

NOTE:
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 FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

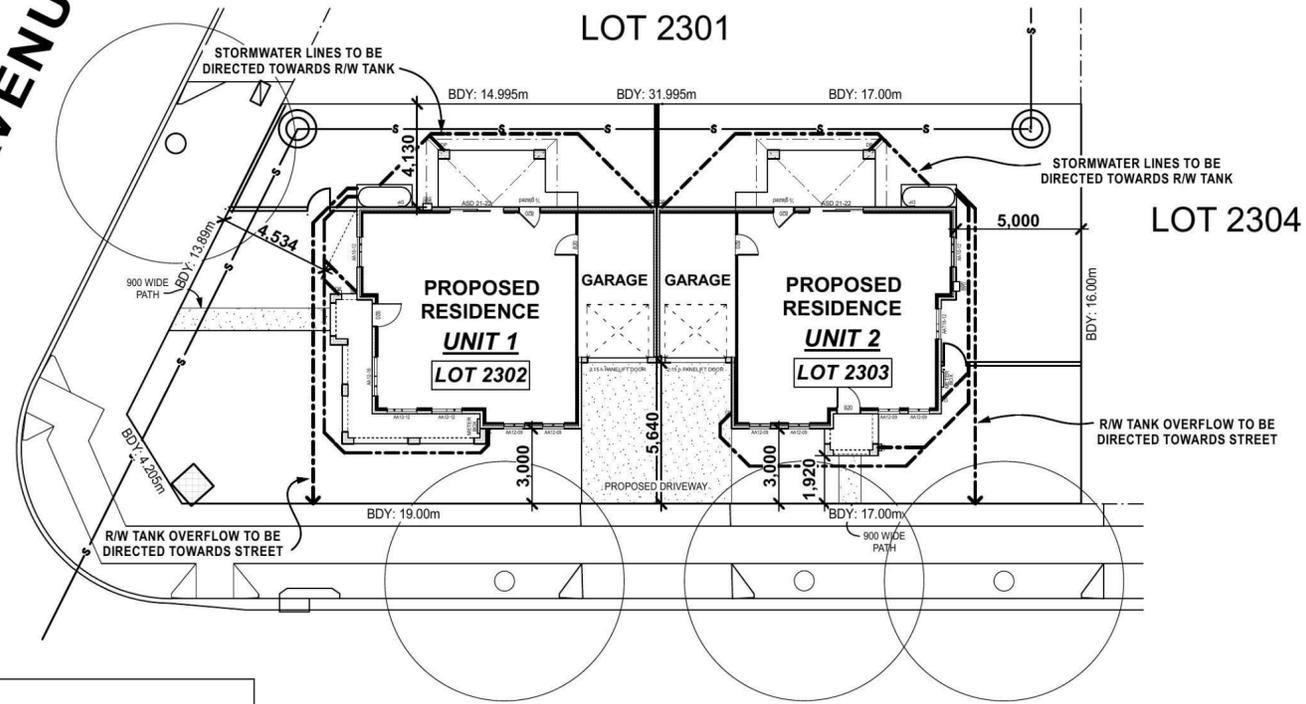


NORTH

LOT 2302
296.8m²

LOT 2303
272m²

COMBEWOOD AVENUE

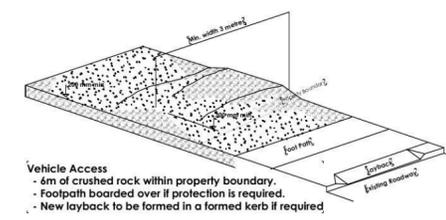
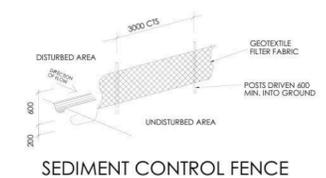
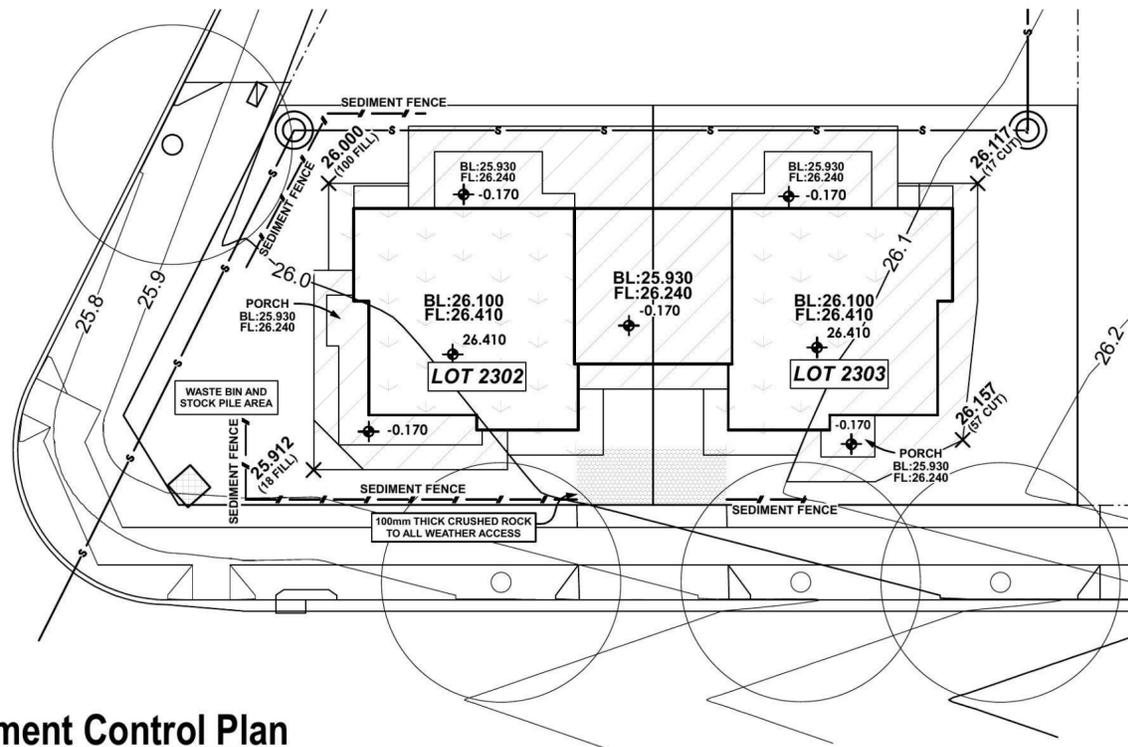


NOTE:
 STORMWATER DESIGN COMPLIES TO COUNCIL CODES & REQUIREMENTS

Proposed Site & Drainage Plan

SCALE 1:200

EMPIRE CIRCUIT



SITE PLAN
 ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY. FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT. SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.

Erosion & Sediment Control Plan

SCALE 1:200

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED
 Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY. BOTH UNITS	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	115 mm FROM F.F.L.

Champion Homes
Simply the Best

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Revision	Date	Amendment
C	05.08.14	DA PLANS - MT
B	17.07.14	CONTOUR SURVEY ADDED - BT
A	26.05.14	CONTRACT DRAWINGS - BT

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Proposed Duplex
 at Lot : 2302 & 2303
 Crm Combwood Ave, Empire Cct
 Thornton. (Penrith)

Plot Date
 Tue 05 Aug 2014

Client :
Champion Homes

Sheet Size: A2 Date: 26.05.14 Drawn:BT

Design :
Custom Duplex

Job No. 3223N
 3224N

Sheet 1 of 8

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NORTH

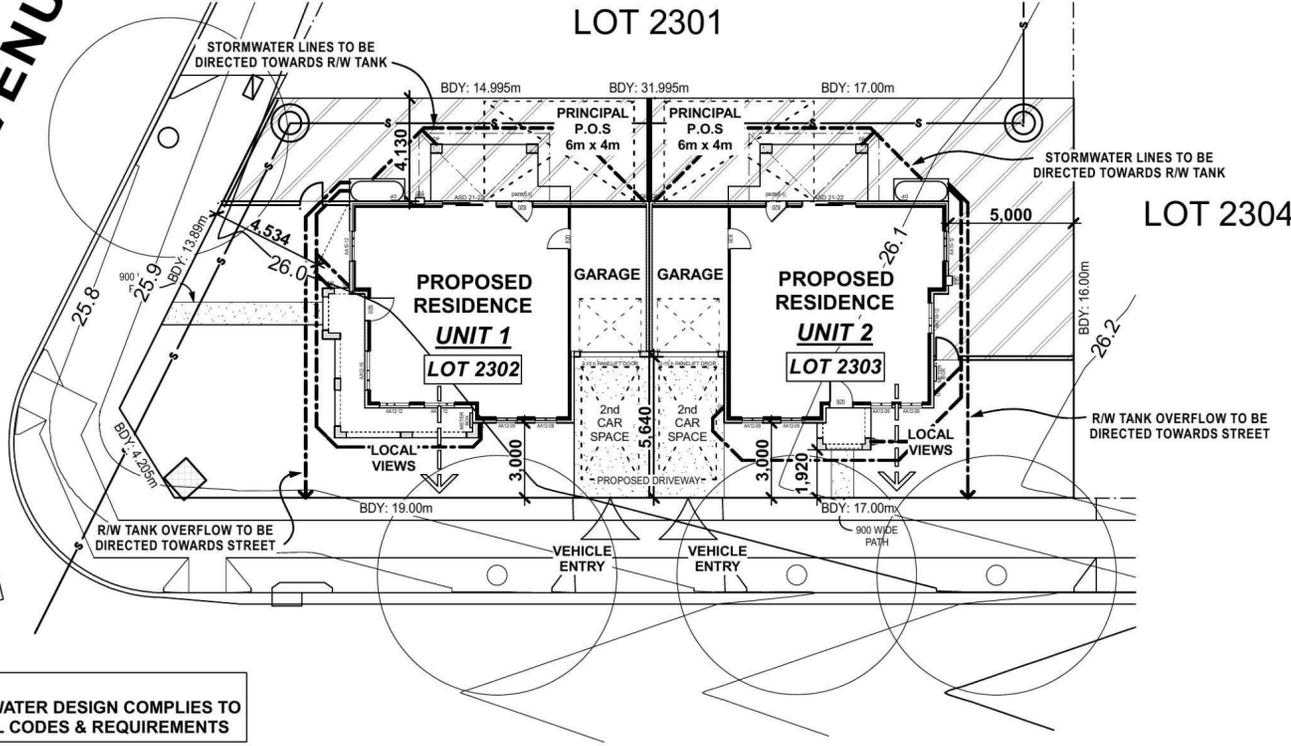
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296.8m²

