

**NOTE:**  
STORMWATER DESIGN COMPLIES TO COUNCIL CODES & REQUIREMENTS

## EMPIRE CIRCUIT

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	115 mm FROM F.F.L.

Wind Speed : Class = N2



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Builders Licence No. 92732C

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D	13.08.14	CLIENT AMENDMENTS - MT
C	05.08.14	BASIX ADDED / DA PLANS - BT
B	16.07.14	CONTOUR SURVEY ADDED - BT
A	23.05.14	CONTRACT DRAWINGS - NA

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Proposed Residence  
at Lot : 2304  
Empire Circuit,  
Thornton (Penrith).

Plot Date  
Tue 19 Aug 2014

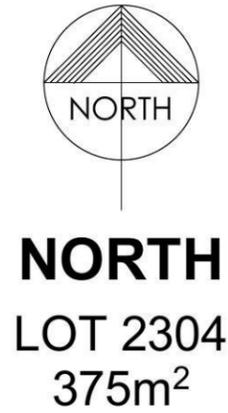
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Design :  
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Job No. **3225N** Sheet 1 of 11

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**NORTH PENRITH "THORNTON" REQUIREMENTS:**

**SITE AREA:** 375m<sup>2</sup>

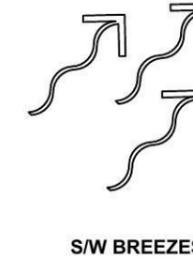
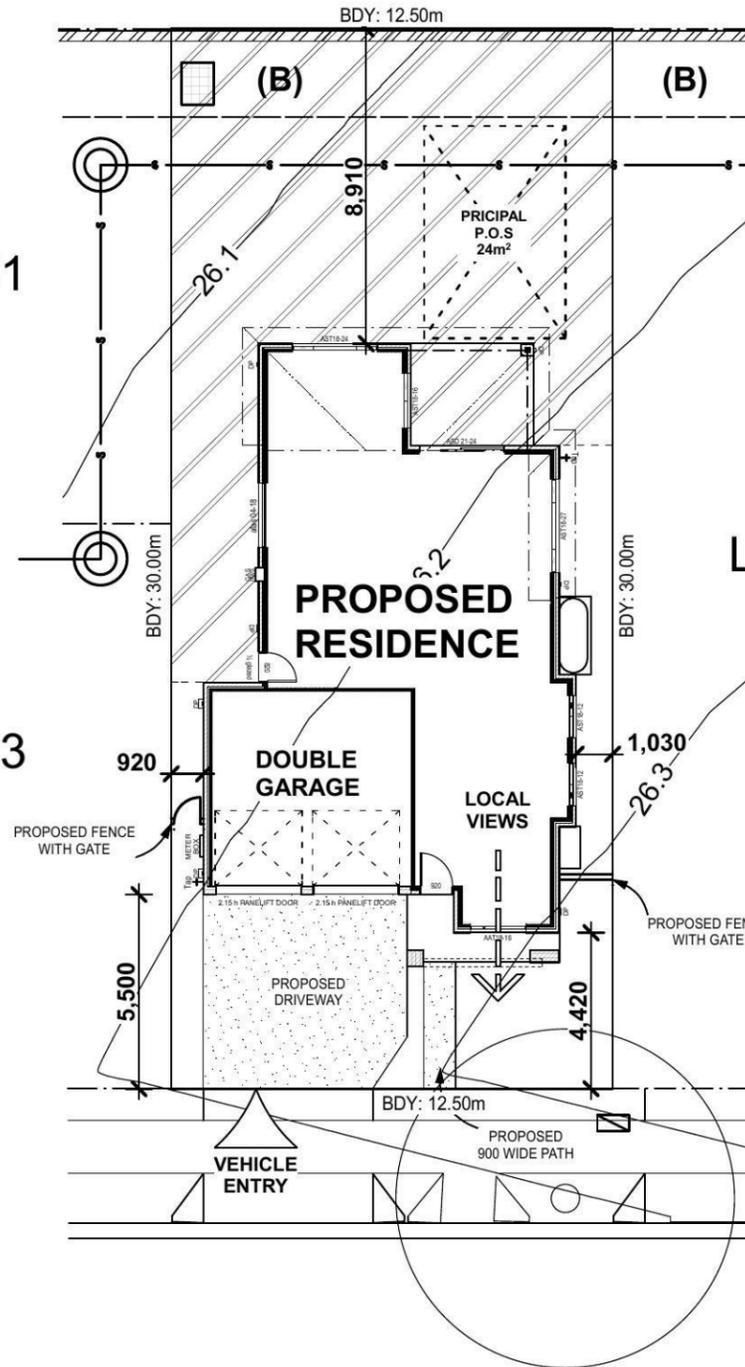
**PRIVATE OPEN SPACE:**  
(Min 2.0m Wide)  
REQUIRED: 20% or 75m<sup>2</sup>  
ACHIEVED: 40% or 151.63m<sup>2</sup>

**LANDSCAPE AREA:**  
ACHIEVED: 45% or 141.61m<sup>2</sup>

**CARPARKING:**  
REQUIRED: 2 SPACES  
ACHIEVED: 2 SPACES

LOT 2301

LOT 2303



LOT 2305

**EMPIRE CIRCUIT**

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

**SLAB SETDOWNS FROM ENTRY:**

EDGE REBATES	-	172mm x 150mm WIDE
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FRONT PORCH/VERANDAH	170	mm FROM F.F.L.
BALCONY	115	mm FROM F.F.L.



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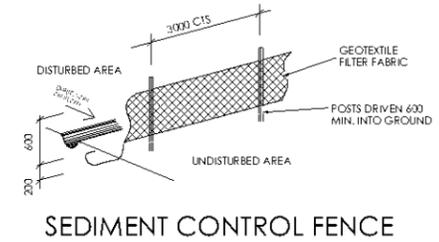
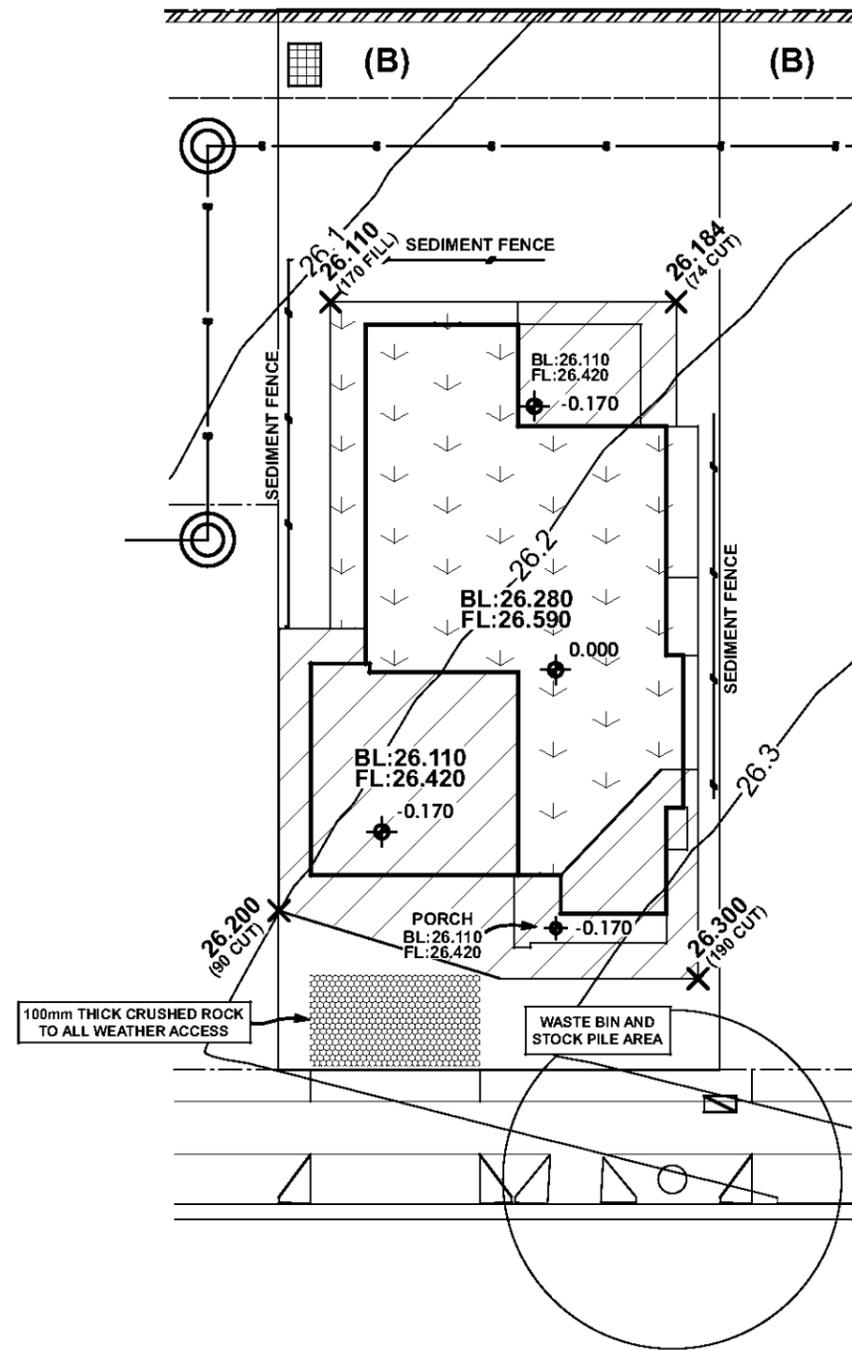
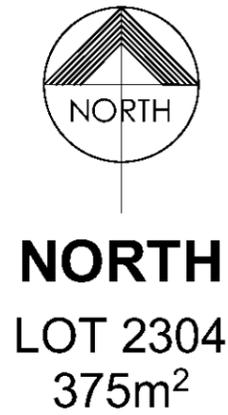
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# Proposed Erosion & Sediment Control Plan

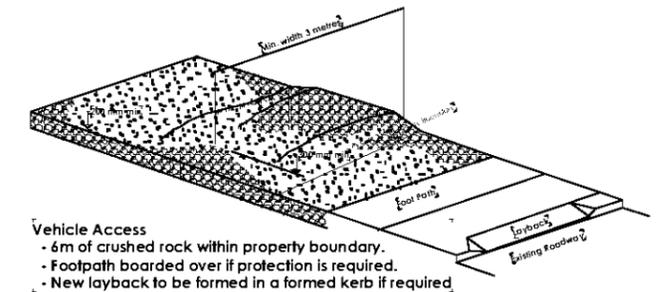
SCALE 1:200

(B) = EASEMENT TO DRAIN WATER 2.5 WIDE



### SITE PLAN

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY. FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT. SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



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**SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY.	
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BALCONY	115 mm FROM F.F.L.

Wind Speed : Class = N2



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# BASIX REQUIREMENTS

BASIX & NatHERS COMMITMENTS NOTES				
*REFER TO APPROVED BASIX REPORT*				
<b>WATER</b>				
<b>Fixtures</b>	<b>All Shower Heads</b>	<b>All toilet flushing systems</b>	<b>All kitchen taps</b>	<b>All bathroom taps</b>
	3 star(>7.5 but<=9L/min)	4 star	4 star	4 star
<b>Alternative water source</b>	<b>Individual water tank to collect run of from at least 118 m<sup>2</sup> of roof area - Tank size min 3000 litres</b>			
	<b>Landscape connection</b>	<b>Toilet connection</b>	<b>Laundry connection</b>	<b>Pool top up</b>
	Yes	Yes	Yes	N/A
<b>ENERGY</b>	<b>Hot water system: Gas Instantaneous 5 star</b>			
	<b>Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off</b>			
	<b>Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off</b>			
	<b>Laundry: Natural ventilation only</b>			
	<b>Cooling system: 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area (zoned)</b>			
	<b>Heating system: 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area (zoned)</b>			
	<b>Natural lighting: As per BASIX</b>			
	<b>Artificial lighting: As per BASIX</b>			
	<b>Must install a gas cooktop and electric oven</b>			
	<b>Must install a fixed outdoor clothes drying line as part of the development.</b>			

Building Elements	Material	Detail
<b>External walls</b>	<ul style="list-style-type: none"> <li>Brick veneer</li> <li>Lightweight Cladding</li> </ul>	R2.0 bulk insulation
<b>Internal walls</b>	Plasterboard on studs	-
<b>Ceiling</b>	Plasterboard	R3.0 bulk insulation to ceilings with roof above
<b>Floors</b>	Concrete – slab on ground Timber – first floor	R0.3 (or 1 including construction) (down) TO SUSPENDED FLOOR ABOVE GARAGE
<b>Roof</b>	Tiled - Medium Colour SA 0.475 to 0.70	Foil (sisalation) to underside of roof
<b>Windows</b>	Improved Aluminium Frame, single glazed clear	U Value 6.44 or less and SHGC 0.75 +/- 10%

**Note: Insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA**

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W1	S	2.88	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 751-900 mm	not overshadowed
W2	E	4.32	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W3	E	4.86	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W4	N	5.04	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed
W5	E	2.88	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed
W6	N	4.32	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W7	W	0.72	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W8	S	2.88	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 1,500-2,000 mm	not overshadowed
W9	S	1.72	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed
W10	S	2.16	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W11	W	3.78	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W12	N	2.43	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W13	E	1.08	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W14	E	3.06	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed

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Do not assume - if in doubt ASK.

