

**SITE PLAN**  
SCALE 1:400



**PART SITE PLAN**  
SCALE 1:200

**SITE STATISTICS**

Site Zoning -	E4 - Environmental Living	
Total Site Area.	10,330 sqm - 1.033 Ha	
<b>Building Areas</b>		
Ground Floor Level	890.5 sqm	
Verandah	238.0 sqm	
Gazebo & Boardwalk	128.7 sqm	
Total Building Area	1257.2 sqm	
<b>Planning Parameters</b>		
Landscaped Area	? sqm	
Total Site Coverage	1269.9 sqm	
Item	Required	Provided
Site Coverage	12.3%	12.3%
Max. Floor Space	600sqm	890.5sqm
Floor Space Ratio	N/A	0.087 : 1
<b>Landscaping</b>		
79%		
<b>Parking</b>		
Parent Car Spaces	15	15
Staff Car Spaces	19	19

**PLAY SPACE AREAS**

Indoor Space	Unencumbered Area	No. of Children
Room 1	27.0sqm	8
Room 2	32.1sqm	8
Room 3	27.0sqm	8
Room 4	28.9sqm	8
Room 5	65.4sqm	20
Room 6	75.0sqm	22
Room 7	72.0sqm	22
Room 8	72.6sqm	22
<b>Total</b>	<b>400.0sqm</b>	<b>118</b>
<b>Outdoor Space</b>		
Baby Play Area	100.0sqm	14
Verandah	238.0 sqm	34
Gazebo and Boardwalk	128.0 sqm	18
<b>General Play Area</b>	<b>850.0sqm</b>	<b>121</b>
<b>Total</b>	<b>1316.0sqm</b>	<b>187</b>

**ABBREVIATIONS**

Abbr.	Description
B.01	Colorbond Metal Barge Board
BB.01	Stainless steel baby bath
BAL.01	Select Glazed Balustrade
BG.01	Zincalume Box Gutter
BSN.01	Select Wall Basin
BSN.02	Select Wall Basin
CON.01	Concrete driveway
CPD	Cupboard with benchtop
CRP.01	Cool Room Wall Panel
DK.01	"Modwood" Eco Decking
F.01	Colorbond Metal Fascia
FC.01	Paint Finish to FC Cladding
FCE.01	Decorative Timber Fence
FF.01	Select Vinyl Floor Coverings
FF.02	Select Carpet Floor Coverings
FF.03	Select Floor Tiles
FF.04	Select Floor Tiles
FF.05	Select Vinyl Floor Coverings
FF.06	Select Floor Tiles
FF.07	Select Carpet Floor Coverings
FF.08	Select Vinyl Floor Coverings
FF.09	Select Carpet Floor Coverings
FF.10	Select Vinyl Floor Coverings
FF.11	Select Floor Tiles
FF.12	Select Vinyl Floor Coverings
FF.13	Select Vinyl Floor Coverings
FF.14	Select Vinyl Floor Coverings
FF.15	Select Vinyl Floor Coverings
FF.16	Select Vinyl Floor Coverings
FF.17	Select Vinyl Floor Coverings
FF.18	Select Epoxy Floor Sealer
G.01	Colorbond Metal Gutter
HR.01	Powdercoate Aluminium Handrail
LV.01	Powdercoate Aluminium Louvres
OHC	Overhead cupboard
PC.01	Colorbond Metal Parapet Capping
PP.01	Laminate Toilet Partitions
PP.02	Laminate Toilet Partitions
PRP.01	Acrotex finish to Hebel Power Panel
PWP	Existing power pole
R.01	Colorbond Metal Roof
RC.01	Colorbond metal ridge capping
RS.01	Colorbond roller shutter
SCN.01	"Modwood" Eco Decking Screen
SH.01	Free standing metal shelves
SL.01	Alum Framed Glass Skylight
SLH.01	Slop Hopper
SSS.01	Stainless Steel Sink
SSS.02	Stainless Steel Sink
STC.01	Stone Cladding
TBR.01	"Weathergroove" cladding
TGSI	Tactile Ground Surface Indicator
TP.01	Merbau timber cladding to post
TUB.01	Stainless Steel inset tub
VB.01	Accessible Vanity Basin
VB.02	Vanity Basin
WC.01	Junior Toilet Suite
WC.02	Toilet Suite
WC.03	Accessible Toilet Suite
WM	Washing machine space
WST.01	Stainless Steel Wash Trough



Project Works Design Pty Ltd  
ABN 97 108 707 482  
c/- p.o. box 5138  
chittaway bay nsw 2261  
p. 0412 637 875  
admin@pwwdesign.com.au  
www.pwwdesign.com.au

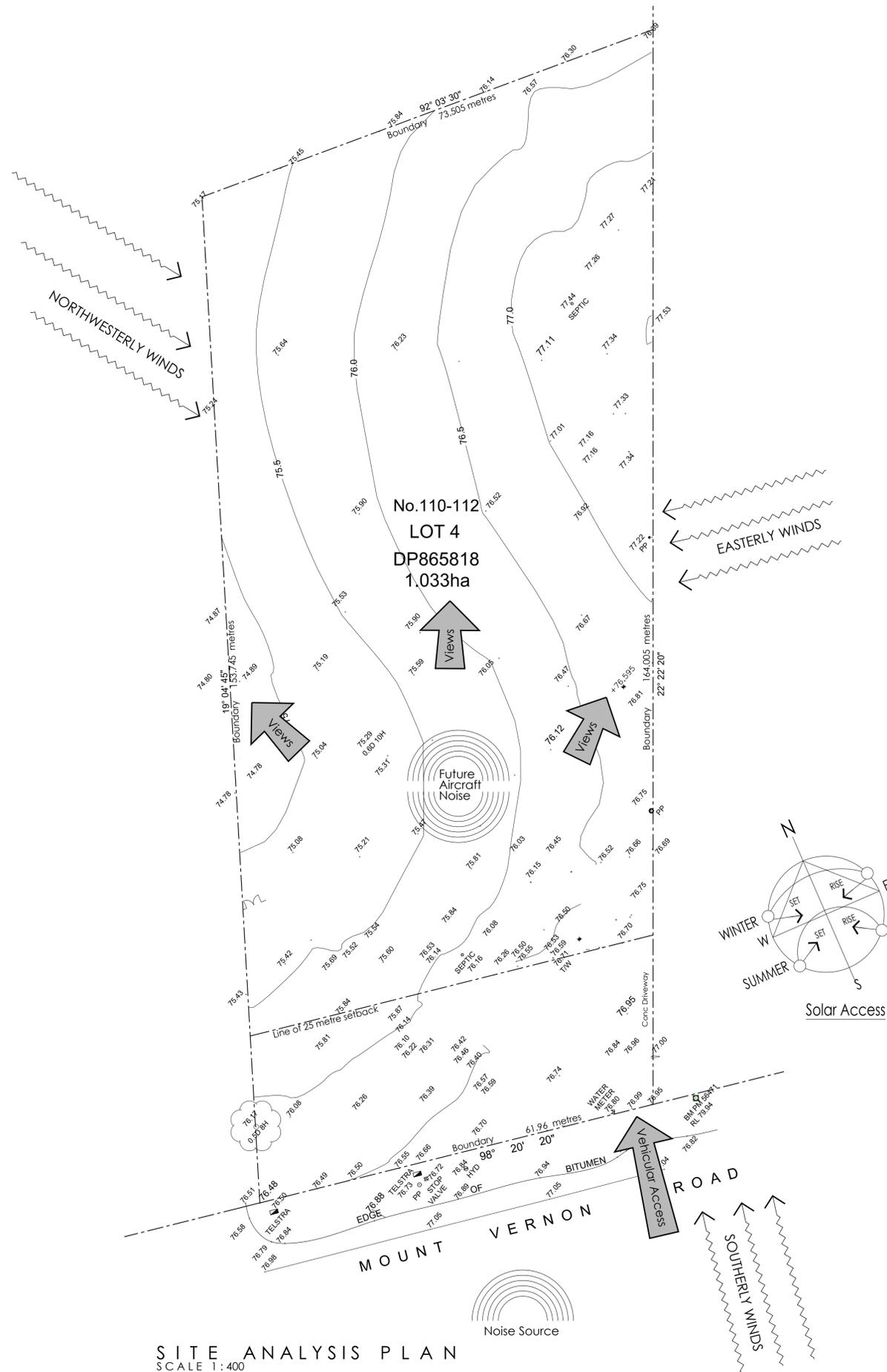
©Copyright  
This drawing is Copyright and is the  
property of Project Works Design  
Pty Limited. It must not be copied  
or reproduced in any way without  
the written permission of Project  
Works Design Pty Limited

Vladimir Vanovac and Mark Toma  
**Proposed Childcare Centre**  
110 - 112 Mount Vernon Road Mount Vernon NSW