LOT 2303
272m²

COMBEWOOD AVENUE

S/W BREEZES

NOTE:
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NORTH PENRITH "THORTON" REQUIREMENTS:

UNIT 1 SITE AREA: 296.8m²

PRIVATE OPEN SPACE:
(Min 2.0m Wide)
REQUIRED: 20% or 59.36m²
ACHIEVED: 22% or 64.24m²

LANDSCAPE AREA:
ACHIEVED: 52% or 154.67m²

CARPARKING:
REQUIRED: 2 SPACES
ACHIEVED: 2 SPACES

NORTH PENRITH "THORTON" REQUIREMENTS:

UNIT 2 SITE AREA: 272m²

PRIVATE OPEN SPACE:
(Min 2.0m Wide)
REQUIRED: 20% or 54.40m²
ACHIEVED: 37% or 101.54m²

LANDSCAPE AREA:
ACHIEVED: 53% or 143.54m²

CARPARKING:
REQUIRED: 2 SPACES
ACHIEVED: 2 SPACES

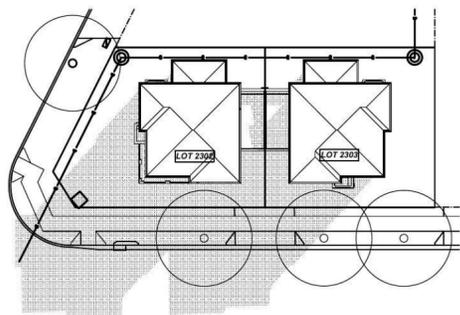
EMPIRE CIRCUIT

Shadow Diagrams

NORTH

LOT 2302
296.8m²

LOT 2303
272m²

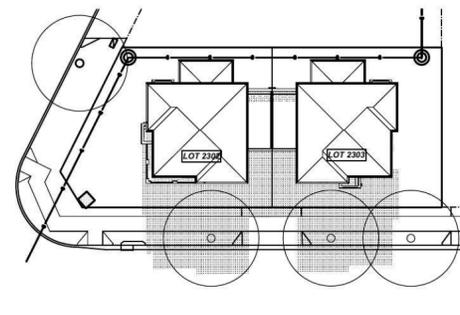


June 21st - 9am
SCALE 1:500

NORTH

LOT 2302
296.8m²

LOT 2303
272m²

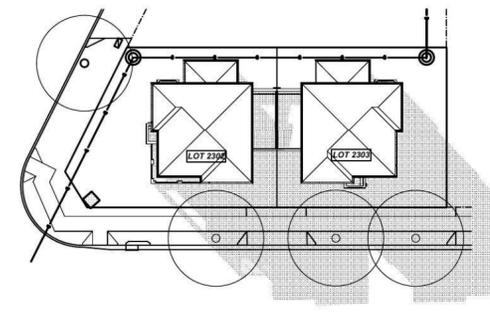


June 21st - 12noon
SCALE 1:500

NORTH

LOT 2302
296.8m²

LOT 2303
272m²



June 21st - 3pm
SCALE 1:500

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SLAB SETDOWNS FROM ENTRY. BOTH UNITS	
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GARAGE	170 mm FROM F.F.L.
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BALCONY	115 mm FROM F.F.L.



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Thornton. (Penrith)

Plot Date
Tue 05 Aug 2014

Client :
Champion Homes

Sheet Size: A2 Date: 26.05.14 Drawn:BT

Design :
Custom Duplex

Job No. 3223N
3224N

Sheet 2 of 8

UNIT 1 WINDOW SCHEDULE

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W1	S	1.08	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W2	S	1.08	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W3	S	1.44	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 901-1,200 mm	not overshadowed
W4	S	1.44	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 901-1,200 mm	not overshadowed
W5	W	1.92	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 901-1,200 mm	not overshadowed
W6	W	1.20	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W7	N	4.62	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed
W8	S	2.16	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W9	S	1.44	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W10	S	1.44	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W11	W	3.36	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W12	W	1.20	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W13	W	1.20	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W14	N	2.80	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W15	E	0.72	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed

BASIX & NatHERS COMMITMENTS NOTES				
REFER TO APPROVED BASIX REPORT				
WATER				
Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	3 star(>7.5 but<=9L/min)	4 star	4 star	4 star
Alternative water source	Individual water tank to collect run of from roof area AS PER APPROVED BASIX - Tank size min 3000 litres			
	Landscape connection	Toilet connection	Laundry connection	Pool top up
	Yes	Yes	Yes	N/A
ENERGY	Hot water system: Gas Instantaneous 5 star			
	Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Laundry: Natural ventilation only			
	Cooling system: 1 Phase air-conditioning EER 2.5-3.0 in at least 1 living/bed area (zoned)			
	Heating system: 1 Phase air-conditioning EER 2.5-3.0 in at least 1 living/bed area (zoned)			
	Natural lighting: As per BASIX			
	Artificial lighting: As per BASIX			
	Must install a gas cooktop and electric oven			
	Must install a fixed outdoor clothes drying line as part of the development.			

Building Elements	Material	Detail
External walls	<ul style="list-style-type: none"> Brick veneer Lightweight Cladding 	R2.0 bulk insulation
Internal walls	Plasterboard on studs	-
Ceiling	Plasterboard	R3.0 bulk insulation to ceilings with roof above
Floors	Concrete – slab on ground Timber – first floor	R0.3 (or 1 including construction) (down) TO SUSPENDED FLOOR ABOVE GARAGE
Roof	Tiled - Medium Colour SA 0.475 to 0.70	Foil (sisalation) to underside of roof
Windows	Improved Aluminium Frame, single glazed clear	U Value 6.44 or less and SHGC 0.75 +/- 10%
Note: Insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA		

UNIT 2 WINDOW SCHEDULE

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W1	S	1.08	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W2	S	1.08	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W3	S	1.08	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W4	S	1.08	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W5	E	2.16	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W6	E	1.20	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	none	not overshadowed
W7	N	4.62	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed
W8	S	1.62	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
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W13	N	1.20	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W14	N	1.60	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed
W15	W	0.72	Improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/ pergola/balcony 601-750 mm	not overshadowed

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BALCONY	115 mm FROM F.F.L.



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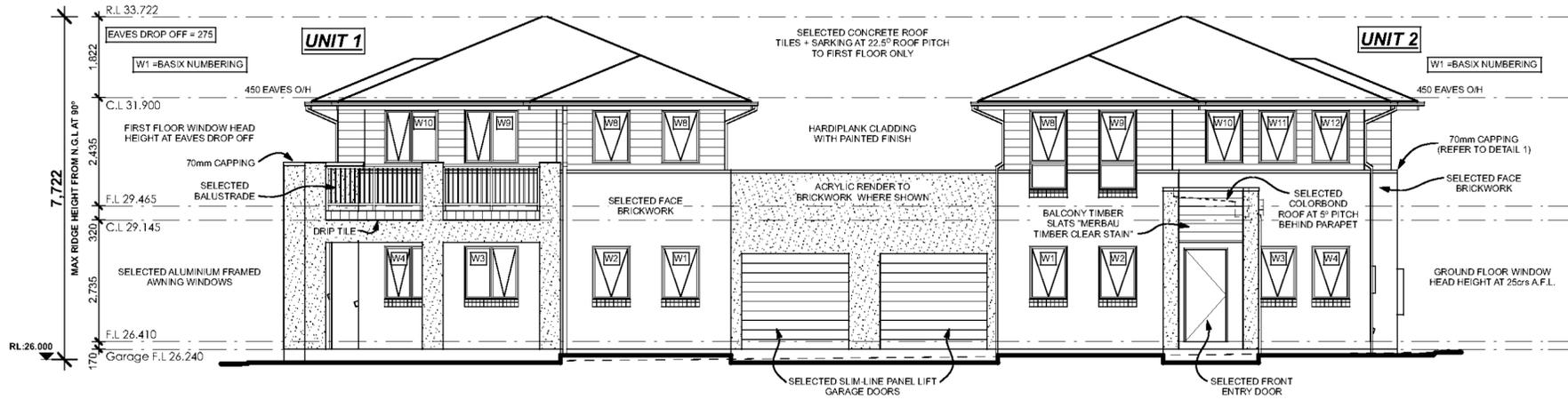
Design :
Custom Duplex