Plot Date  
Tue 19 Aug 2014

SITE & SLAB  
CLASSIFICATION  
**IS TO BE CONFIRMED**

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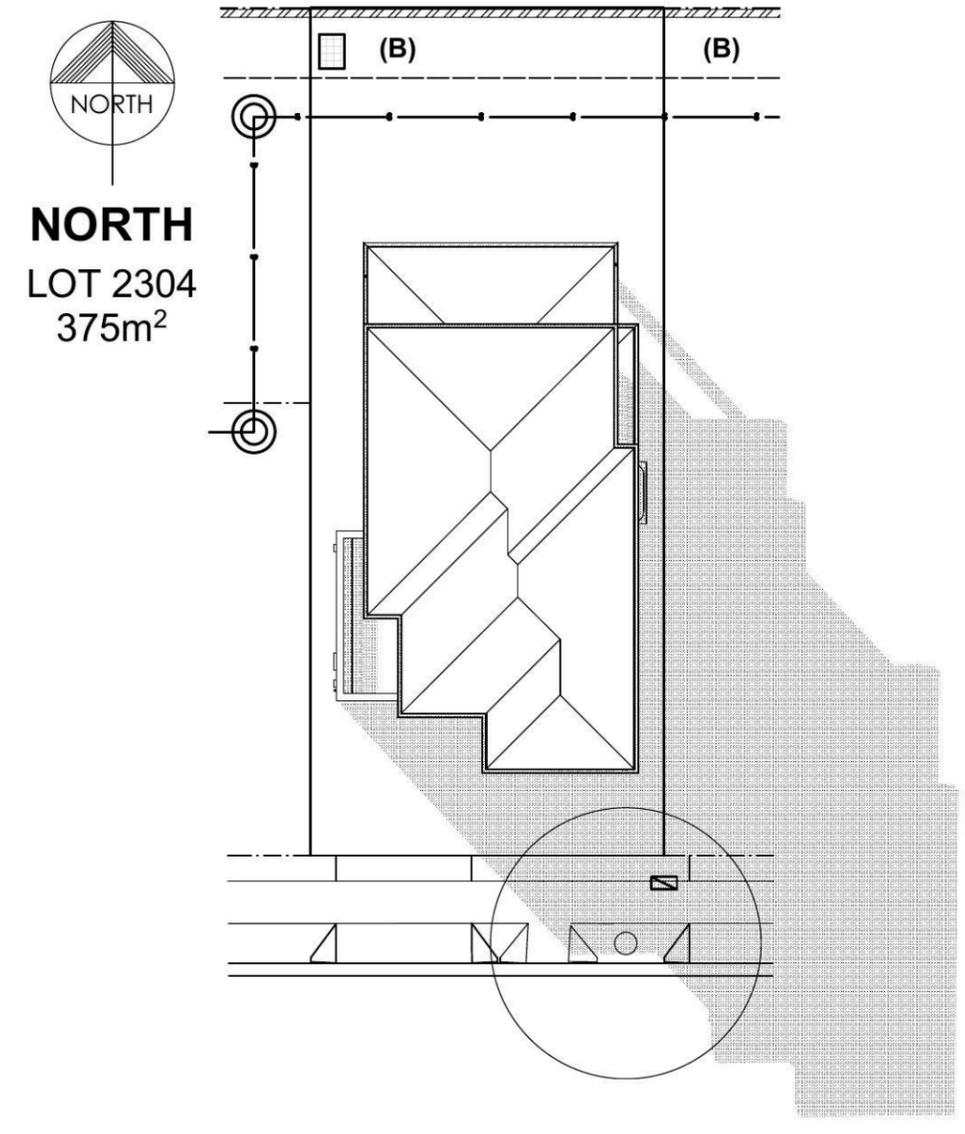
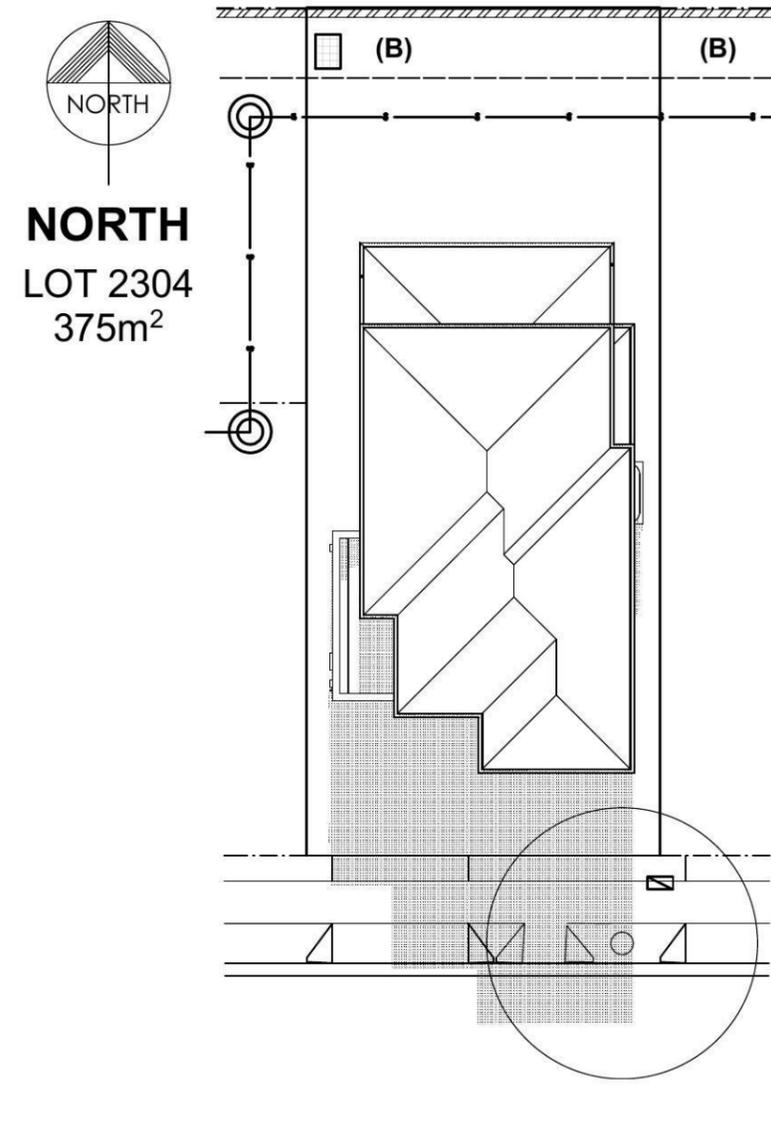
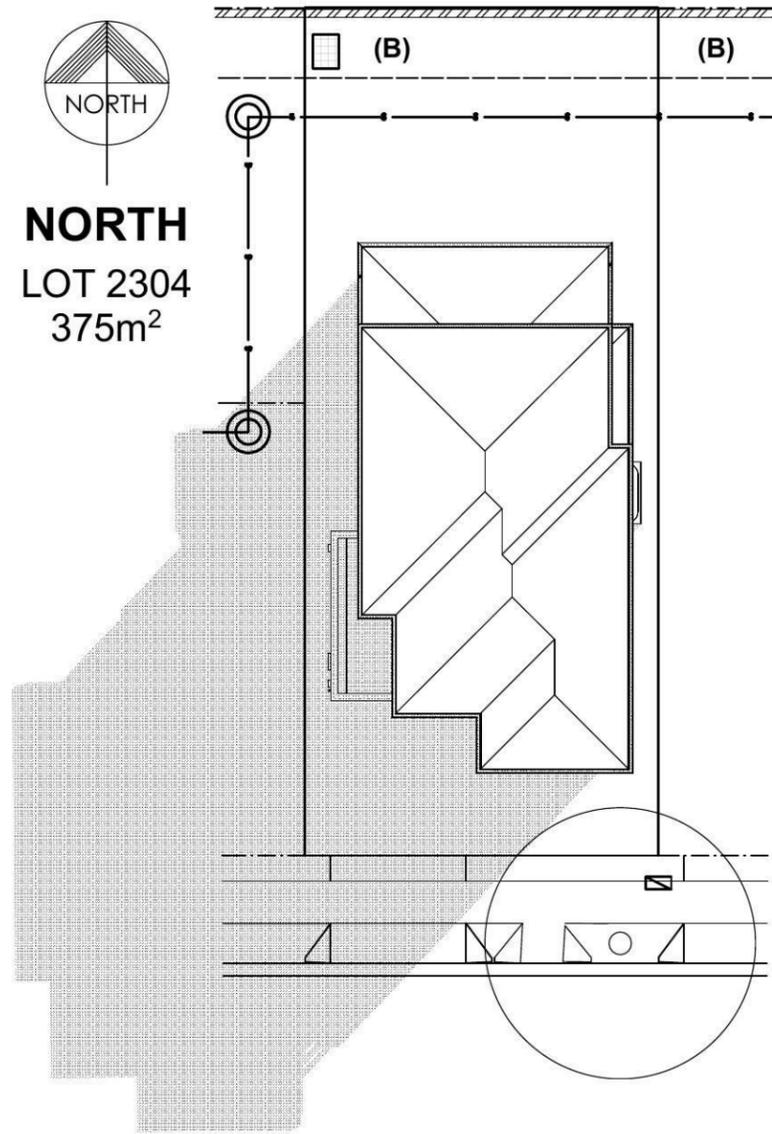
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Design :  
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Job No. **3225N** Sheet 4 of 11

# PROPOSED SHADOW DIAGRAMS



**June 21st - 9am**  
SCALE 1:250

**June 21st - 12noon**  
SCALE 1:250

**June 21st - 3pm**  
SCALE 1:250

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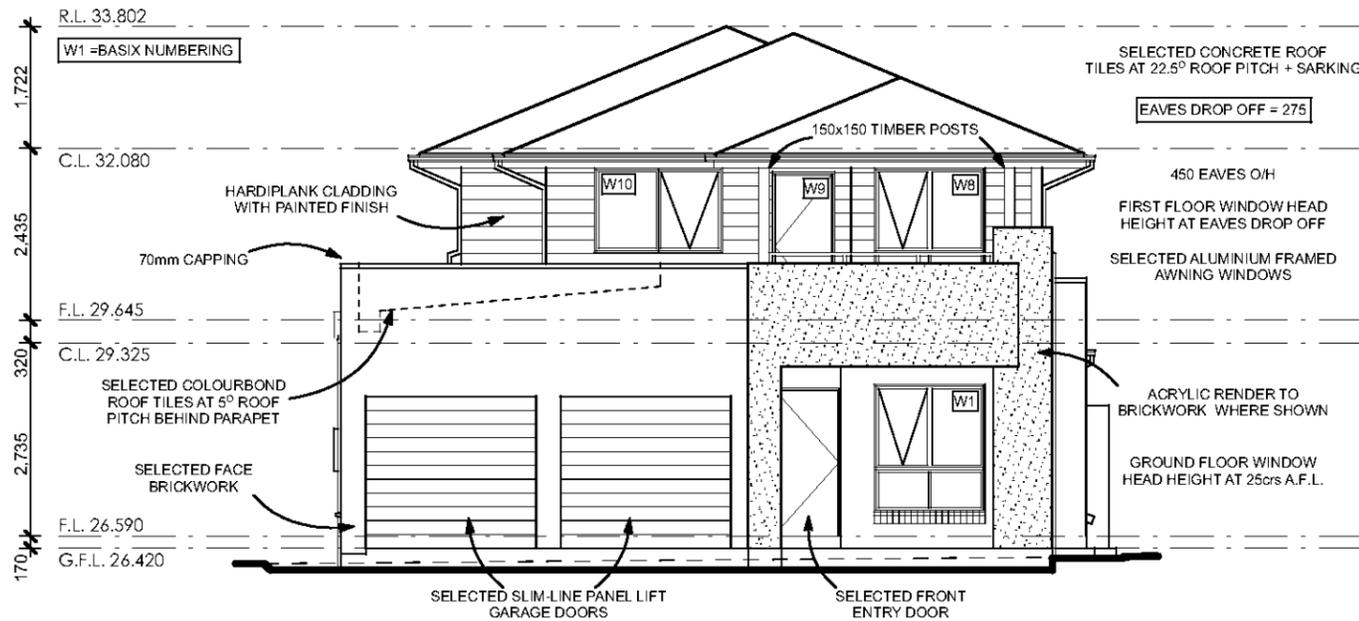
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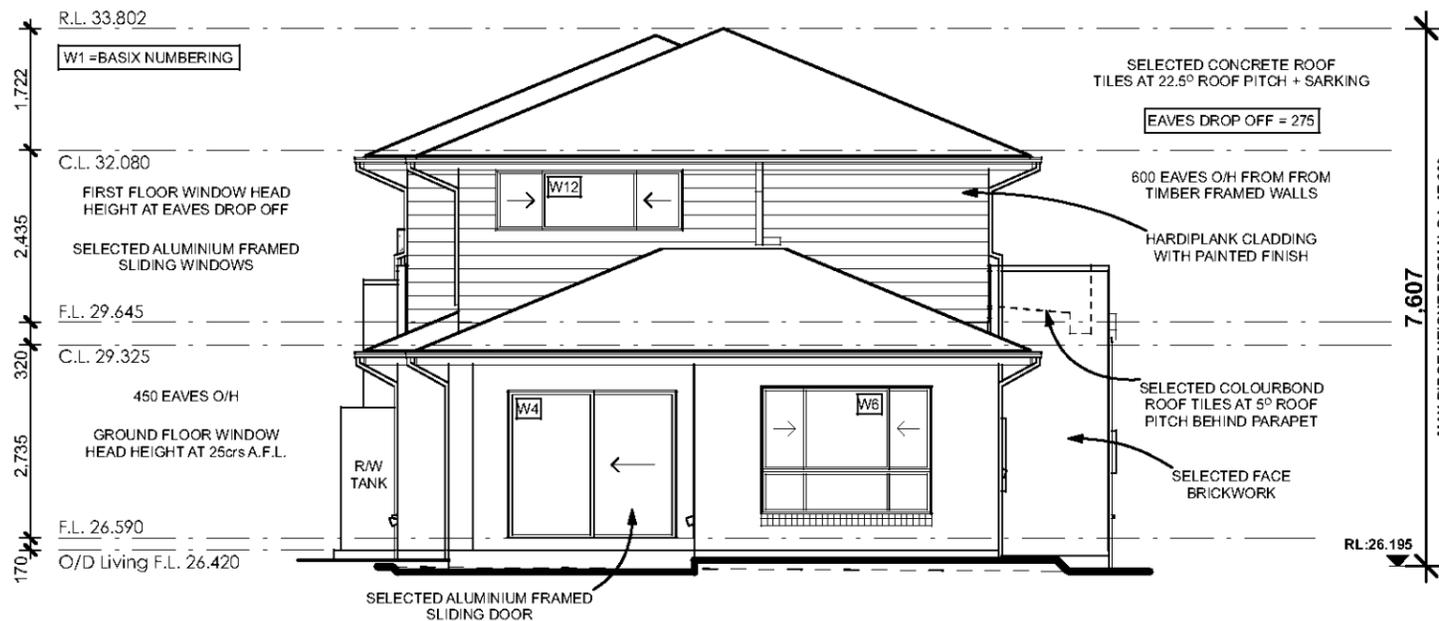
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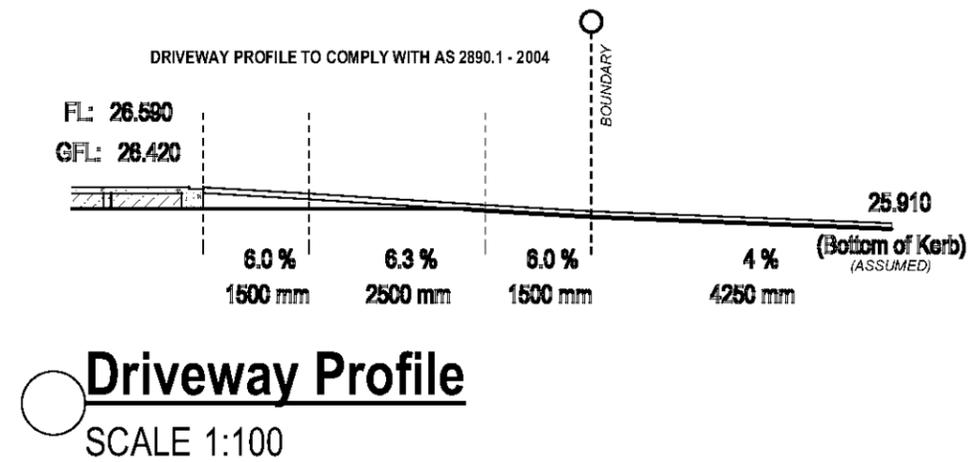
**Southern Elevation**  
SCALE 1:100

**PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5**

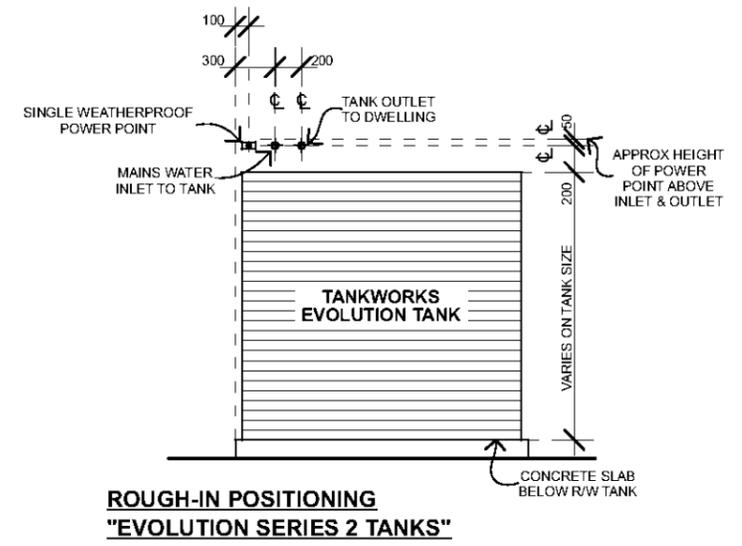
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**Northern Elevation**  
SCALE 1:100



**Driveway Profile**  
SCALE 1:100



Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

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**Champion Homes**  
*Simply the Best*

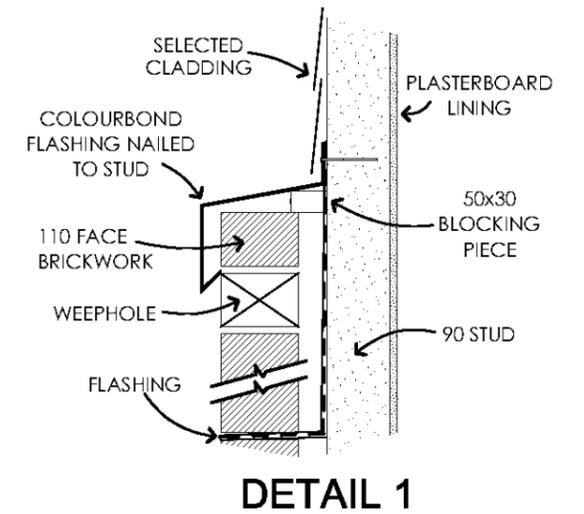
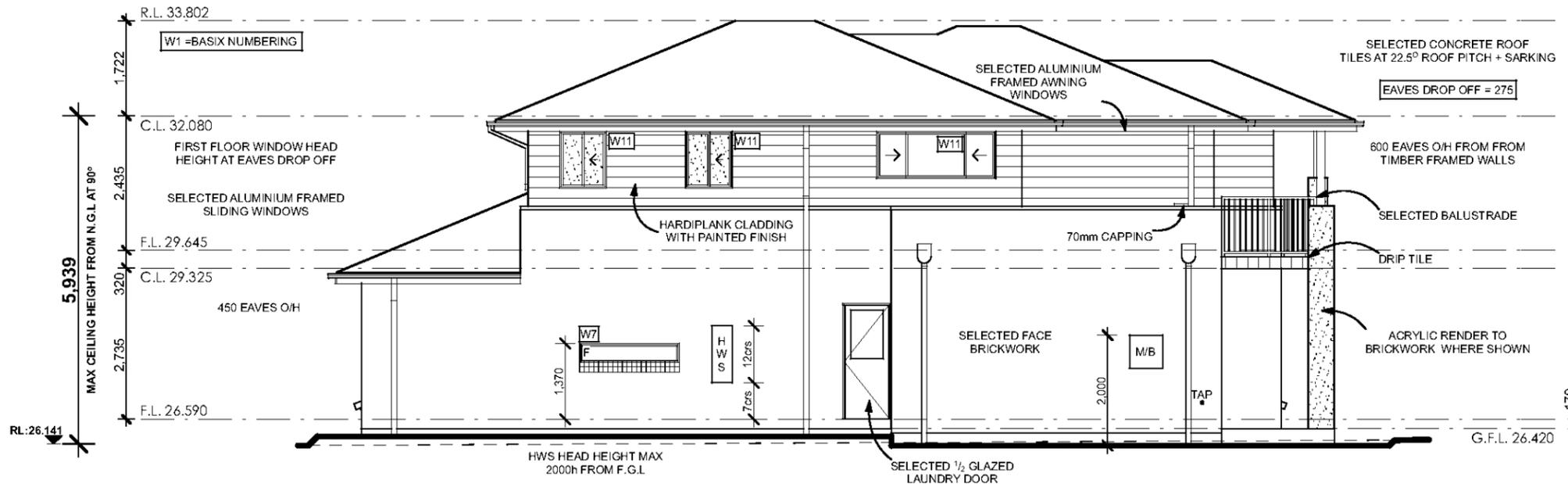
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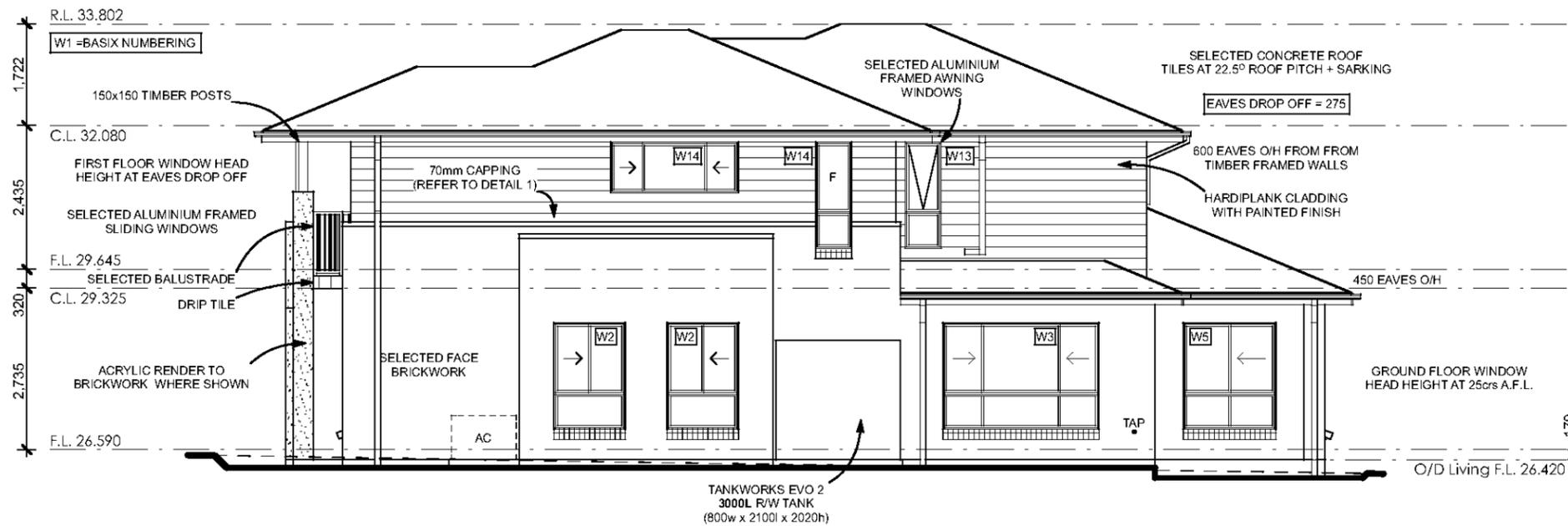


## Western Elevation

SCALE 1:100

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## Eastern Elevation

SCALE 1:100

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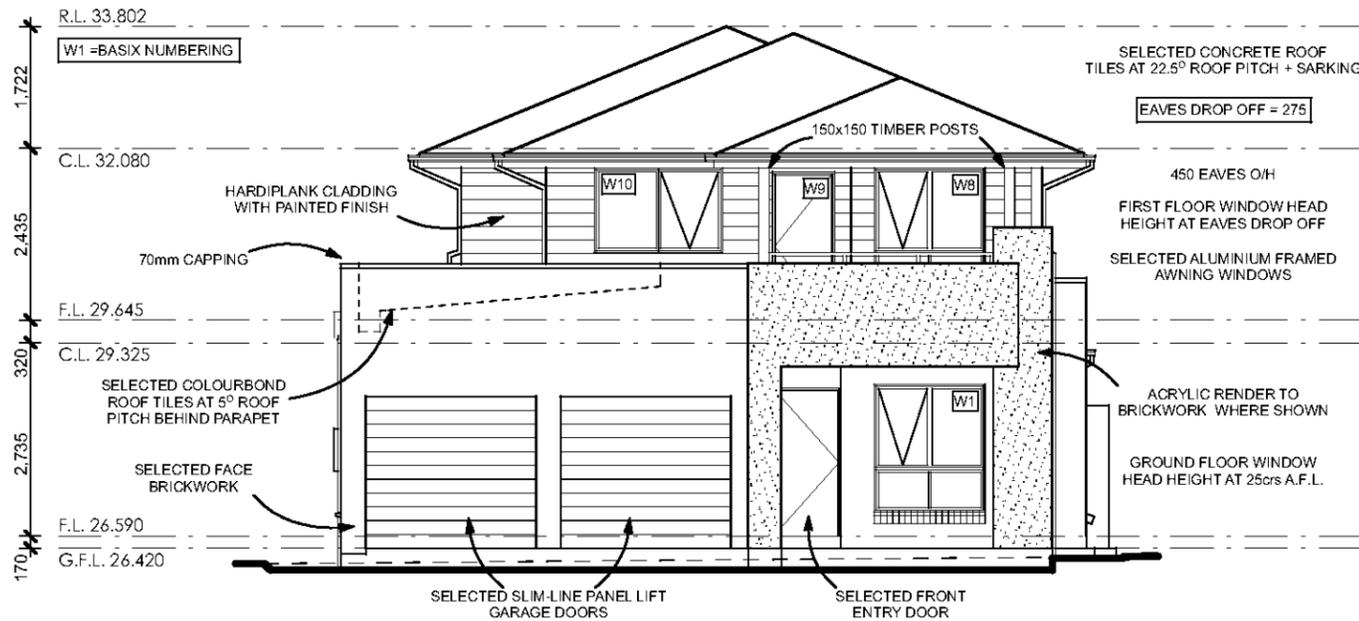
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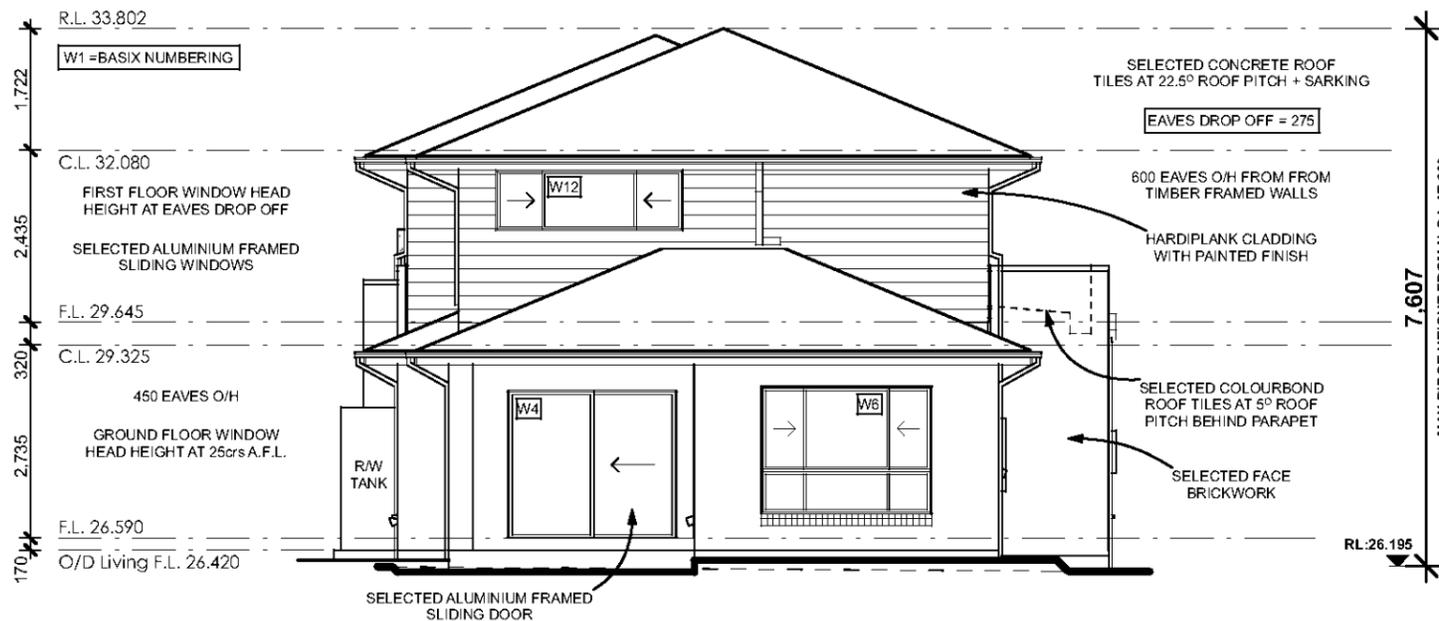
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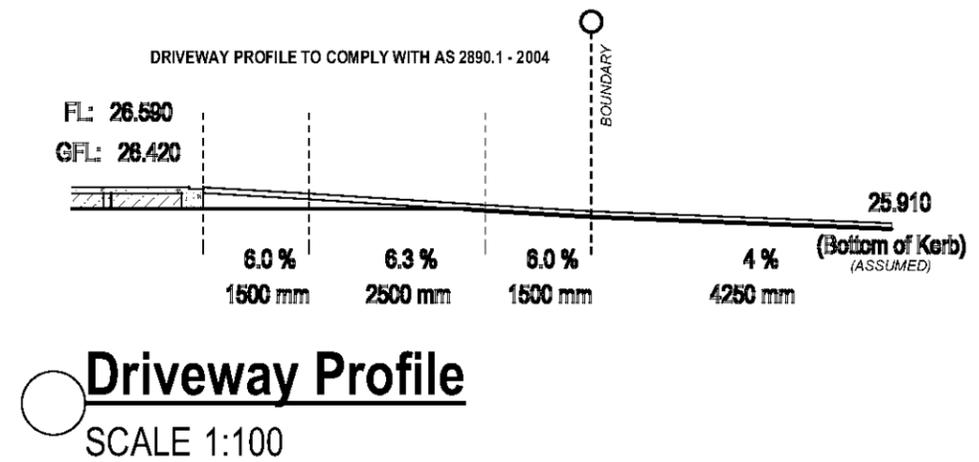


