

SITE AREA SUMMARY

	EXISTING	NEW	%
SITE AREA:	304.4m ²	304.4m ²	
GROUND FLOOR GFA:	131.35m ²	131.35m ²	
FIRST FLOOR GFA:	-	63.8m ²	
GARAGE	19.2m ²	19.2m ²	
PATIO	3.1m ²	3.1m ²	
TOTAL AREA:	151.5m ²	217.45m ²	
HARD SURFACE AREA:	as existing	as existing	
LANDSCAPE:	as existing	as existing	
	(61.1m ²)	(61.1m ²)	

NOTES:

1. NO SEDIMENT CONTROL PROPOSED- ONLY 2ND STOREY WORK
2. ALL **STORMWATER AND DRAINAGE** USING EXISTING SYSTEM. **NO ADJUSTMENTS, ALTERATION OR EXTENSIONS** TO THE EXISTING SYSTEM.
3. PROPOSED CONSTRUCTION TO BE SET OUT BY A REGISTERED SURVEYOR
4. SEWER,STORMWATER DISPOSAL & DRAINAGE TO N.C.C, A.S & LOCAL AUTHORITIES REQUIREMENTS
5. SEDIMENT CONTROL FENCING AS REQUIRED BY LOCAL AUTHORITIES
6. LEVELS NOTED ARE APPROXIMATE AND TO BE USED AS A GUIDE ONLY
7. ALL SETBACKS, OFFSET AND DIMENSIONS ARE SUBJECT TO FINAL PEG OUT SURVEY AND TO BE VERIFIED BY THE BUILDER PRIOR TO CONSTRUCTION COMMENCING
8. THE SITE CONDITIONS ARE THE CONDITIONS AT THE TIME OF SURVEY AND ANTICIPATED CONDITIONS AT THE TIME OF CONSTRUCTIONS
9. PROVIDE TERMITE PROTECTION TO ALL PIPE PENETRATIONS AND PERIMETER OF CONCRETE SLAB

CLIENT:

PAP, L & J
30 Alinta Promenade,
Jordan Springs

PROJECT:

PROPOSED ADDITION
AND ALTERATIONS



Unit 17, 37-47 Borec Road
Penrith NSW 2750
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All work to be in accordance with NCC, SYDNEY WATER, ENERGY AUSTRALIA & the current relevant Australia Standards.

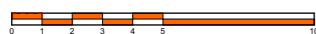
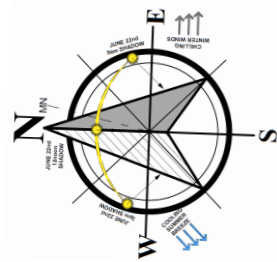
All sizes & dimensions to be checked & verified on site prior to commencement of work.

The drawings should be checked for any discrepancies before construction

DO NOT SCALE DIMENSIONS

Date:	Brief Description:	Issue:

JOB NUMBER	DATE:	1 A3
550/2021	25/05/2021	
	Drawn by:	
	Chris M.	