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Sheet 3 of 8

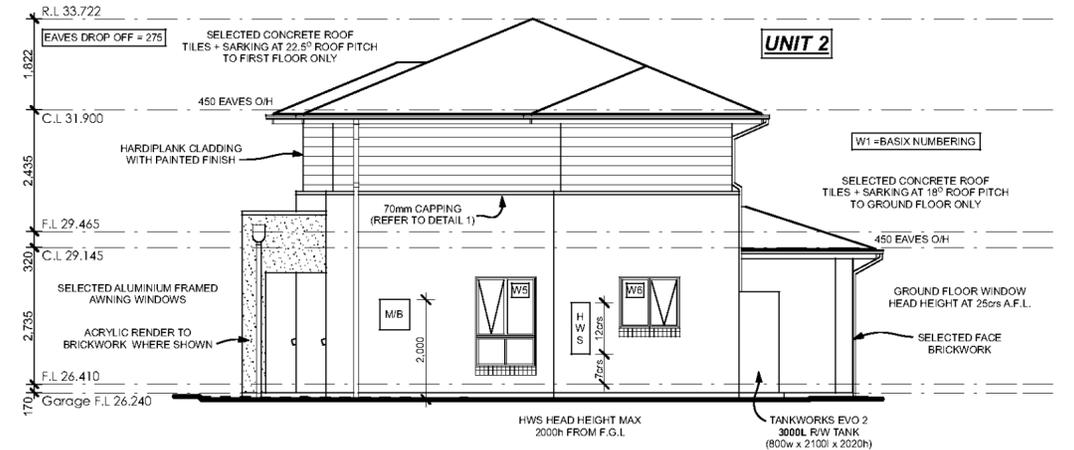
PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm



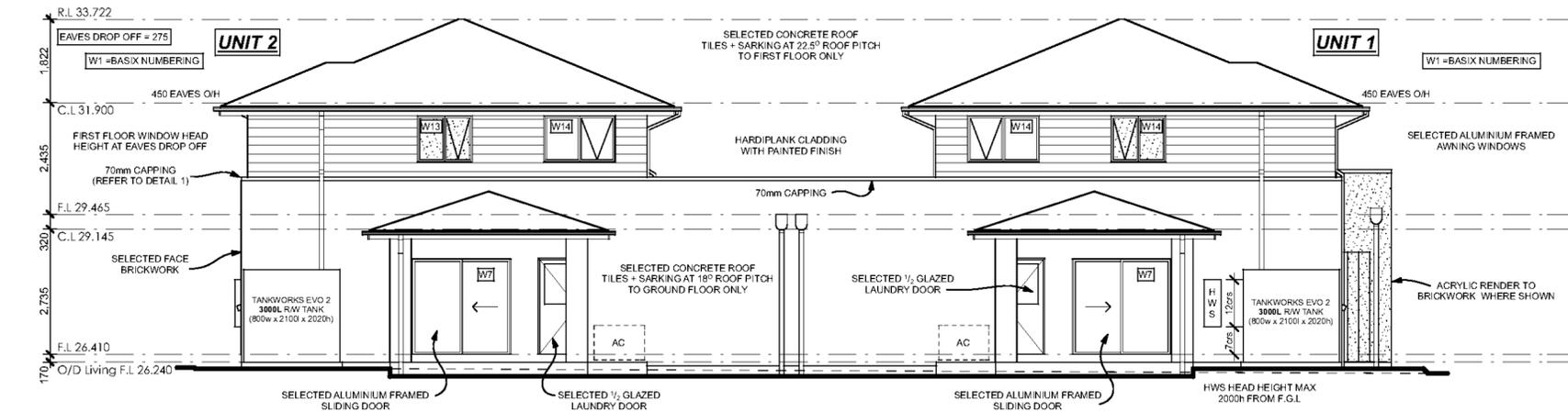
Southern Elevation

SCALE 1:100



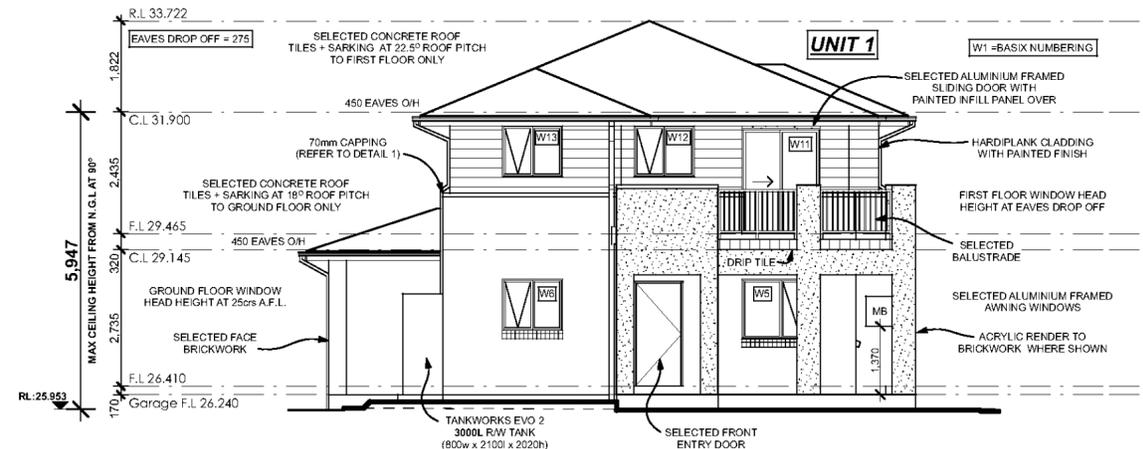
Eastern Elevation

SCALE 1:100



Northern Elevation

SCALE 1:100



Western Elevation

SCALE 1:100

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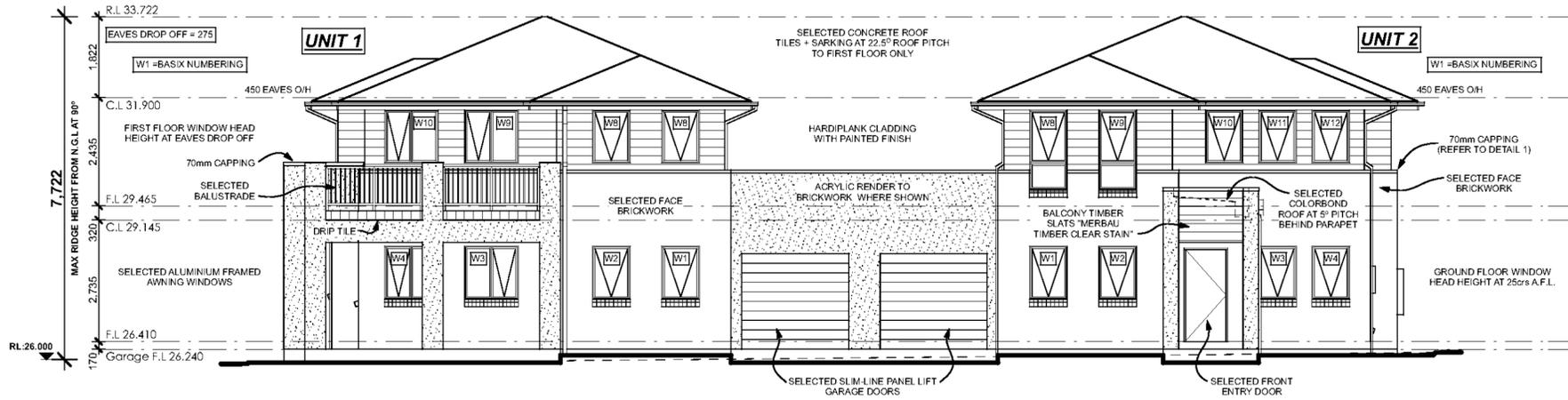
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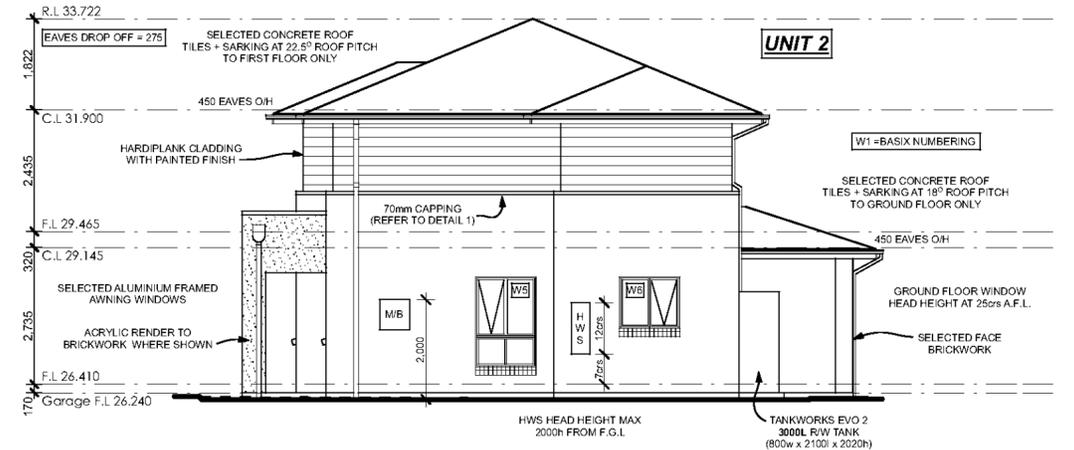
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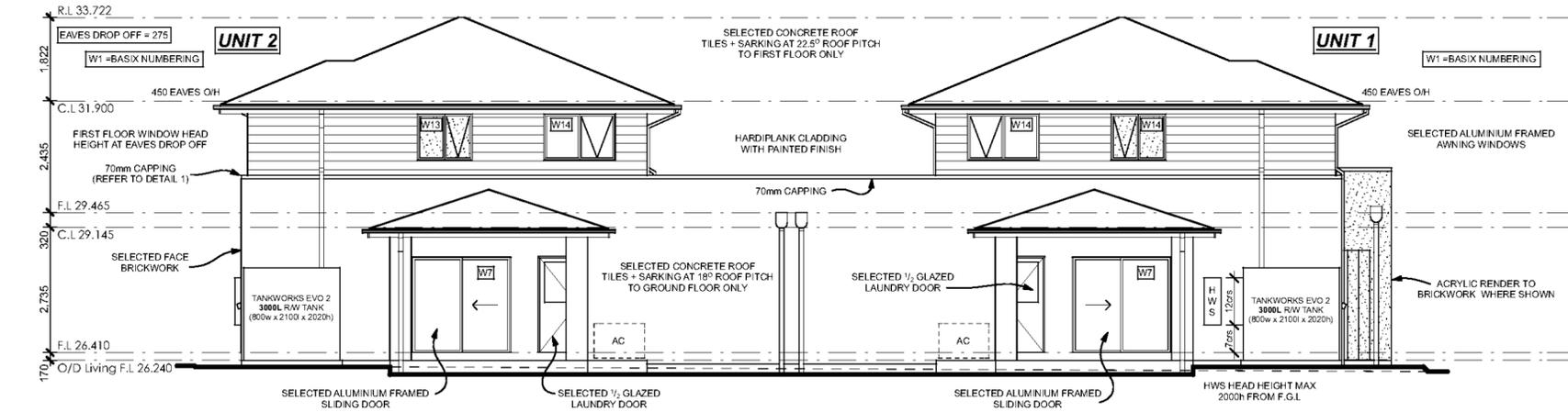
Southern Elevation

