

# Documentation for Werrington Downs Neighbourhood Centre

## ARCHITECTURAL DRAWING SCHEDULE

DRAWING No.	DESCRIPTION	REV
GE - 001	GENERAL COVERSHEET	D
GE - 002	GENERAL SPECIFICATION	D
GE - 003	GENERAL FINISHES SCHEDULE	D
GE - 004	GENERAL FINISHES SCHEDULE	D
GE - 005	GENERAL FIXTURES AND FITTING SCHEDULE	D
GE - 006	DOOR + WINDOW SCHEDULE	D
<b>WERRINGTON DOWNS NEIGHBOURHOOD CENTRE</b>		
WD - 001	WERRINGTON - SITE PLAN + SCOPE OF WORKS	D
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WD - 003	WERRINGTON - GROUND FLOOR DEMOLITION	D
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## GENERAL ABBREVIATIONS

ADJ.	Adjustable
AMB	Ambulant
BCT	Baby Change Table
CL	Centre Line
CPT	Carpet
COL.	Column
CONC.	Concrete
COS	Check on site
CUPBDS.	Cupboard
C/T	Cooktop
DG	Door grille
DOCS.	Documentation
DRY	Dryer
ENG.	Engineer
EQ	Equal
ER	Epoxy Resin Flooring
ERC	Epoxy Resin Coving
EX.	Existing
F	Fridge
FHR	Fire Hose Reel
FR	Freezer
FW	Floor Waste
GR	Grab Rail
HB	Hand Basin
HC	Cold Water Stop Cock Valve
HD	Hand Dryer
HWB	Hand Wash Basin
KB	Kick Board
MI	Mirror
MW	Microwave
O/H	Overhead
OV	Oven
PTD	Paper Towel Dispenser
R/H	Rangehood
SB	Splash Back
SHWR	Shower
SK	Sink
SPEC.	Specification
SS	Stainless Steel
TAP	Tap
TRH	Toilet Paper Roll Holder
VN	Vinyl
VNC	Vinyl Coving
WC	Toilet Pan
W/	With
WM	Washing Machine

## CONSULTANT DRAWING SCHEDULE

DRAWING No.	DESCRIPTION	REV
400	PROJECT STRUCTURAL NOTES	B
401	GROUND FLOOR WORKS PLAN	B
402	GROUND FLOOR WORKS DETAILS	B
403	CEILING FRAME LAYOUT	B
E200	ELECTRICAL SERVICES, LEGEND	T1
E201	ELECTRICAL SERVICES SITE PLAN AND DEMOLITION LAYOUT	T1
E202	ELECTRICAL SERVICES LIGHTING, POWER LAYOUT	T1
E203	ELECTRICAL SERVICES SCHEMATICS	T1
H01	LEGEND, NOTES AND SITE PLAN	B
H02	HYDRAULIC SERVICES PLAN	B

D	Issue for Tender	JOS	09/09/19	-		
C	Issue for Tender	JOS	08/08/19	-		
B	Final Issue for Review	JOS	04/06/19	-		
A	Preliminary Issue for Review	JOS	29/03/19	-		
No.	Revision - Revise on CAD do not amend by hand	Checked	Approved	Date	M/Fim	Status

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Client and Job		Penrith City Council Documentation for Werrington Downs Neighbourhood Centre	
Title		GENERAL COVER SHEET	
Drawn	Designed		
Drafting Check	Design Check		
Approved			
Drg. No.		2935 - GE - 001	
Size		A1	
Rev		D	

This Drawing must not be used for Construction unless signed as Approved

General Requirements

Structural: If required, provide structures, installations and components to the AS 1170 series.
General: The works include development of the design beyond that documented, as required.
Design by contractor: If the contractor provides design, use only appropriately qualified persons and conform to all statutory requirements.
Conflict with the documents: If it is believed that a conflict exists between statutory requirements and the documents, notify the contract administrator immediately and provide a recommendation to resolve the conflict.
Use documents which are the editions, with amendments, current 3 months before the closing date for tenders, except where other editions or amendments are required by statutory authorities.
The following abbreviations apply:
- AS: Australian Standard.
- BCA: National Construction Code Series Volume One: Building Code of Australia Class 2 to 9 Buildings and Volume Two: Building Code of Australia Class 1 and Class 10 Buildings.
- WHS: Work Health and Safety.
The following definitions apply:
- Access for maintenance: Includes access for maintenance, inspection, measurement, operation, adjustment, repair, replacement and other maintenance related tasks.
- Contract administrator: Has the same meaning as architect or superintendent and is the person appointed by the owner or principal under the contract.
- Contractor: Has the same meaning as builder and is the person or organisation bound to carry out and complete the work under the contract.
- Documented: Documented, as documented and similar terms mean contained in the contract documents.
- Joints:
. Control joint: An unreinforced joint between or within discrete elements of construction which allows for relative movement of the elements.
. Expansion joint: A closing control joint with the joint surfaces separated by a compressible filler to allow axial movement due to thermal expansion or contraction with changes in temperature or creep. It may include unbound dowels to assist vertical deflection control.
- Local (government) authority: A body established for the purposes of local government by or under a law applying in a state or territory.
- Manufacturer's recommendations: Recommendations, instructions, requirements, specifications (and similar expressions) provided in written or other form by the manufacturer and/or supplier relating to the suitability, use, installation, storage and/or handling of a product.
- Practical completion or defects free completion: The requirements for these stages of completion are defined in the relevant building contract for the project.
- Principal: Principal has the same meaning as owner, client and proprietor and is the party to whom the contractor is legally bound to construct the works.
- Proprietary: Identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number.
- Provide: Provide and similar expressions mean supply and install and include development of the design beyond that documented.
- Record drawings: Record drawings has the same meaning as as-installed drawings, as-built drawings and work-as-executed drawings.
- Required: Required by the contract documents, the local council or statutory authorities.
- If required: A conditional specification term for work which may be shown in the documents or is a legislative requirement.
- Tolerance: The permitted difference between the upper limit and the lower limit of dimension, value or quantity.
- Verification: Provision of evidence or proof that a performance requirement has been met or a default exists.
General: Layouts of service lines, plant and equipment shown on the drawings are diagrammatic only, except where figured dimensions are provided or calculable.
Before commencing work:
- Obtain measurements and other necessary information.
- Coordinate the design and installation in conjunction with all trades.
If holes and chases are required in masonry walls, make sure structural integrity of the wall is maintained.

If a warranty is documented, name the principal as warrantee. Register with manufacturers as necessary. Retain copies delivered with components and equipment.
Before the date for practical completion, clean throughout, including all exterior and interior surfaces except those totally and permanently concealed from view.
Demolition (Interior and Alterations)
Requirement: Carry out demolition, as documented.
Demolition: To AS 2601.
Evidence of compliance: Before commencing demolition, submit evidence of the following:
- A permit to demolish has been obtained from the appropriate authority.
- Certification that each person having access to the construction site has completed a WHS induction training procedure which is site-specific.
Prepare a Hazardous substances management plan to AS 2601 clause 1.6. Any hazardous materials are to be removed in accordance with AS 2601 clause 1.6.2.
Submit a work plan before demolition or stripping work.
Submit the locations and evidence of compliance with the relevant authorities for the disposal of material required to be removed from the site.
Dilapidation record: Submit a copy of the dilapidation record including photographs as required for each site before commencement of work. The dilapidation record will be used to assess the damage and rectification work arising out of demolition work.
Give notice so that inspection may be made of the services before disconnection or diversion, contents of building before commencement of demolition and the site after removal of demolished materials.

Until permanent support is provided, provide temporary support for sections of existing buildings which are to be altered and which normally rely for support on work to be demolished.
Prevent the encroachment of demolished materials onto adjoining areas of the buildings not affected by the works and including public places.
Provide dust-proof screens, bulkheads and covers to protect existing finishes and the immediate environment from dust and debris.
If an external wall or roof is opened for alterations and additions, provide security against unauthorised entry to the building.
Decommission, isolate, demolish and remove from the site all existing redundant equipment including associated components that become redundant as a result of the demolition.
Clear away temporary supports at completion of demolition and repair any damage arising out of demolition work.

Brick and Block Construction
Requirement: Provide brick and block construction, as documented.
Materials and construction: To AS 3700.
Angles and flats: To AS/NZS 3679.1.
Standard: To AS/NZS 2699.1.
Bond: Stretcher bond.
Provide a control joint where joining to existing structures. Do not tooth new masonry into existing work unless approved by a professional engineer.
General: Regulate the rate of construction to eliminate joint deformation, slumping or instability.

Cubicle Systems
Provide cubicles, as documented.
Submit samples of each selected panel and door finish, at least 300 x 300 mm, with associated selected edge strips and trims.
Submit the manufacturer's published product warranties.
Compact high pressure decorative laminate panels with an integral surface finish and edges sealed by the manufacturer.
Submit shop drawings to PCC manager for review prior to ordering

Install timber battens as follows:
- Where framing member spacing exceed the recommended spacing.
- If required to support fixtures.
Flush joints: Provide recessed edge sheets and finish flush using perforated paper reinforcing tape.
Wet areas: Install additional supports, flashings, trim and sealants as required.
Provide trim such as beads, mouldings and stops to make neat junctions between lining components, finishes and adjacent surfaces.

Fire Extinguishers and Blankets
Provide fire extinguishers and fire blankets to all kitchens as per Australian Standards.
Provide portable fire extinguishers and location signs to AS 1841 and AS2444.
Provide fire blankets To AS/NZS 3504.

Doors and Access Panels
Provide doors, frames, doorsets, security screen doors and fire-resisting doorsets, as documented.
Steel Frames: Continuously welded from metallic-coated steel sheet sections, including accessories such as buffers, strike plates, spreaders, mortar guards, switch boxes, fixing ties or brackets, and cavity flashing with provision for fixing documented hardware and electronic security assemblies, and prefinished with a protective coating.
Timber Frames: To AS 2796.1:
Provide flush doors of balanced construction.
Cellular core and intermediate rail core flush doors:
- Provide a subframe of 25 mm minimum width timber around openings for louvres and glazing.
- Provide additional material to take hardware, fastenings and grooves.
Solid core: Solid flush doors as follows:
- Flush door with blockboard: Core plate of timber strips laid edge to edge, fully bonded to each other and to facings each side of no less than two sheets of timber veneer.
Medium density fibreboard doors: Single thickness of moisture resistant general purpose medium density fibreboard with the same surface finish to both sides, for internal use.
Provide a weather bar under hinged external doors, locate under the centres of closed doors.
Install the frames plumb, level, straight and true.
Build steel frames into masonry: Attach galvanized steel rods to jambs, build in and grout up.
Build timber frames into masonry: Screw galvanized steel brackets twice to jambs and build in.
Install flashings, weather bars, drips, storm moulds, caulking and pointing to prevent water from penetrating the building between the door frame and the building structure under the prevailing service conditions, including normal structural movement of the building.
Prime timber door leaves on top and bottom edges before installation.
Make sure moving parts operate freely and smoothly, without binding or sticking, at correct tensions or operating forces and that they are lubricated where appropriate.

Metalwork - Fabricated
Provide metal fixtures, as documented.
Submit shop drawings to a scale that best describes the detail.
Submit names and contact details of proposed suppliers and installers.
Provide non-galvanic corrosion fasteners.
Fixing to stainless steel: Provide appropriate stainless steel materials only.
Fabricate and pre-assemble items in the workshop wherever practicable.
affected joint surfaces.

Waterproofing - Wet Areas
Provide wet area waterproofing systems below all tile installations. Grade to floor wastes, to dispose of water without ponding. Prevent moisture entering the substrate or adjacent areas
Standard: To AS 3740..
Provide a proprietary membrane systems certified as suitable for the intended wet area waterproofing.
Membrane directly under the floor finish: Make sure the fall in the substrate conforms to the fall documented for the finish.
Protect membrane from damage during installation and for the period after installation until the membrane achieves its service characteristics that resist damage.
Waterproof or water resistant surfaces: To the requirements of BCA F1.7. Builder to provide Waterproof Certificate to PCC manager.