LEGEND

- OVERLOOKING
- PREVAILING WINDS
- No. OF STORES
- PRIVATE OPEN SPACE
- VEHICULAR NOISE
- DOMESTIC NOISE

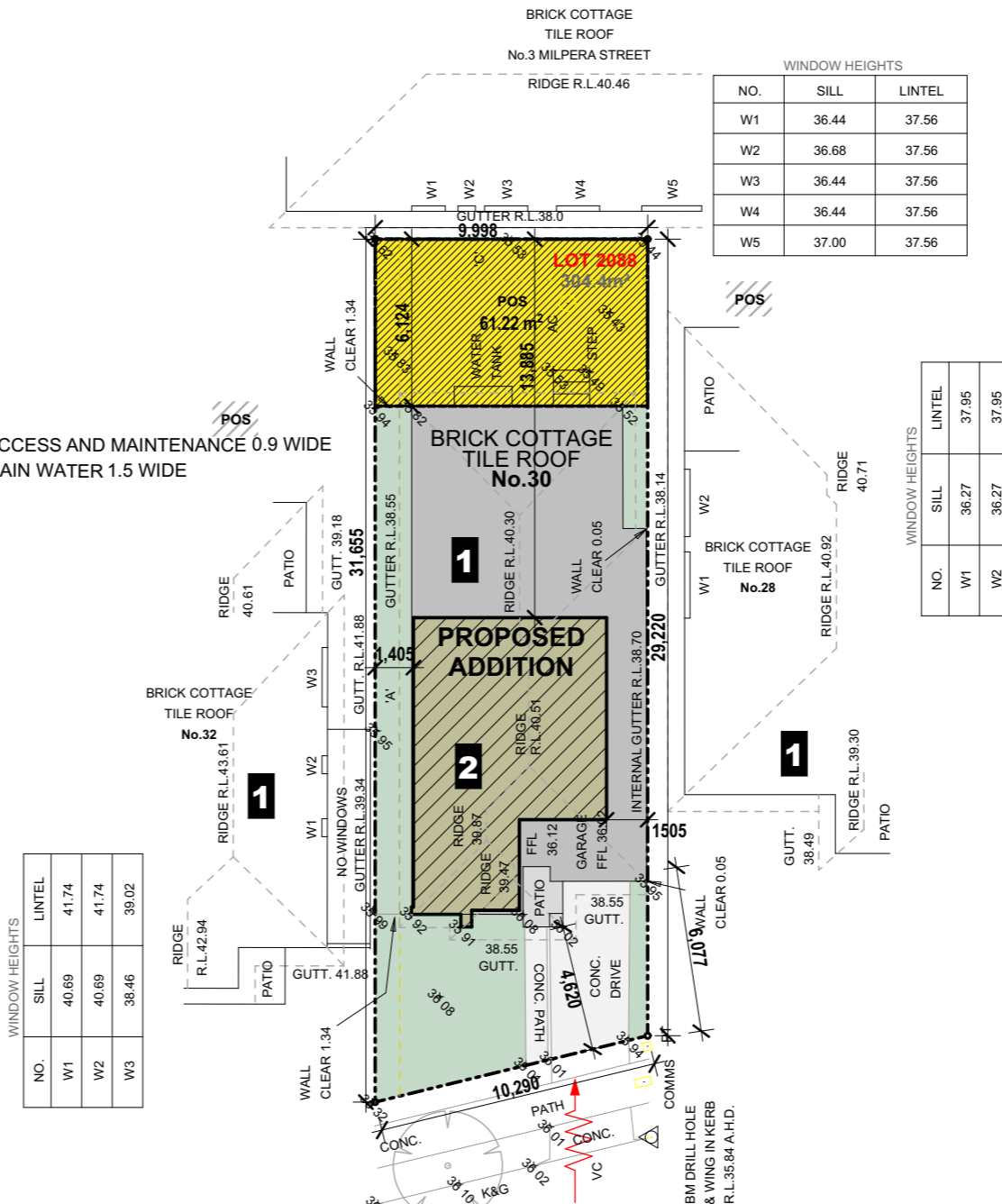
ORIGIN OF LEVELS BASED ON
 SSM181200 R.L.34.90 A.H.D.
 SOURCE SCIMS 04/05/2021

WARNING:-

1. Plan compiled from information at Land Titles Office as regards dimensions and these are subject to final survey.
2. All details and features shown hereon have been plotted in relation to the occupations (fences and/or walls, etc.). These occupations have not yet been accurately located in relation to the boundaries.
3. The detail and features and contours are shown to scale plot accuracy only. Copying may distort the scale.
4. Service structures shown hereon are those that were visible at the time of survey and have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.



'A' EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
 'C' EASEMENT TO DRAIN WATER 1.5 WIDE



WINDOW HEIGHTS

NO.	SILL	LINTEL
W1	40.69	41.74
W2	40.69	41.74
W3	38.46	39.02

WINDOW HEIGHTS

NO.	SILL	LINTEL
W1	36.44	37.56
W2	36.68	37.56
W3	36.44	37.56
W4	36.44	37.56
W5	37.00	37.56

WINDOW HEIGHTS

NO.	SILL	LINTEL
W1	36.27	37.95
W2	36.27	37.95

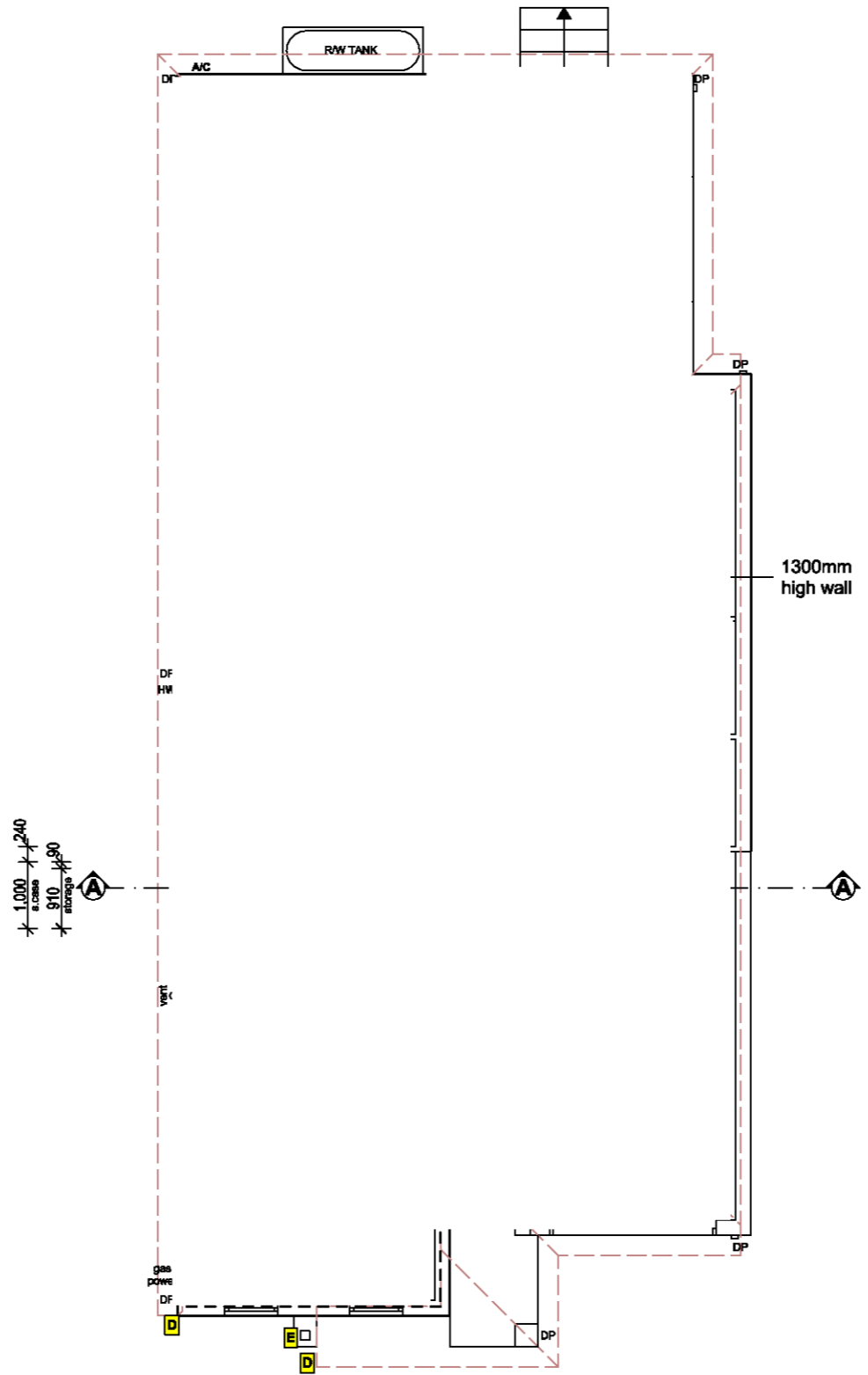
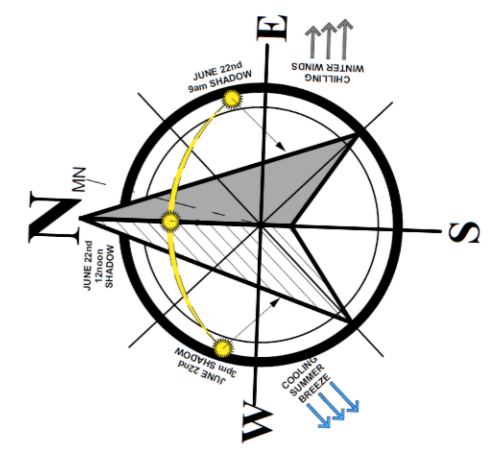
ALINTA PROMENADE