SCALE 1:100



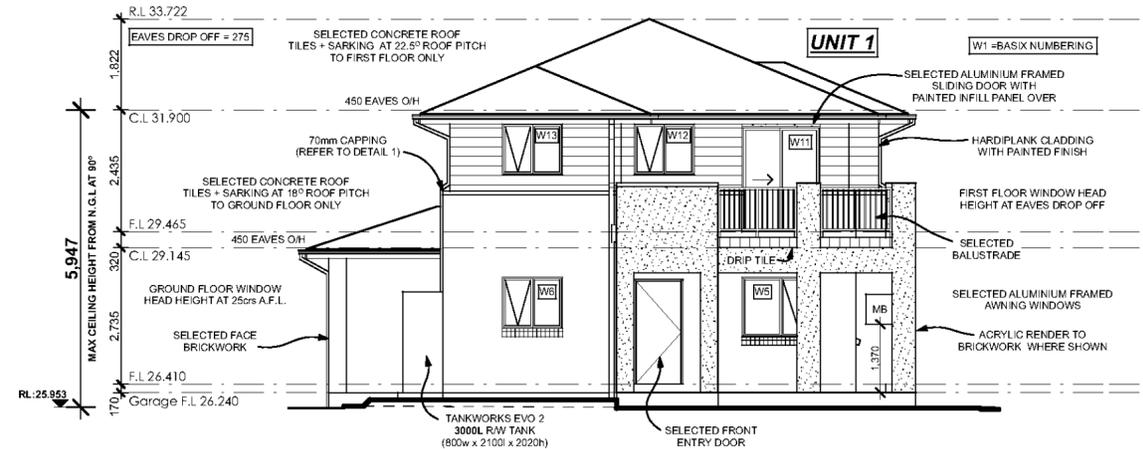
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Northern Elevation

SCALE 1:100



Western Elevation

SCALE 1:100

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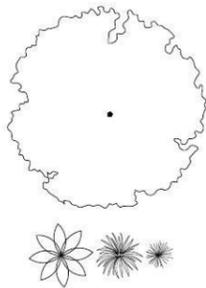
Lot 2302 Empire

PLANT SCHEDULE Prepared by ecodeign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Aw	Agapanthus 'White'	White Agapanthus	6	200mm	0.5m
Cpl	Camellia sasanqua 'Paradise Pearl'	Camellia	29	200mm	2m
Ct	Cerastium tomentosum	Snow in Summer	6	150mm	0.2m
Dg	Dietes grandiflora	Wild Iris	6	200mm	1m
Lcb	Loropetalum chinense v ar. rubrum 'Burgundy'	Pink Fringe Flower	4	300mm	1-1.5m
Mgk	Magnolia grandiflora 'Kay Parris'	Evergreen Magnolia	1	75L	4m
Mcd	Malus 'Cinzam Cinderlla'	Dwarf Crab Apple	1	75L	3m

LOT PLANTING SUMMARY

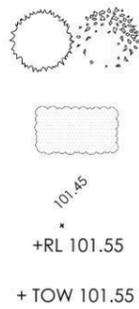
Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
47	29	6	12	2



LEGEND

Proposed trees - refer to plant schedule

Proposed accents & grasses - refer to plant schedule



Proposed shrubs - refer to plant schedule

Proposed groundcovers and grasses - refer to plant schedule

Existing levels

Proposed levels

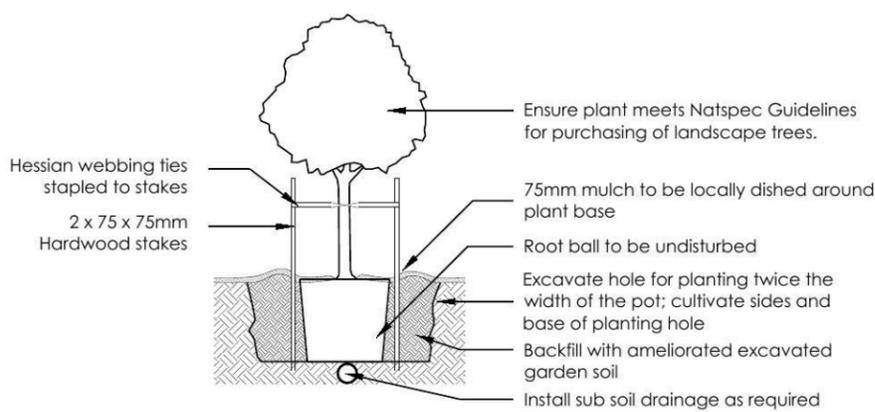
+TOW 101.55 Proposed Top Of Wall levels

--- Boundary

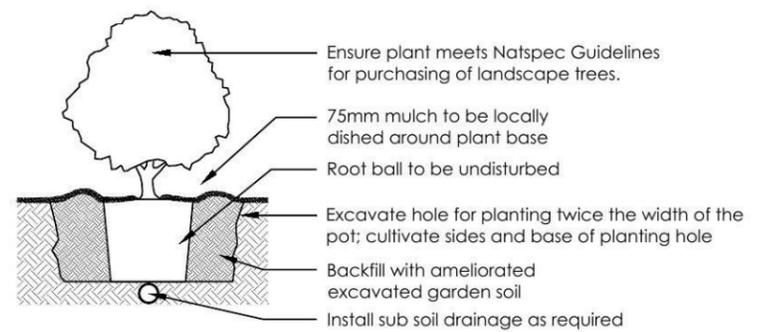
— Garden edging

█ Masonry retaining walls

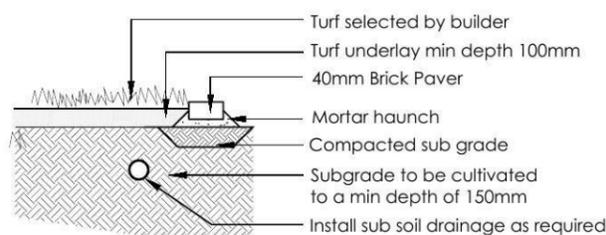
⋯ Existing contours



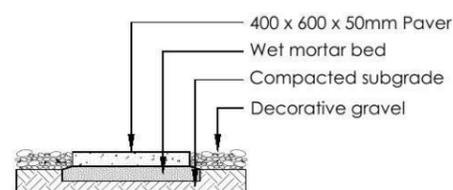
1 Tree Planting Detail
NTS 25L - 100L Pot Size



2 Planting Detail
NTS 150mm, 200mm Pot Size



3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE FOR CLIENT REVIEW	RS	BT	04-06-14

ecodeign
outdoor living environments

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Web: www.ecodeign.com.au
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PROJECT: NEW RESIDENCE