Ceramic Tiling
Provide tiling systems to walls, floors and other substrates as documented.
- Set out with joints accurately aligned in both directions and wall tiling joints level and plumb.
- Direct all water flowing from supply points to drainage outlets without leakage to the substrate or adjacent areas.
Slip resistance classification: To AS 4586.
Submit labelled samples of tiles illustrating the range of variation in colour and finish.
Sample panels: Prepare a sample panel of each type of tiling system as follows:
Cement based proprietary grout: Mix with water. Fine sand may be added as a filler in wider joints.
Provide Epoxy grout to kitchen.
Cutting: Cut tiles neatly to fit around fixtures and fittings and at margins where necessary. Drill holes without damaging tile faces. Cut recesses for fittings such as soap holders. Rub edges smooth without chipping.
Laying: Return tiles into sills, reveals and openings. Butt up to returns, frames, fittings, and other finishes. Strike and point up beds where exposed. Remove tile spacers before grouting.
Set out tiles to give uniform joint widths.
Set out tiles from the centre of the floor or wall to be tiled.
Grade floor tiling to even and correct falls to floor wastes and elsewhere as required. Make level junctions with walls. Where falls are not required, lay level.
Fall, general: 1:100 minimum.
Maintain finished floor level across changes of floor finish including carpet.
Resilient Finishes
Provide resilient floor finishes to substrates, as documented.
Slip resistance classification: To AS 4586.
Submit manufacturer's published use, care and maintenance requirements for each type of finish.
Submit labelled 450mm x 450mm labelled samples of resilient finishes illustrating the range of colour, pattern or texture of the product.
Submit the manufacturer and installer's warranty of the material, workmanship and application.
Critical radiant flux: To BCA Spec C1.10 tested to AS ISO 9239.1.
Adhesives to be to the resilient finishes manufacturer's recommendations.
Use specialist installers recommended by the material manufacturers.
Set out sheets to give the minimum number of joints. Run sheet joints parallel with the long sides of floor areas.
Maintain finished floor level across changes of floor finish including carpet.
After fixing, groove the seams using a grooving tool and weld the joints with matching filler rod, using a hot air welding gun. When the weld rod has cooled, trim off flush.
Provide purpose-made matching moulded accessories for nosings, coves, skirtings, edge cover strips and finishes at junctions, margins, and angles, if available.
Provide edge cover strips at junctions with different floor finishes and to exposed edges.
Carry the flooring material up over a profiled coving section to form the skirting and mitre and weld all joints. Make sure the radius of the coving section conforms to the floor finish manufacturer's recommendations for sheeting material and thickness.

Painting
Provide coating systems to substrates, as documented.
Store materials not in use in tightly covered containers in well-ventilated areas with temperatures maintained at the manufacturer's recommendations.
Paint types: To AS/NZS 2311.
Before painting, clean the area and protect it from dust contamination. Use drop sheets and masking agents to protect surfaces, including finished surfaces and adjacent finishes, during painting.
Fixtures and furniture: Remove door furniture, switch plates, light fittings and other fixtures before painting.
Prepare substrates to receive the painting systems to the paint manufacturer's recommendations.
Fill cracks and holes with fillers, sealants, putties or grouting cements as appropriate for the finishing system and substrate, and sand smooth.
If the paint application is by spraying, use conventional or airless equipment which conforms to the following:
- Satisfactorily atomises paint being applied.
- Does not require paint to be thinned beyond the maximum amount recommended by the manufacturer.
- Does not introduce oil, water or other contaminants into the applied paint.
Maintain door leaf in the open position during drying. Do not allow door hardware or accessories to damage the door finish during the drying process.
Remove masking and protection coverings before paint has dried.
On completion of painting, remove splatters by washing, scraping or other methods which do not scratch or damage adjacent finished surfaces.
Repair, replace or refinish any damage, including works of other trades. Touch up new damaged decorative paintwork or misses only with the paint batch used in the original application.
Except where one or two coat systems are documented, each paint system consists of at least 3 coats.

Lining
Provide internal lining systems, as documented and suitable substrate for the nominated final finish.
Substrates: Plumb, level, in true alignment and to the lining manufacturer's recommendations.
Timber, steel framing and battened masonry: To AS/NZS 2589 clause 4.2.
Plasterboard: To AS/NZS 2588.
Fibre Cement: To AS/NZS 2908.2.
Wall and ceiling linings: Type B category 2.
As shown on drawings. Minimum thickness: 6.0 mm.
Before fixing linings, check and adjust the alignment of substrates or framing, if necessary.
Fix battens at each crossing with structural framing members, to solid walls or ceiling support. Provide wall plugs in solid substrates.
Provide accessories and trim as necessary to complete the installation.

Investigations
Prior to commencement of work onsite, investigate the existing stormwater and sewage networks through the use of cameras and leak detection equipment.
Provide a detailed condition report to the client for results and recommendations for potential remediation works.

Architectural drawing grid with columns 1-12 and rows A-H.

Revision table with columns: No., Revision, Revison on CAD do not amend by hand, Checked, Approved, Date, M/F/In, Status.

Scale 0 1 2 1:50. A1 UNREDUCED. 1:50 AT A1, 1:100 AT A3. PRELIMINARY ISSUE FOR REVIEW.

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Table with columns: Drawn, Designed, Drafting Check, Design Check, Approved.

Client and Job: Penrith City Council. Documentation for Werrington Downs Neighbourhood Centre. Title: GENERAL SPECIFICATION NOTES. Drg. No.: 2935 - GE - 002. Size: A1. Rev: D.

**FINISHES SCHEDULE**

**FLOOR SCHEDULE**

<b>VN1</b>	<b>FLOOR SURFACE HALL ONLY – VINYL</b> Tarkett
Brand	Accent Ruby
Model	Wood Plank - colour TBC
Type	Provide Brushed Aluminium Skirting
Note	
<b>VN2</b>	<b>FLOOR SURFACE ALL OTHER SPACES – VINYL</b>
Brand	Gerflor
Model	Tarasafe Super
Type	Dove Grey - 7767
Note	R12 Slip Resistance Lay on suitably prepared subfloor. Hot welded colour joints to match as required Min 25mm radius in corners and continue up at all wall junctions or kickplates 150mm. Cove to have a preformed back piece. Provide suitable cover strips at all thresholds
<b>CT.</b>	<b>FLOOR SURFACE – CERAMIC TILES</b>
Description	Ceramic Tile
Size	300x600 mm Allow for a suitable coved tile to the base of all wet areas
Colour	TBC BY CLIENT
Setout	As shown on drawings Epoxy Grout - Black Provide colour match caulking to all corners
Grout	
Note	Ensure correct slip rating in accordance with Australian Standard Provide 150 H Skirting to non wet areas
Waterproofing	ARDEX WPM 001 one part acrylic modified fibre reinforced membrane installed in accordance with manufacturer's recommendations

**WALL SCHEDULE**

<b>INTERNAL</b>	<b>DOUBLE BRICK</b>	Description New brick veneer wall to match existing Store 01 – None Unisex Access WC – Lining 03 + Wall Tiles Refer Structural Engs. Documents
<b>INTERNAL</b>	<b>TIMBER STUD</b>	Description 90 x 35mm MG10 Timber studs at max 450mm crs Store 01 – Lining 01 Hall – Lining 02 Foyer – Lining 03 Wet Areas – Lining 03 + Wall Tiles Store 02, 03 – Lining 03 Refer Structural Engs. Documents
<b>LINING 01</b>	<b>PLASTERBOARD ON BATTENS FIXED TO EXISTING BRICKWORK</b>	Lining 9mm Plasterboard on 35mm Furring Channels. Lining to be flushed ready for paint Finish Paint to all exposed surfaces Tape set and sand all joints as required Skirting Brushed Aluminium Skirting Notes Refer to detail for Head + Sill finishes at existing windows Omit furring channels when structure is new studwork
<b>LINING 02</b>	<b>PLASTERBOARD + FC ON BATTENS FIXED TO EXISTING BRICKWORK</b>	Lining 01 9mm Plasterboard on 35mm Furring Channels. Lining to be flushed ready for paint Lining 02 9mm Fibre Cement on 35mm Furring Channels. Lining to be flushed ready for paint Finish Paint to all exposed surfaces Tape set and sand all joints as required Skirting Brushed Aluminium Skirting Notes Coved Tile to wet areas Refer to detail for Head + Sill finishes at existing windows Provide Tasmanian Oak 40 x 8mm PORTA Rounded Edging Bead to junction between linings. Refer to drawings for heights.
<b>LINING 03</b>	<b>FC ON BATTENS FIXED TO EXISTING BRICKWORK</b>	Lining 9mm Fibre Cement on 35mm Furring Channels. Lining to be flushed ready for paint Finish Paint to all exposed surfaces Notes Tape set and sand all joints as required Refer to detail for Head + Sill finishes at existing windows Omit furring channels when structure is new studwork
<b>EXTERNAL</b>	<b>9MM VITRAPANEL CFC WALL SYSTEM</b>	Lining 9mm CFC VitraPanel on CSR Express wall system Finish Prefinished. Refer to Paint schedule for colour. Notes Refer to typical CSR express wall design manual for typical details Allow to adjust barge boards and flashings to suit new increased wall thickness
<b>INTERNAL</b>	<b>CERAMIC TILE</b>	Description Ceramic Tile Size 200x400 mm Colour Gloss White Setout As shown on drawings Grout Epoxy Grout – Black Note Tiles to be provided behind all fittings and fixture Provide colour match caulking to all corners Waterproofing Provide Cove tile to skirting ARDEX WPM 001 one part acrylic modified fibre reinforced membrane installed in accordance with manufacturer's recommendations

**CEILING SCHEDULE**

<b>LINING</b>	<b>GENERAL – PLASTERBOARD SHEET</b>	Fixing Direct fix to trusses Lining 9mm Plasterboard. Lining to be flushed ready for paint Finish Paint to all exposed surfaces.
<b>LINING</b>	<b>WET AREAS – FC SHEET</b>	Fixing Direct fix to trusses or structure Lining 6.0mm Villaboard. Lining to be flushed ready for paint Finish Paint to all exposed surfaces.
<b>CORNICE</b>	<b>SCOTIA CORNICE</b>	Description New cornice to be 90mm Scotia Cornice Existing cornice to be renewed/repared as required Finish Paint to new and existing

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D	Issue for Tender	JOS	09/09/19	-
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Drawn	Designed
Drafting Check	Design Check
Approved	

Penrith City Council  
Documentation for Werrington Downs Neighbourhood Centre

GENERAL FINISHES SCHEDULE

Drg. NO. 2935 - GE - 003

Size A1 Rev D

**METALWORK SCHEDULE**

**DOWNPIPE NEW PVC DOWNPIPE**

Description PVC Downpipe  
 Finish Colorbond (Colour: Monument)  
 Size 100mm with leafeater rainwater heads  
 Protection 2mm Glav Steel shield to 2m high. Paint finish to match  
 Notes DP Provide square to round adapter as required

**GUTTERING** Description Colourbond half round (may need flat back in order to install under existing roof sheet)  
 Size 150m - NO GUTTER GUARD

**MISC. BOLLARDS**

Description Bollards to DDA Carpark - flexible poly type- council to supply details  
 Notes

**MISC. 1200H FENCING + GATE – FRONT ENTRY**

Manufacturer Penrith Wrought Iron  
 Description To match existing 1200H fencing  
 Fixing As per manufacturers details  
 Colour To match existing  
 Notes Provide pool latch and self closing hinges to AS2820. Gate to provide a min. 1m clear opening

**PAINTING SCHEDULE**

**DOOR PANEL + FRAME COLOUR**

System Paint: Dulux Enamel Semi Gloss. 3 coats. Apply primer, sealer or undercoat to suit substrate in accordance with manufacturer's recommendations.

Preparation In accordance with manufacturer's printed specifications

Colour Dulux – Colorbond Wallaby

Notes Confirm minimum luminance contrast between door leaf and adjacent wall is provided in accordance with AS1428.1 2009

Generally coat all new work with one base coat and two top coats allowing for suitable preparation work and sanding between coats as required. Extend new paintwork into the nearest practical corners/junctions when blending into existing work. Ensure clean up carried out in a suitable location away from stormwater drains.

**WALLS FIBRE CEMENT LINING – INTERNAL WALLS**

System Paint: Dulux Wash & Wear Plus Low Sheen. 3 coats. Apply primer, sealer or undercoat to suit substrate in accordance with manufacturer's recommendations.