**Southern Elevation**  
SCALE 1:100

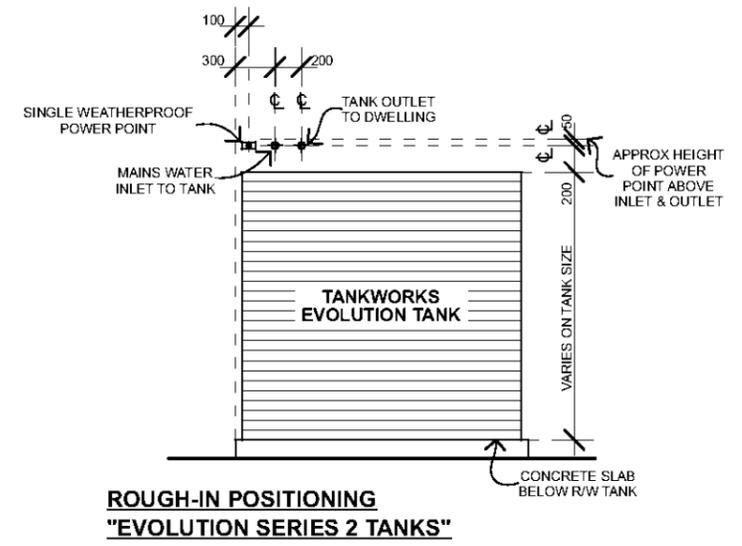
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A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm



**Northern Elevation**  
SCALE 1:100



**Driveway Profile**  
SCALE 1:100



**ROUGH-IN POSITIONING**  
**"EVOLUTION SERIES 2 TANKS"**

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.

Plot Date  
Tue 19 Aug 2014

**SITE & SLAB CLASSIFICATION**  
**IS TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	115 mm FROM F.F.L.

**Champion Homes**  
*Simply the Best*

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Fax (02) 9825 8110  
Builders Licence No. 92732C

Revision	Date	Amendment
E	19.08.14	AMENDED BASIX ADDED - MT
D	13.08.14	CLIENT AMENDMENTS - MT
C	05.08.14	BASIX ADDED / DA PLANS - BT
B	16.07.14	CONTOUR SURVEY ADDED - BT
A	23.05.14	CONTRACT DRAWINGS - NA

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Proposed Residence  
at Lot : 2304  
Empire Circuit,  
Thornton (Penrith).

Client : <b>Champion Homes Sales Pty Ltd</b>	
Sheet Size: A3	Date: 23.05.14 Drawn: N.A
Design : <b>Custom Design</b>	
Job No. 3225N	Sheet 8 of 11



**Southern Elevation**

Not To Scale



**Northern Elevation**

Not To Scale



**Western Elevation**

Not To Scale



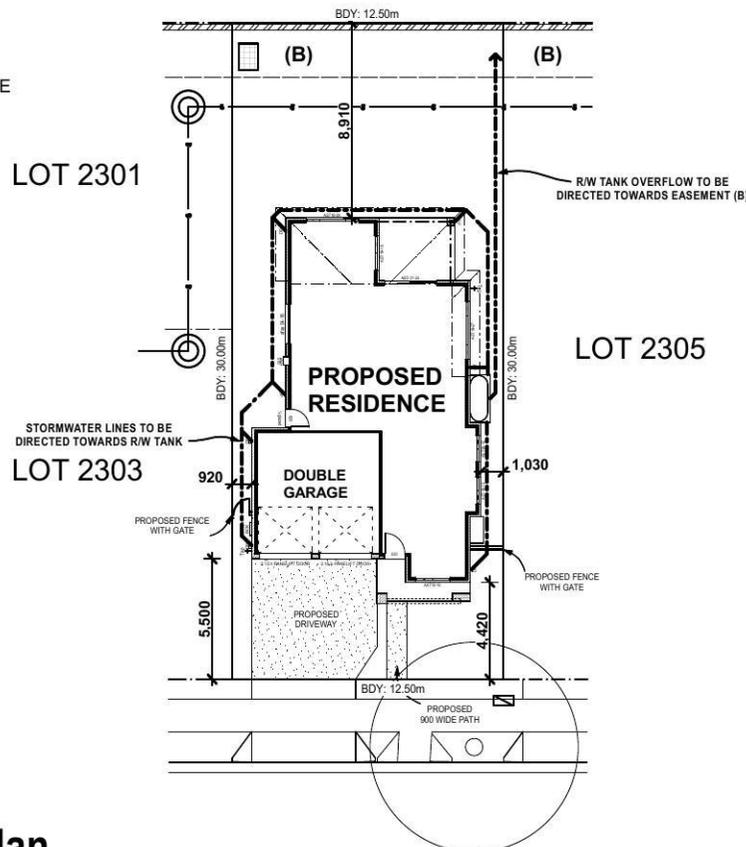
**Eastern Elevation**

Not To Scale

(B) = EASEMENT TO DRAIN WATER 2.5 WIDE



**NORTH**  
LOT 2304  
375m<sup>2</sup>



**EMPIRE CIRCUIT**

**Proposed Site Plan**

Not To Scale

**NOTIFICATION PLAN**

Proposed Residence  
At: Lot 2304 Empire Circuit,  
Thornton (Penrith).



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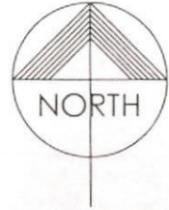
FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.

FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

**Proposed Site Plan & Drainage Plan**

SCALE 1:200

(B) = EASEMENT TO DRAIN WATER 2.5 WIDE

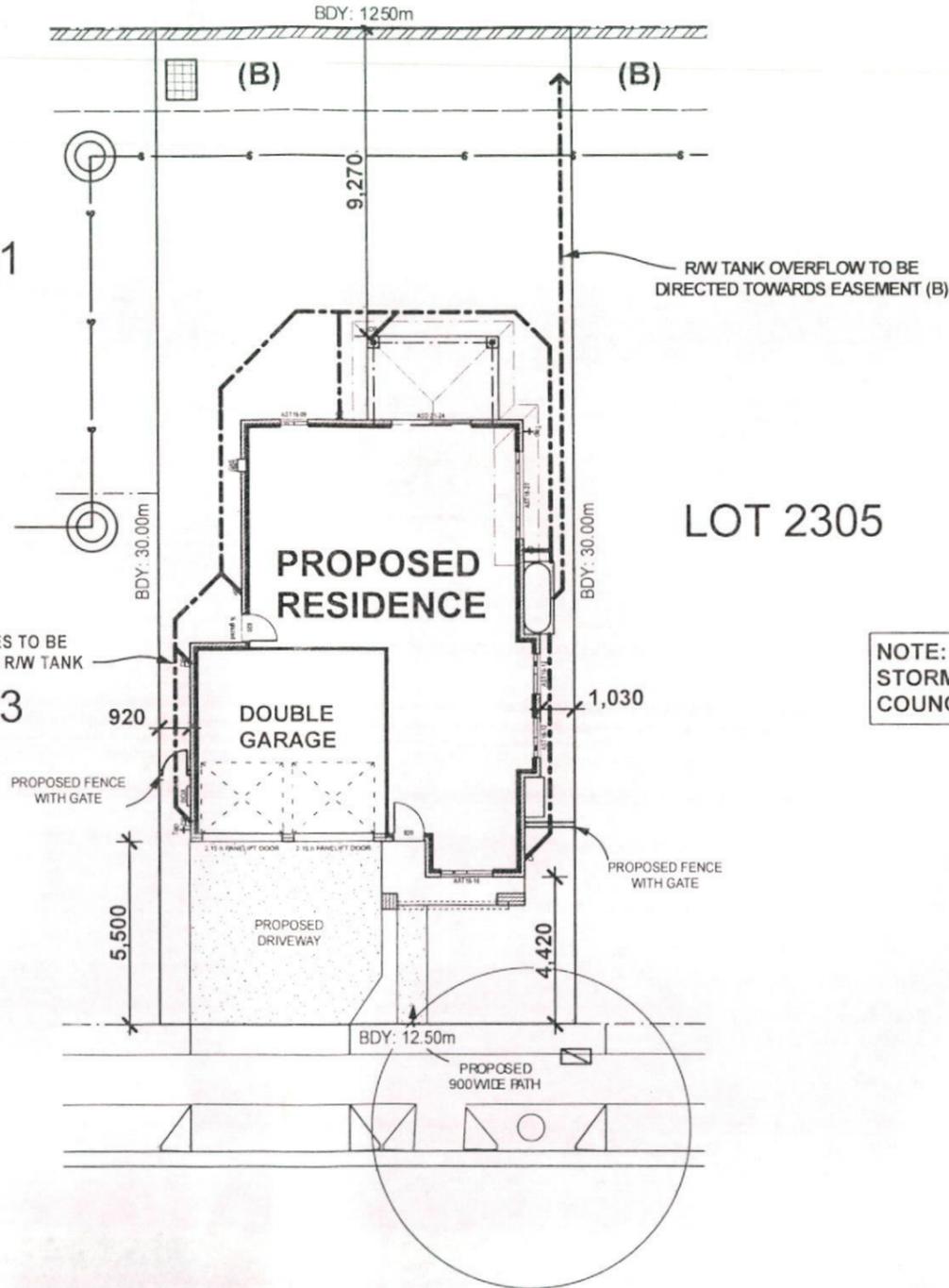


**NORTH**  
LOT 2304  
375m<sup>2</sup>

LOT 2301

LOT 2303

LOT 2305



**NOTE:**  
STORMWATER DESIGN COMPLIES TO COUNCIL CODES & REQUIREMENTS

**EMPIRE CIRCUIT**

Thorton Design Review Panel  
LANDCOM  
Reviewed *hayslett* Date *05/08/14*

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.

Plot Date  
Tue 05 Aug 2014

SITE & SLAB CLASSIFICATION  
**IS TO BE CONFIRMED**

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B	16.04.17	CONTOUR SURVEY ADDED - BT
A	23.05.14	CONTRACT DRAWINGS - NA

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Sheet Size:	A3	Date: 23.05.14
Design :	<b>Custom Design</b>	
Job No.	<b>3225N</b>	Sheet 1 of 11

**NOTE:**

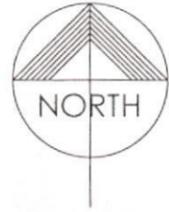
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**Proposed Site Analysis Plan**

SCALE 1:200

(B) = EASEMENT TO DRAIN WATER 2.5 WIDE



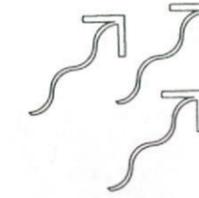
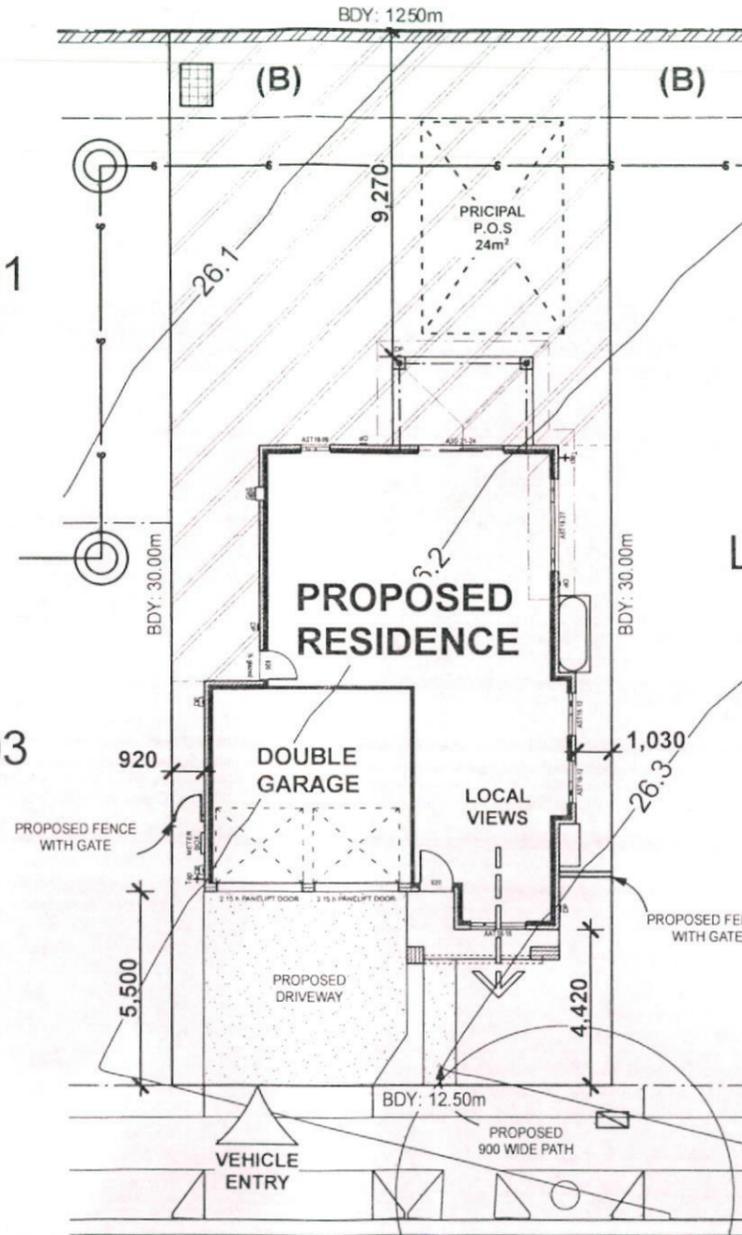
**NORTH**  
LOT 2304  
375m<sup>2</sup>

NORTH PENRITH " THORNTON" REQUIREMENTS:	
<b>SITE AREA:</b>	375m <sup>2</sup>
<b>PRIVATE OPEN SPACE:</b> (Min 2.0m Wide)	REQUIRED: 20% or 75m <sup>2</sup> ACHIEVED: 44% or 164.04m <sup>2</sup>
<b>LANDSCAPE AREA:</b>	ACHIEVED: 45% or 170.02m <sup>2</sup>
<b>CARPARKING:</b>	REQUIRED: 2 SPACES ACHIEVED: 2 SPACES

LOT 2301

LOT 2303

LOT 2305



S/W BREEZES

**EMPIRE CIRCUIT**



Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - if in doubt ASK.