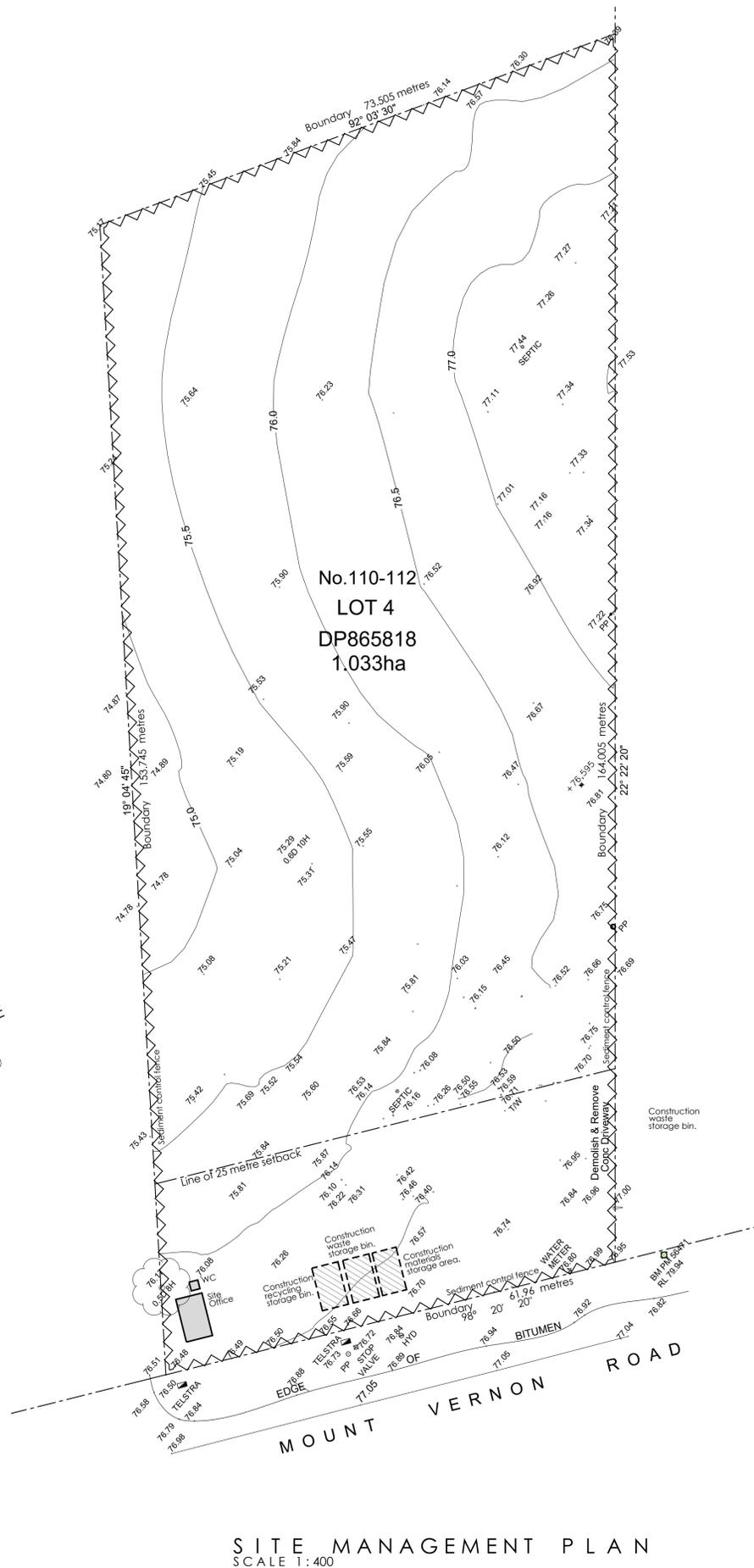
North Point  
Title: Proposed Site Plan  
Dwg No. DA01  
Drawn: GM  
Checked: GM  
Date: 02.05.19  
Scale: 1:500 / 1:200 @ A1  
Job No. 18307

DA01  
Issue: -

Development Application

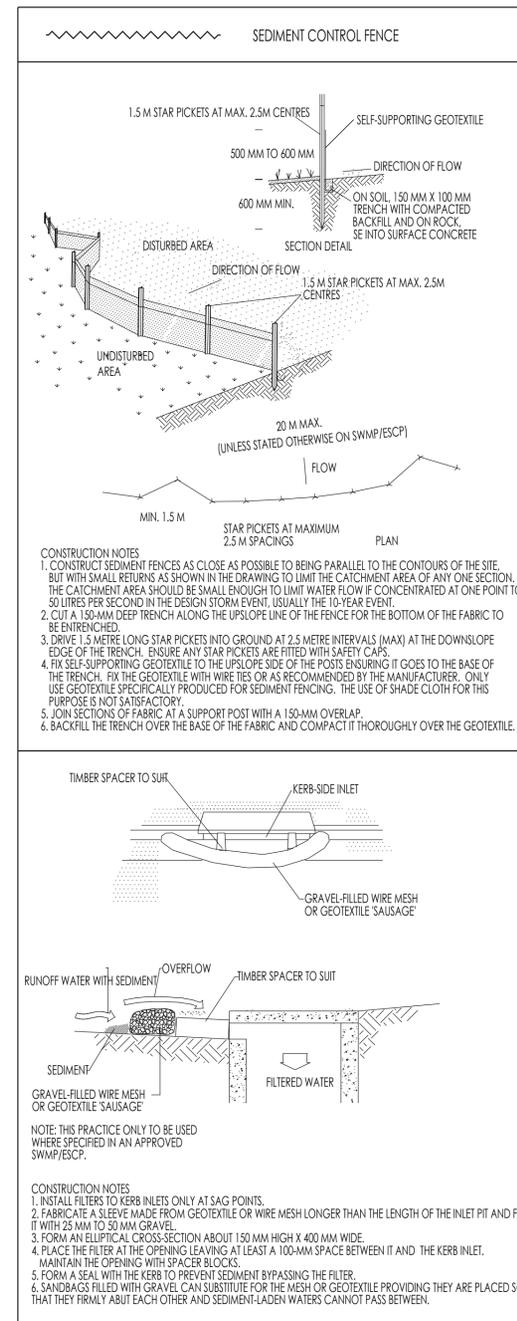


**SITE ANALYSIS PLAN**  
SCALE 1:400

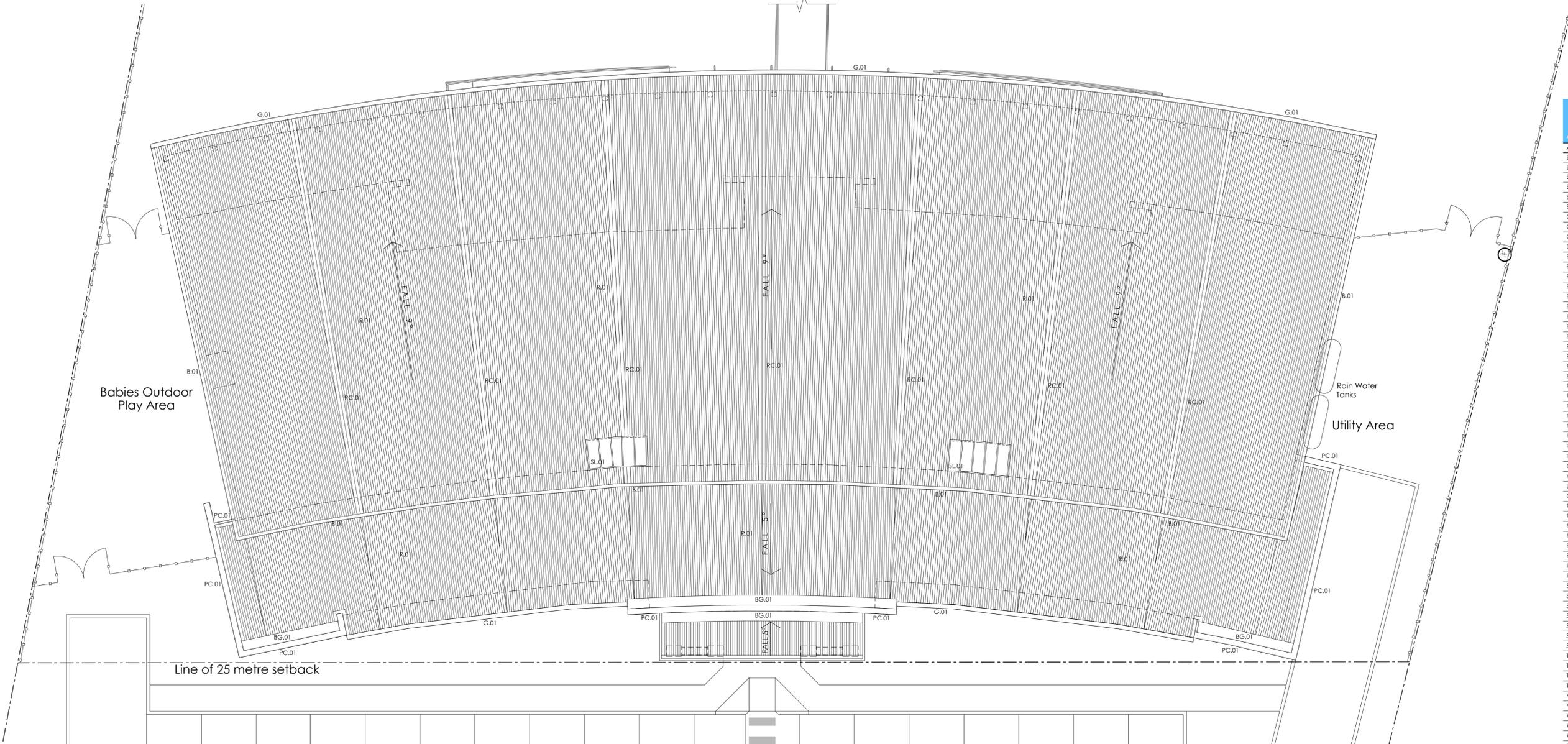
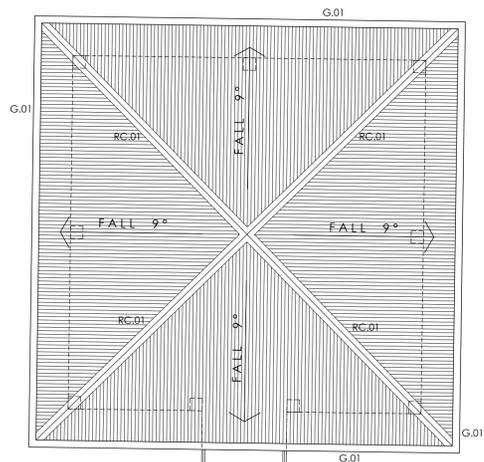