Preparation In accordance with manufacturer's printed specifications

Colour Dulux – 'Hogs Bristle' ½ strength

Notes Generally coat all new work with one base coat and two top coats allowing for suitable preparation work and sanding between coats as required. Extend new paintwork into the nearest practical corners/junctions when blending into existing work. Ensure clean up carried out in a suitable location away from stormwater drains.

**WALLS PLASTERBOARD LINING – INTERNAL WALLS**

System Paint: Dulux Wash & Wear Plus Low Sheen. 3 coats. Apply primer, sealer or undercoat to suit substrate in accordance with manufacturer's recommendations.

Preparation In accordance with manufacturer's printed specifications

Colour Dulux – 'Hogs Bristle' ½ strength

Notes Generally coat all new work with one base coat and two top coats allowing for suitable preparation work and sanding between coats as required. Extend new paintwork into the nearest practical corners/junctions when blending into existing work. Ensure clean up carried out in a suitable location away from stormwater drains.

**WALLS CFC – EXTERNAL CLADDING**

System Pre-painted by supplier - Vitrapanel 4735 4122

Colour Mid Grey

Notes Pre-finished by supplier using manufacturers coating system

**CEILING PLASTERBOARD CEILING LINING – INTERNAL CEILINGS**

System Paint: Dulux Ceiling White. 3 coats. Apply primer, sealer or undercoat to suit substrate in accordance with manufacturer's recommendations.

Preparation In accordance with manufacturer's printed specifications

Colour Dulux – 'Ceiling White'

Notes Generally coat all new work with one base coat and two top coats allowing for suitable preparation work and sanding between coats as required. Extend new paintwork into the nearest practical corners/junctions when blending into existing work. Ensure clean up carried out in a suitable location away from stormwater drains.

**CEILING**

**FIBRE CEMENT CEILING LINING – WET AREAS**

System Paint: Dulux Ceiling White. 3 coats. Apply primer, sealer or undercoat to suit substrate in accordance with manufacturer's recommendations.

Preparation In accordance with manufacturer's printed specifications

Colour Dulux – 'Ceiling White'

Notes Generally coat all new work with one base coat and two top coats allowing for suitable preparation work and sanding between coats as required. Extend new paintwork into the nearest practical corners/junctions when blending into existing work. Ensure clean up carried out in a suitable location away from stormwater drains.

**CONCRETE**

**CLEAR COAT – EXTERNAL CONCRETE**

System CCS Streetscape penetrating silane-siloxane sealer.

Preparation In accordance with manufacturer's printed specifications

Colour Clear

**MISC.**

**TIMBER / TRIMS**

System Paint: Dulux Aquanamel Semi Gloss. 3 coats. Apply primer, sealer or undercoat to suit substrate in accordance with manufacturer's recommendations.

Preparation In accordance with manufacturer's printed specifications

Colour Dulux – 'Hogs Bristle' ½ strength

Notes Confirm minimum luminance contrast between door leaf and adjacent wall is provided in accordance with AS1428.1 2009

Generally coat all new work with one base coat and two top coats allowing for suitable preparation work and sanding between coats as required. Extend new paintwork into the nearest practical corners/junctions when blending into existing work. Ensure clean up carried out in a suitable location away from stormwater drains.

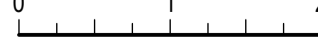
**ROOF**

System Paint; Acraflex or similar approved roof paint system with relevant warranties spray applied to existing colourbond sheet

Preparation In accordance with paint manufacturers instructions - minimum wash down and primer

Colour Colourbond Woodland Grey

D	Issue for Tender	JOS	09/09/19	-
C	Issue for Tender	JOS	08/08/19	-
B	Final Issue for Review	JOS	04/06/19	-
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Penrith City Council  
 Documentation for Werrington Downs Neighbourhood Centre

GENERAL FINISHES SCHEDULE

Drg. NO. 2935 - GE - 004

Size A1 Rev D

**FIXTURES AND FITTINGS SCHEDULE**

- Notes:**
- All exposed supply pipework connecting to bottle traps etc to be chrome plated copper
  - All waste and water reticulation to be concealed in walls and ceiling spaces. Where tiling has been provided tapsets and shower heads can be chased into walls.

**WET AREA SCHEDULE**

TOILETS	
WC	Caroma – Contemporary Luna Wall Faced Toilet Suite (829710W) To be installed on silicon with a silicon joint installed around the pan and cistern and between the pan and cistern connection
WC Ambulant	Liano Cleanflush easy height wall faced toilet suite Liano Care single flap seat. Installation to be compliant with AS1428 To be installed on silicon with a silicon joint installed around the pan and cistern and between the pan and cistern connection
HB	Basin Wall Mounted Porcher – Studio Wall Basin 450mm 3 tap hole
Tap Basin Set	Posh – Solus Basin Set (9505442)
Soap Dispenser	Ecolab – Glad Hands (284393)
Paper Towel Dispenser	Kimsoft – Paper Towel Dispenser (4980)
Toilet Paper Dispenser	Livi – Twin Toilet Roll Dispenser Side by Side (5502)
Mirror	JD McDonald - Tempered Glass Mirror - Model No 10-0600-V1839 (460 x 990mm overall)
Coat Hook	Britex - Coat Hook and Bumper – BTX-10-036
Product	Laminex Multipurpose Partitioning system (Foot Assembly, Overhead Braced)
Panels	13mm Laminex MultiPurpose Compact Laminata 1800h Panels. 1700h Doors
Colour	Panels – Oyster Linea Natural Finish, Doors – Oyster Linea Natural Finish
Notes	Partitioning system to be installed as per manufacturer's instructions. System to include Panels, Doors (incl. Indicator bolt, coat hook etc), Handrails, Foot Assemblies, and all associated hardware, for complete toilet system. Refer drawings for details.
Shop Drawings	Provide Shop Drawings

**UNISEX ACCESS WC – ALL FIXTURES AND FITTINGS MUST COMPLY WITH AS1428**

WC	Disabled toilet with closed couple cistern Caroma – Care 800 Cleanflush wall faced suite with backrest and Pedigree 11 Care single flap seat. To be installed on silicon with a silicon joint installed around the pan and cistern and between the pan and cistern connection
Grabrails	Caroma Virtu Comfort L&R Ambulant Grabrails
HB	Caroma - Care 700 Wall Basin (873410W) Right Hand Shelf with Ceramic Shroud (632601)
Tap Basin Set	Caroma - Acqua Care Basin Mixer (PC: 90989C5A)
Grabrails	Caroma Virtu Comfort 840x700mm RH 140 deg Angle + Caroma Virtu Comfort 450mm Straight
Soap Dispenser	Dispenser Washroom Instant Foam (IFS1LDS)
Hand Sanitiser	Deb Stoko Sanitiser (SAN1LDS)
Paper Towel Dispenser	JD MacDonald – 10-0462-AD-9: SURFACE MOUNTED PAPER TOWEL DISPENSER & WASTE BIN 7.6L - TRADITIONAL COLLECTION
Toilet Paper Dispenser	Livi – Twin Toilet Roll Dispenser Side by Side (5502)
Mirror	JD McDonald - Tempered Glass Mirror - Model No 10-0600-V1839 (460 x 990mm overall)
Coat Hook	Britex - Coat Hook and Bumper – BTX-10-036

**CLEANERS ROOM**

Product	Reece – Wolfen Cleaners Sink with 'builders choice laundry set' wall mounted threaded taps.
Finish	316 Stainless steel
Notes	Provide Wall bracket and Grate Include all plug, waste and fittings

**PARENTS ROOM**

WC	Childrens Toilet Closed Couple Wall Faced WC Caroma – Liano Junior Cleanflush Wall Faced Toilet Suite (766630W) To be installed on silicon with a silicon joint installed around the pan and cistern and between the pan and cistern connection
HB	Basin Wall Mounted Porcher – Studio Wall Basin 350mm 3 tap hole
Tap Basin Set	Posh – Bristol Basin Lever Set (9502222) Basin Set Lever Ceramic Disc
Soap Dispenser	Dispenser Washroom Instant Foam (IFS1LDS)
Hand Sanitiser	Deb Stoko Sanitiser (SAN1LDS)
Paper Towel Dispenser	Interleaved (DIS1005)
Toilet Paper Dispenser	Livi – Twin Toilet Roll Dispenser Side by Side (5502)
Mirror	JD McDonald - Tempered Glass Mirror - Model No 10-0600-V1839 (460 x 990mm overall)
Baby Change	Koala Care – KB200 Wall Mounted fold down nappy change station Colour: Grey
Coat Hook	Britex - Coat Hook and Bumper – BTX-10-036

**MISCELLANEOUS ITEMS**

SKIRTINGS	ALUMINIUM DUCTED
Description	35 x 150mm Anodised Aluminium Skirting
Note	3 x Channel
SHELVING	ADJUSTABLE LONGSPAN STEEL SHELVING
Proprietary Item	Dexion Ultima Longspan Shelving or equal
O/A Width	Width varies. Refer to drawings
Depth	Depth varies. Refer to drawings
Height	2200mm
Finish	Standard : Stone White (Beams) Anthracite (Uprights)
Note	Provide all accessories required to provided a min. of 5 shelves per bay. Provide steel shelves including shelf support bars

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Client and Job		Penrith City Council Documentation for Werrington Downs Neighbourhood Centre	
Title		GENERAL FIXTURES AND FITTINGS SCHEDULE	
Drg. No.	2935 - GE - 005	Size	A1
Rev			D

**DOOR SCHEDULE**

**DR: 01 SINGLE ALUMINIUM GLAZED DOOR W/SIDELIGHT**

Door type	Single aluminium glazed door w/sidelight
Proprietary Item	Capral 225 Series Door system or approved to match equal to be confirmed by the contractor for loading, spans, performance and glazing requirements
Door Finish	Glass – Clear
Frame type	Aluminium Overall frame width to suit final width of wall and to encase of wall linings without reveals. Wall widths vary.
Frame Finish	Anodised to match existing windows
Door leaf size	Nominal 1000mm wide x 2040mm high to provide minimum clear opening width of 900mm.
Sidelight	Capral 400 Narrowline system or approved to match equal to be confirmed by the contractor for loading, spans, performance and glazing requirements
Door Hardware	As per Penrith City Council Requirements
Signage	As per Penrith City Council Requirements
Notes	Provide Door Closers <b>PROVIDE GLAZING STRIP IN ACCORDANCE WITH AS1428.</b> The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted. Provide Lockwood 9000 Series Rim Type Panic Exit Device

**DR: 02, 05, 09, 13 EXISTING DOORS**

Door Finish	Paint in accordance with finishes schedule
Frame Finish	Paint in accordance with finishes schedule
Door Hardware	As per Penrith City Council Requirements
Signage	As per Penrith City Council Requirements
Door Grille	Provided in accordance with ventilation requirements.

**DR: 03, 04, 14 – 19 SINGLE SOLID CORE DOOR**

Door type	Single solid core door
Thickness	38mm
Door Finish	Paint in accordance with finishes schedule
Frame type	Pressed Metal door frame. Overall frame width to suit final width of wall and to encase of wall linings without reveals. Wall widths vary.
Frame Finish	Paint in accordance with finishes schedule
Door leaf size	Nominal 870mm wide x 2040mm high to provide minimum clear opening width of 850mm.
Door Hardware	As per Penrith City Council Requirements
Signage	UNO. Brushed aluminium with Black Lettering. 200h x Door Width 3mm thick anodised aluminium plate sign. 50mm High Black cast vinyl lettering. Helvetica font. TBC with Client prior to ordering DR:03 – OFFICE DR:04 – BTX-02-162 – Female Ambulant Toilet Braille Sign DR:14 – PARENTS ROOM DR:15 – BTX-02-160 – Male Ambulant Toilet Braille Sign DR:16 – BTX-02-168 – Unisex LH Accessible Toilet + BTX-02-172 Baby Change Braille Signs DR:17 – HIRERS CLEANERS ROOM DR:18 – STORE ROOM 02 DR:19 – CLEANERS ROOM
Door Grille	Provided 600 x 300w aluminium grille to DR:04, 15, 16. Colour to match door
Notes	Provide Door Closer to all doors Signage and Hardware to DR:16 to comply with AS1428 Coat hooks to DR:16 as per AS1428 Provide full width of door x 300 x 1.2 Stainless steel kickplate to both sides to all doors

**DR: 06, 12 DOUBLE ASYMMETRIC ALUMINIUM GLAZED DOOR**

Door type	Double asymmetric aluminium glazed door
Proprietary Item	Capral 225 Series Door system or approved to match equal to be confirmed by the contractor for loading, spans, performance and glazing requirements
Door Finish	Glass – Clear
Frame type	Aluminium Overall frame width to suit final width of wall and to encase of wall linings without reveals. Wall widths vary.
Frame Finish	Anodised to match existing windows
Door leaf size	Active Leaf Nominal 1000mm wide x 2040mm high to provide minimum clear opening width of 900mm. Secondary Leaf Nominal 350mm wide x 2040 high
Door Hardware	As per Penrith City Council Requirements
Signage	As per Penrith City Council Requirements
Notes	Provide Door Closer <b>PROVIDE GLAZING STRIP IN ACCORDANCE WITH AS1428.</b> The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.