ADDRESS: LOT 2302 EMPIRE CIRCUIT, PENRITH

CLIENT: CHAMPION HOMES

PROJECT: NEW RESIDENCE

DRAWING: LANDSCAPE PLAN

SCALE: 1:100 @ A3

DATE: 04-06-14

SHEET: 02

DRAWN: RS CHECK: BT

REVISION: A



Lot 2303 Empire

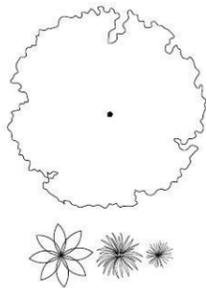
PLANT SCHEDULE Prepared by ecodeign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE
Cpl	Camellia sasanqua 'Paradise Pearl'	Camellia	13	200mm
Ct	Cerastium tomentosum	Snow in Summer	12	150mm
Dg	Dietes grandiflora	Wild Iris	6	200mm
Lcb	Loropetalum chinense v ar. rubrum 'Burgundy'	Pink Fringe Flower	10	300mm
Mgk	Magnolia grandiflora 'Kay Parris'	Evergreen Magnolia	1	75L
Mcd	Malus 'Cinzam Cinderlla'	Dwarf Crab Apple	1	75L
Oi	Ophiopogon 'Stripey White'	Stripey White Mondo Grass	9	200mm

LOT PLANTING SUMMARY

Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
52	13	0	39	2

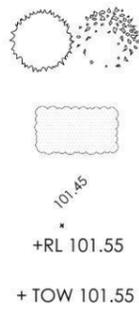
Minimum of 1 tree and 20 shrubs / groundcovers to each front / side yard (excluding fence hedging)



LEGEND

Proposed trees - refer to plant schedule

Proposed accents & grasses - refer to plant schedule



Proposed shrubs - refer to plant schedule

Proposed groundcovers and grasses - refer to plant schedule

Existing levels

Proposed levels

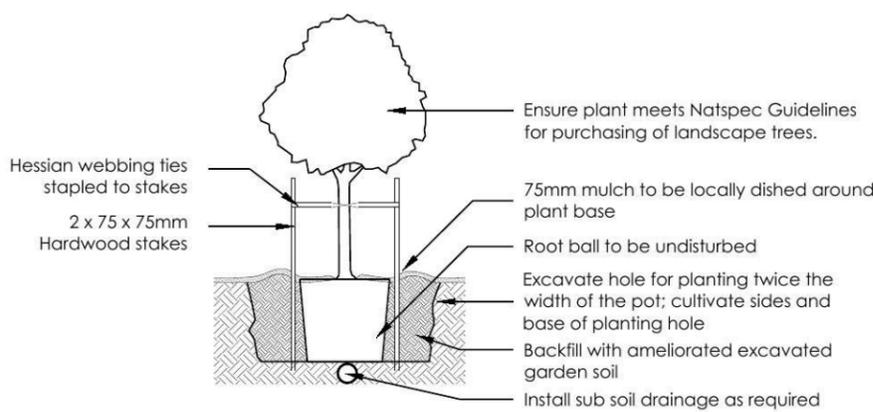
+TOW 101.55 Proposed Top Of Wall levels

--- Boundary

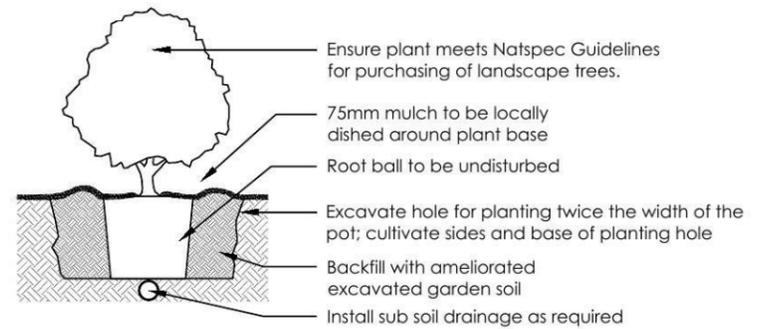
— Garden edging

█ Masonry retaining walls

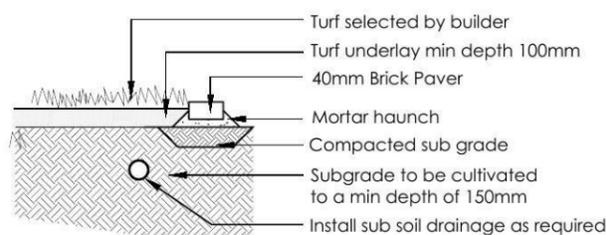
..... Existing contours



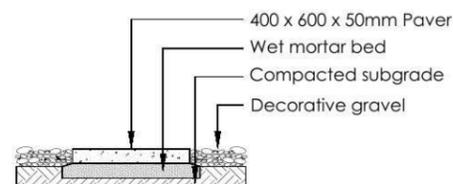
1 Tree Planting Detail
NTS 25L - 100L Pot Size



2 Planting Detail
NTS 150mm, 200mm Pot Size



3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE FOR CLIENT REVIEW	RS	BT	04-06-14

ecodeign
outdoor living environments

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ADDRESS: **LOT 2303 EMPIRE CIRCUIT, PENRITH**

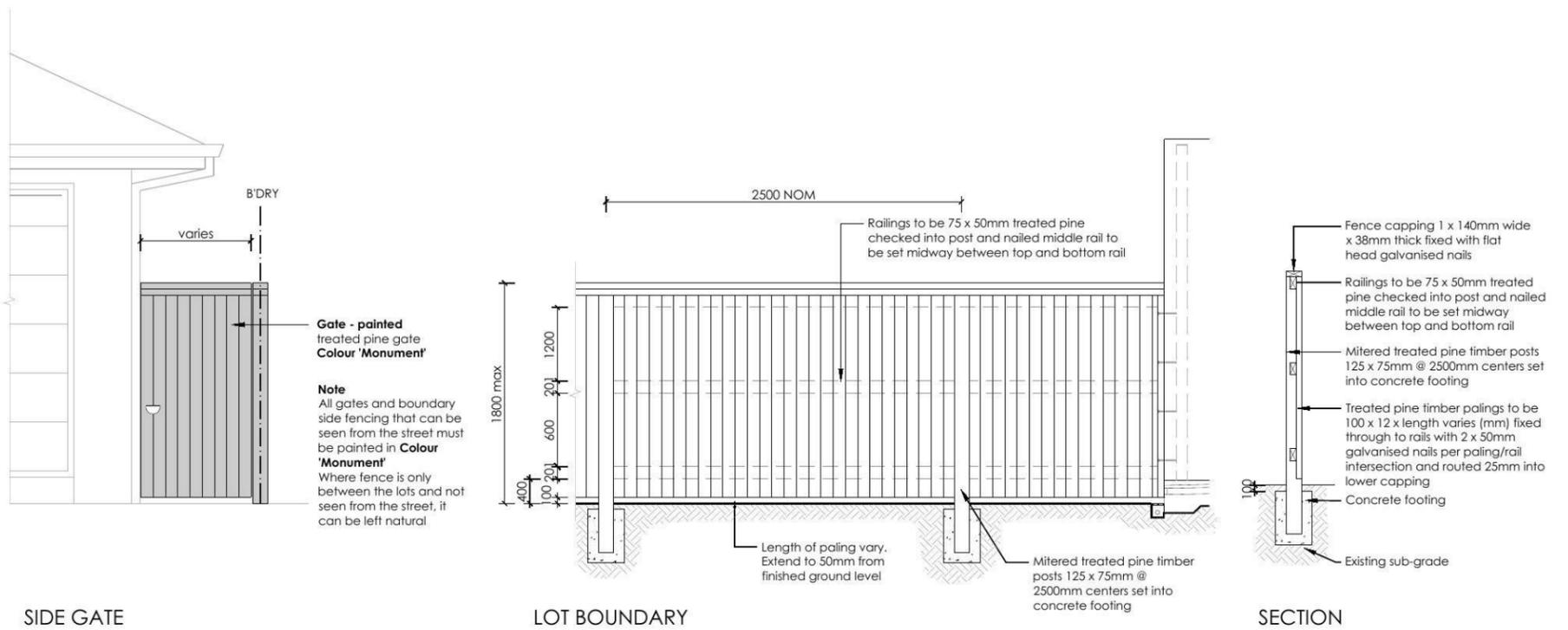
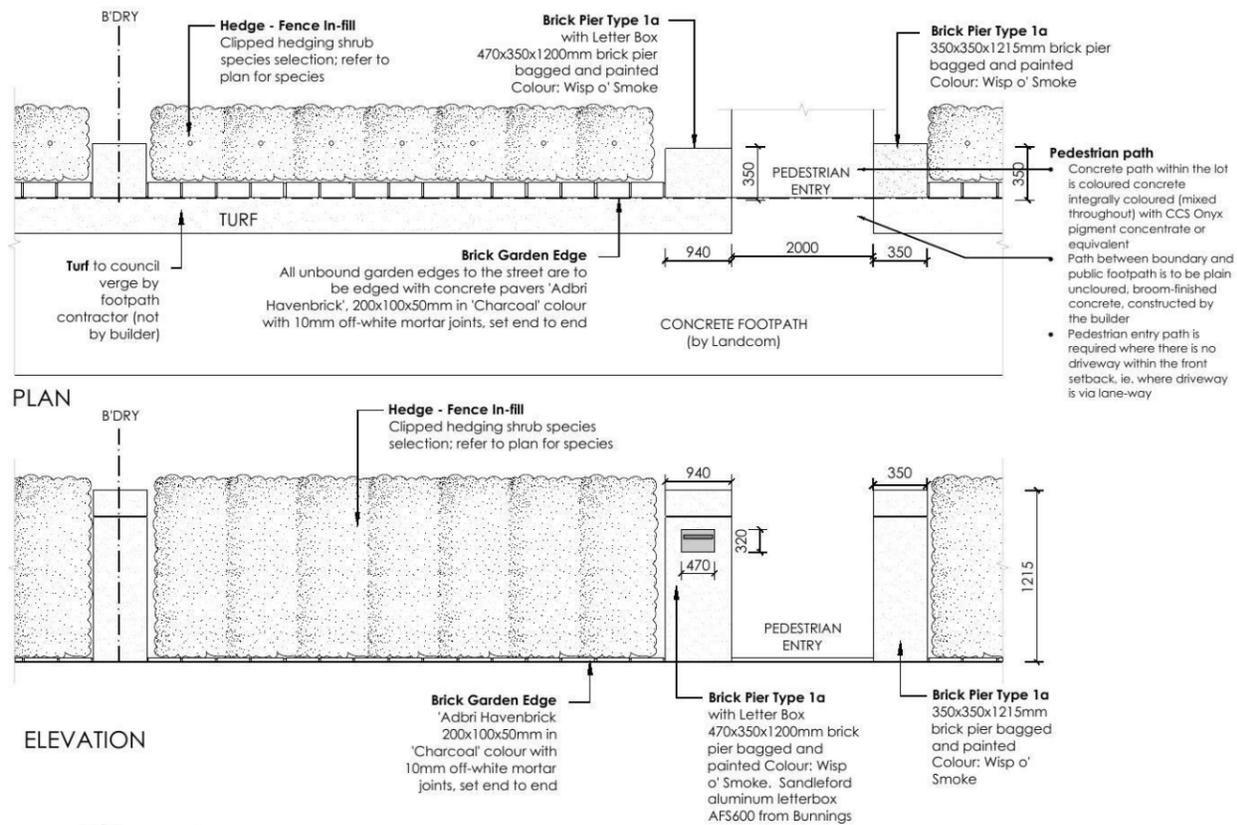
CLIENT: **CHAMPION HOMES**