SITE PLAN

GLAZING NOTES:
 1. ALL windows to Upper Floor addition with restricted openings as per NCC 3.9.2.5 complete with flyscreens and flashings as per plan.
 2. All windows to Upper Floor addition to have 67 x 18mm battens externally as per elevations
 3. All glazed openings to meet BASIX requirements

RENOVATIONS (see letters on plan)

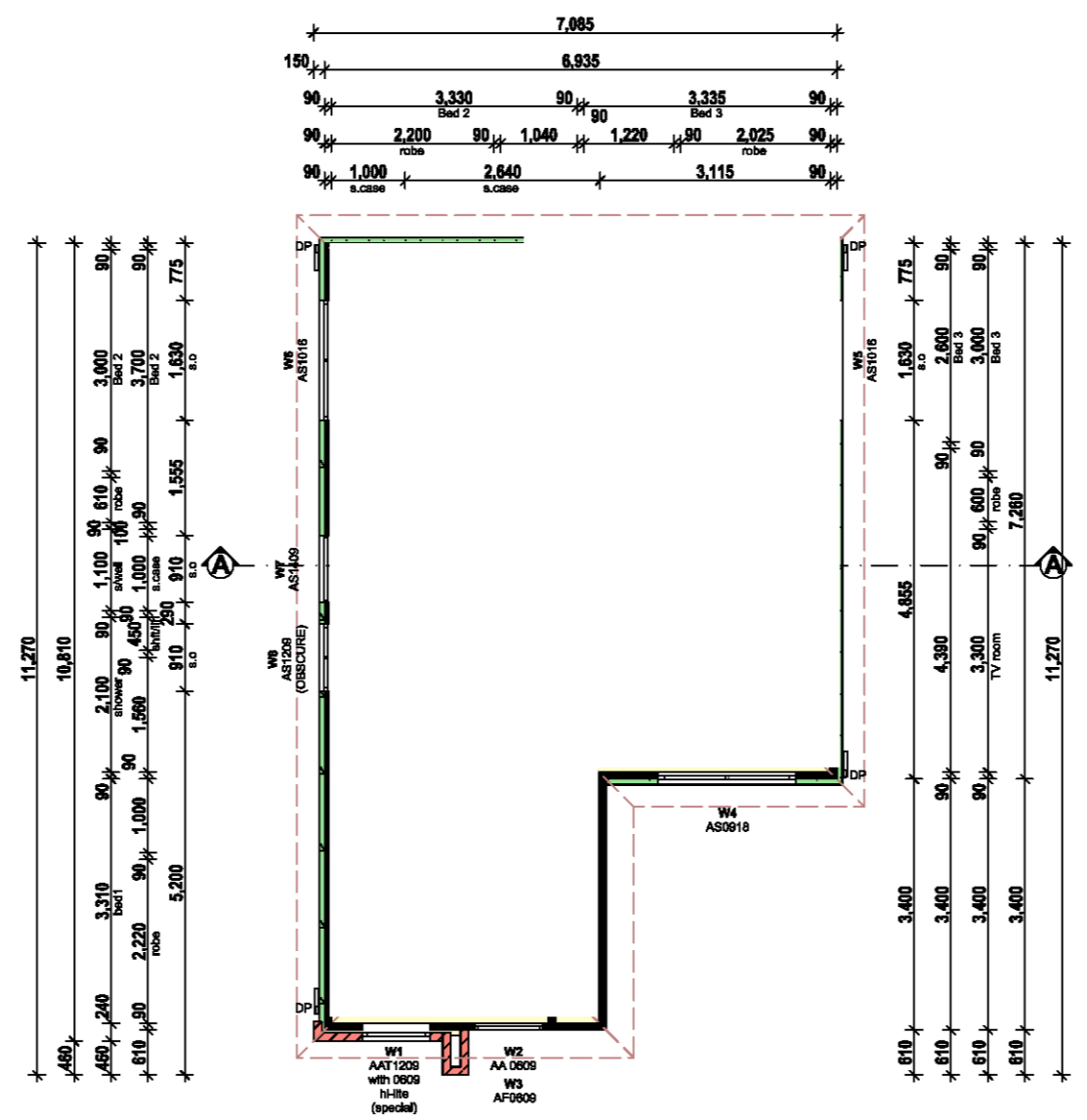
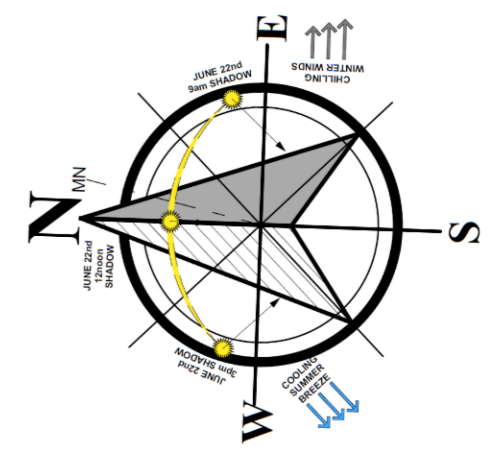
- a. Demolish existing timber framed gyprock walls including door and frame. To affected areas patch ceiling linings, cornice and wall linings. Make good to skirtings' only to affected areas.
- b. Demolish existing timber framed gyprock walls, robe internals and doors. To affected areas patch ceiling linings, cornice and wall linings. Make good to skirtings' only to affected areas.
- c. Remove 1300mm high timber framed gyprock lined wall. Make good to skirtings' only to affected areas.
- d. Remove gutter, fascia and eave. Make good exposed ends x2 with stop ends to gutter, 4.5mm FC sheeting to close off end overlaid with Colorbond barge and soaker flashing.
- e. Remove existing timber post. Provide 100mm banding to joint between Brick and Rendered Polystyrene cladding.
- f. Remove roof tiles from existing roof to area of new addition and stack onsite for reuse.
- g. Cut out section of existing roof frame to area of new addition. Trim for support to remaining sections.
- h. Trim and cut out section of existing ceiling for new stair opening.