**DR: 07, 11 DOUBLE SOLID CORE DOORS**

Door type	Double solid core doors
Thickness	38mm
Door Finish	Paint in accordance with finishes schedule
Frame type	Pressed Metal door frame. Overall frame width to suit final width of wall and to encase of wall linings without reveals. Wall widths vary.
Frame Finish	Paint in accordance with finishes schedule
Door leaf size	Nominal 850mm wide x 2040mm high to provide minimum clear opening width of 700mm.
Door Hardware	As per Penrith City Council Requirements
Signage	UNO. Brushed aluminium with Black Lettering. 200h x Door Width 3mm thick anodised aluminium plate sign. 50mm High Black cast vinyl lettering. Helvetica font. TBC with Client prior to ordering DR:07 – STORE 01 DR:11 – CHAIR STORE
Notes	Provide full width of door x 300 x 1.2 Stainless steel kickplate to both faces

**DR: 08, 10 EXISTING DOORS – NO WORK**

**WINDOW SCHEDULE**

**WD:01 - 03 EXISTING WINDOWS**

Description	Existing Windows 'Dusted Glass' Frosted vinyl window film applied to internal window surface
Applied Film	

**WD:04 SINGLE GLAZED WINDOW**

Description	Aluminium framed proprietary fixed glass system, generally comprising perimeter frame and mullions, and including sub sill, and deflection head where required. Provide transoms where shown.
Type Profile	Centre glazed fixed external glass generally Centre glazing pocket framing system, section size nominal 100 x 44mm generally unless otherwise shown on the drawings and / or deeper section as necessary to be determined by the Contractor for loading and spans. Provide same 100mm minimum frame including to reveal frames generally throughout unless otherwise shown on the drawings.
Proprietary item	Capral 400 Narrowline System or approved to match equal to be confirmed by the Contractor for loading, spans, performance and glazing requirements
Glazing Nom	Viridian Comfortplus 82 Clear
Frame Colour	Anodised to match existing
Shop drawings	Provide shop drawings

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D	Issue for Tender	JOS	09/09/19	-
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Title	DOOR AND WINDOWS SCHEDULE
Drg. No.	2935 - GE - 006
Size	A1
Rev	D



**LOCALITY PLAN**  
 WERRINGTON DOWNS NEIGHBOURHOOD CENTRE  
 20 Brookfield Avenue, Werrington Downs

MAP COURTESY OF SIXMAPS  
 Not to scale

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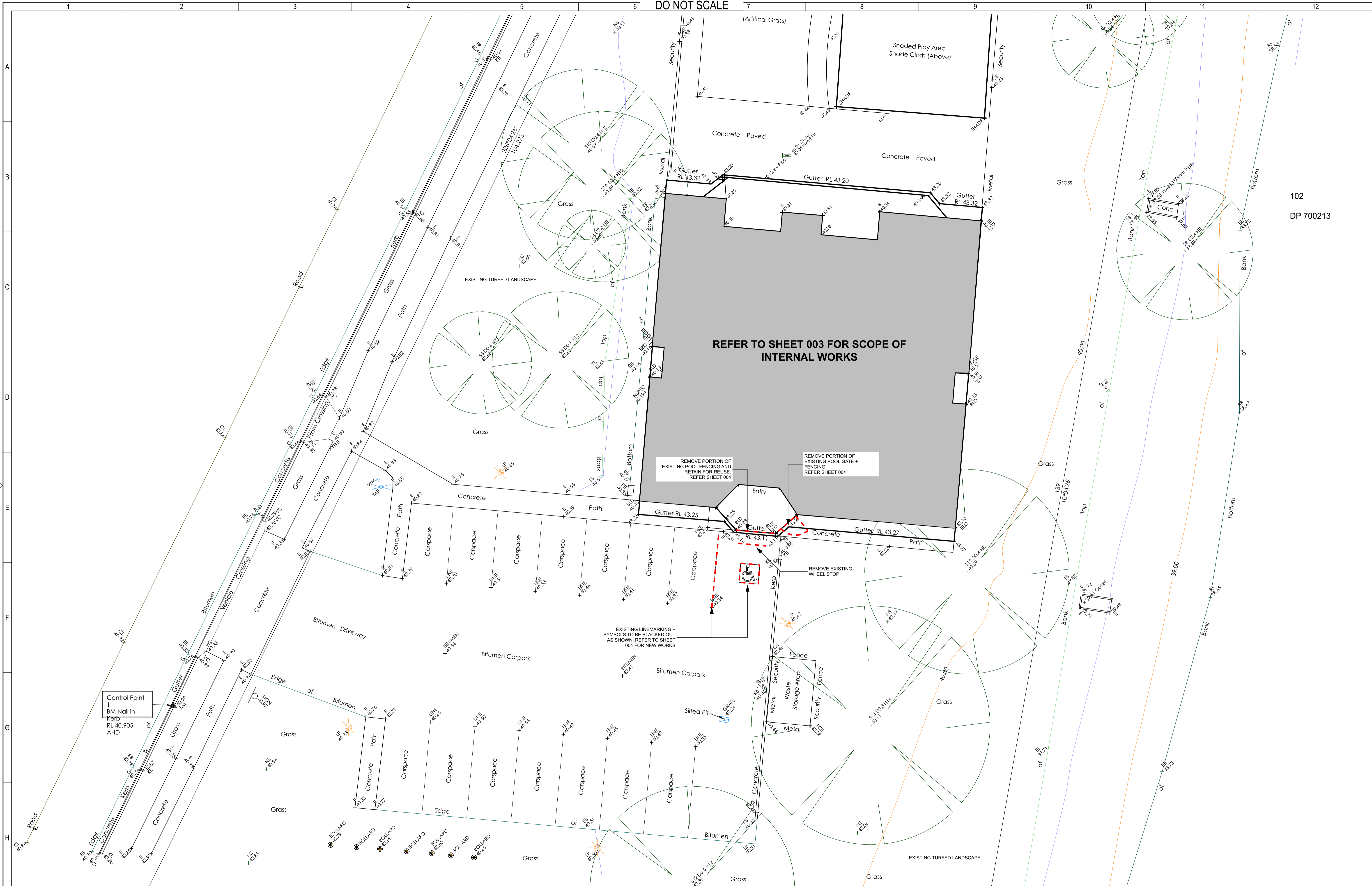
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Title		WERRINGTON - SITE PLAN + SCOPE OF WORKS	
Drawn	Designed	Drg. No.	2935 - WD - 001
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Title		WERRINGTON - EXTERNAL WORKS DEMOLITION	
Drg. No.	2935 - WD - 002	Size	A1
Rev		Rev	D



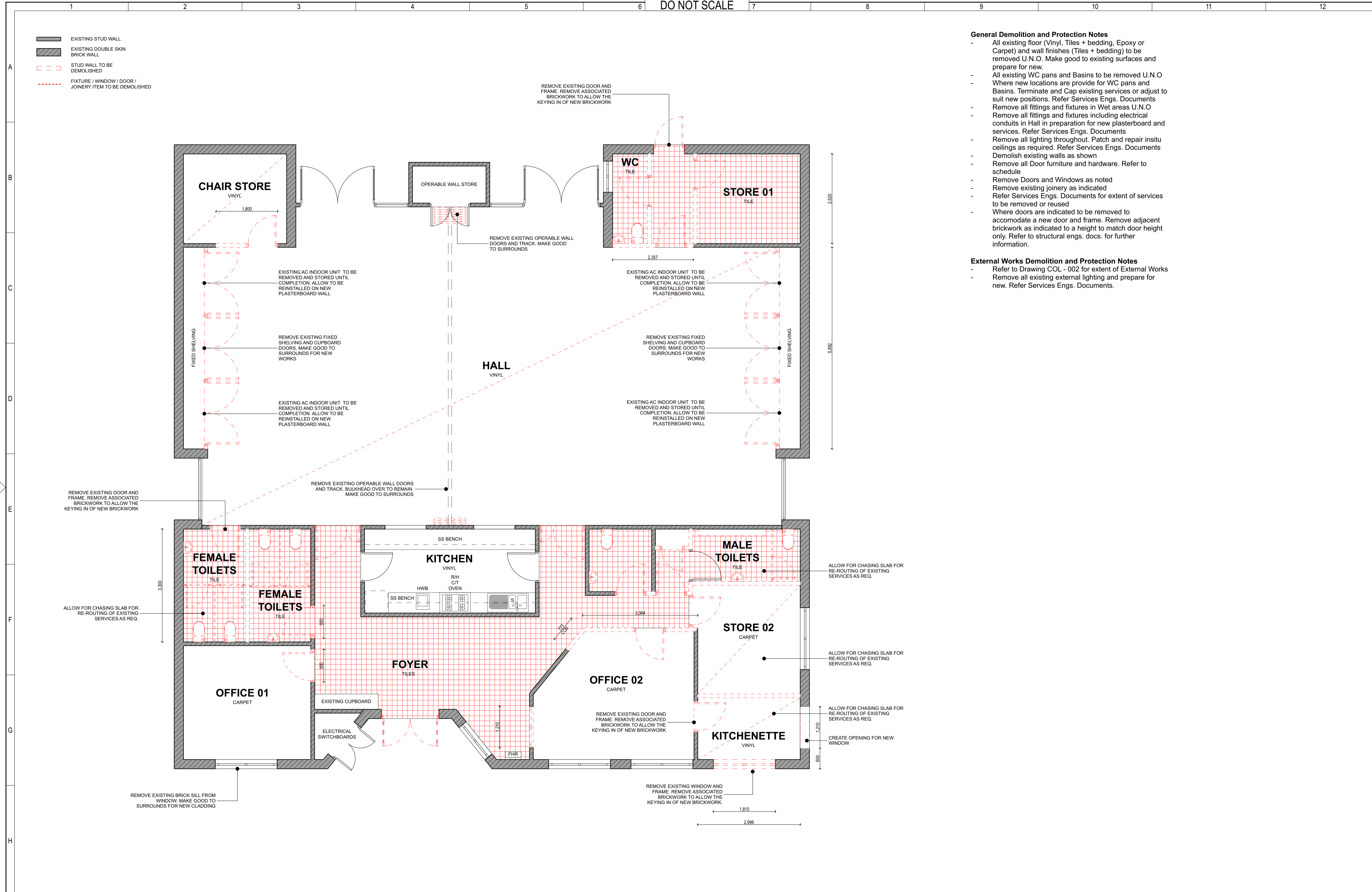
- EXISTING STUD WALL
- EXISTING DOUBLE SKIN BRICK WALL
- STUD WALL TO BE DEMOLISHED
- FIXTURE / WINDOW / DOOR / JOINERY ITEM TO BE DEMOLISHED

**General Demolition and Protection Notes**

- All existing floor (Vinyl, Tiles + bedding, Epoxy or Carpet) and wall finishes (Tiles + bedding) to be removed U.N.O. Make good to existing surfaces and prepare for new.
- All existing WC pans and Basins to be removed U.N.O
- Where new locations are provide for WC pans and Basins. Terminate and Cap existing services or adjust to suit new positions. Refer Services Engs. Documents
- Remove all fittings and fixtures in Wet areas U.N.O
- Remove all fittings and fixtures including electrical conduits in Hall in preparation for new plasterboard and services. Refer Services Engs. Documents
- Remove all lighting throughout. Patch and repair insitu ceilings as required. Refer Services Engs. Documents
- Demolish existing walls as shown
- Remove all Door furniture and hardware. Refer to schedule
- Remove Doors and Windows as noted
- Remove existing joinery as indicated
- Refer Services Engs. Documents for extent of services to be removed or reused
- Where doors are indicated to be removed to accomodate a new door and frame. Remove adjacent brickwork as indicated to a height to match door height only. Refer to structural engs. docs. for further information.