**SITE MANAGEMENT PLAN**  
SCALE 1:400

**SEDIMENT CONTROL**



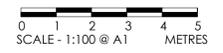




**ABBREVIATIONS**

Abbr.	Description
B.01	Colorband Metal Barge Board
BB.01	Stainless steel baby bath
BAL.01	Select Glazed Balustrade
BG.01	Zincalume Box Gutter
BSN.01	Select Wall Basin
BSN.02	Select Wall Basin
CON.01	Concrete driveway
CPD	Cupboard with benchtop
CRP.01	Cool Room Wall Panel
DK.01	'Modwood' Eco Decking
F.01	Colorband Metal Fascia
FC.01	Paint Finish to FC Cladding
FCE.01	Decorative Timber Fence
FF.01	Select Vinyl Floor Coverings
FF.02	Select Carpet Floor Coverings
FF.03	Select Floor Tiles
FF.04	Select Floor Tiles
FF.05	Select Vinyl Floor Coverings
FF.06	Select Floor Tiles
FF.07	Select Carpet Floor Coverings
FF.08	Select Vinyl Floor Coverings
FF.09	Select Carpet Floor Coverings
FF.10	Select Vinyl Floor Coverings
FF.11	Select Floor Tiles
FF.12	Select Vinyl Floor Coverings
FF.13	Select Vinyl Floor Coverings
FF.14	Select Vinyl Floor Coverings
FF.15	Select Vinyl Floor Coverings
FF.16	Select Vinyl Floor Coverings
FF.17	Select Vinyl Floor Coverings
FF.18	Select Epoxy Floor Sealer
G.01	Colorband Metal Gutter
HR.01	Powdercoate Aluminium Handrail
LV.01	Powdercoate Aluminium Louvres
OHC	Overhead cupboard
PC.01	Colorband Metal Parapet Capping
PP.01	Laminate Toilet Partitions
PP.02	Laminate Toilet Partitions
PRP.01	Acraflex finish to Hebel Power Panel
PWP	Existing power pole
R.01	Colorband Metal Roof
RC.01	Colorband metal ridge capping
RS.01	Colorband roller shutter
SCN.01	'Modwood' Eco Decking Screen
SH.01	Free standing metal shelves
SL.01	Alum Framed Glass Skylight
SLH.01	Slop Hopper
SSS.01	Stainless Steel Sink
SSS.02	Stainless Steel Sink
STC.01	Stone Cladding
TBR.01	'Weathergroove' cladding
TGSI	Tactile Ground Surface Indicator
TP.01	Merbau timber cladding to post
TU.01	Stainless Steel inset tub
VB.01	Accessible Vanity Basin
VB.02	Vanity Basin
WC.01	Junior Toilet Suite
WC.02	Toilet Suite
WC.03	Accessible Toilet Suite
WM	Washing machine space
WST.01	Stainless Steel Wash Trough

**ROOF PLAN**  
SCALE 1:100



Project Works Design Pty Ltd  
 ABN 97 108 707 482  
 c1, p.o. box 5138  
 chittaway bay nsw 2261  
 p. 0412 637 875  
 admin@pwdesign.com.au  
 www.pwdesign.com.au

©Copyright  
 This drawing is Copyright and is the  
 property of Project Works Design  
 Pty Limited. It must not be copied  
 or reproduced in any way without  
 the written permission of Project  
 Works Design Pty Limited

Rev	Date	Description

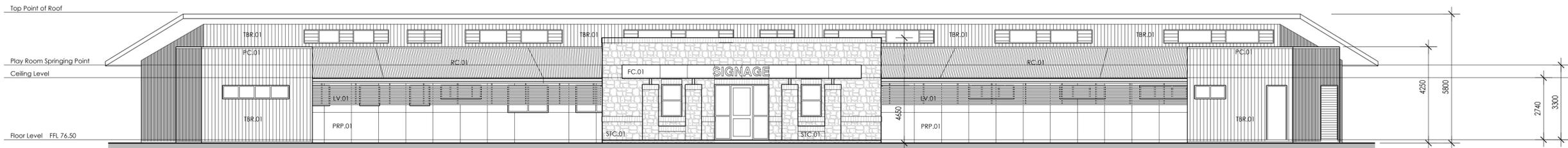
Vladimir Vanovac and Mark Toma  
**Proposed Childcare Centre**  
 110 - 112 Mount Vernon Road Mount Vernon NSW



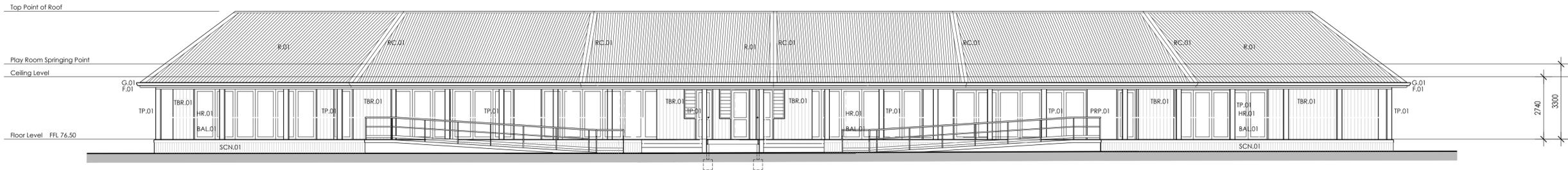
Title: Proposed Roof Plan  
 Drawn: GM  
 Date: 02.05.19  
 Checked: GM  
 Scale: 1:100 @A1

Dwg No. **DA04**  
 Job No. 18307  
 Issue: -

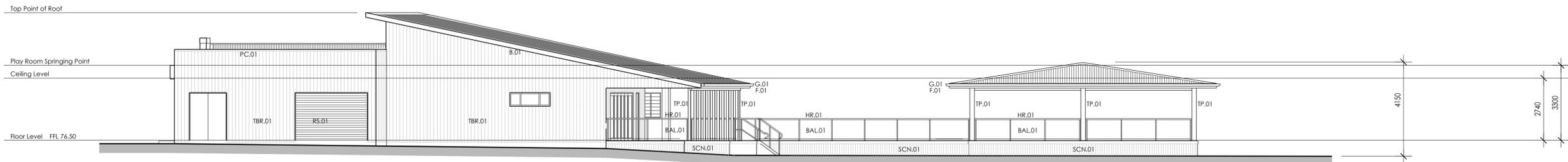
Development Application



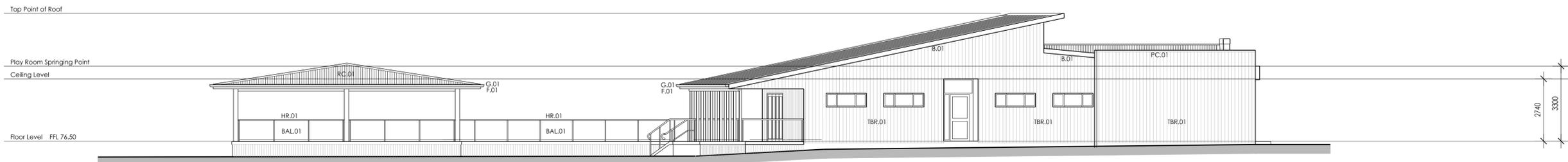
**SOUTH ELEVATION**  
SCALE 1:100



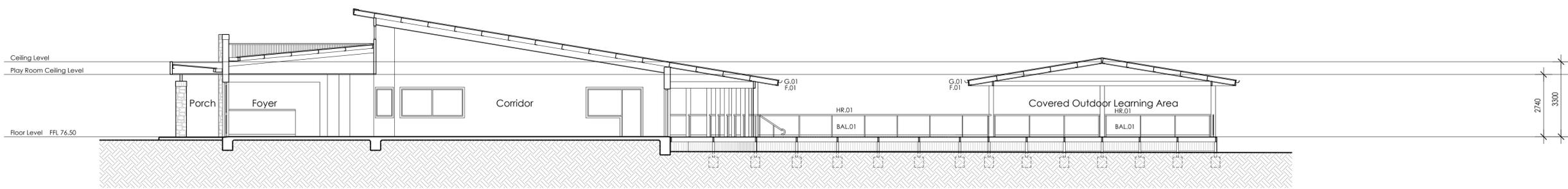
**NORTH ELEVATION**  
SCALE 1:100



**EAST ELEVATION**  
SCALE 1:100



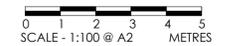
**WEST ELEVATION**  
SCALE 1:100



**SECTION A-A**  
SCALE 1:100

**ABBREVIATIONS**

Abbr.	Description
B.01	Colorbond Metal Barge Board
BB.01	Stainless steel baby bath
BAL.01	Select Glazed Balustrade
BG.01	Zincalume Box Gutter
BSN.01	Select Wall Basin
BSN.02	Select Wall Basin
CON.01	Concrete driveway
CPD	Cupboard with benchtop
CRP.01	Cool Room Wall Panel
DK.01	'Modwood' Eco Decking
F.01	Colorbond Metal Fascia
FC.01	Paint Finish to FC Cladding
FCE.01	Decorative Timber Fence
FF.01	Select Vinyl Floor Coverings
FF.02	Select Carpet Floor Coverings
FF.03	Select Floor Tiles
FF.04	Select Floor Tiles
FF.05	Select Vinyl Floor Coverings
FF.06	Select Floor Tiles
FF.07	Select Carpet Floor Coverings
FF.08	Select Vinyl Floor Coverings
FF.09	Select Carpet Floor Coverings
FF.10	Select Vinyl Floor Coverings
FF.11	Select Floor Tiles
FF.12	Select Vinyl Floor Coverings
FF.13	Select Vinyl Floor Coverings
FF.14	Select Vinyl Floor Coverings
FF.15	Select Vinyl Floor Coverings
FF.16	Select Vinyl Floor Coverings
FF.17	Select Vinyl Floor Coverings
FF.18	Select Epoxy Floor Sealer
G.01	Colorbond Metal Gutter
HR.01	Powdercoate Aluminium Handrail
LV.01	Powdercoate Aluminium Louvers
OHC	Overhead cupboard
PC.01	Colorbond Metal Parapet Capping
PP.01	Laminate Toilet Partitions
PP.02	Laminate Toilet Partitions
PRP.01	Acraflex finish to Hebel Power Panel
PWP	Existing power pole
R.01	Colorbond Metal Roof
RC.01	Colorbond metal ridge capping
RS.01	Colorbond roller shutter
SCN.01	'Modwood' Eco Decking Screen
SH.01	Free standing metal shelves
SL.01	Alum Framed Glass Skylight
SLH.01	Slop Hopper
SSS.01	Stainless Steel Sink
SSS.02	Stainless Steel Sink
STC.01	Stone Cladding
TBR.01	'Weathergroove' cladding
TCSI	Tactile Ground Surface Indicator
TP.01	Merbau timber cladding to post
TUB.01	Stainless Steel inset tub
VB.01	Accessible Vanity Basin
VB.02	Vanity Basin
WC.01	Junior Toilet Suite
WC.02	Toilet Suite
WC.03	Accessible Toilet Suite
WM	Washing machine space
WST.01	Stainless Steel Wash Trough



Project Works Design Pty Ltd  
ABN 97 108 707 482  
c/- p.o. box 5138  
chittaway bay nsw 2261  
p. 0412 637 875  
admin@pwwdesign.com.au  
www.pwwdesign.com.au

©Copyright  
This drawing is Copyright and is the  
property of Project Works Design  
Pty Limited. It must not be copied  
or reproduced in any way without  
the written permission of Project  
Works Design Pty Limited

Rev Date Description  
Amendments

Vladimir Vanovac and Mark Toma  
**Proposed Childcare Centre**  
110 - 112 Mount Vernon Road Mount Vernon NSW

Title: Proposed Elevations  
and Section  
Drawn: GM  
Date: 02.05.19  
Checked: GM  
Scale: 1:100 @A1

Dwg No. **DA06**  
Job No. 18307  
Issue: -

Development Application

# SECTION J NOTES

## Part J1 - Building Fabric

### 1. Construction Requirements - Installation of Insulation

Where required, insulation must comply with AS/NZS 4859.1 and be installed so that it:

- (i) abuts or overlaps adjoining insulation other than at supporting members; and
- (ii) forms a continuous barrier...and
- (iii) does not affect the safe or effective operation of a service or fitting.