Plot Date  
Tue 05 Aug 2014

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A	23.05.14	CONTRACT DRAWINGS - NA

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Sheet Size: A3	Date: 23.05.14 Drawn: N.A
Design :	<b>Custom Design</b>
Job No. 3225N	Sheet 2 of 11

**NOTE:**

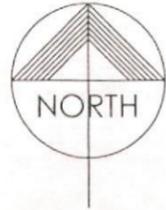
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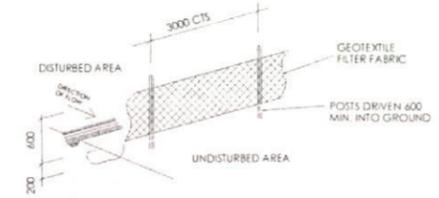
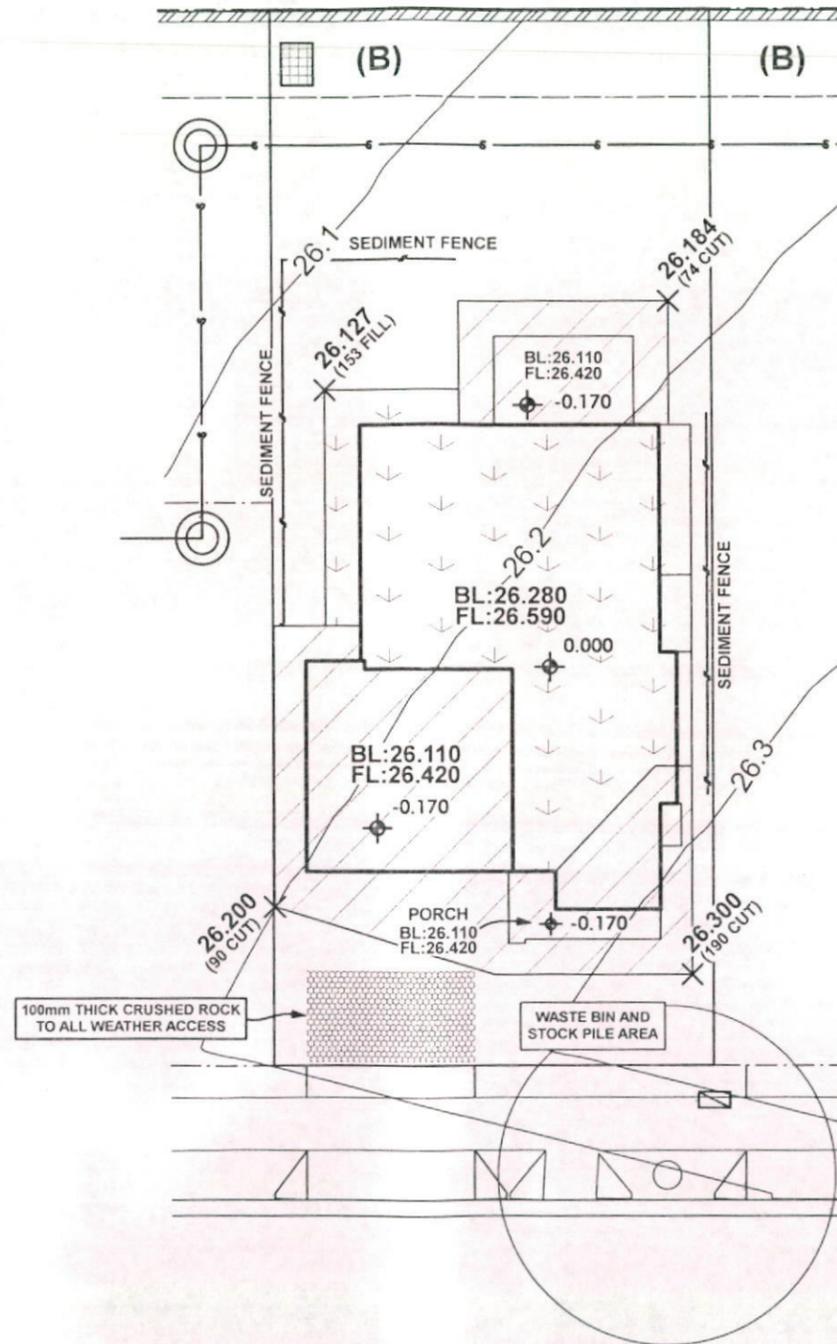
# Proposed Erosion Sediment & Control Plan

SCALE 1:200

(B) = EASEMENT TO DRAIN WATER 2.5 WIDE



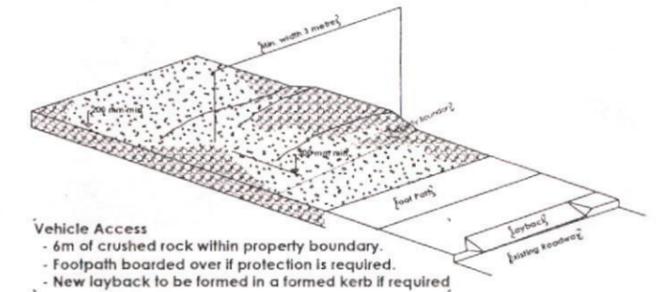
**NORTH**  
LOT 2304  
375m<sup>2</sup>



SEDIMENT CONTROL FENCE

**SITE PLAN**

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY. FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT. SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



- Vehicle Access**
- 6m of crushed rock within property boundary.
  - Footpath boarded over if protection is required.
  - New layback to be formed in a formed kerb if required.

Thorton Design Review Panel  
**LANDCOM**  
 Reviewed *Leyslett* Date *28/05/14*

Figured dimensions to be used in preference to scaling this drawing.  
Do not assume - # in doubt ASK.

**SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED**

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B	16.04.17	CONTOUR SURVEY ADDED - BT
A	23.05.14	CONTRACT DRAWINGS - NA

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Plot Date  
Tue 05 Aug 2014

Client :	<b>Champion Homes Sales Pty Ltd</b>
Sheet Size:	A3 Date: 23.05.14 Drawn: N.A
Design :	<b>Custom Design</b>
Job No.	<b>3225N</b>
Sheet	<b>3 of 11</b>

# BASIX REQUIREMENTS

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W1	S	2.88	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W2	E	4.32	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W3	E	4.86	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W4	N	5.04	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed
W5	N	1.62	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W6	S	0.90	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W7	S	1.72	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed
W8	S	2.88	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 1,500-2,000 mm	not overshadowed
W9	E	3.06	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W10	E	1.08	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W11	N	2.43	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W12	W	3.12	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W13	S	2.20	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W14	W	1.32	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed

BASIX & NatHERS COMMITMENTS NOTES				
*REFER TO APPROVED BASIX REPORT*				
<b>WATER</b>				
Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	3 star(>7.5 but<=9L/min)	4 star	4 star	4 star
Alternative water source	Individual water tank to collect run off from at least 130 m <sup>2</sup> of roof area - Tank size min 3000 litres			
	Landscape connection	Toilet connection	Laundry connection	Pool top up
	Yes	Yes	Yes	N/A
<b>ENERGY</b>	Hot water system: Gas Instantaneous 6 star			
	Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Laundry: Natural ventilation only			
	Cooling system: 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area (zoned)			
	Heating system: 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area (zoned)			
	Natural lighting: As per BASIX			
	Artificial lighting: As per BASIX			
	Must install a gas cooktop and electric oven			
	Must install a fixed outdoor clothes drying line as part of the development.			

Building Elements	Material	Detail
External walls	<ul style="list-style-type: none"> <li>Brick veneer</li> <li>Lightweight Cladding</li> </ul>	R2.0 bulk insulation
Internal walls	Plasterboard on studs	-
Ceiling	Plasterboard	R3.0 bulk insulation to ceilings with roof above
Floors	Concrete – slab on ground Timber – first floor	R0.3 (or 1 including construction) (down) TO SUSPENDED FLOOR ABOVE GARAGE
Roof	Tiled - Medium Colour SA 0.475 to 0.70	Foil (sisalation) to underside of roof
Windows	Improved Aluminium Frame, single glazed clear	U Value 6.44 or less and SHGC 0.75 +/- 10%

*Note: Insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA*

Thorton Design Review Panel  
**LANDCOM**  
 Reviewed *[Signature]* Date *18/8/14*

Plot Date  
 Tue 05 Aug 2014

Figured dimensions to be used in preference to scaling this drawing.  
 Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION  
**IS TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY.	
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GARAGE	170 mm FROM F.F.L.
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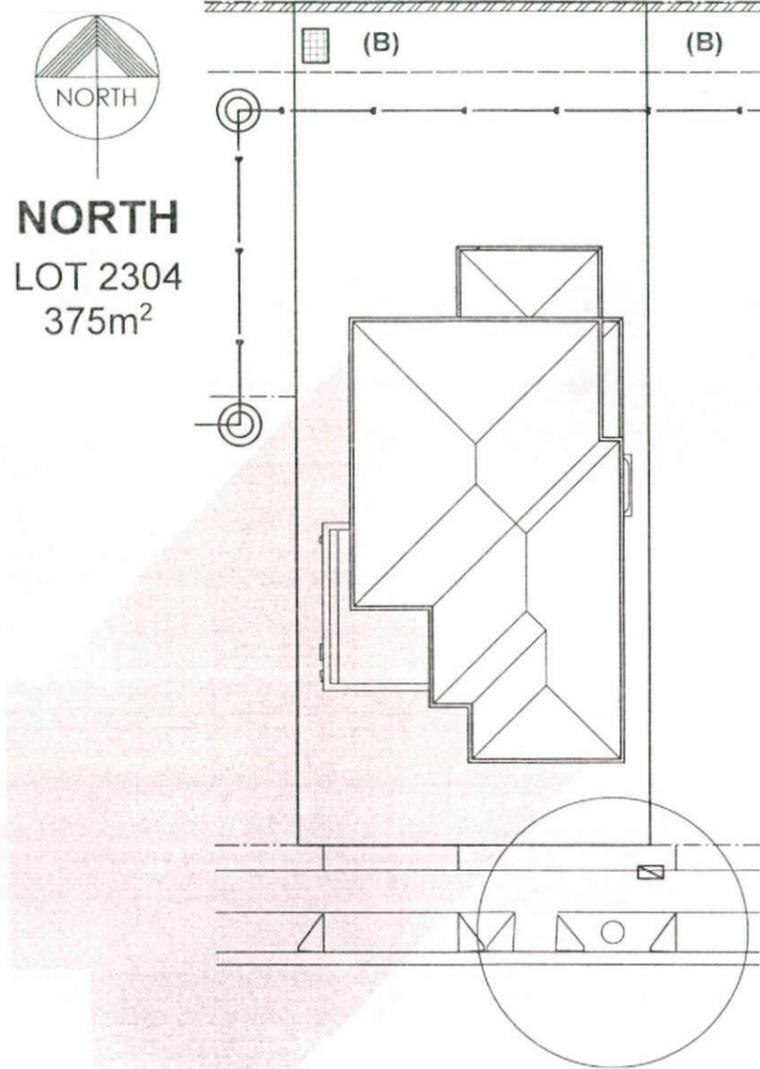
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A	23.05.14	CONTRACT DRAWINGS - NA

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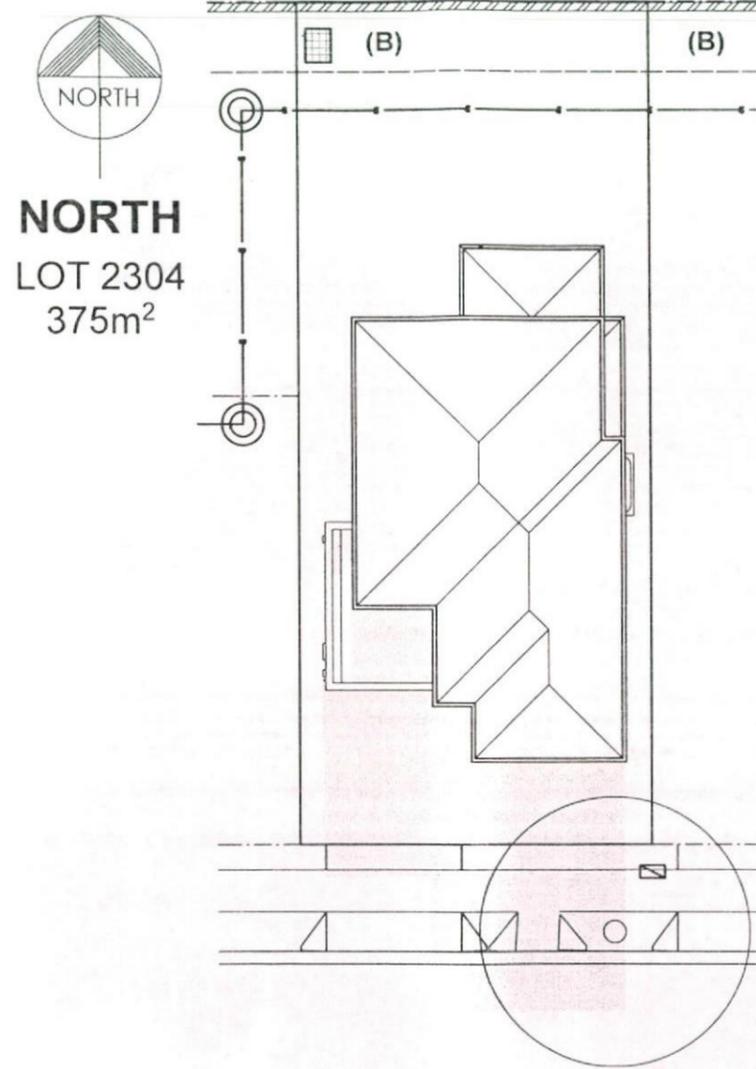
Client :  
**Champion Homes Sales Pty Ltd**  
 Sheet Size: A3 | Date: 23.05.14 | Drawn: N.A  
 Design :  
**Custom Design**  
 Job No. **3225N** | Sheet 4 of 11