**External Works Demolition and Protection Notes**

- Refer to Drawing COL - 002 for extent of External Works
- Remove all existing external lighting and prepare for new. Refer Services Engs. Documents.



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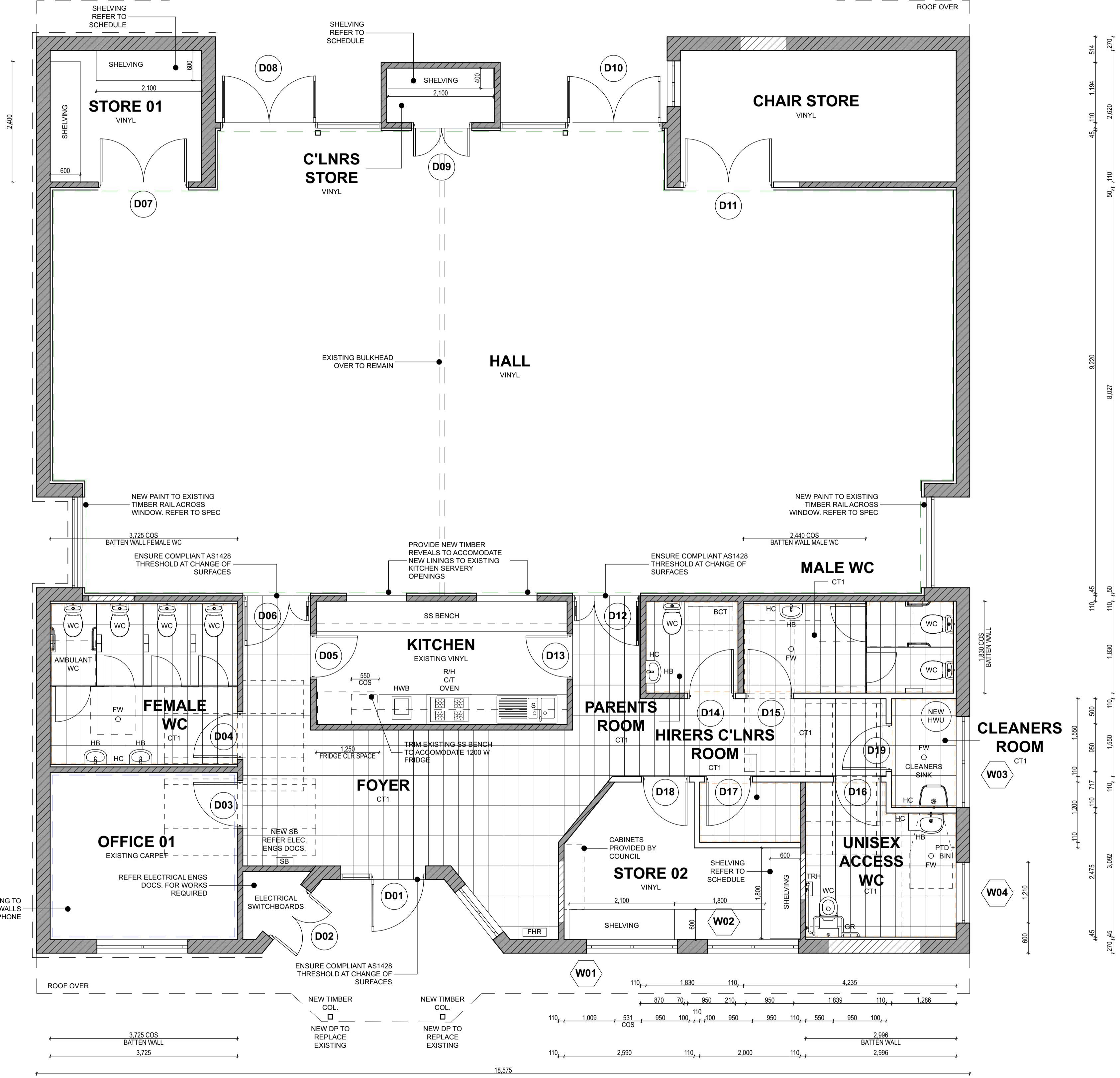
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Title		WERRINGTON - GROUND FLOOR DEMOLITION	
Drg. No.	2935 - WD - 003	Size	A1
Rev			D

DO NOT SCALE

- EXISTING SINGLE SKIN BRICK WALL
- EXISTING DOUBLE SKIN BRICK WALL
- NEW DOUBLE SKIN BRICK WALL INFILL
- NEW STUD WALL
- EXTENT OF TILES EXCLUDING SPLASHBACKS REFER ELEVATIONS
- EXTENT OF EXISTING WALLS TO BE LINED WITH PB



General Notes

- Drawings to be read in conjunction with Finishes, Fixtures and Fittings Schedules (FFF)
- Existing Brick Walls to be lined Plasterboard on 30mm battens generally, as noted. Paint Finish. Provide 9mm FC sheeting to 1000mm High, as noted.
- Renew and repair or provide new 90 x 90 plasterboard cornice as required. Paint Finish
- Provide new skirtings to all walls. Refer to Schedule
- New paint to all Walls, Ceilings and trims throughout
- New wall tiles to Walls as indicated
- New floor coverings as indicated
- New Wall infills as noted, refer Struct. Eng. Documents
- Provide all new Door furniture and Hardware as noted
- New Brick infill walls to be toothed into existing wall or starter bars are to be used.

Hall

- Below noted to be read in conjunction with drawings
- New PB + FC + battens to walls as noted
- New Flooring as noted. Refer to schedule
- New Door and Windows as per schedule
- New ceiling. Refer to schedule.
- Prepare for new services.

Chair Store

- Below noted to be read in conjunction with drawings
- New Flooring as noted. Refer to schedule
- New Door as per schedule.

Cleaners Store

- Below noted to be read in conjunction with drawings
- New Flooring as noted. Refer to schedule
- New shelving as per schedule.

Store 01

- Below noted to be read in conjunction with drawings
- New Flooring as noted. Refer to schedule
- New Door as per schedule
- New shelving as per schedule.

Foyer

- Below noted to be read in conjunction with drawings
- New Flooring as noted. Refer to schedule
- New Double glazed aluminium Entry Door as per schedule
- New ceiling. Make good after removal of services. Prepare for new services.

Office 01

- Below noted to be read in conjunction with drawings
- Patch and repair existing ceiling. Make good after removal of services. Prepare for new services.
- New Ducted skirting to perimeter of office. To provide power, data + telephone.

Store 02

- Below noted to be read in conjunction with drawings
- New Flooring as noted. Refer to schedule
- New Door as per schedule.
- New shelving as per schedule.

Hirers Cleaners Room

- Below noted to be read in conjunction with drawings
- New Flooring as noted. Refer to schedule
- New Door as per schedule.

Parents Room

- Below noted to be read in conjunction with drawings
- New Flooring as noted. Refer to schedule
- New Door as per schedule.
- New fixtures as noted. Refer to schedule

Cleaners Room

- Below noted to be read in conjunction with drawings
- New Flooring as noted. Refer to schedule
- New Door as per schedule.
- New fixtures as noted. Refer to schedule

Works to Toilets

- Below noted to be read in conjunction with drawings
- New Flooring as noted. Refer to schedule
- New Stud frame walls
- New fixtures and fittings as noted. Refer to schedule
- Accessible toilet pans differ. Refer to schedule.
- Partition walls to be appropriate for use with grabrails as per AS1428.1-2009
- Replace associated fittings and fixtures throughout. Mirrors, TRH etc. Refer to Schedule.
- Provide 30mm battens and FC sheeting to walls behind fixtures as indicated.

Kitchen

- No Work

All other rooms / areas refer to Detail Floor Plans and Internal Elevations

Floor and Ground Surface Notes

- Use R11 slip-resistant surfaces. The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability
- Where noted Wet Area floor surfaces are to be epoxy resin with integrated coving as specified in FFF schedules. Installation to form a continuous uninterrupted surface.
- Abutment of surfaces is to have a smooth and even transition
- Construction tolerances to be ±3mm vertical or ±5mm, provided the edges have a beveled or rounded edge
- Ensure that there is no lip at doorways

Door & Door Hardware Notes

- Refer to Door Schedule for sizes and signage.
- Paint doors to colour as specified in FFF schedules
- Clearance between the handle and the back plate or the door face at the center grip section of the handle to be between 35-45mm with a minimum of 20mm turn at the end of the handle
- Where snibs are installed in accessible sanitary facility doors, they are required to have a lever handle of a minimum length of 34mm from the center of the spindle
- Single Lever Action handles to be installed to all doors, New and Existing located at 900-1100mm above FFL
- Provide Door Closer as requested by Client
- Door locking mechanisms and requirements to be confirmed by Client.

Luminance Contrast Requirement for Doorways

- All doorways to have a minimum luminance contrast of 30% provided between door leaf and adjacent wall
- The minimum width of the luminance contrast to be 50mm
- If existing doorway paint colour does not comply with 30% luminance contrast, new paint colour to be confirmed by Council

Additional Works to All Accessible Toilets

- New flooring to be R11 slip-resistant
- Setout of pan is 800±10mm from rear wall and the  $\epsilon$  of pan is to be 450-460mm from side wall. Top of seat of WC pan is to be 460-480mm above FFL
- The top of the hand basin is to be 800-830mm above FFL
- Water taps to be lever with 50mm clear from any surface
- Seat to be full round, take 150kg weight and provide 30% luminance contrast to background
- Backrest to be 150-200mm height, 350-400mm width and 120-150mm above the seat at an angle of 95-100° back from seat hinge
- Flushing control to be proud of surface and located 600-1100mm above FFL at back or side wall, clear of grabrail area
- Top of toilet paper dispenser to be located maximum 700mm above FFL and maximum 300mm from edge of pan
- Grabrails, 30-40mm diameter placed 50-60mm clearance from wall with no obstruction to top 270° arc, provided to rear and side wall, 90° or 30-45°. Horizontal component to be 800-810mm above FFL. Fastening and construction of grabrails to be capable of withstanding 1100N force
- Mirror to start from 900mm above FFL, to minimum of 1850 above FFL
- 2 coat hooks at height of 1200-1350mm above FFL and at least 500mm from any internal corner
- Shelf is required to be either integrated or as a separate fixture 300-400mm length and 120-150mm wide and located 900-1000mm above FFL
- Privacy indicator required with a snib with a lever handle of a minimum length of 45mm from the center of the spindle
- Ensure that there are no lips/step at the doorway. If required the floor is to be graded so that the lip is removed

Accessible WC Switches, Controls and Lighting Requirements

- Refer to Electrical Engineers specifications.
- In accessible sanitary facilities:
  - Rocker action/toggle switches to be provided with a minimum size of 30mm x 30mm
  - Push pad switches if used to have a minimum dimension of 25mm diameter
  - GPOs to be located between 600-1100mm above FFL and minimum of 500mm from any internal corners