Reflective insulation must be installed with:

- (i) the necessary airspace to achieve the required R-Value between a reflective side of the reflective insulation and a building lining or cladding; and
- (ii) the reflective insulation closely fitted against any penetration, door or window opening; and
- (iii) the reflective insulation adequately supported by framing members; and
- (iv) each adjoining sheet of roll membrane being overlapped not less than 50 mm or taped together.

Bulk insulation must be installed so that:

- (i) it maintains its position and thickness, other than where it crosses roof battens, water pipes, electrical cabling or the like; and
- (ii) in a ceiling, where there is no bulk insulation or reflective insulation in the wall beneath, it overlaps the wall by not less than 50 mm.

### 2. Construction Requirements - Roof and Ceiling Insulation

The minimum total R-Value for the roof/ceiling system which forms part of the envelope required by BCA Table J1.3a is R3.2.

The proposed roof/ceiling system achieves an R-Value of R0.47. Therefore to achieve compliance, insulation of at least R2.73 is required to be incorporated into the roof/ceiling system which forms part of the envelope.

### 3. Construction Requirements - Adjustment for Loss of Ceiling Insulation

Where the required insulation is located at ceiling level and the percentage of ceiling area uninsulated is more than 0.5% as a result of loss of ceiling insulation due to operational or safety reasons and where insulation of more than R1.0 is located at ceiling level, the loss of insulation must be compensated for by increasing the R-Value of the insulation in the remainder of the ceiling in accordance with BCA Table J1.3b.

Note: The percentage of ceiling area uninsulated must not exceed 5% of the total ceiling area forming part of the envelope.

### 4. Construction Requirements - Thermal Break

Where the ceiling lining is attached directly to the same metal frame as the metal roof, a thermal break of at least R0.2 must be installed between the metal sheet roofing and its supporting metal frame. This applies to areas of roof that form part of the envelope.

### 5. Construction Requirements - Wall Insulation (External Envelope)

Where external walls form part of the envelope, a total R-value of R2.8 is required to be achieved. The metal stud walls achieve an R-value of R0.22. Therefore, insulation with R-value of at least R2.58 is required to be incorporated into the metal stud wall system where walls form part of the external envelope.

See Appendix for walls forming part of the envelope.

### 6. Construction Requirements - Wall Insulation (Internal Envelope)

Where internal walls form part of the envelope, a total R-value of R1.8 is required to be achieved.

The stud walls achieve an R-value of R0.33. Therefore, insulation with R-value of at least R1.47 is required to be incorporated into the stud wall system where walls form part of the internal envelope.

See Appendix for walls forming part of the envelope.

### 7. Construction Requirements - Thermal Breaks

A thermal break with R-Value of not less than R0.2 must be installed between the external cladding and the metal frame of walls that have lightweight external cladding fixed to a metal frame and have a wall lining fixed directly to the same metal frame where walls form part of the envelope.

### 8. Construction Requirements - Floor Insulation

The total R-value required to be achieved by an on-ground concrete slab with no in-slab heating or cooling in climate zone 6 is: *NIL*.

## Part J2 - Glazing

### 9. Construction Requirements - Glazing

Glazing elements forming part of the envelope shall have the following thermal properties in terms of their orientations:

Orientation	Item	Total U Value	SHGC
South	Glazing	Equal or Lower than 5.4	Equal or Higher than 0.31
East	Glazing	Equal or Lower than 8.0	Equal or Lower than 1.0
North	Glazing	Equal or Higher than 3.2	Equal or Lower than 0.54
West	Glazing	Equal or Lower than 6.0	Equal or Lower than 0.99

Refer to Appendix for full calculation of glazing requirements.

### 10. Construction Requirements - Shading

Shading has been provided as shown on architectural drawings by building elements and shading projections. For further details refer to the glazing calculations in Appendix (see P and H values). No alterations shall be made to shading design dimensions without first checking compliance with this Clause.

Contact Application Solutions for assistance if required.

## Part J3 - Building Sealing

### 11. Construction Requirements - Window and Door Sealing

A seal to restrict air infiltration must be fitted to each edge of a door, operable window or the like where forming part of the envelope. The seal may be a foam or rubber compression strip, fibrous seal or the like.

For the bottom edge of an external swing door, a draft protection device must be installed. For exemptions to this clause see body of report.

### 12. Construction Requirements - Building Entrance Sealing

An entrance to a building leading to a conditioned space must have an airtight, self-closing door, revolving door or the like.

### 13. Construction Requirements - Exhaust Fan Sealing

A miscellaneous exhaust fan such as a bathroom or domestic kitchen exhaust fan, must be fitted with a sealing device such as a self-closing damper or the like when serving a conditioned space.

### 14. Construction Requirements - Roof, Wall and Floor Sealing

Roofs, ceilings, walls, floors and any opening such as a window frame, door frame, or the like must be constructed to minimise air leakage when forming part of the envelope and must be enclosed by internal lining systems that are close fitting at ceiling, wall and floor junctions or sealed by caulking, skirting, architraves, cornices or the like.

## Part J5 - Air-conditioning and Ventilation Systems

### 15. Construction Requirements - Deactivation Capability

An air-conditioning system must be capable of being deactivated when the building or part of the building served is not occupied.

### 16. Construction Requirements - Air-conditioning Zones

Different air-conditioning zones shall be separately thermostatically controlled and not have their temperature controlled by mixing actively heated air or actively cooled air. Reheating must be limited to not more than a 7.5K rise in temperature for a fixed supply air rate, or for a variable supply air rate, not more than 7.5K rise in temperature at the normal supply air rate but increased or decreased at the same rate that the supply air rate is respectively decreased or increased.

### 17. Construction Requirements - Economy Cycle

Where the air-conditioning system provides the required mechanical ventilation and exceeds 35 kW, it shall have an outdoor air economy cycle.

### 18. Construction Requirements - Air Dampers

Where the air-conditioning unit or system has motorised outside air and return dampers, close the dampers when the air-conditioning unit or system is deactivated.

### 19. Construction Requirements - Air-conditioning Fans

Fans of any air-conditioning systems serving the building must comply with BCA Specification J5.2a.

### 20. Construction Requirements - Ductwork Insulation

The ductwork of an air-conditioning system must be insulated and sealed in accordance with BCA Specification J5.2b.

### 21. Construction Requirements - Energy Efficiency Ratios

Any packaged air-conditioning equipment or refrigerant chillers (as part of an air-conditioning system) must have energy efficiency ratios in compliance with BCA Specification J5.2c.

### 22. Construction Requirements - Time Switch

A time switch in accordance with BCA Specification J6 must be provided to control all air-conditioning/heating systems of more than 10 kW.

### 23. Construction Requirements - Ventilation Operation

A mechanical ventilation system (including one which is part of an air-conditioning system) must be capable of being deactivated when the building or part of the building served is not occupied.

### 24. Construction Requirements - Mechanical Ventilation of Conditioned Space

The mechanical ventilation system shall not provide mechanical ventilation in excess of the minimum quantity required by BCA Part F4 by more than 20% other than in the conditions detailed in the body of the report.

### 25. Construction Requirements - Ventilation Fans

Any fans of a mechanical ventilation system installed must comply with BCA Specification J5.2a.

### 26. Construction Requirements - Ventilation Time Switch Control

Any mechanical ventilation system with an air flow rate of more than 1000 L/s must be controlled by a time switch in compliance with BCA Specification J6.

### 27. Construction Requirements - Miscellaneous Exhaust

An exhaust system which has an air flow rate of more than 1000 L/s and is associated with equipment having a variable demand must have the ability for the operator to stop the motor when the system is not in use and must also have a variable speed fan (or similar control system).

## Part J6 - Artificial Lighting and Power

### 28. Construction Requirements - Maximum Interior Illumination Power Load

The total maximum allowed interior illumination power load for the development is 6,446 W.

The aggregate design illumination power load must not exceed this allowed wattage.

Note emergency lighting and signage lighting are exempted from this requirement.

See Appendix for detailed calculation of allowed interior illumination power load.

### 29. Construction Requirements - Lighting Control

Artificial lighting of a room or space must be individually operated by a switch or other control device.

### 30. Construction Requirements - Lighting Control (Switching)

Artificial lighting switches must be located in a visible position in the room or space being switched or in an adjacent room or space from where the lighting being switched is visible. Switches must not operate lighting for an area of more than 250 m<sup>2</sup>.

### 31. Construction Requirements - Time Switch or Occupant Sensing Device

95% of the lighting in the building must be controlled by a time switch in accordance with BCA Specification J6 or an occupant sensing device such as a security card reader that registers a person entering and leaving the building or a motion detector in accordance with BCA Specification J6.