* S.O is STUD OPENING
 * S/A is SMOKE ALARM
 * FW is FLOOR WASTE
 * ALL DIMENSIONS TO BE CHECKED & VERIFIED ON SITE
 * ALL TIMBER FRAMES & BRACES TO BE FIXED DOWN TO SUIT AS 1684

GROUND FLOOR PLAN

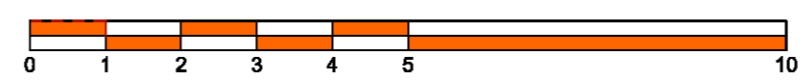




150	515	910	610	910	1,567	1,870	553
90	1,710	90	600	90	1,060	90	3,115
90	2,400	90	90				90
90	3,630			90			3,125
90	2,940		90	600	90		3,125
150	1,750	350	1,860				3,125
7,085							

- * S.O is STUD OPENING
- * S/A is SMOKE ALARM
- * FW is FLOOR WASTE
- * ALL DIMENSIONS NOTED FOR TIMBER FRAMING ONLY
- * ALL DIMENSIONS TO BE CHECKED & VERIFIED ON SITE
- * ALL TIMBER FRAMES & BRACES TO BE FIXED DOWN TO SUIT AS 1684

UPPER FLOOR PLAN



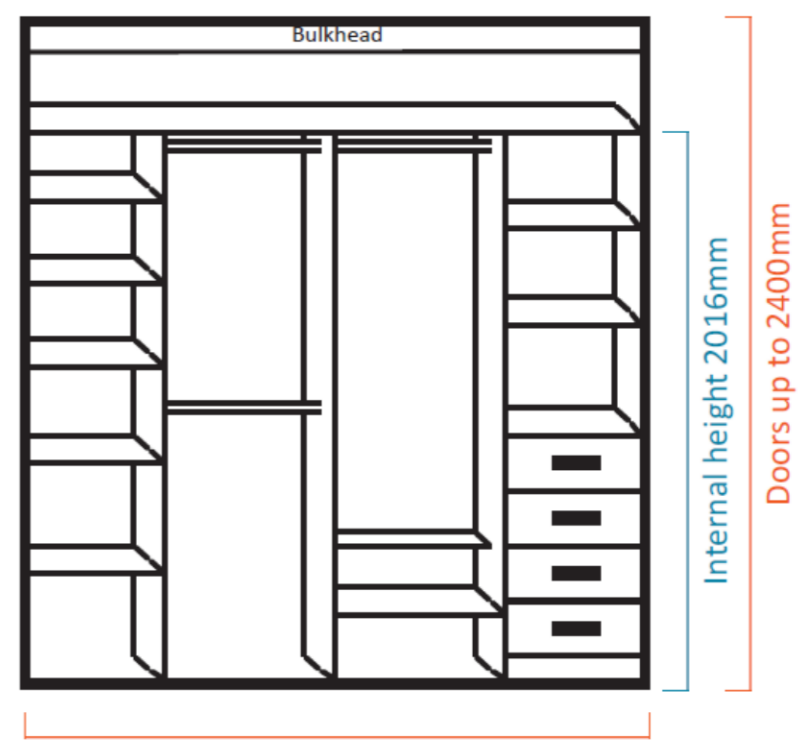
GLAZING NOTES:
 1. ALL windows to Upper Floor addition with restricted openings as per NCC 3.9.2.5 complete with flyscreens and flashings as per plan.
 2. All windows to Upper Floor addition to have 67 x 18mm battens externally as per elevations
 3. All glazed openings to meet BASIX requirements