# PROPOSED SHADOW DIAGRAMS



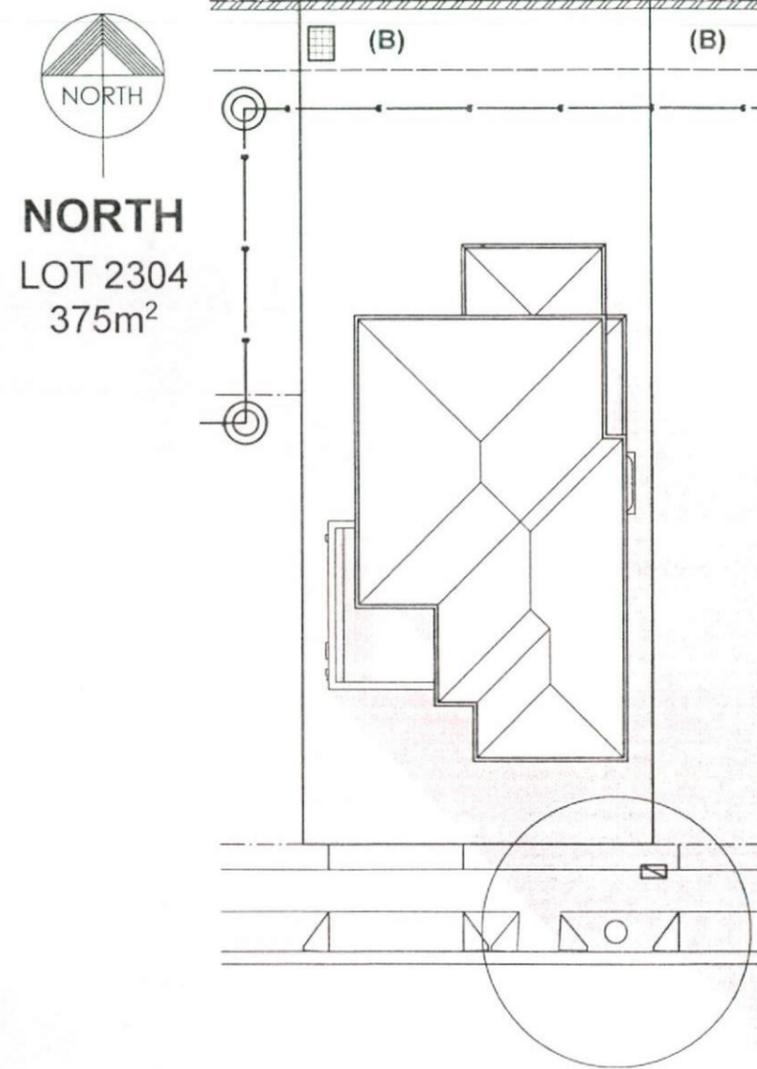
**June 21st - 9am**

SCALE 1:250



**June 21st - 12noon**

SCALE 1:250



**June 21st - 3pm**

SCALE 1:250

Thorton Design Review Panel  
 LANDCOM  
 Reviewed *Lynell* Date 18/8/14

Plot Date  
 Tue 05 Aug 2014

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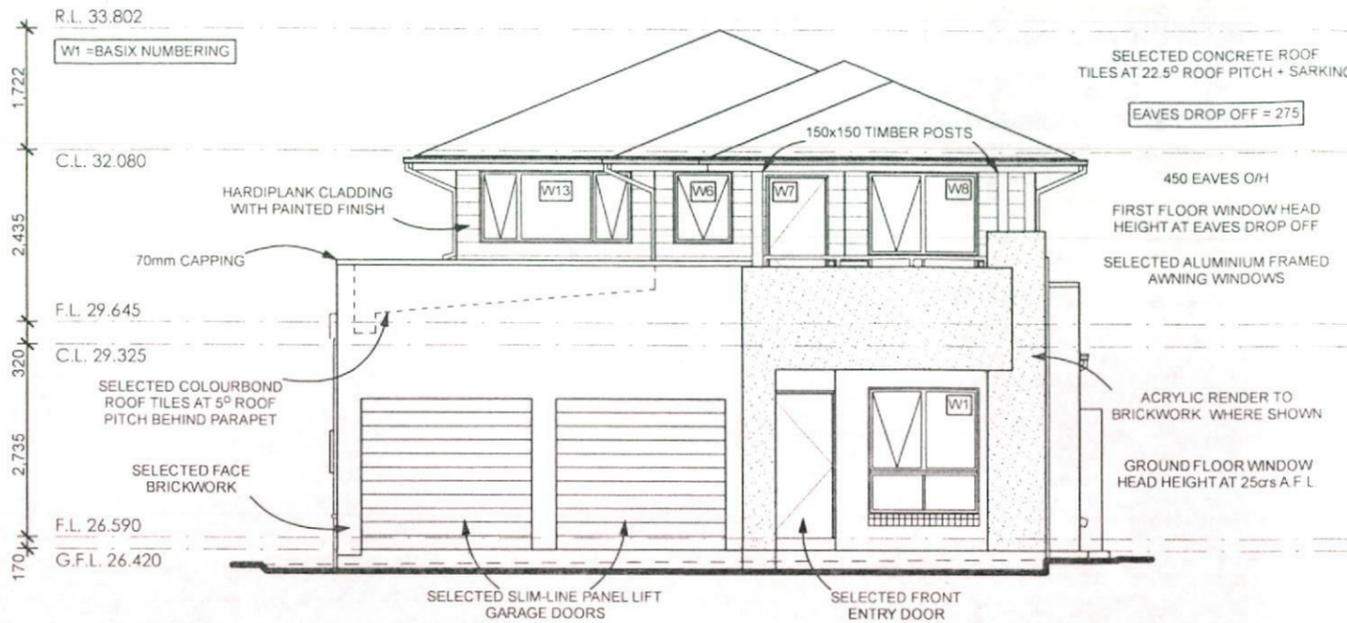
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**Champion Homes  
 Sales Pty Ltd**  
 Sheet Size: A3 Date: 23.05.14 Drawn: N.A.  
 Design :  
**Custom Design**  
 Job  
 No. **3225N** Sheet 5 of 11



## Southern Elevation

SCALE 1:100

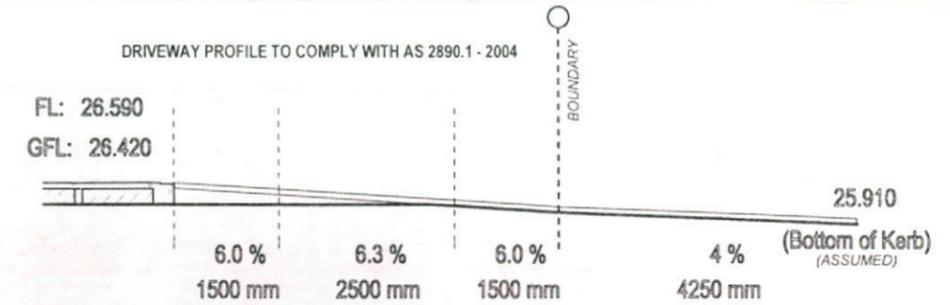
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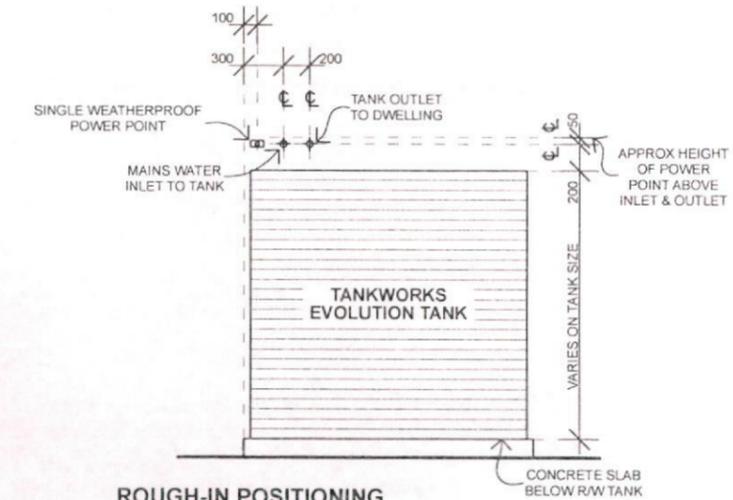
## Northern Elevation

SCALE 1:100



## Driveway Profile

SCALE 1:100



ROUGH-IN POSITIONING  
"EVOLUTION SERIES 2 TANKS"



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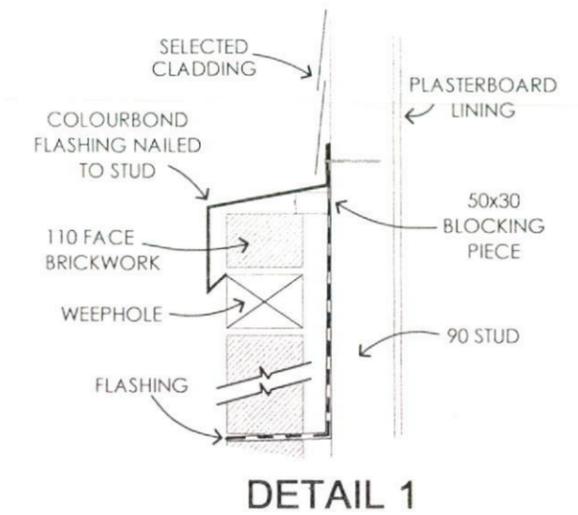
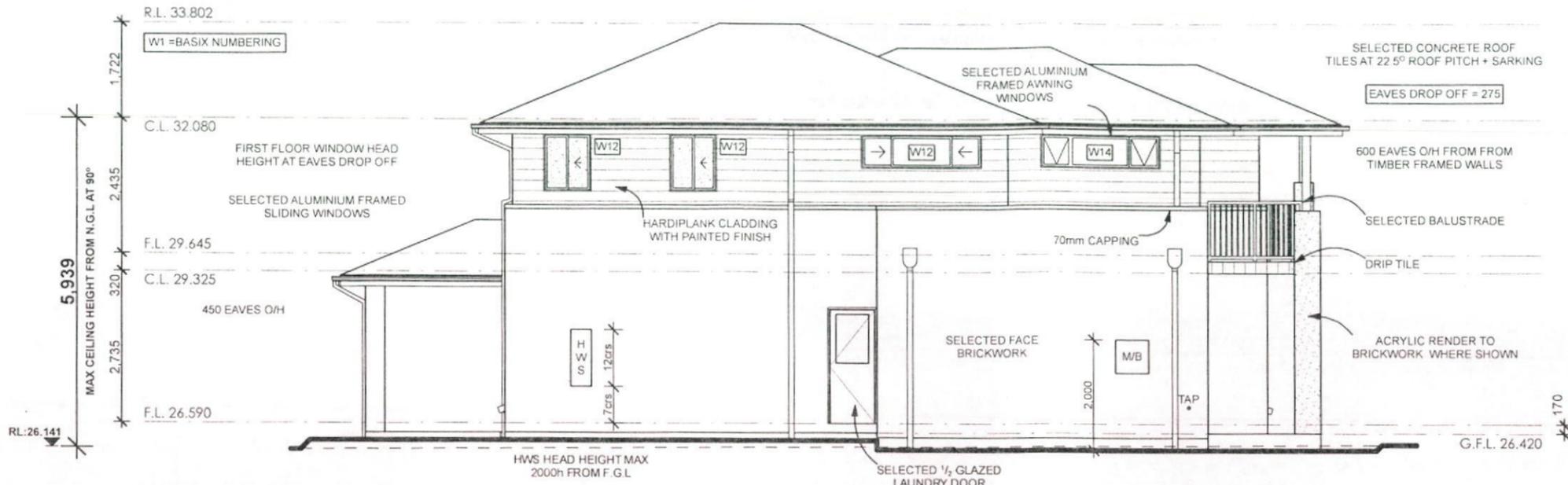
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Plot Date  
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**Champion Homes  
Sales Pty Ltd**  
Sheet Size: A3 Date: 23.05.14 Drawn: N.A.  
Design:  
**Custom Design**  
Job  
No. 3225N Sheet 8 of 11

Wind Speed: Class = N2

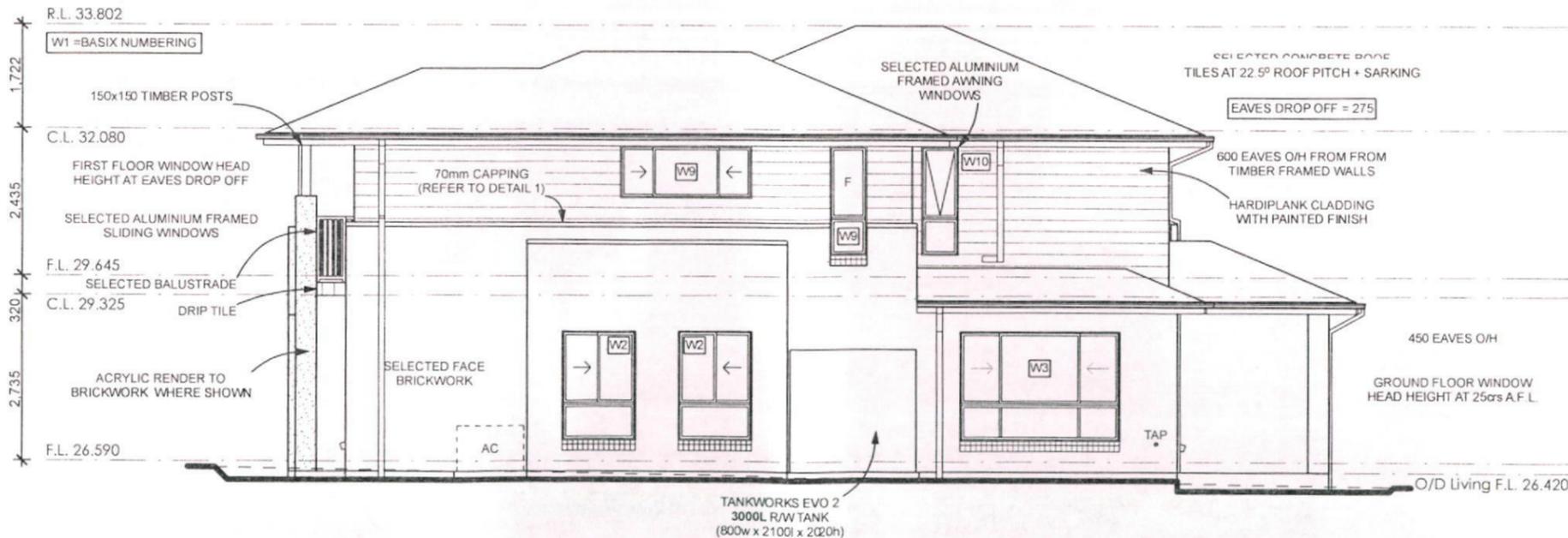


# Western Elevation

SCALE 1:100

### PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm



# Eastern Elevation

SCALE 1:100

Thorton Design Review Panel  
 LANDCOM  
 Reviewed *Logan* Date 18/8/14

Figured dimensions to be used in preference to scaling this drawing.  
 Do not assume - if in doubt ASK.