### 32. Construction Requirements - Decorative or Display Lighting

Interior decorative and display lighting (such as for foyer mural art display), shall be controlled separately from other lighting by a manual switch for each area (where the operating times of the displays are the same in multiple areas, they may be combined).

Where the decorative/display lighting exceeds 1 kW, it must be controlled by a time switch in accordance with BCA Specification J6.

### 33. Construction Requirements - Window Display Lighting

Window display lighting must be controlled separately from other display lighting.

### 34. Construction Requirements - Perimeter Lighting

Artificial lighting around the perimeter of the building must be controlled by a daylight sensor or a time switch in accordance with BCA Specification J6.

When the total perimeter lighting load exceeds 100 W it shall have an average light source efficacy of not less than 60 Lumens/W or be controlled by a motion detector in accordance with BCA Specification J6.

### 35. Construction Requirements - Decorative Perimeter Lighting

Where external lighting for decorative or signage purposes is installed, it must be controlled by a time switch (separate from other external lighting) in accordance with BCA Specification J6.

### 36. Construction Requirements - Boiling/Chilled Water Storage Units

The power supply to a boiling water or chilled water storage unit must be controlled by a time switch in accordance with BCA Specification J6.

### Part J7 - Heated Water Supply and Swimming Pool and Spa Pool Plant

### 37. Construction Requirements - Hot Water Heater

Any heated water service for food preparation or sanitary purposes must be designed and installed in accordance with Part B2 of NCC Volume Three - Plumbing Code of Australia.

### Part J8 - Access for Maintenance and Facilities for Monitoring

### 38. Construction Requirements - Gas and Electricity Consumption

The building has a floor area of more than 500 m<sup>2</sup> and therefore must have the facility to record the consumption of gas and electricity.





**LEGEND**

- mulch
- artificial turf - 40mm pile summer prestige
- stoneset - cudjee yellow 10mm
- timber decking - hardwood - spotted gum
- tree stumps min 350mmØ - heights between 200-550mm for balancing and 300mm for seating
- stepping stones - concrete or sandstone
- flagging

**PLANTS**

TREES							
symbol	botanical name	common name	height	width	pot size	no	
	<i>eucalyptus punctata</i>	narrow leaved iron bark	15m	10m	75L	2	
	<i>eleocharis reticulatus</i>	blueberry ash	12m	5m	100L	2	
	<i>callistemon viminalis</i>	davsons river creeper bottlebrush	5-6m	3m	200mm	10	
	<i>tristania laurina</i>	luscious	n/a	7-10m	4-6m	75L	4
	<i>melaleuca decora</i>	white feather honeysuckle	6m	4m	45L	1	
SHRUBS							
	<i>westringia hybrid</i>	blue gem coastal rosemary	1-1.5m	0.8-1.3m	200mm	25	
	<i>melaleuca thymifolia</i>	'pink lace'	n/a	1-1.2m	1m	200mm	8
	<i>hardenbergia violacea</i>	meena	n/a	0.5m	1-2m	150mm	16
GRASSES/GROUNDCOVERS							
	<i>grevillea hybrid</i>	'Tilax'	n/a	0.2m	1-2m	150mm	27
	<i>arizanthus</i>	gold velvet kangaroo paw	0.6m	0.6m	150mm	42	
	<i>dianella caerulea</i>	'breeze'	n/a	0.7m	0.7m	150mm	13
	<i>lomandra longifolia</i>	'easy as'	n/a	0.6m	0.6m	150mm	52
	<i>themeda australis</i>	'mingo'	n/a	0.4m	0.6m	200mm	20
FEATURE							
	<i>doryanthes excelsa</i>	gynea lily	2m	2m	140mm	9	

**NOTES**

soil and mulch  
Use an Australian Standard planter mix with low phosphorus for where natives have been specified & other good quality soil mix in other areas with a min of 5% OM.

mulch  
Use mulch with material size greater than 15mm only - recommend Forest Blend - ANL in all planters

planting  
Plants shall be vigorous, well established, hardened off, of good form consistent with the species or variety, free from disease & insect pests, with large healthy root systems & no evidence of having been restricted or damaged. All plants to be planted in locations specified on this plan. Planting holes to be twice the pot size & all soil to loosely fill the planting hole. Plants must be watered before planting begins, immediately after planting and on a continual basis thereafter until established. Construct a watering basin around the base of each individual planted tree

All plants selected and specified are appropriate, non-toxic and non-hazardous and comply with the Education and Care Services National Regulations 2011 and Kidsafe as being suitable for use in child care centres

timber  
Use hardwood timber only preferably Spotted Gum for all visible timber sections & treated Durability class 1, H4 for in ground use & H3 otherwise. Use of sustainable hardwood timbers are preferred. Open timber features such as knot holes, loose or unsound knots, gum pockets, loose gum joints, shakes & termite galleries not to be used on the outer face of the timber. All timber contactable by hand shall be dressed or sanded smooth free of splinters & shavings. All bolted connections shall use washers under bolt heads & nuts & all external bolts, nuts, washers & decking screws shall be stainless steel. All exposed timber to be sealed with Sikkers Cetol HLS in Mahogany

Tessa Rose Playspace and Landscape Design reserves all rights. This drawing is copyright and shall not be reproduced or copied in any form or by any means without the written permission of Tessa Rose Playspace and Landscape Design. Any license, expressed or implied to use this document for any purpose is restricted to the terms of the written agreement between Tessa Rose Playspace and Landscape Design and the instructing party.

24 Baxter Road MASCOT NSW 2020  
04 16 565297  
tess@tessaroselandscapes.com.au  
www.tessaroselandscapes.com.au

**PROJECT:**  
Proposed Child Care Centre  
110-112 Mount Vernon Rd  
MOUNT VERNON NSW 2178

date: 16 April 2019  
scale: 1:100/A1  
drawing no.: 4/5  
checked by: kj

**TESSA ROSE**  
PLAYSPACE AND LANDSCAPE DESIGN

**FINAL**  
development application  
babies playspace & front area  
playspace/landscape design plan - plants

This plan is certified as meeting all relevant local government DCP's & legislation and the Education and Care Services National Regulations 2011

**LEGEND**

- mulch
- artificial turf - 40mm pile summer prestige
- stoneset - cudgee yellow 10mm
- timber decking - hardwood - spotted gum
- tree stumps min 350mmØ - heights between 200-550mm for balancing and 300mm for seating
- stepping stones - concrete or sandstone
- flagging



**NOTES**

soil and mulch  
Use an Australian Standard planter mix with low phosphorus for where natives have been specified & other good quality soil mix in other areas with a min of 5% OM.

mulch  
Use mulch with material size greater than 15mm only - recommend Forest Blend - ANL in all planters

planting  
Plants shall be vigorous, well established, hardened off, of good form consistent with the species or variety, free from disease & insect pests, with large healthy root systems & no evidence of having been restricted or damaged. All plants to be planted in locations specified on this plan. Planting holes to be twice the pot size & all soil to loosely fill the planting hole. Plants must be watered before planting begins, immediately after planting and on a continual basis thereafter until established. Construct a watering basin around the base of each individual planted tree

All plants selected and specified are appropriate, non-toxic and non-hazardous and comply with the *Education and Care Services National Regulations 2011* and *KidSAFE* as being suitable for use in child care centres

timber  
Use hardwood timber only preferably *Spotted Gum* for all visible timber sections & treated Durability class 1, H4 for in ground use & H3 otherwise. Use of sustainable hardwood timbers are preferred. Open timber features such as knot holes, loose or unsound knots, gum pockets, loose gum veins, shakes & termite galleries not to be used on the outer face of the timber. All timber contactable by hand shall be dressed or sanded smooth free of splinters & shavings. All bolted connections shall use washers under bolt heads & nuts & all external bolts, nuts, washers & decking screws shall be stainless steel. All exposed timber to be sealed with *Sikkens Cetol HLS* in Mahogany

24 Baxter Road MASCOT NSW 2020  
04 16 565297  
tes@teszaroselandscapes.com.au  
www.tessaroselandscapes.com.au

**PROJECT:**  
Proposed Child Care Centre  
110-112 Mount Vernon Rd  
MOUNT VERNON NSW 2178

date: 16 April 2019 drawing no.:5/5  
scale: 1:100/A1 drawn by: kj checked tm

**TESSA ROSE**  
PLAYSPACE AND LANDSCAPE DESIGN

1. Contractor should check site conditions and measurements prior to works  
2. No substitutions for plants and materials may occur without prior approval

This plan is certified as meeting all relevant local government DCP's & legislation and the *Education and Care Services National Regulations 2011*