DOOR SCHEDULE

INTERNAL HINGED DOOR	Stud Opening	
	Height	Width
2040mm x 720mm	2100mm	770mm
2040mm x 820mm	2100mm	870mm

ROBE OPENINGS	Stud Opening	
	Height	Width
BED 1	2110mm	2045mm
BED 2	2110mm	2025mm
BED 3	2110mm	1850mm

A3

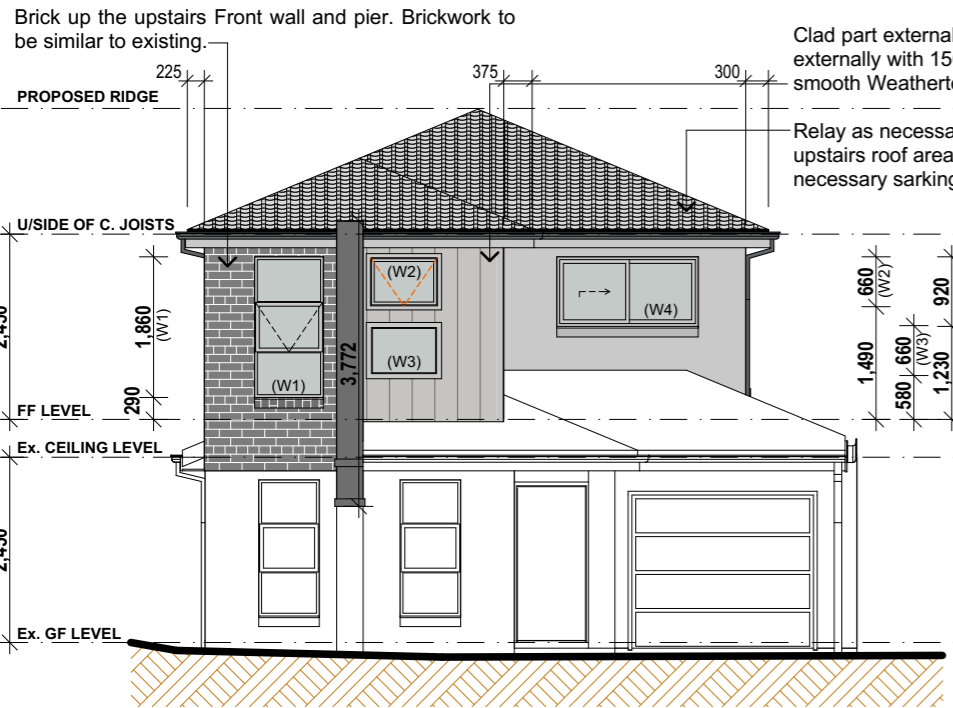


1600 - 1950mm

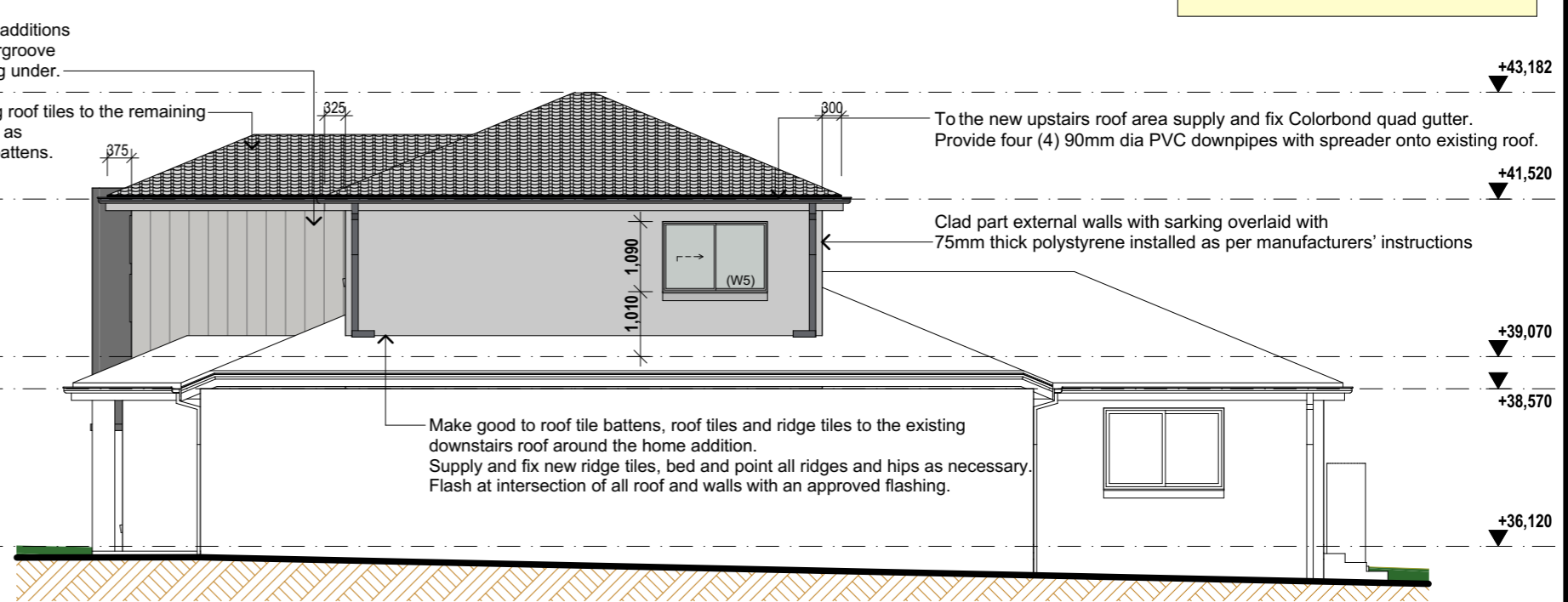