D	Issue for Tender	JOS	09/09/19	-
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B	Final Issue for Review	JOS	04/06/19	-
A	Preliminary Issue for Review	JOS	29/03/19	-
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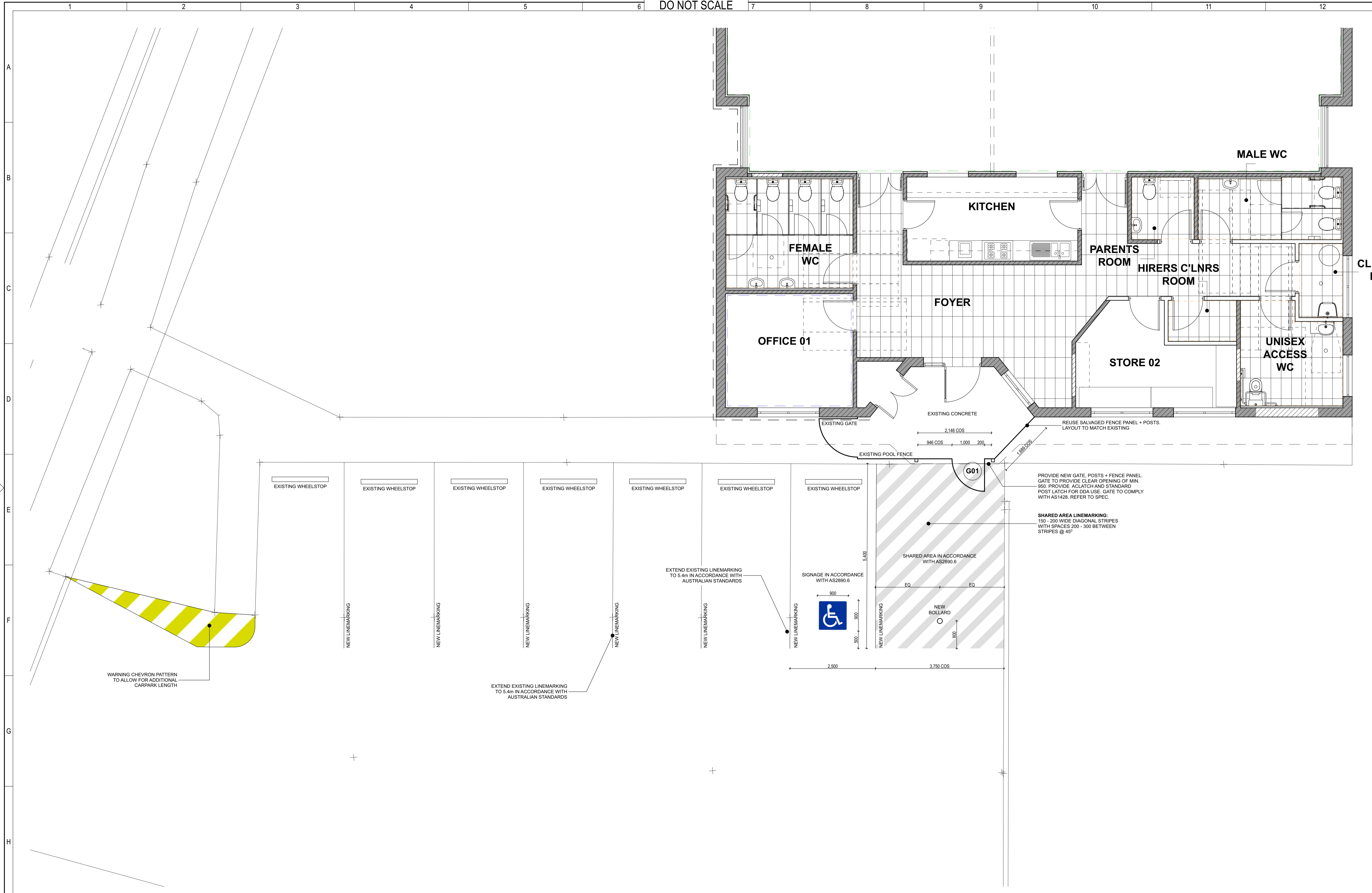
Client and Job  
Penrith City Council  
Documentation for Werrington Downs Neighbourhood Centre

Title  
WERRINGTON - GROUND FLOOR GENERAL ARRANGEMENT

Drg. No. 2935 - WD - 004

Size A1  
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D	Issue for Tender	JOS	09/09/19	-
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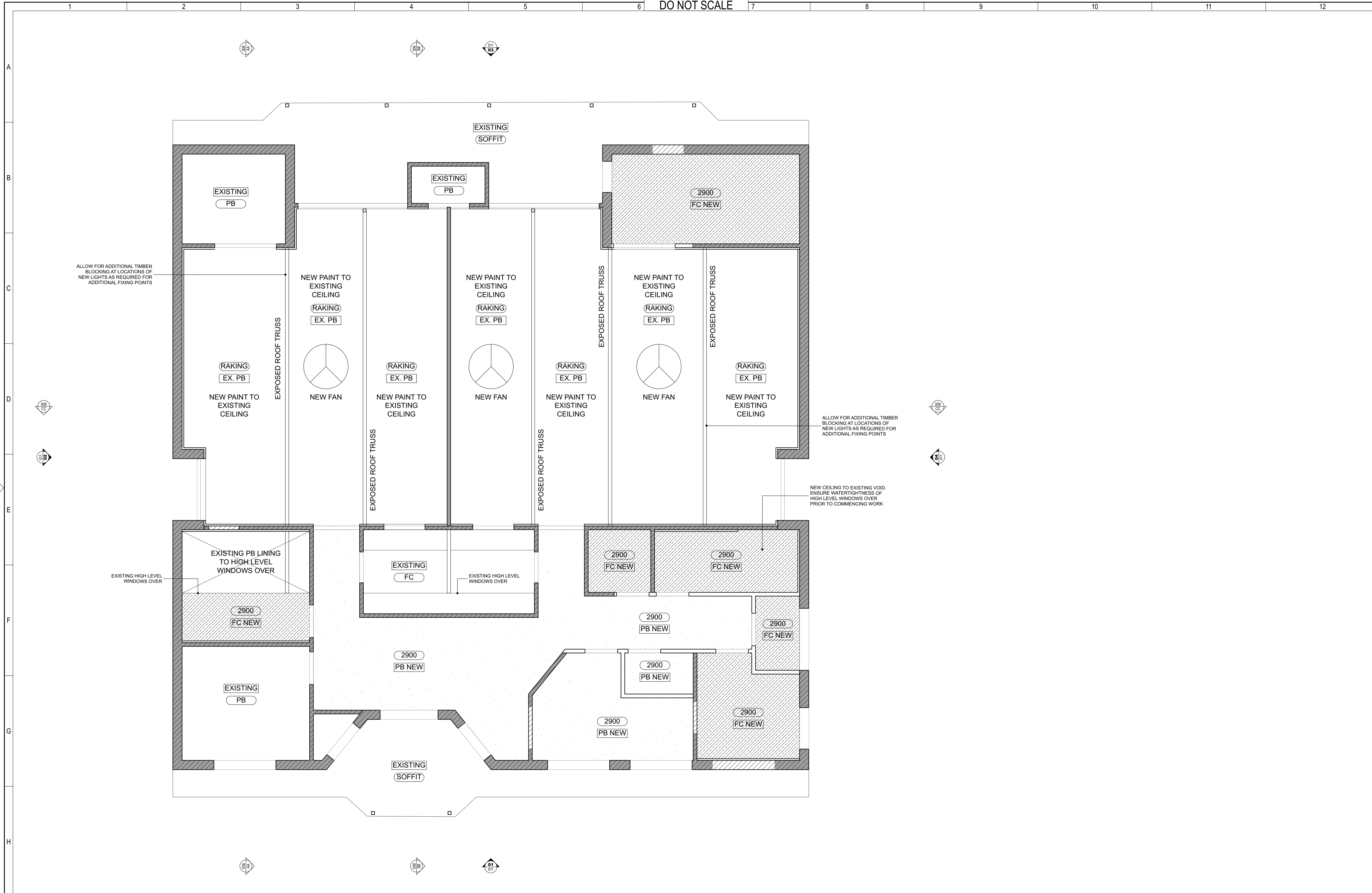
Penrith City Council  
Documentation for Werrington Downs Neighbourhood Centre

Title: WERRINGTON - EXTERNAL WORKS

Drg. No. 2935 - WD - 005

Size: A1  
Rev: D

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C	Issue for Tender	JOS	08/08/19	-
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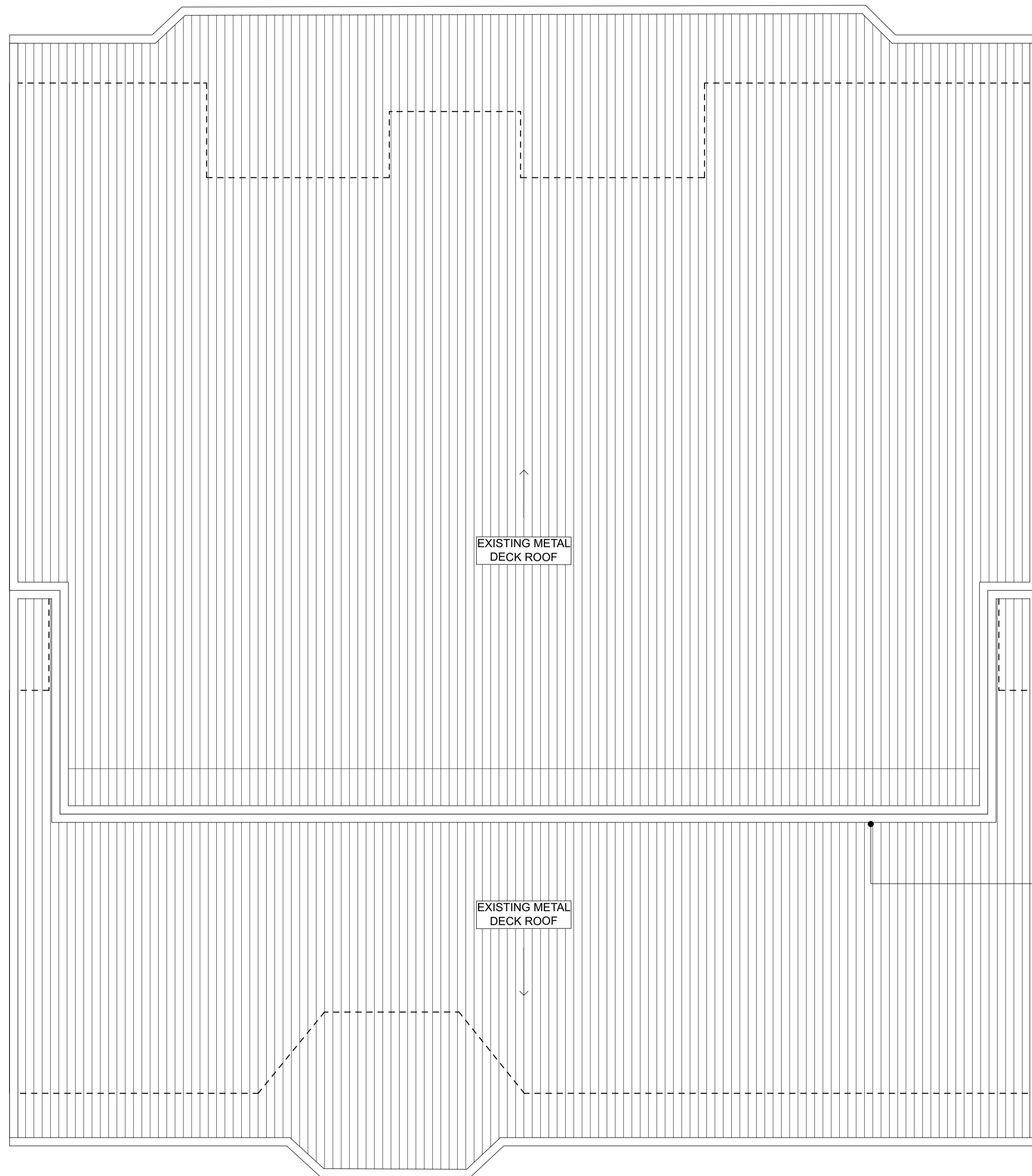
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Drg. No.	2935 - WD - 006	Size	A1
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Generally allow to check roof and associated flashings and fixings for any damage - make good as required

Allow to clean the roof (high pressure spray) prep and re-coat with approved suitable roof paint in Woodland Grey

Replace guttering with 150mm half round gutters (Woodland Grey)

Replace downpipes with 100mm PVC with leafeater rainwater heads - no gutter guard

Stormwater lines to be checked and cleared as required.