Plot Date  
 Tue 05 Aug 2014

SITE & SLAB CLASSIFICATION  
**IS TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY.	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	115 mm FROM F.F.L.

**Champion Homes**  
*Simply the Best*

Suite 1, Level 1,  
 600 Hoxton Park Rd,  
 Hoxton Park, N.S.W. 2171,  
 P.O. Box 95 Hoxton Park,  
 N.S.W. 2171,  
 Telephone (02) 9825 8000  
 Fax (02) 9825 8110  
 Builders Licence No. 92732C

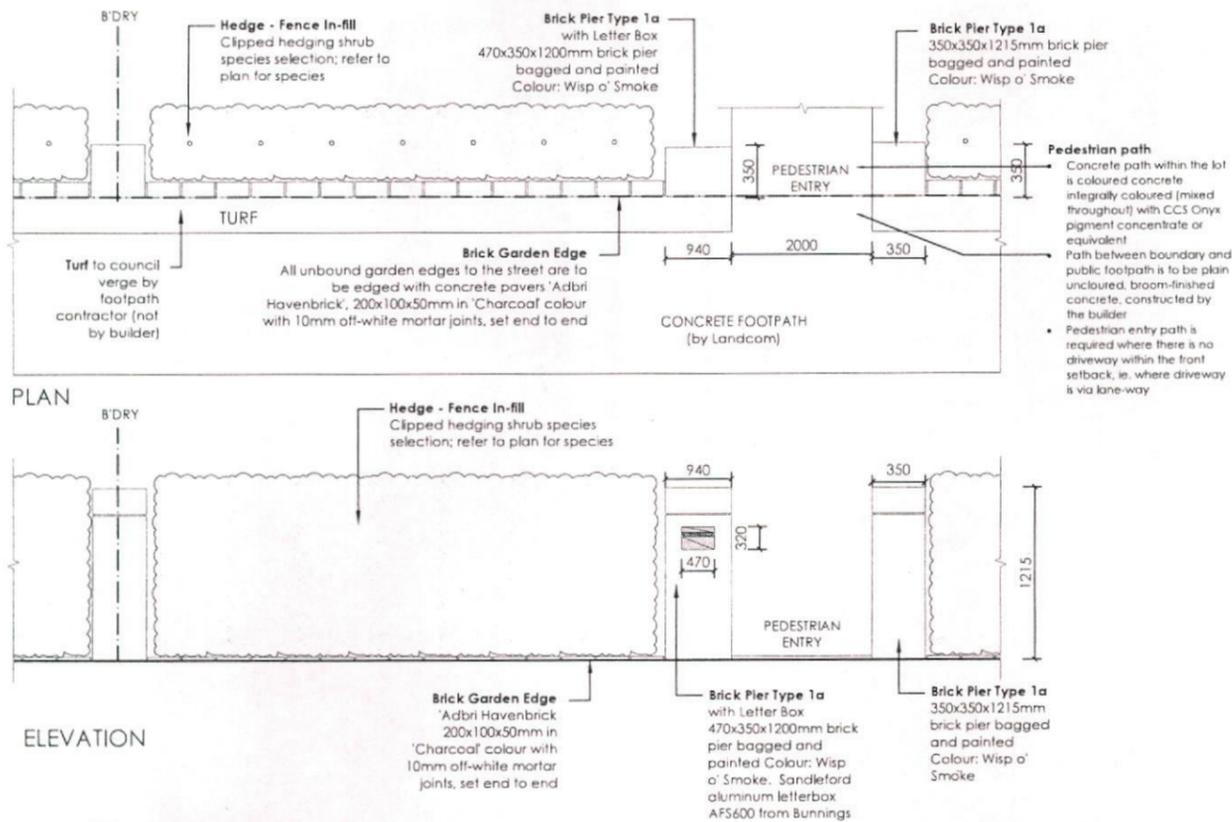
Revision	Date	Amendment
C	05.08.14	BASIX ADDED / DA PLANS - BT
B	16.04.17	CONTOUR SURVEY ADDED - BT
A	23.05.14	CONTRACT DRAWINGS - NA

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 Legal action will be taken against any person who infringes the copyright.

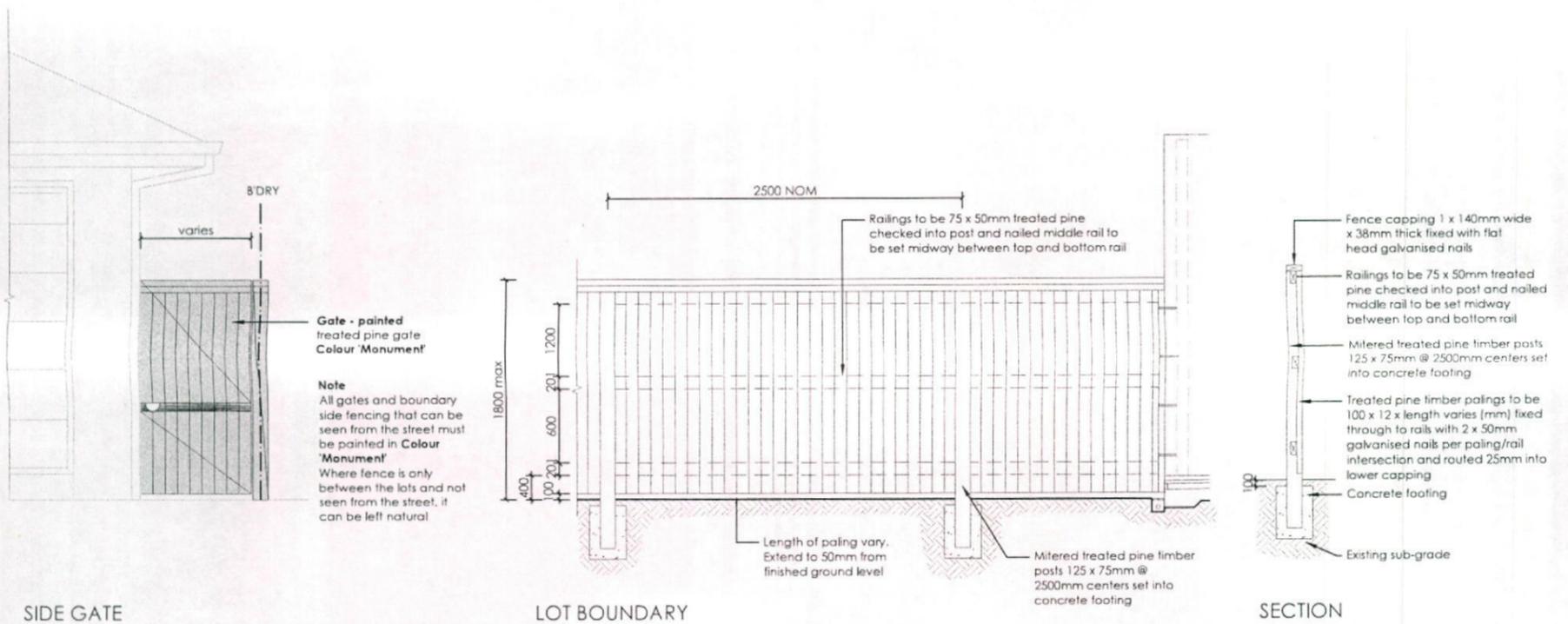
Proposed Residence  
 at Lot : 2304  
 Empire Circuit,  
 Thornton (Penrith).

Client :  
**Champion Homes Sales Pty Ltd**  
 Sheet Size: A3 Date: 23.05.14 Drawn: N.A.  
 Design :  
**Custom Design**  
 Job No. **3225N** Sheet 9 of 11

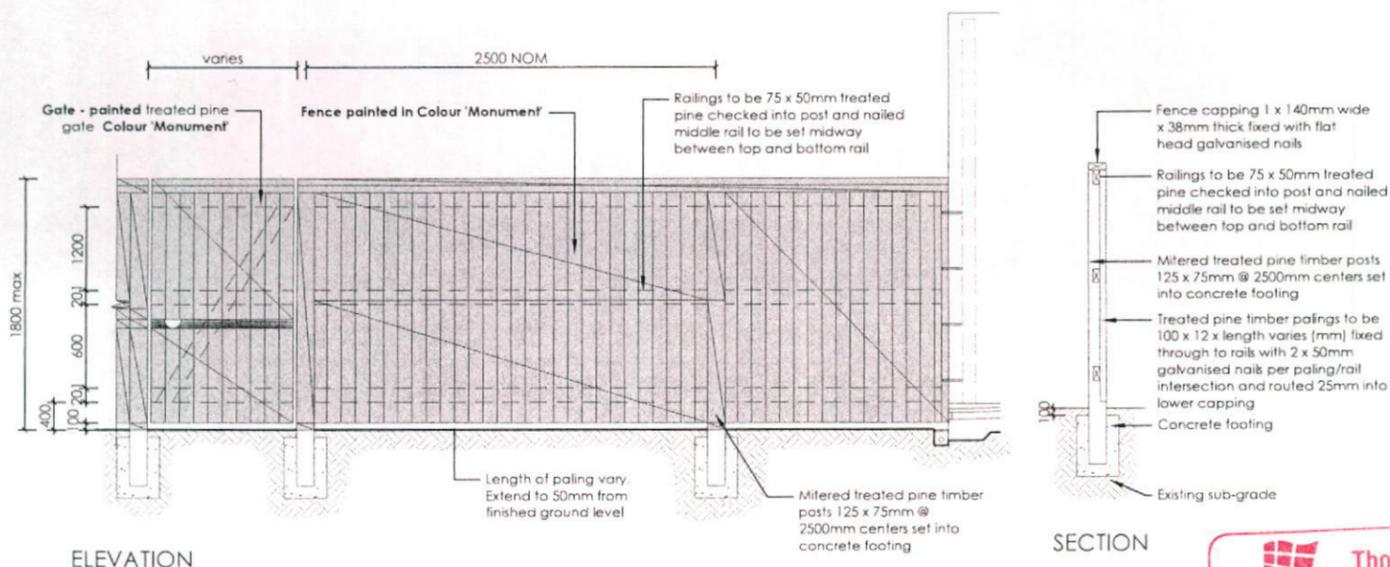
 Thorton Design Review Panel  
LANDCOM  
Reviewed *lyw* Date *08/19*



5 FENCE TYPE 5 - Front Fence  
1:50 Typical detail



6 FENCE TYPE 4a - Side Boundaries  
1:50 Typical detail



7 FENCE TYPE 4b - Rear Boundary  
1:50 All Laneways (except Barett Lane)  
Typical detail

Thorton Design Review Panel  
LANDCOM  
Reviewed *[Signature]* Date 18/8/19

<table border="1"> <thead> <tr> <th>REVISED</th> <th>DESCRIPTION</th> <th>BY</th> <th>CHECK</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>ISSUE FOR CLIENT REVIEW</td> <td>RS</td> <td>BT</td> <td>03-06-14</td> </tr> <tr> <td>B</td> <td>AMEND STREET NAME</td> <td>RS</td> <td>RS</td> <td>04-06-14</td> </tr> </tbody> </table>	REVISED	DESCRIPTION	BY	CHECK	DATE	A	ISSUE FOR CLIENT REVIEW	RS	BT	03-06-14	B	AMEND STREET NAME	RS	RS	04-06-14	<p><b>ecodesign</b> outdoor living environments</p> <p>PO Box 8136, Baulkham Hills NSW 2153 Ph: (02) 9460 7712 Fax: (02) 9460 7705 Email: info@ecodesign.com.au Web: www.ecodesign.com.au</p> <p>1. Do not scale from drawings 2. Verify all measurements on site 3. Notify ecodesign of any inconsistencies 4. Copyright © ecodesign. All rights reserved 5. Drawing remains the property of ecodesign</p> <p>6. All work to comply with relevant Australian Standards or Building Code of Australia 7. All work to be performed by a suitably qualified tradesperson 8. For application purposes only - NOT FOR CONSTRUCTION</p>	<p>LOT 2304 EMPIRE CIRCUIT, PENRITH</p> <p>CHAMPION HOMES</p>	<table border="1"> <tr> <td colspan="4">NEW RESIDENCE</td> </tr> <tr> <td colspan="4">LANDSCAPE PLAN</td> </tr> <tr> <td>SCALE</td> <td>DATE</td> <td>REV</td> <td>BY</td> </tr> <tr> <td>1:100 @ A3</td> <td>DA</td> <td>03</td> <td></td> </tr> <tr> <td>DESIGNED</td> <td>CHECKED</td> <td>DATE</td> <td>BY</td> </tr> <tr> <td>RS</td> <td>BT</td> <td>04-06-14</td> <td>B</td> </tr> </table>	NEW RESIDENCE				LANDSCAPE PLAN				SCALE	DATE	REV	BY	1:100 @ A3	DA	03		DESIGNED	CHECKED	DATE	BY	RS	BT	04-06-14	B
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# Lot 2304 Combwood

## PLANT SCHEDULE Prepared by ecodeign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Cpl	Camellia sasanqua 'Paradise Pearl'	Camellia	5	200mm	2m
Lwt	Liriope muscari 'Monroe's White'	Liriope (white flowering)	6	200mm	450mm
Mcd	Malus 'Cinzam Cinderlla'	Dwarf Crab Apple	2	75L	3m
Oi	Ophiopogon 'Stripey White'	Stripey White Mondo Grass	28	200mm	0.3-0.4m
Vo	Viburnum odoratissimum	Sweet Viburnum	10	300mm	2.5m
Vh	Viola hederacea	Native Violet	8	150mm	0.1m