**FINAL**  
development application  
babies playspace & front area  
playspace/landscape design plan - surfaces

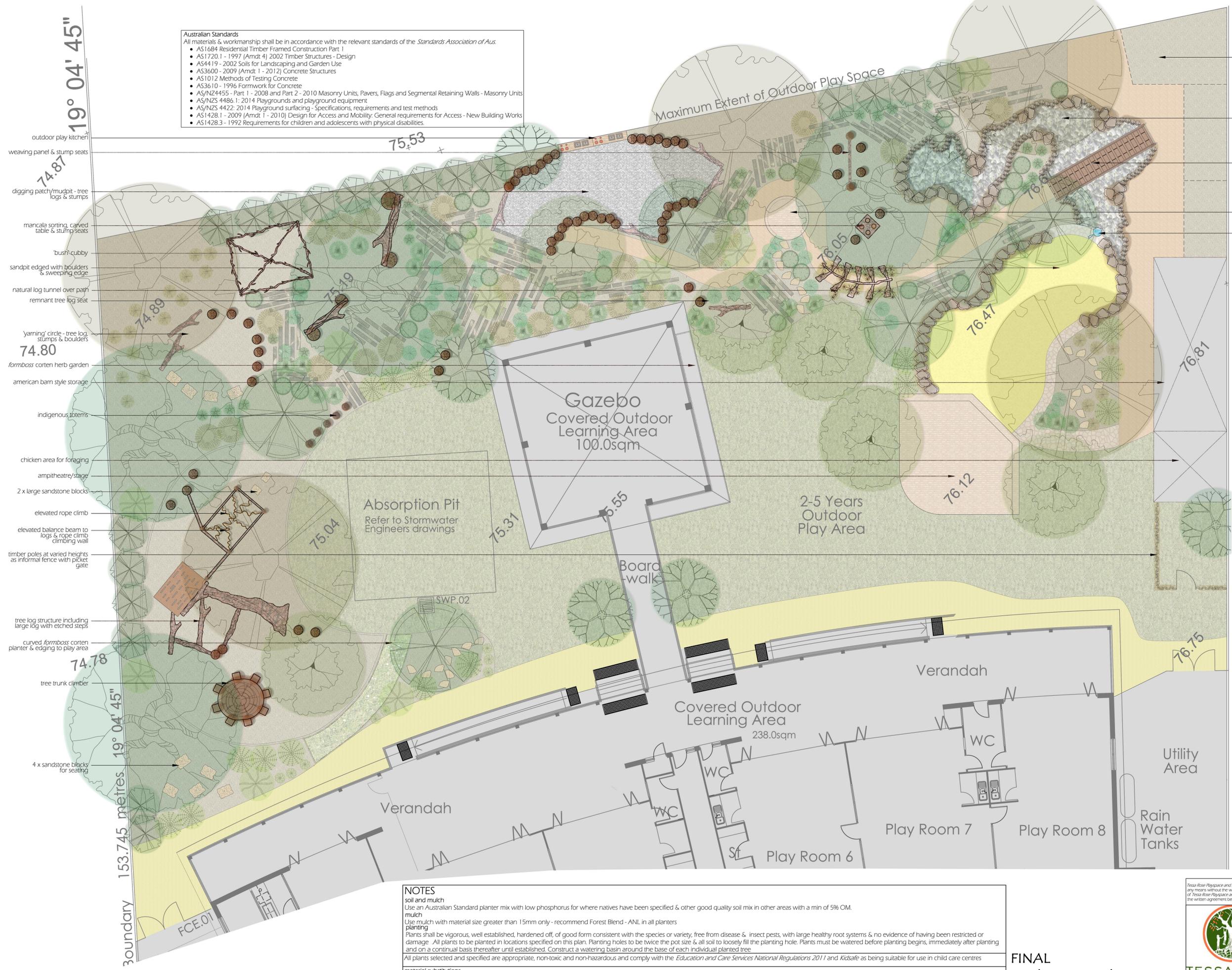
**material substitutions**  
Materials which are not available or cannot be reasonably provided for the works may be substituted in consultation with the client.

Dial Before U Dig - all services to be checked prior to works commencement

- Australian Standards**  
All materials & workmanship shall be in accordance with the relevant standards of the *Standards Association of Aus.*
- AS 1684 Residential Timber Framed Construction Part 1
  - AS 1720.1 - 1997 (Amdt 4) 2002 Timber Structures - Design
  - AS 4419 - 2002 Soils for Landscaping and Garden Use
  - AS 3600 - 2009 (Amdt 1 - 2012) Concrete Structures
  - AS 1012 Methods of Testing Concrete
  - AS 3610 - 1996 Formwork for Concrete
  - AS/NZ 4455 - Part 1 - 2008 and Part 2 - 2010 Masonry Units, Pavers, Flags and Segmental Retaining Walls - Masonry Units
  - AS/NZS 4486.1: 2014 Playgrounds and playground equipment
  - AS/NZS 4422: 2014 Playground surfacing - Specifications, requirements and test methods
  - AS 1428.1 - 2009 (Amdt. 1 - 2010) Design for Access and Mobility: General requirements for Access - New Building Works
  - AS 1428.3 - 1992 Requirements for children and adolescents with physical disabilities

- LEGEND**
- empire zoisya species or similar
  - stoner - cudjee yellow 10mm
  - decomposed granite - gold
  - sandstone flagging paving
  - timber decking - hardwood - spotted gum
  - mulch
  - pebbles over 50mmØ
  - tree stumps min 350mmØ - heights between 200-550mm for balancing and 300mm for seating
  - stepping stones - concrete or sandstone flagging
  - railway sleepers as pathway

PLANTS							
TREES							
symbol	botanical name	common name	height	width	pot size	no	
	<i>eucalyptus punctata</i>	narrow leaved iron bark	15m	10m	75L	5	
	<i>elaecarpus reticulatus</i>	blueberry ash	12m	5m	100L	6	
	<i>callistemon viminalis</i>	davosons river creeper bottlebrush	5-6m	3m	200mm	19	
	<i>casuarina cunninghamiana</i>	river she-oak	20m	10m	100L	4	
	<i>tristaniaopsis laurina</i>	luscious	n/a	7-10m	4-6m	75L	6
	<i>melaleuca decora</i>	white feather honeysuckle	6m	4m	45L	6	
SHRUBS							
	<i>indigofera australis</i>	australia indigo	1-2m	1-2m	200mm	25	
	<i>westringia hybrid</i>	blue gem coastal rosemary	1-1.5m	0.8-1.3m	200mm	25	
	<i>melaleuca thymifolia</i>	pink lace	n/a	1-1.2m	1m	200mm	26
	<i>hardenbergia violacea</i>	meema	n/a	0.5m	1-2m	150mm	15
GRASSES/GROUNDCOVERS							
	<i>dianella caerulea</i>	breeze	n/a	0.7m	0.7m	150mm	21
	<i>poa poliformis</i>	kinglake	n/a	0.5m	0.5m	150mm	24
	<i>lomandra longifolia</i>	easy as	n/a	0.6m	0.6m	150mm	36
	<i>themeda australis</i>	mingo	n/a	0.4m	0.6m	200mm	15
CLIMBERS							
	<i>pandorea pandorana</i>	ruby belle	n/a	climber	climber	200mm	10
FEATURE							
	<i>dorothy's excelsa</i>	gymea lily	2m	2m	140mm	10	



**NOTES**  
soil and mulch  
Use an Australian Standard planter mix with low phosphorus for where natives have been specified & other good quality soil mix in other areas with a min of 5% OM.  
mulch  
Use mulch with material size greater than 15mm only - recommend Forest Blend - ANL in all planters  
planting  
Plants shall be vigorous, well established, hardened off, of good form consistent with the species or variety, free from disease & insect pests, with large healthy root systems & no evidence of having been restricted or damaged. All plants to be planted in locations specified on this plan. Planting holes to be twice the pot size & all soil to loosely fill the planting hole. Plants must be watered before planting begins, immediately after planting and on a continual basis thereafter until established. Construct a watering basin around the base of each individual planted tree.  
All plants selected and specified are appropriate, non-toxic and non-hazardous and comply with the *Education and Care Services National Regulations 2011* and *Kidsafe* as being suitable for use in child care centres  
material substitutions  
Materials which are not available or cannot be reasonably provided for the works may be substituted in consultation with the client  
timber  
Use hardwood timber only preferably *Spotted Gum* for all visible timber sections & treated Durability class 1, H4 for in ground use & H3 otherwise. Use of sustainable hardwood timbers are preferred. Open timber features such as knot holes, loose or unsound knots, gum pockets, loose gum veins, shakes & termite galleries not to be used on the outer face of the timber. All timber contactable by hand shall be dressed or sanded smooth free of splinters & shavings. All bolted connections shall use washers under bolt heads & nuts & all external bolts, nuts, washers & decking screws shall be stainless steel. All exposed timber to be sealed with *Sikkens Cetol HLS* in Mahogany

**FINAL**  
development application  
rear playspace  
playspace/landscape design plan - plants

Tessa Rose Playspace and Landscape Design reserves all rights. This drawing is copyright and shall not be reproduced or copied in any form or by any means without the written permission of Tessa Rose Playspace and Landscape Design. Any license, expressed or implied to use this document for any purpose is restricted to the terms of the written agreement between Tessa Rose Playspace and Landscape Design and the instructing party.

24 Baxter Road MASCOT NSW 2020  
0416 565297  
tess@tessaroselandscapes.com.au  
www.tessaroselandscapes.com.au

**PROJECT:**  
Proposed Child Care Centre  
110-112 Mount Vernon Rd  
MOUNT VERNON NSW 2178

date: 16 April 2019  
scale: 1:100/A1  
drawing no.: 2/5  
drawn by: kj checked tm