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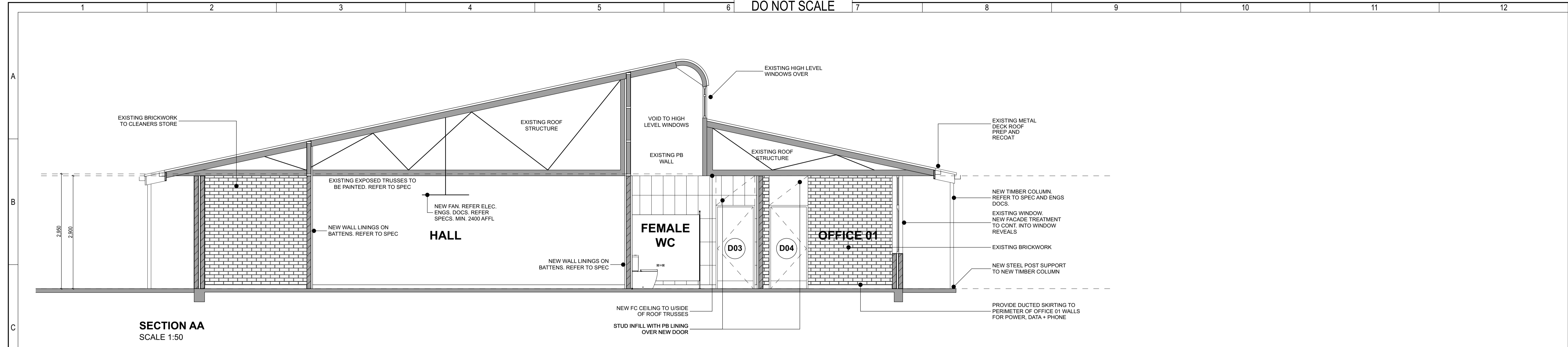
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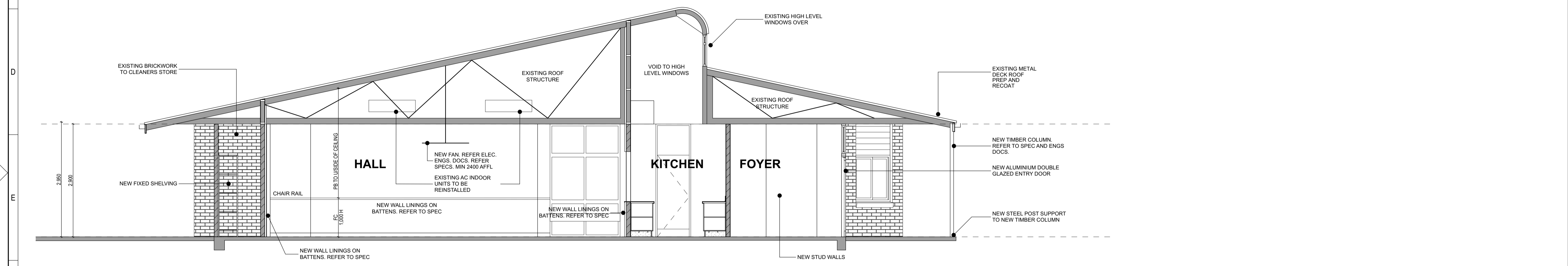
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Title		WERRINGTON - ROOF PLAN	
Drg. No.	2935 - WD - 007	Size	A1
Rev		Rev	D

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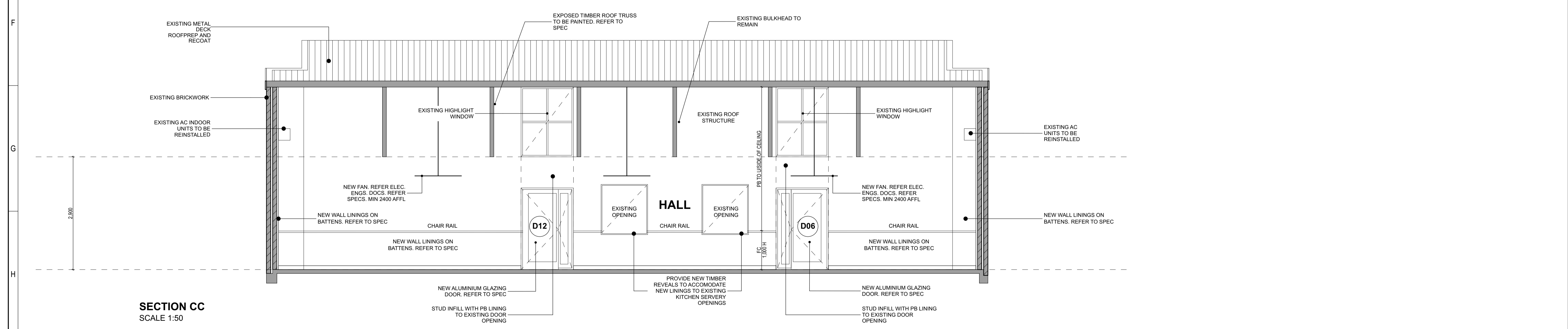
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SECTION AA  
SCALE 1:50



SECTION BB  
SCALE 1:50



SECTION CC  
SCALE 1:50

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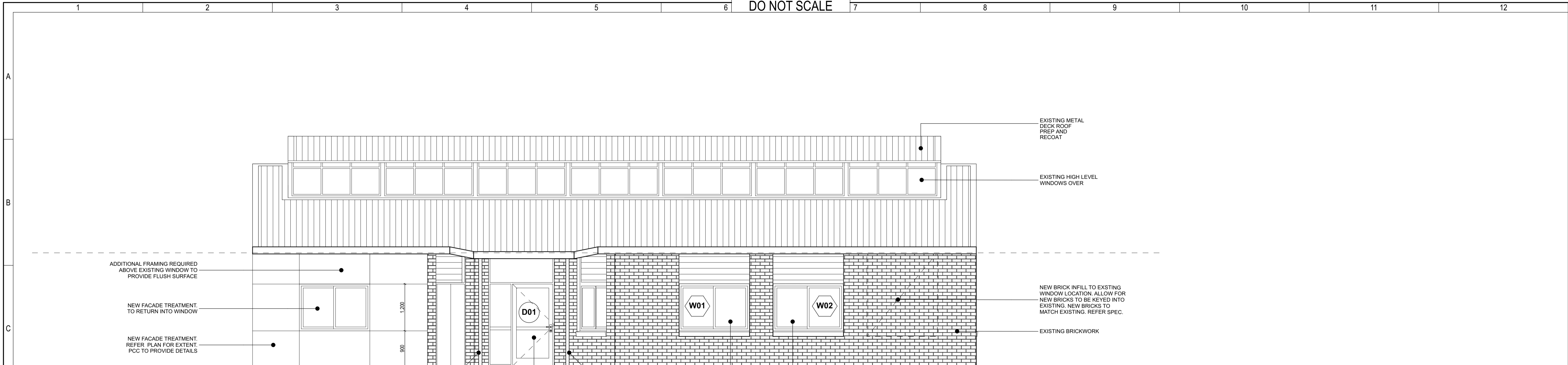
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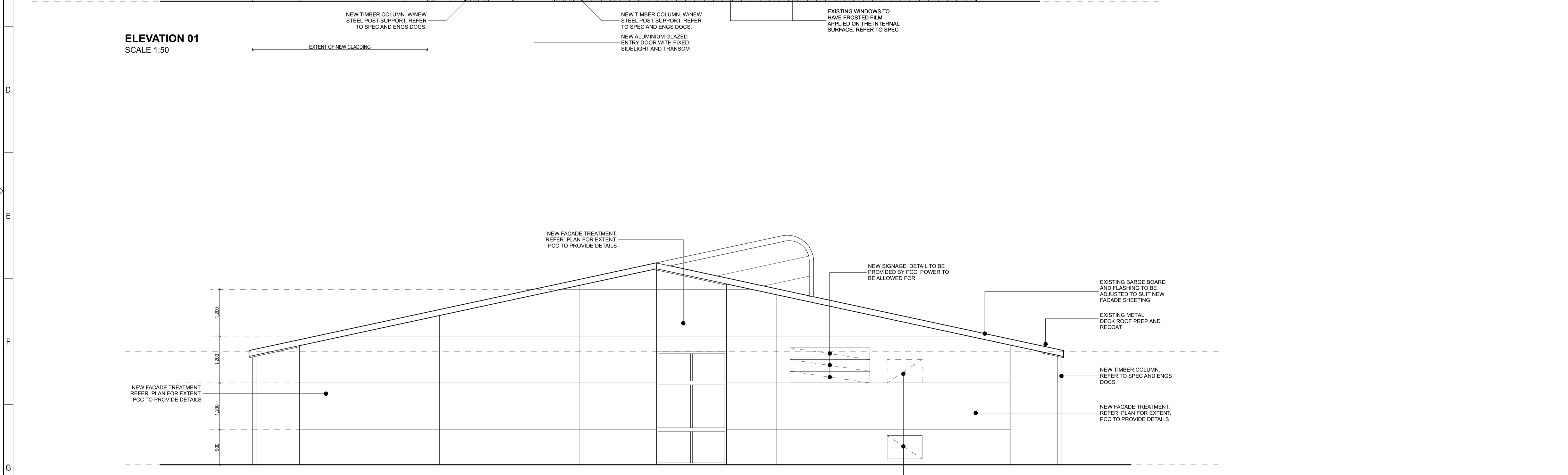
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Title		WERRINGTON - BUILDING SECTIONS	
Drafting	Designed	Drg. No.	2935 - WD - 008
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**ELEVATION 02**  
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D	Issue for Tender	JOS		09/09/19	-	PRELIMINARY ISSUE FOR REVIEW
C	Issue for Tender	JOS		08/08/19	-	
B	Final Issue for Review	JOS		04/06/19	-	
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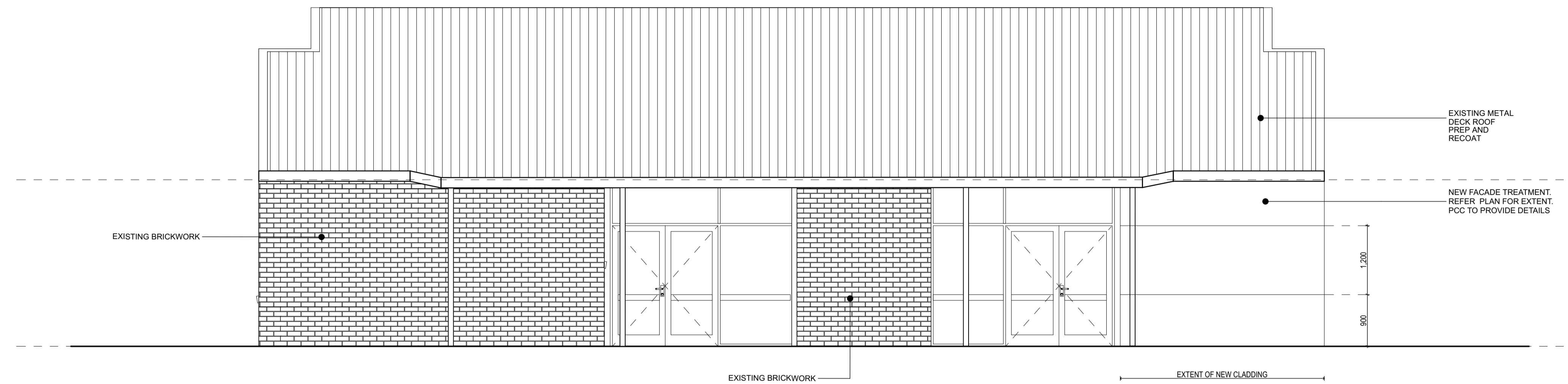


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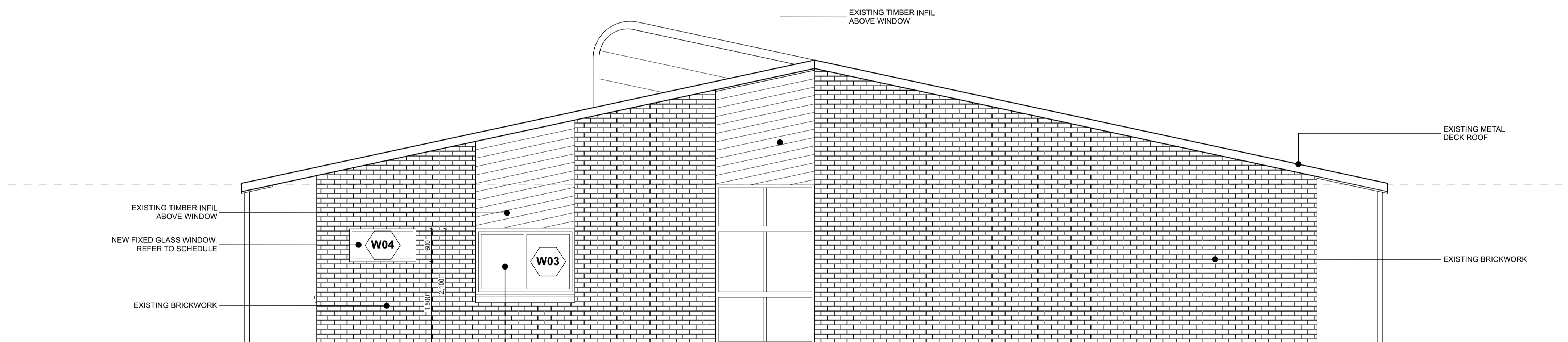
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Title		WERRINGTON - BUILDING ELEVATIONS	
Drg. No.	2935 - WD - 009	Size	A1
Rev			D