Internal height 2016mm

Doors up to 2400mm

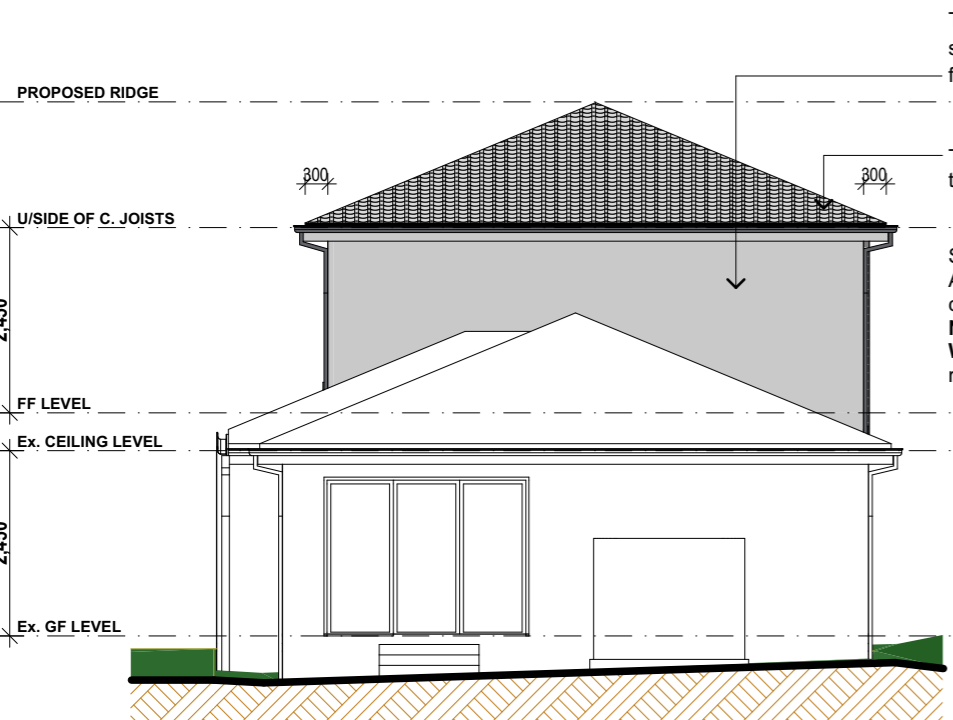




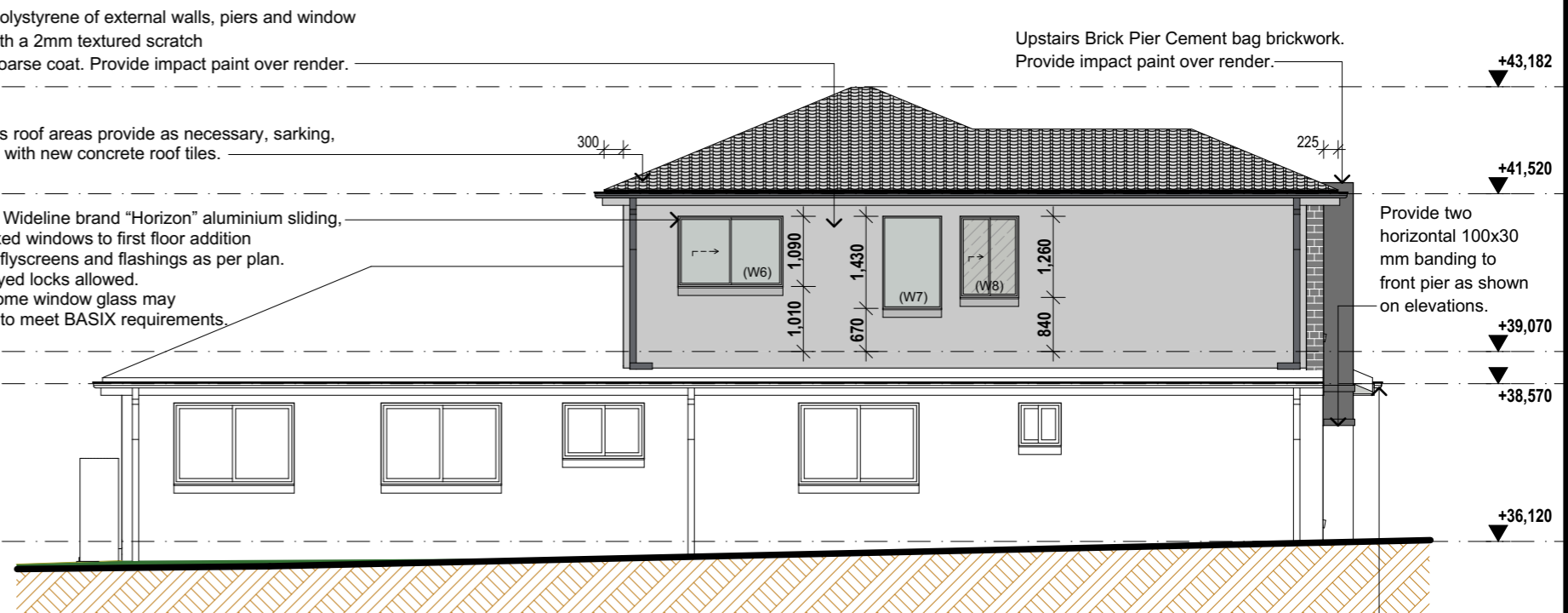
WEST ELEVATION
SCALE 1 : 100



SOUTH ELEVATION
SCALE 1 : 100



EAST ELEVATION
SCALE 1 : 100



NORTH ELEVATION
SCALE 1 : 100

Brick up the upstairs Front wall and pier. Brickwork to be similar to existing.