PROJECT: **NEW RESIDENCE**

DRAWING: **LANDSCAPE PLAN**

SCALE: **1:100 @ A3** | TOUR: **DA** | SHEET: **04**

DRAWN: **RS** | CHECK: **BT** | DATE: **04-06-14** | REVISION: **A**



REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE FOR CLIENT REVIEW	RS	BT	04-06-14

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PROJECT: NEW RESIDENCE

ADDRESS: LOTS 2302+2303 EMPIRE CIRCUIT, PENRITH

CLIENT: CHAMPION HOMES

PROJECT: NEW RESIDENCE

DRAWING: LANDSCAPE PLAN

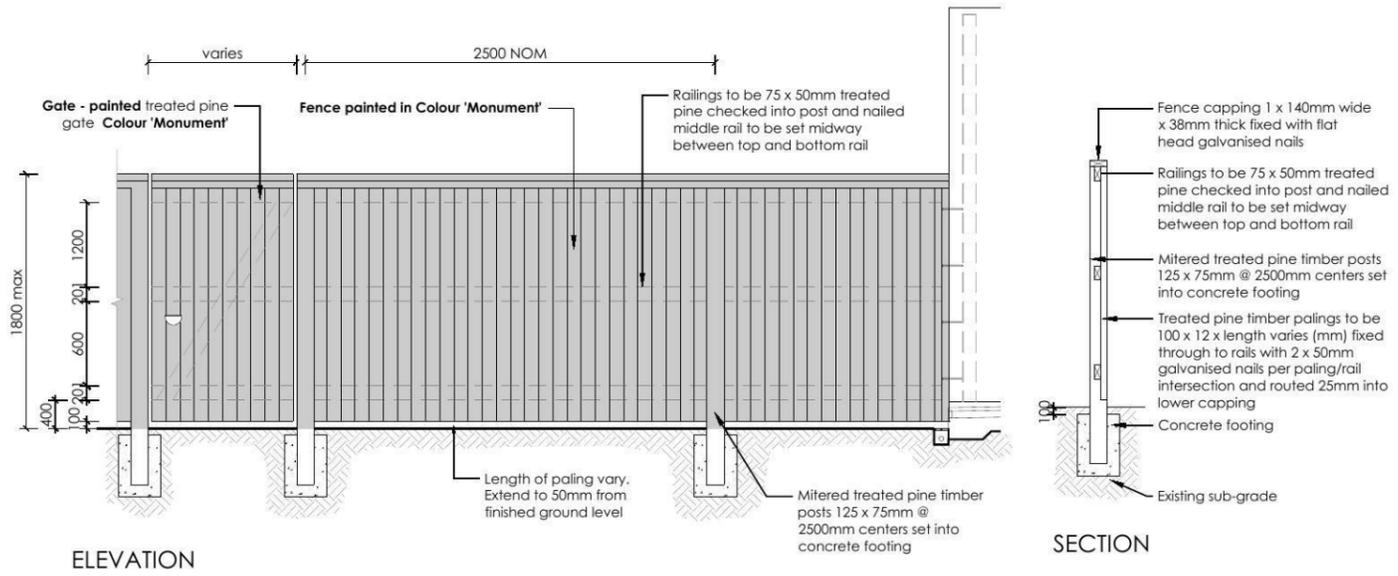
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DATE: 04-06-14

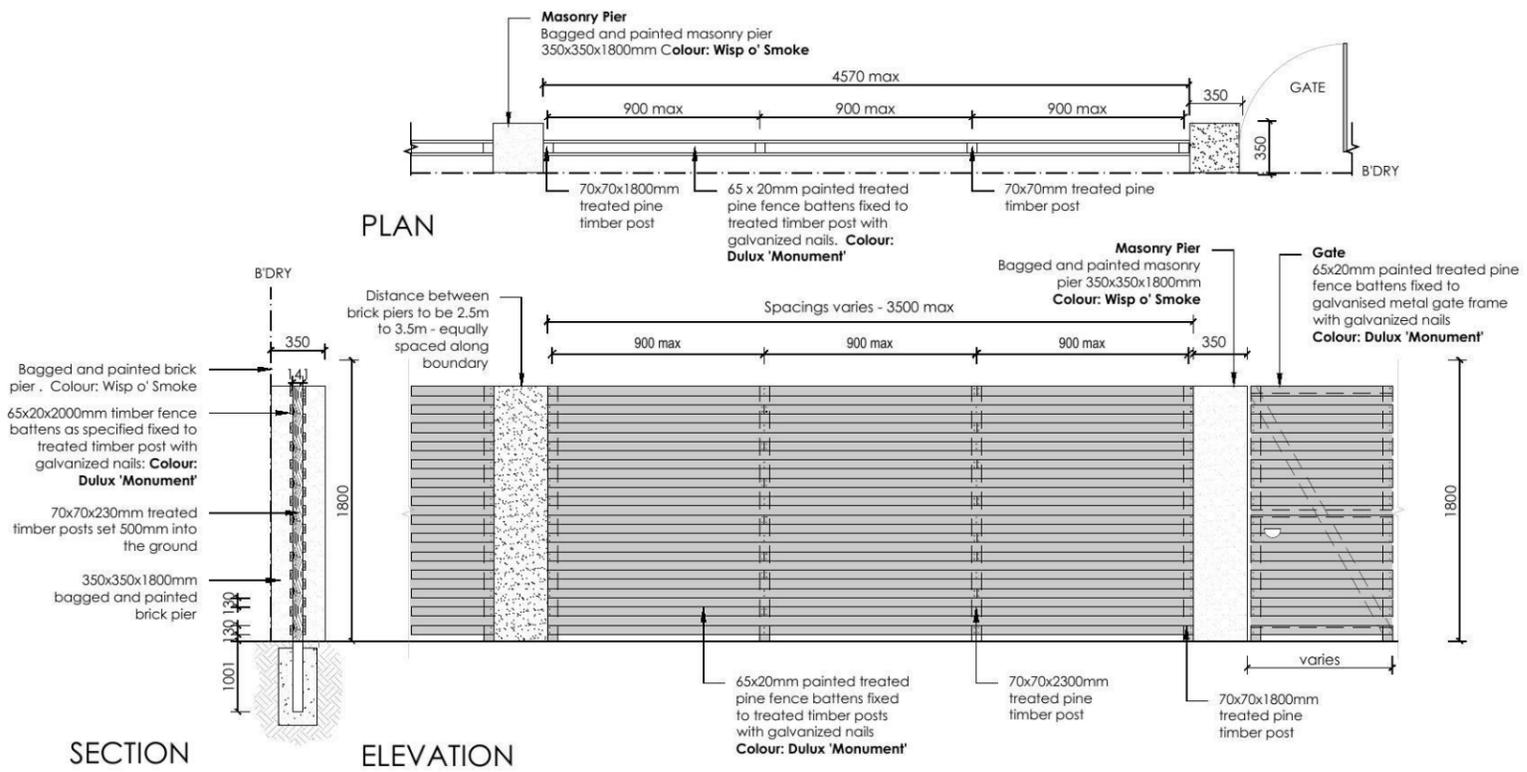
SHEET: 05

DRAWN: RS CHECK: BT

REVISION: A



7 FENCE TYPE 4b - Rear Boundary
 1:50 All Laneways (except Barlett Lane)
 Typical detail



8 FENCE TYPE 2a - Secondary Street Fencing
 1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE FOR CLIENT REVIEW	RS	BT	04-06-14