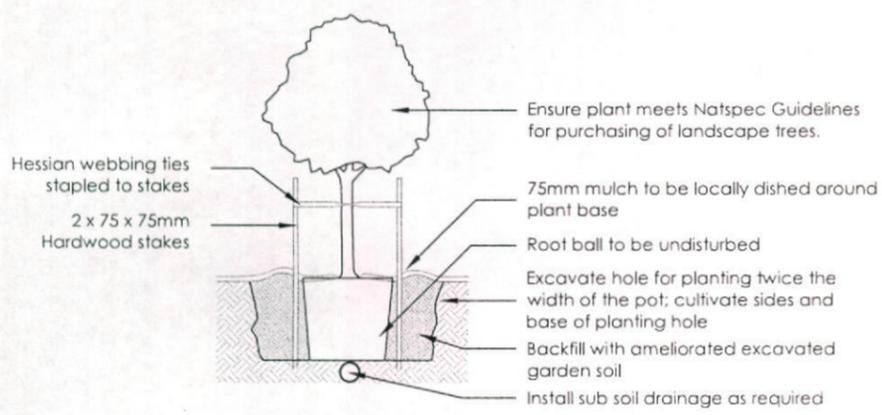
### LOT PLANTING SUMMARY

Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
59	10	0	49	2

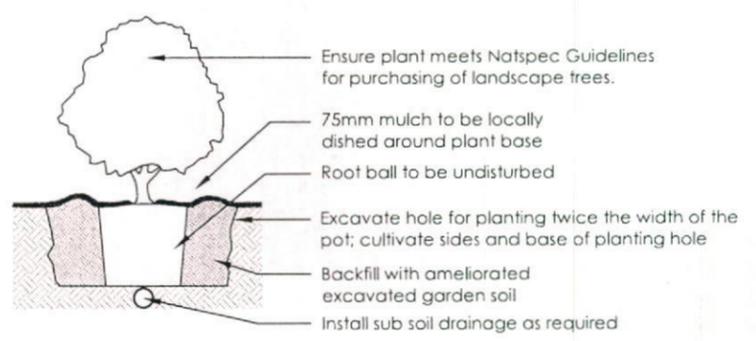
Minimum of 1 tree and 20 shrubs / groundcovers to each front / side yard (excluding fence hedging)

**LEGEND**

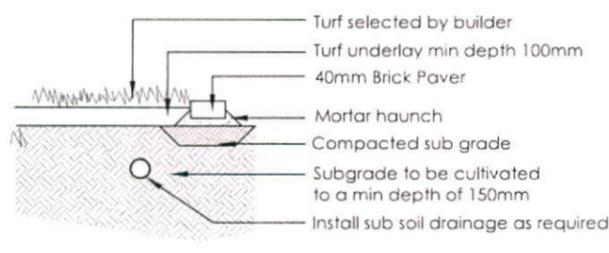
- Proposed trees - refer to plant schedule
- Proposed shrubs - refer to plant schedule
- Proposed accents & grasses - refer to plant schedule
- Proposed groundcovers and grasses - refer to plant schedule
- Existing levels
- Proposed levels
- Existing contours
- Boundary
- Garden edging
- Masonry retaining walls
- Existing contours



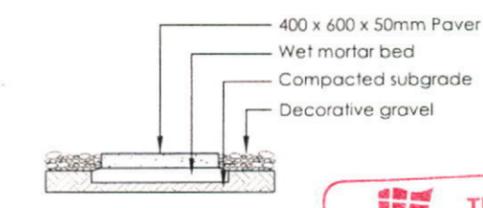
1 Tree Planting Detail  
NTS 25L - 100L Pot Size



2 Planting Detail  
NTS 150mm, 200mm Pot Size



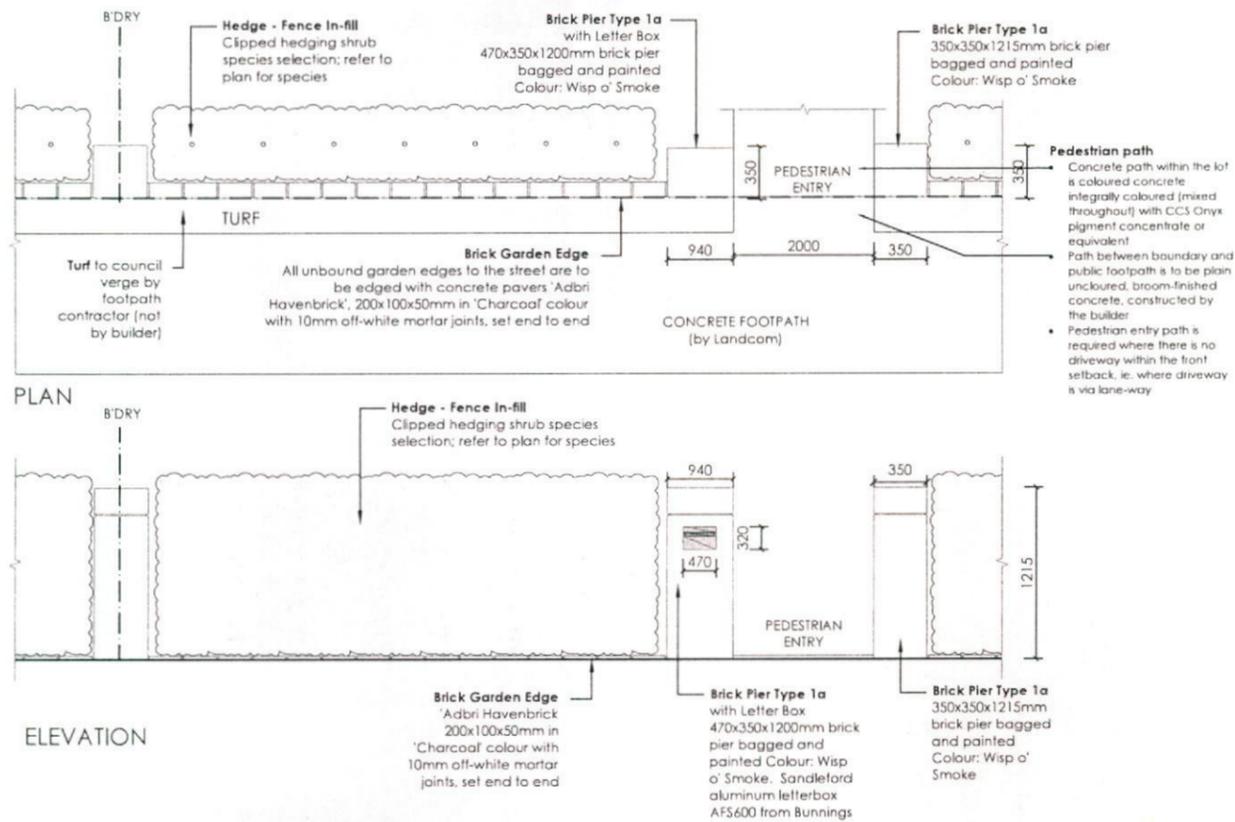
3 Turf Detail  
NTS Brick Paver Edge



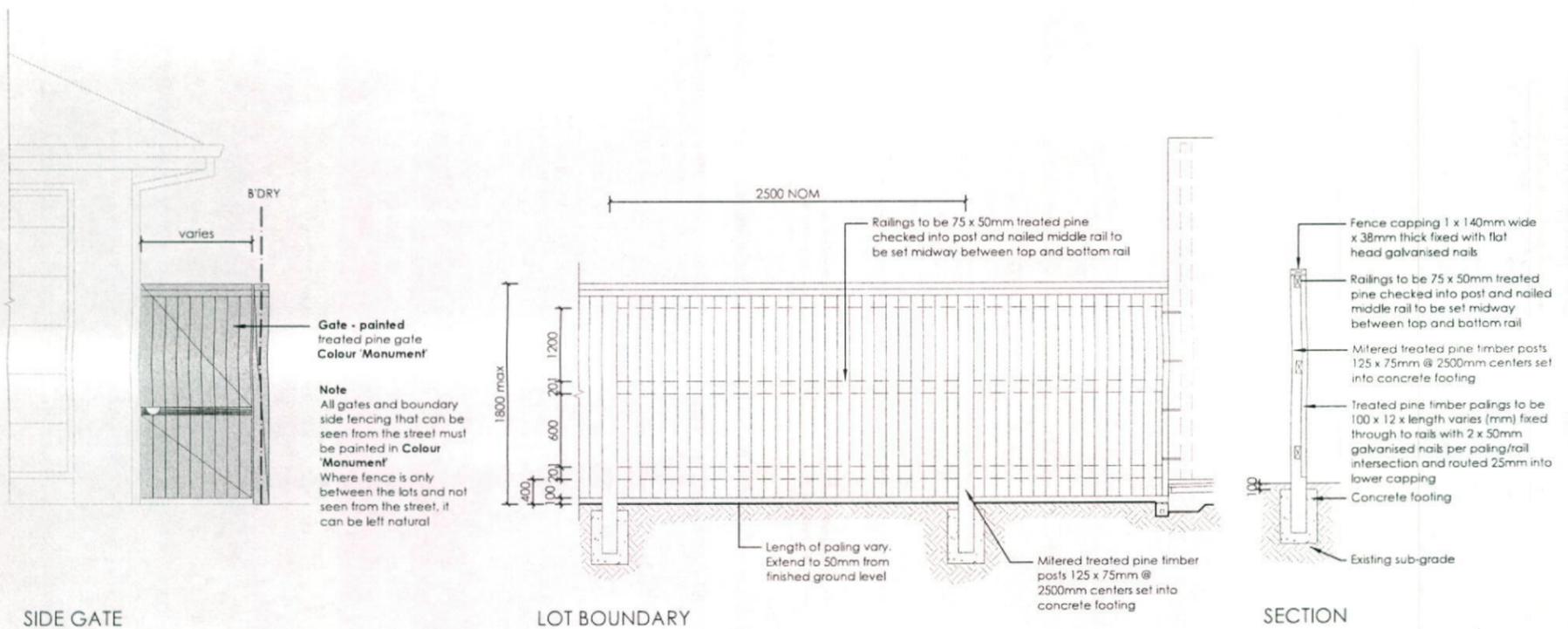
4 Stepping stones in gravel  
NTS Low traffic zone

**Thorton Design Review Panel**  
Reviewed *[Signature]* Date *18/8/14*

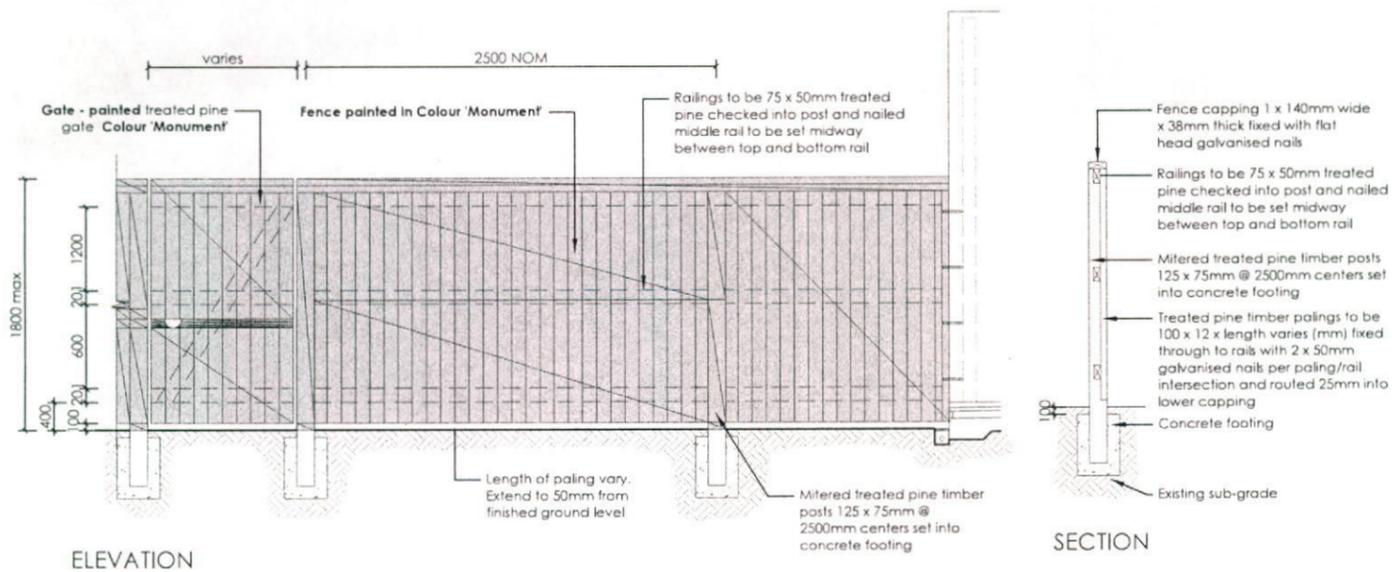
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**Southern Elevation**

Not To Scale



**Northern Elevation**

Not To Scale



**Western Elevation**

Not To Scale



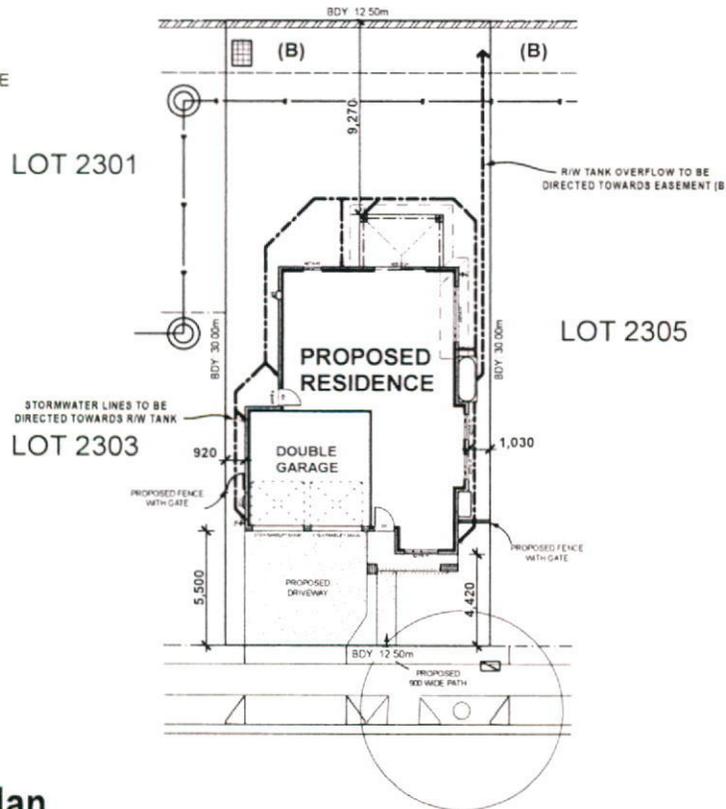
**Eastern Elevation**

Not To Scale

(B) = EASEMENT TO DRAIN WATER 2.5 WIDE



**NORTH**  
LOT 2304  
375m<sup>2</sup>



**EMPIRE CIRCUIT**

**Proposed Site Plan**

Not To Scale

**NOTIFICATION PLAN**

Proposed Residence  
At: Lot 2304 Empire Circuit,  
Thornton (Penrith).



**Champion Homes**  
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Suite 1, Level 1,  
600 Hoxton Park Rd,  
Hoxton Park, N.S.W. 2171.  
P.O. Box 95 Hoxton Park,  
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Telephone (02) 9825 8000  
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Builders Licence No. 92732C

**LANDCOM** Thornton Design Review Panel

Reviewed *[Signature]* Date *18/8/14*