Clad part external walls of new additions externally with 150mm Weathergroove smooth Weathertex with sarking under.

Relay as necessary the existing roof tiles to the remaining upstairs roof areas and provide as necessary sarking and timber battens.

To the new upstairs roof area supply and fix Colorbond quad gutter. Provide four (4) 90mm dia PVC downpipes with spreader onto existing roof.

Clad part external walls with sarking overlaid with 75mm thick polystyrene installed as per manufacturers' instructions

Make good to roof tile battens, roof tiles and ridge tiles to the existing downstairs roof around the home addition. Supply and fix new ridge tiles, bed and point all ridges and hips as necessary. Flash at intersection of all roof and walls with an approved flashing.

To all 75mm Polystyrene of external walls, piers and window sills, render with a 2mm textured scratch fine/medium/coarse coat. Provide impact paint over render.

To part upstairs roof areas provide as necessary, sarking, timber battens with new concrete roof tiles.

Supply and fix Wideline brand "Horizon" aluminium sliding, Awning and fixed windows to first floor addition complete with flyscreens and flashings as per plan. **NOTE:** No Keyed locks allowed. **WARNING:** Some window glass may require colour to meet BASIX requirements.

Upstairs Brick Pier Cement bag brickwork. Provide impact paint over render.

Provide two horizontal 100x30 mm banding to front pier as shown on elevations.

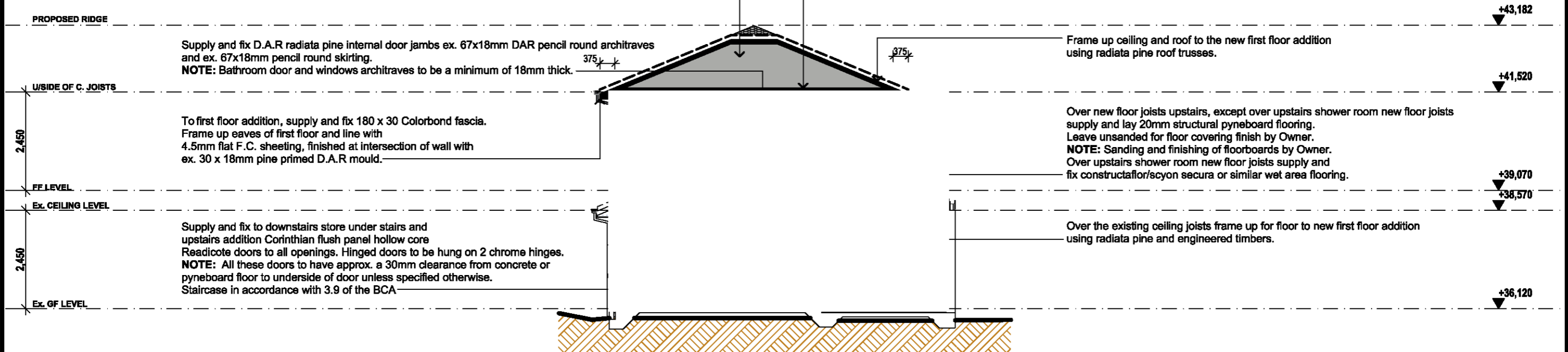
Make good to downstairs eave ends by supply and fix 180 x 30 Colorbond barge and barge soaker.



To new upstairs linen provide four (4) 16mm thick melamine pyneboard shelves with radiata pine primed 42 x 18mm DAR support batten to rear, sides and a 67 x 18mm to front.
To upstairs robes provide melamine pyneboard shelving, draws and hanging as shown with mirror doors on white track.
NOTE: Shelving Layouts maybe altered to accommodate the door opening position.

Provide R3.0 glass insulation batts to upstairs ceiling.
Provide R1.5 glass insulation batts to upstairs external walls cladded in brick and Weathertex.

To all internal ceilings of first floor addition supply and fix 10mm ceiling gypsum plasterboard fixed direct to joists.
To walls except upstairs shower room supply and fix 10mm gypsum
To upstairs shower room walls, supply and fix 6.5mm villaboard.
Supply and fix 90mm cove cornice to intersection of all walls and ceilings.
NOTE: Cornice to be fitted in wet area after full height wall tiling has been completed.
Make good to downstairs ceilings and cornice where affected by demolition.



Supply and fix D.A.R radiata pine internal door jambs ex. 67x18mm DAR pencil round architraves and ex. 67x18mm pencil round skirting.
NOTE: Bathroom door and windows architraves to be a minimum of 18mm thick.

To first floor addition, supply and fix 180 x 30 Colorbond fascia.
Frame up eaves of first floor and line with 4.5mm flat F.C. sheeting, finished at intersection of wall with ex. 30 x 18mm pine primed D.A.R mould.

Frame up ceiling and roof to the new first floor addition using radiata pine roof trusses.

Over new floor joists upstairs, except over upstairs shower room new floor joists supply and lay 20mm structural pyneboard flooring.
Leave unsanded for floor covering finish by Owner.
NOTE: Sanding and finishing of floorboards by Owner.
Over upstairs shower room new floor joists supply and fix constructaflor/scyon secura or similar wet area flooring.