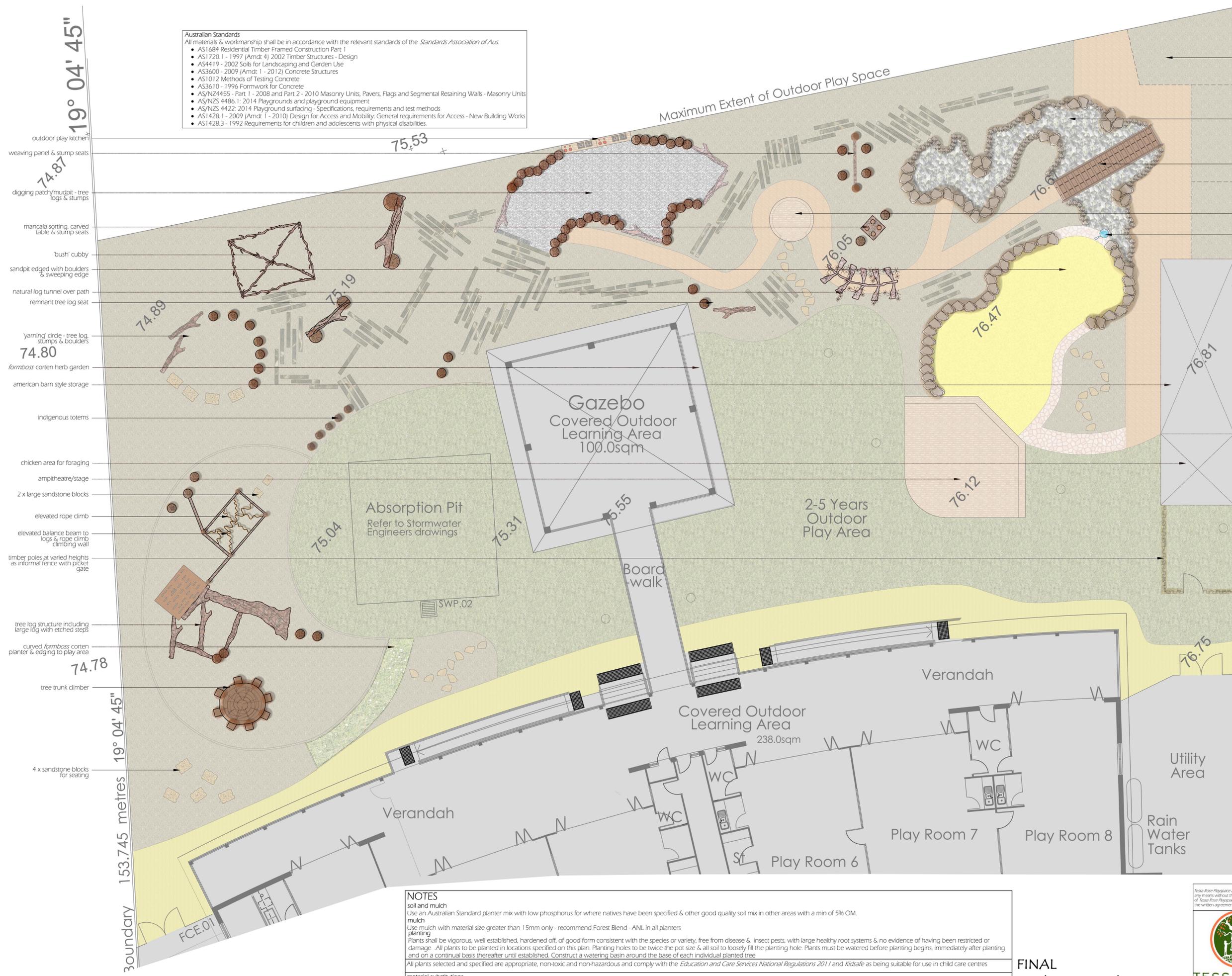
**TESSA ROSE**  
PLAYSPACE AND LANDSCAPE DESIGN

**drawing notes**  
1. Contractor should check site conditions and measurements prior to works  
2. No substitutions for plants and materials may occur without prior approval

This plan is certified as meeting all relevant local government DCP's & legislation and the *Education and Care Services National Regulations 2011*

- Australian Standards**  
All materials & workmanship shall be in accordance with the relevant standards of the *Standards Association of Aus*.
- AS 1684 Residential Timber Framed Construction Part 1
  - AS 1720.1 - 1997 (Amdt 4) 2002 Timber Structures - Design
  - AS 4419 - 2002 Soils for Landscaping and Garden Use
  - AS 3600 - 2009 (Amdt 1 - 2012) Concrete Structures
  - AS 1012 Methods of Testing Concrete
  - AS 3610 - 1996 Formwork for Concrete
  - AS/NZ4455 - Part 1 - 2008 and Part 2 - 2010 Masonry Units, Pavers, Flags and Segmental Retaining Walls - Masonry Units
  - AS/NZS 4486.1: 2014 Playgrounds and playground equipment
  - AS/NZS 4422: 2014 Playground surfacing - Specifications, requirements and test methods
  - AS 1428.1 - 2009 (Amdt 1 - 2010) Design for Access and Mobility: General requirements for Access - New Building Works
  - AS 1428.3 - 1992 Requirements for children and adolescents with physical disabilities

- LEGEND**
- empire zoisya species or similar
  - stonestep - cudgee yellow 10mm
  - decomposed granite - gold
  - sandstone flagging paving
  - timber decking - hardwood - spotted gum
  - mulch
  - pebbles over 50mmØ
  - tree stumps min 350mmØ - heights between 200-550mm for balancing and 300mm for seating
  - stepping stones - concrete or sandstone flagging
  - railway sleepers as pathway



**NOTES**  
soil and mulch  
Use an Australian Standard planter mix with low phosphorus for where natives have been specified & other good quality soil mix in other areas with a min of 5% OM.

planting  
Use mulch with material size greater than 15mm only - recommend Forest Blend - ANL in all planters  
Plants shall be vigorous, well established, hardened off, of good form consistent with the species or variety, free from disease & insect pests, with large healthy root systems & no evidence of having been restricted or damaged. All plants to be planted in locations specified on this plan. Planting holes to be twice the pot size & all soil to loosely fill the planting hole. Plants must be watered before planting begins, immediately after planting and on a continual basis thereafter until established. Construct a watering basin around the base of each individual planted tree.

All plants selected and specified are appropriate, non-toxic and non-hazardous and comply with the *Education and Care Services National Regulations 2011* and *Kidsafe* as being suitable for use in child care centres

material substitutions  
Materials which are not available or cannot be reasonably provided for the works may be substituted in consultation with the client

timber  
Use hardwood timber only preferably *Spotted Gum* for all visible timber sections & treated Durability class 1, H4 for in ground use & H3 otherwise. Use of sustainable hardwood timbers are preferred. Open timber features such as knot holes, loose or unsound knots, gum pockets, loose gum veins, shakes & termite galleries not to be used on the outer face of the timber. All timber contactable by hand shall be dressed or sanded smooth free of splinters & shavings. All bolted connections shall use washers under bolt heads & nuts & all external bolts, nuts, washers & decking screws shall be stainless steel. All exposed timber to be sealed with *Sikkens Cetol HLS* in Mahogany

**FINAL**  
development application  
rear playspace  
playspace/landscape design plan - surfaces

Tessa Rose Playspace and Landscape Design reserves all rights. This drawing is copyright and shall not be reproduced or copied in any form or by any means without the written permission of Tessa Rose Playspace and Landscape Design. Any license, expressed or implied to use this document for any purpose is restricted to the terms of the written agreement between Tessa Rose Playspace and Landscape Design and the instructing party.

24 Baxter Road MASCOT NSW 2020  
0416 565297  
tessa@tessaroselandscapes.com.au  
www.tessaroselandscapes.com.au

**PROJECT:**  
Proposed Child Care Centre  
110-112 Mount Vernon Rd  
MOUNT VERNON NSW 2178

date: 16 April 2019  
scale: 1:100/A1

drawing no.:3/5  
drawn by: kj checked tm

**TESSA ROSE**  
PLAYSPACE AND LANDSCAPE DESIGN

drawing notes  
1. Contractor should check site conditions and measurements prior to works  
2. No substitutions for plants and materials may occur without prior approval

This plan is certified as meeting all relevant local government DCP's & legislation and the *Education and Care Services National Regulations 2011*



Left to right: Sandstone edged sandpit with building platforms, Dry creek bed, Mirror panel, Rainwell - Stainless steel pump, Outdoor kitchen, Bush type Cubbyhouse, Reading nook, Carved [Mancala](#) /sorting table, First nation timber totem poles,



Left to right: Log rounds for climbing, balancing & seating, Boulders for seating, Balance beam – Elevated, Varied height timber panel screening, Digging patch /mud pit sides can be tree stumps or boulders or a combination thereof, Weaving Panel, Timber log tunnel, Ampitheatre/stage,



Left to right: Push/pull-up poles, Dipped artificial grass play space for babies, Remnant logs for seating and balancing, Yarning circle, Tree log with carved steps, American barn type storage shed, Tree trunk climber,



Left to right: The mansion –Chicken coop, Formboss Corten planter -rectangle shape, Elevated rope climb, Tree log balance activity, Climbing wall, Mound with tunnell 0-2's, Rattle bridge,

\* Please note these images are to be considered in conjunction with your plan and are used to give an idea of colours, textures & constructs that will be present in the completed playspace.



Left to right: Artificial turf, Stoneset - Yellow, Sandstone flagging stepper pathway, Sandstone steppers, Timber sleeper steppers, Turf – Empire Zoysia, Deco granite – Deco gold,

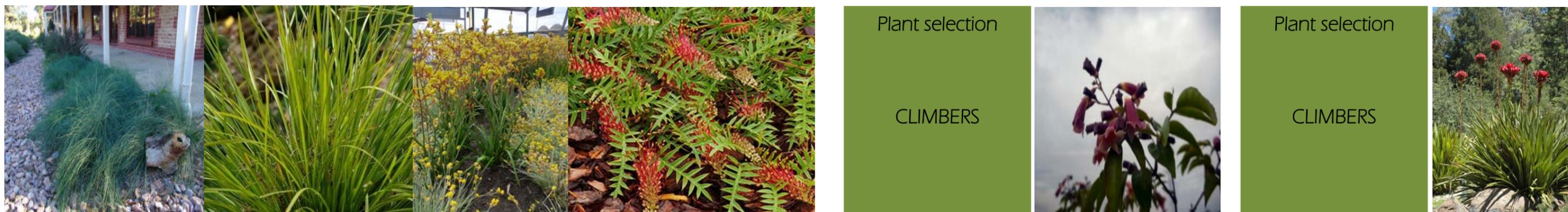


Left to right: *Eucalyptus punctata*, *Elaeocarpus reticulatus* 'Blueberry Ash', *Callistemon viminalis* 'Dawsons river creeper', *Casuarina cunninghamiana*, *Tristaniopsis Laurina* 'Luscious', *Melaleuca decora*,



Left to right: *Indigofera australis*, *Westringia fruticosa* 'Blue Gem', *Melaleuca thymifolia* 'Pink lace', *Hardenbergia violacea* 'Meema'

Left to right: *Dianella caerulea* 'Breeze', *Themeda australis*,



Left to right: 'Mingo', *Poa piformis* 'Kingsdale', *Lomandra* 'Easy As', *Anigozanthos* 'Gold Velvet', *Grevillia Hybrid* 'Flataz',

Left to right: *Pandorea* 'Ruby Belle',

Left to right: *Doryanthes excelsa*

\* Please note these images are to be considered in conjunction with your plan and are used to give an idea of colours, textures & constructs that will be present in the completed playspace.