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ADDRESS: **LOTS 2302+2303 EMPIRE CIRCUIT, PENRITH**

CLIENT: **CHAMPION HOMES**

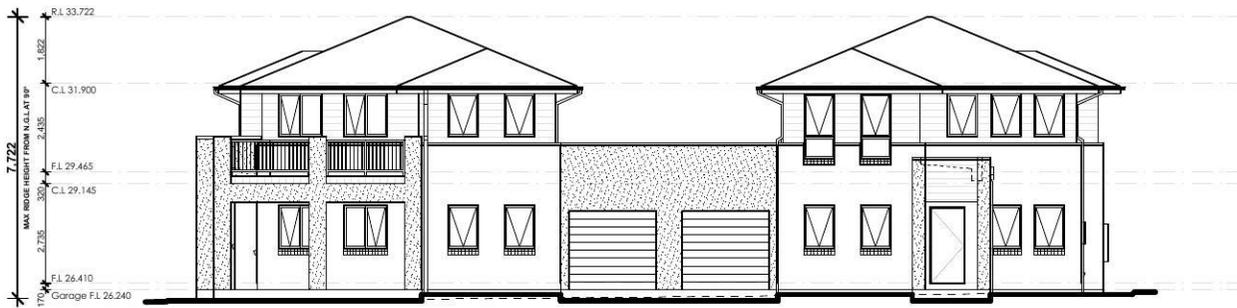
PROJECT: **NEW RESIDENCE**

DRAWING: **LANDSCAPE PLAN**

SCALE: **1:100 @ A3** ISSUE: **DA** SHEET: **06**

DRAWN: **RS** CHECK: **BT** DATE: **04-06-14** REVISION: **A**





Southern Elevation

Not To Scale



Western Elevation

Not To Scale



Northern Elevation

Not To Scale



Eastern Elevation

Not To Scale

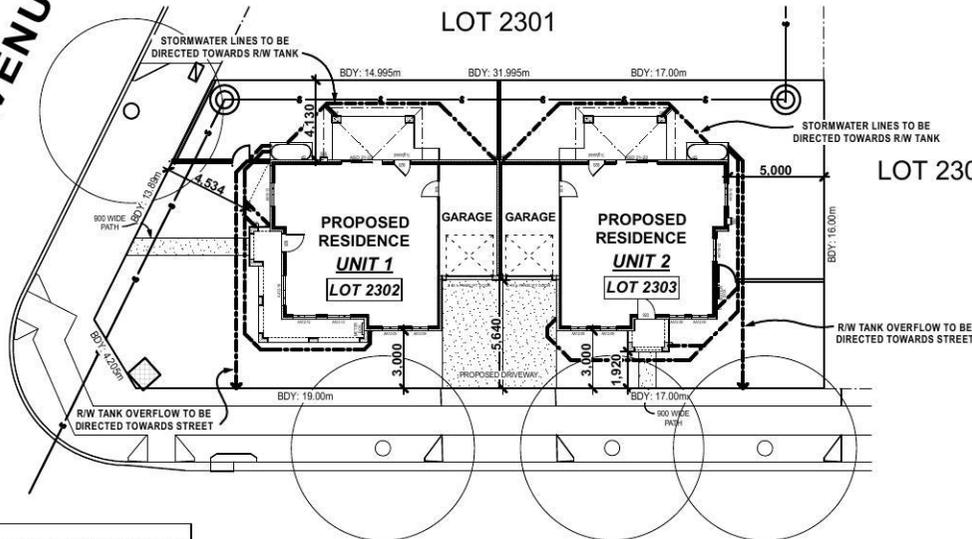


NORTH

LOT 2302
296.8m²

LOT 2303
272m²

COMBEWOOD AVENUE



NOTE:
STORMWATER DESIGN COMPLIES TO
COUNCIL CODES & REQUIREMENTS

Proposed Site Plan

Not To Scale

EMPIRE CIRCUIT

NOTIFICATION PLAN



Proposed Duplex
at Lot : 2302 & 2303
Crn Combwood Ave, Empire Cct
Thornton. (Penrith)

NOTE:
 FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.
 FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.

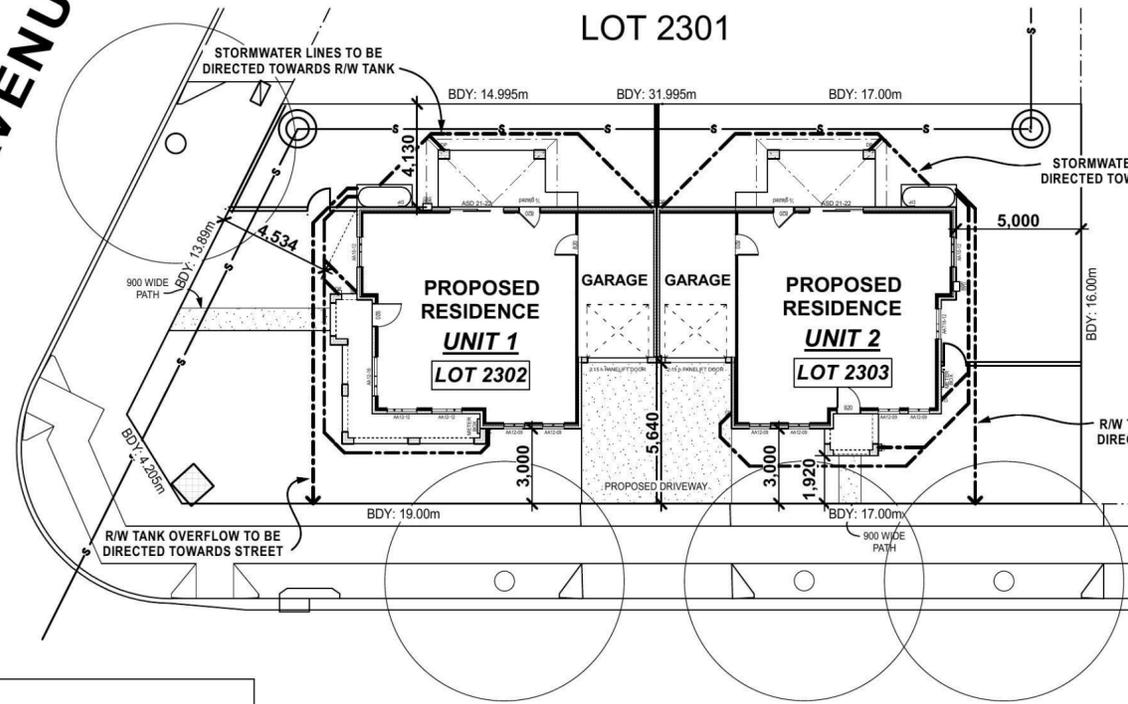


NORTH

LOT 2302
296.8m²

LOT 2303
272m²

COMBEWOOD AVENUE

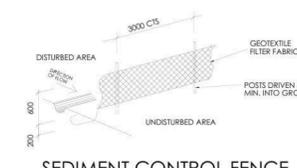
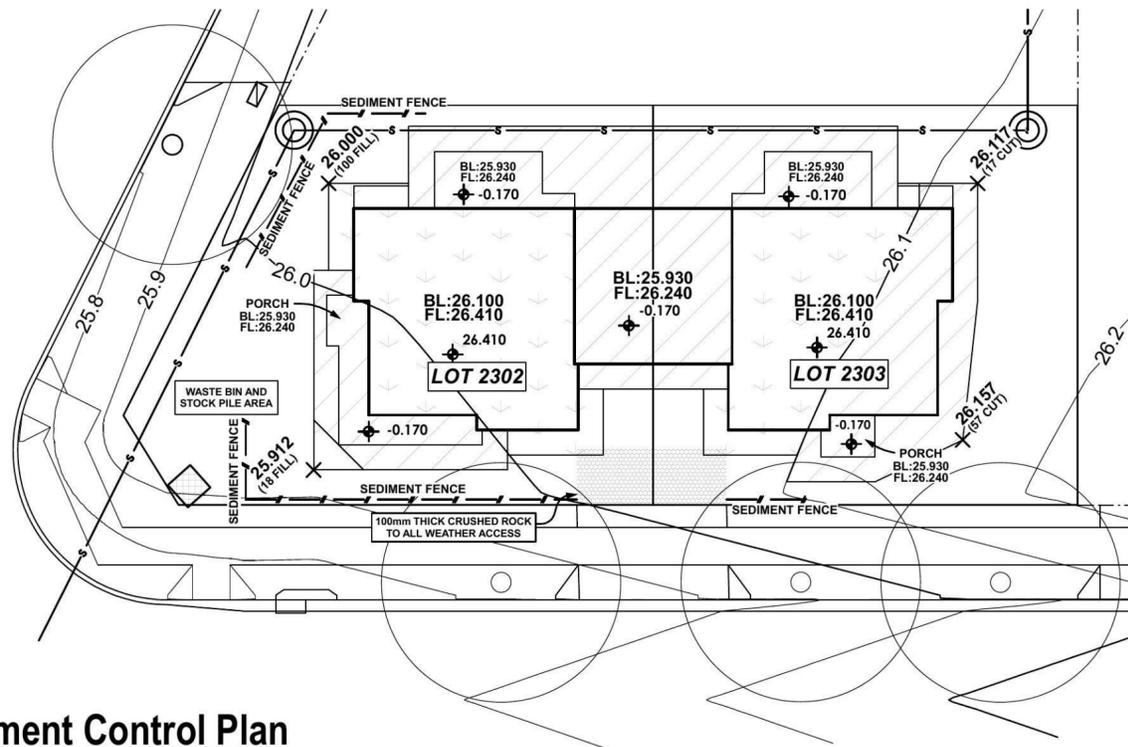


NOTE:
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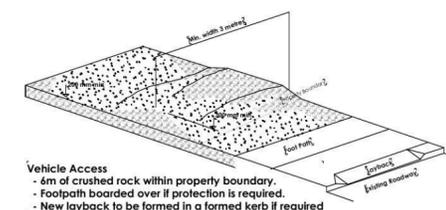
Proposed Site & Drainage Plan

SCALE 1:200

EMPIRE CIRCUIT



SEDIMENT CONTROL FENCE



Vehicle Access
 - 4m of crushed rock within property boundary.
 - Footpath boarded over if protection is required.
 - New layback to be formed in a formed kerb if required.