Supply and fix to downstairs store under stairs and upstairs addition Corinthian flush panel hollow core Readicote doors to all openings. Hinged doors to be hung on 2 chrome hinges.
NOTE: All these doors to have approx. a 30mm clearance from concrete or pyneboard floor to underside of door unless specified otherwise.
Staircase in accordance with 3.9 of the BCA

Over the existing ceiling joists frame up for floor to new first floor addition using radiata pine and engineered timbers.

**ALL TIMBER FRAMES & BRACES TO BE FIXED DOWN TO SUIT AS 1684

SECTION A - A

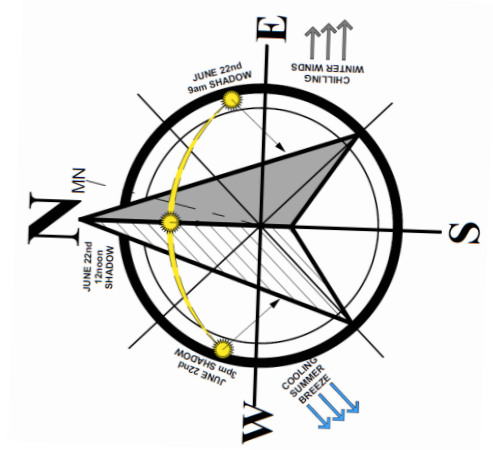
SCALE 1 : 100



SHADOW DIAGRAMS AT

JUNE 21st 9am - 12noon - 3pm
SCALE 1 :200

THIS PAGE CONFORMS WITH
BASIX CERTIFICATE BEING PROVIDED



WINDOW HEIGHTS

NO.	SILL	LINTEL
W1	36.44	37.56
W2	36.68	37.56
W3	36.44	37.56
W4	36.44	37.56
W5	37.00	37.56



WINDOW HEIGHTS

NO.	SILL	LINTEL
W1	40.69	41.74
W2	40.69	41.74
W3	38.46	39.02

WINDOW HEIGHTS

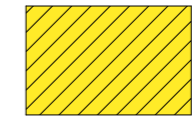
NO.	SILL	LINTEL
W1	36.27	37.95
W2	36.27	37.95

EXISTING 3PM

ADDITIONAL 3PM

ADDITIONAL 12NOON

ADDITIONAL 9:00 AM



ADDITIONAL SHADOW

ALINTA PROMENADE



STORMWATER NOTES:

1. Stormwater routed via the existing stormwater system through the existing pipes leading to the street or common line.
2. **NO** adjustments to be made to the existing system as the new roof is to match the existing roof in terms of size hence no expected variation to outflows.
3. **ALL** stormwater provision to comply with;
 - a) **BCA 3.1.2**
 - b) **Australian Standard 3500.0 2015**
 - c) **Councils' stormwater development guidelines**

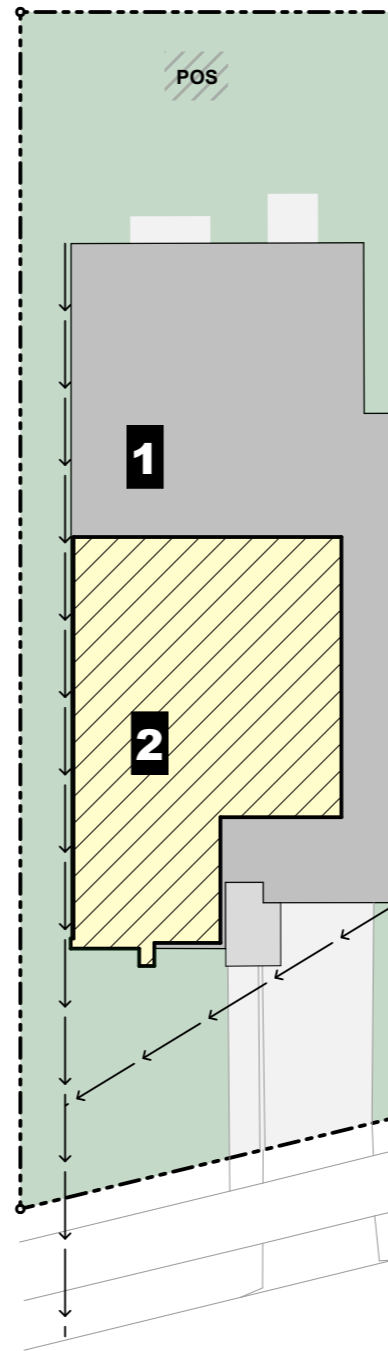
NO WORK ON STORMWATER OR LANDSCAPE

LANDSCAPE NOTES:

1. Only First Floor work proposed, **NO** landscaping work proposed.
2. **NO** adjustments to be made to the existing landscape, no removal of trees.

LEGEND

- 1** No. OF STORIES
- POS** PRIVATE OPEN SPACE
- STORMWATER LINE



ALINTA PROMENADE



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Penrith NSW 2750

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Ph: (02) 4722 3288
Fax: (02) 4722 9433
Mob: 0412 612 283
BUILDERS LIC. NO 41276

CLIENT:

PAP, L & J
30 Alinta Promenade,
Jordan Springs

PROJECT:

PROPOSED ADDITION AND
ALTERATIONS TO RESIDENCE

**STORMWATER &
LANDSCAPE
CONCEPT PLAN**

DATE:

25/05/2021

JOB NO:

550/2021

SCALE:

1:200@A3

**12
A3**