3D View  
 Aerial View From Mount Vernon Road  
 Artistic Impression Only

Development Application



Project Works Design Pty Ltd  
 ABN 97 108 707 482  
 c/- p.o. box 5138  
 chittaway bay nsw 2261  
 p. 0412 637 875  
 admin@pwdesign.com.au  
 www.pwdesign.com.au

©Copyright  
 This drawing is Copyright and is the  
 property of Project Works Design  
 Pty Limited. It must not be copied  
 or reproduced in any way without  
 the written permission of Project  
 Works Design Pty Limited

Rev	Date	Description
		Amendments

Vladimir Vanovac and Mark Toma  
**Proposed Childcare Centre**  
 110 - 112 Mount Vernon Road Mount Vernon NSW

North Point

Title: 3D View - Sheet 1  
 Drawn: GM  
 Date: 02.05.19  
 Checked: GM  
 Scale: 1:100 @A1

Dwg No.  
 Job No. 18307

DA07  
 Issue: -



3D View  
Outdoor Play Area  
Artistic Impression Only

Development Application



Project Works Design Pty Ltd  
ABN 97 108 707 482  
c. p.o. box 5138  
chittaway bay nsw 2261  
p. 0412 637 875  
admin@pwwdesign.com.au  
www.pwwdesign.com.au

©Copyright  
This drawing is Copyright and is the  
property of Project Works Design  
Pty Limited. It must not be copied  
or reproduced in any way without  
the written permission of Project  
Works Design Pty Limited

Rev	Date	Description
		Amendments

Vladimir Vanovac and Mark Toma  
**Proposed Childcare Centre**  
110 - 112 Mount Vernon Road Mount Vernon NSW

North Point

Title:	3D View - Sheet 2
Drawn:	GM
Date:	02.05.19
Checked:	GM
Scale:	1:100 @A1

Dwg No.	DA08
Job No.	18307
Issue:	-



3D View  
From Mount Vernon Road  
Artistic Impression Only

Development Application



Project Works Design Pty Ltd  
ABN 97 108 707 482  
c. p.o. box 5138  
chittaway bay nsw 2261  
p. 0412 637 875  
admin@pwwdesign.com.au  
www.pwwdesign.com.au

©Copyright  
This drawing is Copyright and is the  
property of Project Works Design  
Pty Limited. It must not be copied  
or reproduced in any way without  
the written permission of Project  
Works Design Pty Limited

Rev	Date	Description
		Amendments

Vladimir Vanovac and Mark Toma  
**Proposed Childcare Centre**  
110 - 112 Mount Vernon Road Mount Vernon NSW

North Point

Title: 3D View - Sheet 3
Drawn: GM
Date: 02.05.19
Checked: GM
Scale: 1:100 @A1

Dwg No. DA10
Job No. 18307
Issue: -



**STREETSCAPE ELEVATION**  
MOUNT VERNON ROAD

EXTERNAL FINISHES			
ABBREVIATION	DESCRIPTION	LOCATION	FINISH
STC.01	STONE CLADDING 'DESERT STORM'	EXTERNAL WALLS	
TBR.01	TIMBER CLADDING 'WEATHERTEX' WEATHERGROOVE 150	EXTERNAL WALLS	
PRP.01	ACRATLEX 3 STEP COATING SYSTEM TO POWER PANELS	EXTERNAL WALLS	
R.01 F.01 B.01 G.01 HR.01 PCA.01	COLORBOND METAL 'WOODLAND GREY'	CORRUGATED ROOF SHEETS GUTTER FASCIA BARGE BOARD HANDRAIL WINDOWS	
DK.01 SCN.01	MODWOOD ECO DECK	VERANDAH, BOARDWALK & GAZEBO SUB-FLOOR SCREEN	
TP.01	TIMBER POST CLADDING 'MERBAU'	VERANDAH, BOARDWALK & GAZEBO	

ARCHITECTURAL DRAWING LIST		
DRAWING NO.	NAME	SCALE
DA00	COVER SHEET	NTS
DA01	SITE PLAN	1:200 1:400
DA02	SITE ANALYSIS AND MANAGEMENT PLAN	1:400
DA03	FLOOR PLAN	1:100
DA04	ROOF PLAN	1:100
DA05	ELEVATIONS & SECTION	1:100
DA06	NOTES	NTS
DA07	PHOTOMONTAGE - SHEET 1	NTS
DA07	PHOTOMONTAGE - SHEET 2	NTS
DA07	PHOTOMONTAGE - SHEET 3	NTS

Development Application



NOTES:  
0.5m AND 1m CONTOURS SHOWN.

THIS PLAN IS PREPARED FOR DETAIL AND LEVEL PURPOSES ONLY AND THE BOUNDARIES OF THE LAND HAVE NOT BEEN FIXED BY SURVEY. THE INFORMATION SHOWN ON THIS PLAN MUST NOT BE USED FOR CONSTRUCTION SETOUT.

THIS IS NOT A "SURVEY" AS DEFINED UNDER THE SURVEYING AND SPATIAL INFORMATION ACT 2002.

THIS SURVEY IS LIMITED TO THOSE PARTS OF THE SUBJECT BUILDING AND OTHER IMPROVEMENTS THAT WERE VISIBLE AND ACCESSIBLE AT THE TIME OF SURVEY.

ANY STRUCTURES RELATED TO PHYSICAL FEATURES SUCH AS BUILDINGS, POOLS, DRIVEWAYS, TREES, WALLS AND STAIRS MUST BE CONFIRMED PRIOR TO FINAL DESIGN.

ONLY VISIBLE SERVICES HAVE BEEN LOCATED AND NO DBYD INFORMATION HAS BEEN INVESTIGATED. ALL SERVICES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

THE TITLE DIMENSIONS SHOWN ARE TAKEN DIRECTLY FROM INFORMATION PROVIDED BY LAND AND PROPERTY INFORMATION PLANS AND ARE SHOWN ON THE ORIENTATION SPECIFIED ON THIS PLAN. THESE DIMENSIONS ARE SUBJECT TO CHANGE ON COMPLETION OF A FINAL SURVEY.

NEIGHBOURING HOUSES, ROOF POSITIONS, RIDGE POSITIONS AND WINDOW DETAILS ARE APPROXIMATE ONLY.

ORIGIN OF RL'S: SSM 13865 - RL 71.361 (AHD)



**PINNACLE LAND SURVEYORS PTY LTD**

MAIL: PO Box 112  
Baulkham Hills NSW 2153  
ADDRESS: Suite 104, Level 1  
447 Victoria Street,  
Wetherill Park NSW 2164  
PHONE: (02) 9686 2548  
FAX: (02) 9844 5445  
EMAIL: office@pinnaclelandsurveyors.com.au



VISIT US AT:  
www.pinnaclelandsurveyors.com.au  
ABN 5902709634  
© Pinnacle Land Surveyors Pty Ltd

**PROJECT : DETAIL AND LEVEL SURVEY  
AT No. 110-112 MOUNT VERNON  
ROAD, MOUNT VERNON**

**CLIENT : Vladimir Vanovac**

**SHEET 1 OF 2**

**DRAWING No. : 1383Det.dwg**

**JOB REF : 1383Det**

**DATE : 29 March 2019**

A1

LEGEND

AWNING	AWN	SHRUB	
BUILDING/STRUCTURE		STORMWATER PIT	
BENCH MARK		SEWER MANHOLE	
BOUNDARY		SEWER INSPECTION OPENING	
DISH DRAIN	DD	TELSTRA PIT	
FENCE		HYDRANT	
GARDEN		TOP OF GUTTER	TG
OVERHEAD CABLES		FL=FLOOR LEVEL GF=GROUND FLOOR FF=FIRST FLOOR	
POWER POLE		GL=GROUND LEVEL D=DIAMETER S=SPREAD H=HEIGHT	
RIDGE	R	H=WINDOW HEAD S=WINDOW SILL	



NOTES:  
0.5m AND 1m CONTOURS SHOWN.  
THIS PLAN IS PREPARED FOR DETAIL AND LEVEL PURPOSES ONLY AND THE BOUNDARIES OF THE LAND HAVE NOT BEEN FIXED BY SURVEY. THE INFORMATION SHOWN ON THIS PLAN MUST NOT BE USED FOR CONSTRUCTION SETOUT.  
THIS IS NOT A "SURVEY" AS DEFINED UNDER THE SURVEYING AND SPATIAL INFORMATION ACT 2002.

THIS SURVEY IS LIMITED TO THOSE PARTS OF THE SUBJECT BUILDING AND OTHER IMPROVEMENTS THAT WERE VISIBLE AND ACCESSIBLE AT THE TIME OF SURVEY.  
ANY STRUCTURES RELATED TO PHYSICAL FEATURES SUCH AS BUILDINGS, POOLS, DRIVEWAYS, TREES, WALLS AND STAIRS MUST BE CONFIRMED PRIOR TO FINAL DESIGN.  
ONLY VISIBLE SERVICES HAVE BEEN LOCATED AND NO DBYD INFORMATION HAS BEEN INVESTIGATED. ALL SERVICES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

THE TITLE DIMENSIONS SHOWN ARE TAKEN DIRECTLY FROM INFORMATION PROVIDED BY LAND AND PROPERTY INFORMATION PLANS AND ARE SHOWN ON THE ORIENTATION SPECIFIED ON THIS PLAN. THESE DIMENSIONS ARE SUBJECT TO CHANGE ON COMPLETION OF A FINAL SURVEY.  
NEIGHBOURING HOUSES, ROOF POSITIONS, RIDGE POSITIONS AND WINDOW DETAILS ARE APPROXIMATE ONLY.  
ORIGIN OF RL'S: SSM 13865 - RL 71.361 (AHD)



**PINNACLE LAND SURVEYORS PTY LTD**  
MAIL: PO Box 112  
Baulkham Hills NSW 2153  
ADDRESS: Suite 104, Level 1  
447 Victoria Street,  
Wetherill Park NSW 2164  
PHONE: (02) 9686 2548  
FAX: (02) 9844 5445  
EMAIL: office@pinnaclelandsurveyors.com.au  
VISIT US AT:  
www.pinnaclelandsurveyors.com.au  
ABN 5907096534  
© Pinnacle Land Surveyors Pty Ltd

**PROJECT :** DETAIL AND LEVEL SURVEY  
AT No. 110-112 MOUNT VERNON  
ROAD, MOUNT VERNON  
**CLIENT :** Vladimir Vanovac

**SHEET 2 OF 2**  
**DRAWING No. :** 1383Det.dwg  
**JOB REF :** 1383Det  
**DATE :** 29 March 2019

A1