Erosion & Sediment Control Plan

SCALE 1:200

Figured dimensions to be used in preference to scaling this drawing.
 Do not assume - if in doubt ASK.

SITE PLAN
 ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY.
 FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT.
 SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS
 REMAIN AT THE DISCRETION OF THE BUILDER.

Plot Date
 Tue 05 Aug 2014

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED

Wind Speed category is
TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY. BOTH UNITS	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	115 mm FROM F.F.L.



Suite 1, Level 1,
 600 Hoxton Park Rd,
 Hoxton Park, N.S.W. 2171.
 P.O. Box 95 Hoxton Park,
 N.S.W. 2171.
 Telephone (02) 9825 8000
 Fax (02) 9825 8110
 Builders Licence No. 92732C

Revision	Date	Amendment
C	05.08.14	DA PLANS - MT
B	17.07.14	CONTOUR SURVEY ADDED - BT
A	26.05.14	CONTRACT DRAWINGS - BT

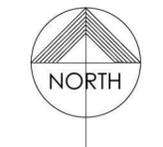
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Proposed Duplex
 at Lot : 2302 & 2303
 Crm Combwood Ave, Empire Cct
 Thornton. (Penrith)

Client :	Champion Homes
Sheet Size: A2	Date: 26.05.14 Drawn:BT
Design :	Custom Duplex
Job No. 3223N	3224N
	Sheet 1 of 8

NOTE:
FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.

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NORTH

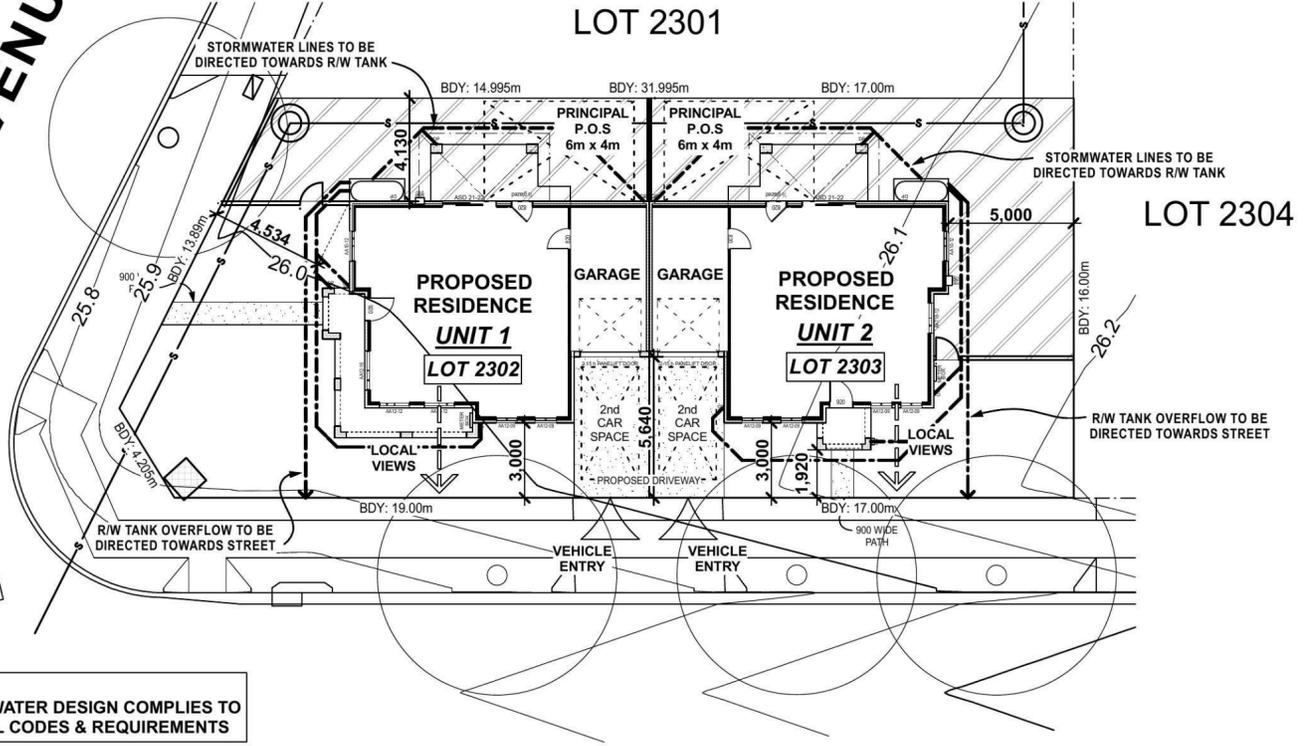
LOT 2302
296.8m²

LOT 2303
272m²

COMBEWOOD AVENUE

S/W BREEZES

NOTE:
STORMWATER DESIGN COMPLIES TO COUNCIL CODES & REQUIREMENTS



NORTH PENRITH " THORTON" REQUIREMENTS:

UNIT 1 SITE AREA: 296.8m²

PRIVATE OPEN SPACE:
(Min 2.0m Wide)
REQUIRED: 20% or 59.36m²
ACHIEVED: 22% or 64.24m²

LANDSCAPE AREA:
ACHIEVED: 52% or 154.67m²

CARPARKING:
REQUIRED: 2 SPACES
ACHIEVED: 2 SPACES

NORTH PENRITH " THORTON" REQUIREMENTS:

UNIT 2 SITE AREA: 272m²

PRIVATE OPEN SPACE:
(Min 2.0m Wide)
REQUIRED: 20% or 54.40m²
ACHIEVED: 37% or 101.54m²

LANDSCAPE AREA:
ACHIEVED: 53% or 143.54m²

CARPARKING:
REQUIRED: 2 SPACES
ACHIEVED: 2 SPACES

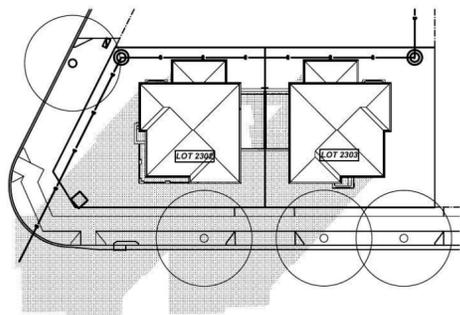
EMPIRE CIRCUIT

Shadow Diagrams

NORTH

LOT 2302
296.8m²

LOT 2303
272m²

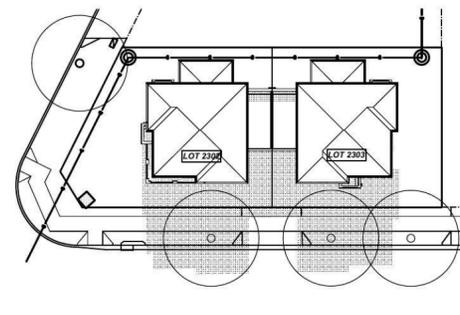


June 21st - 9am
SCALE 1:500

NORTH

LOT 2302
296.8m²

LOT 2303
272m²

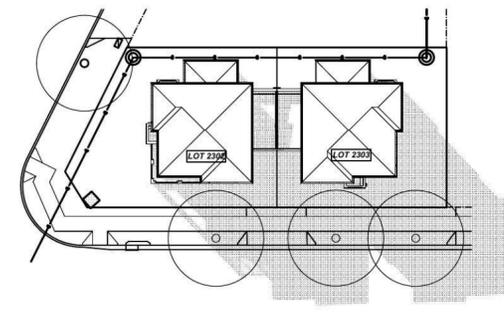


June 21st - 12noon
SCALE 1:500

NORTH

LOT 2302
296.8m²

LOT 2303
272m²



June 21st - 3pm
SCALE 1:500

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

Plot Date
Tue 05 Aug 2014

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Simply the Best

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Proposed Duplex
at Lot : 2302 & 2303
Crn Combwood Ave, Empire Cct
Thornton. (Penrith)

Client :
Champion Homes

Sheet Size: A2 Date: 26.05.14 Drawn:BT

Design :
Custom Duplex

Job 3223N
No. 3224N

Sheet 2 of 8