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**ELEVATION 03**  
SCALE 1:50



**ELEVATION 04**  
SCALE 1:50

D	Issue for Tender	JOS	09/09/19	-
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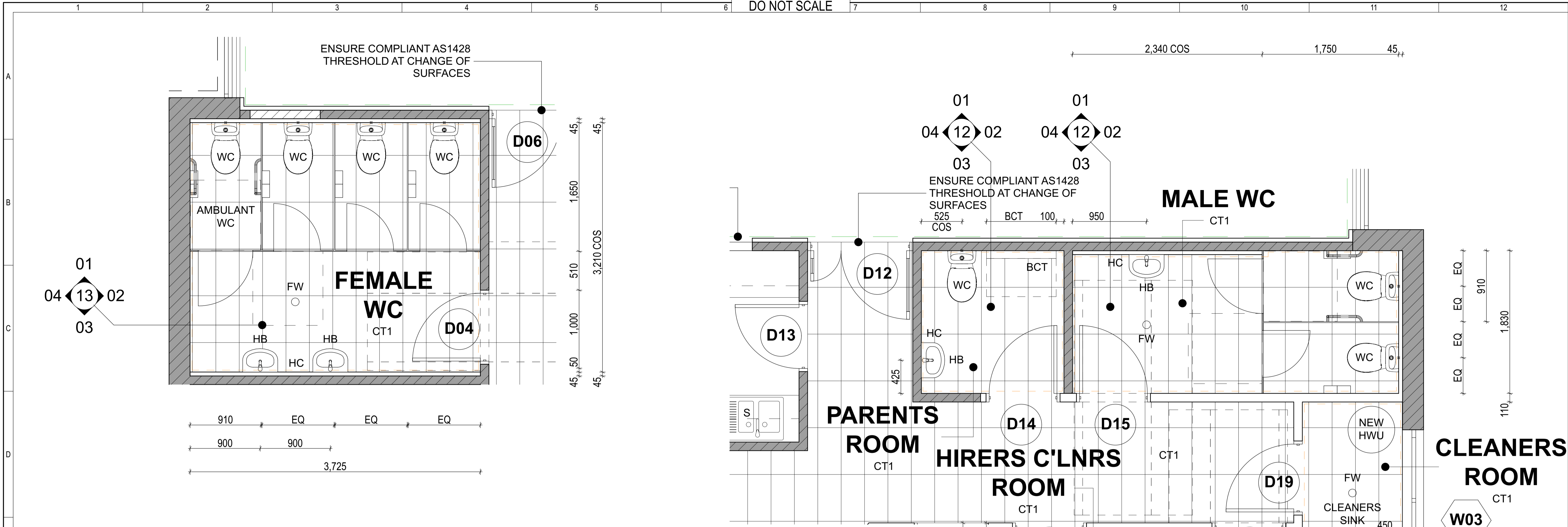
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Title		WERRINGTON - BUILDING ELEVATIONS	
Drg. No.	2935 - WD - 010	Size	A1
Rev			D





ENSURE COMPLIANT AS1428 THRESHOLD AT CHANGE OF SURFACES

01 04 12 02 03 04 12 02 03

ENSURE COMPLIANT AS1428 THRESHOLD AT CHANGE OF SURFACES

MALE WC

PARENTS ROOM HIRERS C'LNRS ROOM

CLEANERS ROOM

UNISEX ACCESS WC

- General Notes**
- Drawings to be read in conjunction with Finishes, Fixtures and Fittings Schedules (FFF)
  - Existing Brick Walls to be lined Plasterboard on 30mm battens generally, as noted. Paint Finish. Provide 9mm FC sheeting to 1000mm High, as noted.
  - Renew and repair or provide new 90 x 90 plasterboard cornice as required. Paint Finish
  - Provide new skirtings to all walls. Refer to Schedule
  - New paint to all Walls, Ceilings and trims throughout
  - New wall tiles to Walls as indicated
  - New floor coverings as indicated
  - New Wall infills as noted, refer Struct. Eng's Documents
  - Provide all new Door furniture and Hardware as noted
  - New Brick infill walls to be toothed into existing wall or starter bars are to be used.
- Hall**
- Below noted to be read in conjunction with drawings
  - New PB + FC + battens to walls as noted
  - New Flooring as noted. Refer to schedule
  - New Door and Windows as per schedule
  - New ceiling. Refer to schedule. Prepare for new services.
- Chair Store**
- Below noted to be read in conjunction with drawings
  - New Flooring as noted. Refer to schedule
  - New Door as per schedule.
- Cleaners Store**
- Below noted to be read in conjunction with drawings
  - New Flooring as noted. Refer to schedule
  - New shelving as per schedule.
- Store 01**
- Below noted to be read in conjunction with drawings
  - New Flooring as noted. Refer to schedule
  - New Door as per schedule.
  - New shelving as per schedule.
- Foyer**
- Below noted to be read in conjunction with drawings
  - New Flooring as noted. Refer to schedule
  - New Double glazed aluminium Entry Door as per schedule
  - New ceiling. Make good after removal of services. Prepare for new services.

- Office 01**
- Below noted to be read in conjunction with drawings
  - Patch and repair existing ceiling. Make good after removal of services. Prepare for new services.
  - New Ducted skirting to perimeter of office. To provide power, data + telephone.
- Store 02**
- Below noted to be read in conjunction with drawings
  - New Flooring as noted. Refer to schedule
  - New Door as per schedule.
  - New shelving as per schedule.
- Hirers Cleaners Room**
- Below noted to be read in conjunction with drawings
  - New Flooring as noted. Refer to schedule
  - New Door as per schedule.
- Parents Room**
- Below noted to be read in conjunction with drawings
  - New Flooring as noted. Refer to schedule
  - New Door as per schedule.
  - New fixtures as noted. Refer to schedule
- Cleaners Room**
- Below noted to be read in conjunction with drawings
  - New Flooring as noted. Refer to schedule
  - New Door as per schedule.
  - New fixtures as noted. Refer to schedule
- Works to Toilets**
- Below noted to be read in conjunction with drawings
  - New Flooring as noted. Refer to schedule
  - New Stud frame walls
  - New fixtures and fittings as noted. Refer to schedule
  - Accessible toilet pans differ. Refer to schedule.
  - Partition walls to be appropriate for use with grabrails as per AS1428.1-2009
  - Replace associated fittings and fixtures throughout. Mirrors, TRH etc. Refer to Schedule.
  - Provide 30mm battens and FC sheeting to walls behind fixtures as indicated.
- Kitchen**
- Benchtop alterations adjacent fridge to allow for new double door fridge
- All other rooms / areas refer to Detail Floor Plans and Internal Elevations**

- Floor and Ground Surface Notes**
- Use R11 slip-resistant surfaces. The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability
  - Where noted Wet Area floor surfaces are to be epoxy resin with integrated coving as specified in FFF schedules. Installation to form a continuous uninterrupted surface.
  - Abutment of surfaces is to have a smooth and even transition
  - Construction tolerances to be ±3mm vertical or ±5mm, provided the edges have a beveled or rounded edge
  - Ensure that there is no lip at doorways
- Door & Door Hardware Notes**
- Refer to Door Schedule for sizes and signage.
  - Paint doors to colour as specified in FFF schedules
  - Clearance between the handle and the back plate or the door face at the center grip section of the handle to be between 35-45mm with a minimum of 20mm turn at the end of the handle
  - Where snibs are installed in accessible sanitary facility doors, they are required to have a lever handle of a minimum length of 34mm from the center of the spindle
  - Single Lever Action handles to be installed to all doors. New and Existing located at 900-1100mm above FFL
  - Provide Door Closer as requested by Client
  - Door locking mechanisms and requirements to be confirmed by Client.
- Luminance Contrast Requirement for Doorways**
- All doorways to have a minimum luminance contrast of 30% provided between door leaf and adjacent wall
  - The minimum width of the luminance contrast to be 50mm
  - If existing doorway paint colour does not comply with 30% luminance contrast, new paint colour to be confirmed by Council

- Additional Works to All Accessible Toilets**
- New flooring to be R11 slip-resistant
  - Setout of pan is 800±10mm from rear wall and the  $\epsilon$  of pan is to be 450-460mm from side wall. Top of seat of WC pan is to be 460-480mm above FFL
  - The top of the hand basin is to be 800-830mm above FFL
  - Water taps to be lever with 50mm clear from any surface
  - Seat to be full round, take 150kg weight and provide 30% luminance contrast to background
  - Backrest to be 150-200mm height, 350-400mm width and 120-150mm above the seat at an angle of 95-100° back from seat hinge
  - Flushing control to be proud of surface and located 600-1100mm above FFL at back or side wall, clear of grabrail area
  - Top of toilet paper dispenser to be located maximum 700mm above FFL and maximum 300mm from edge of pan
  - Grabrails, 30-40mm diameter placed 50-60mm clearance from wall with no obstruction to top 270° arc, provided to rear and side wall, 90° or 30-45°. Horizontal component to be 800-810mm above FFL. Fastening and construction of grabrails to be capable of withstanding 1100N force
  - Mirror to start from 900mm above FFL, to minimum of 1850 above FFL
  - 2 coat hooks at height of 1200-1350mm above FFL and at least 500mm from any internal corner
  - Shelf is required to be either integrated or as a separate fixture 300-400mm length and 120-150mm wide and located 900-1000mm above FFL
  - Privacy indicator required with a snib with a lever handle of a minimum length of 45mm from the center of the spindle
  - Ensure that there are no lips/step at the doorway. If required the floor is to be graded so that the lip is removed
- Accessible WC Switches, Controls and Lighting Requirements**
- Refer to Electrical Engineers specifications.
  - In accessible sanitary facilities:
  - Rocker action/toggle switches to be provided with a minimum size of 30mm x 30mm
  - Push pad switches if used to have a minimum dimension of 25mm diameter
  - GPOs to be located between 600-1100mm above FFL and minimum of 500mm from any internal corners

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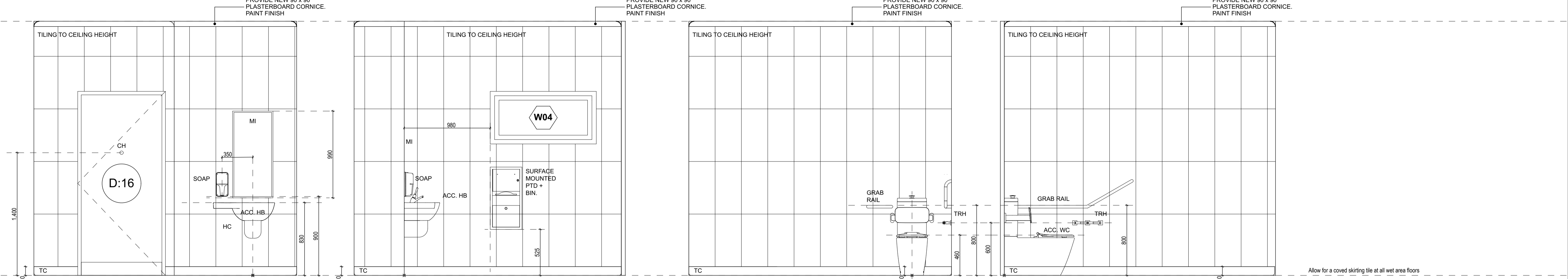
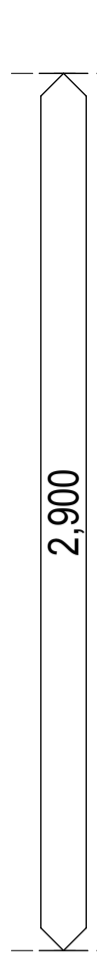
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Drg. No.	2935 - WD - 011	Size	A1
Rev			D

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U/SIDE CEILING  
TILE HEIGHT



UNISEX ACCESS WC

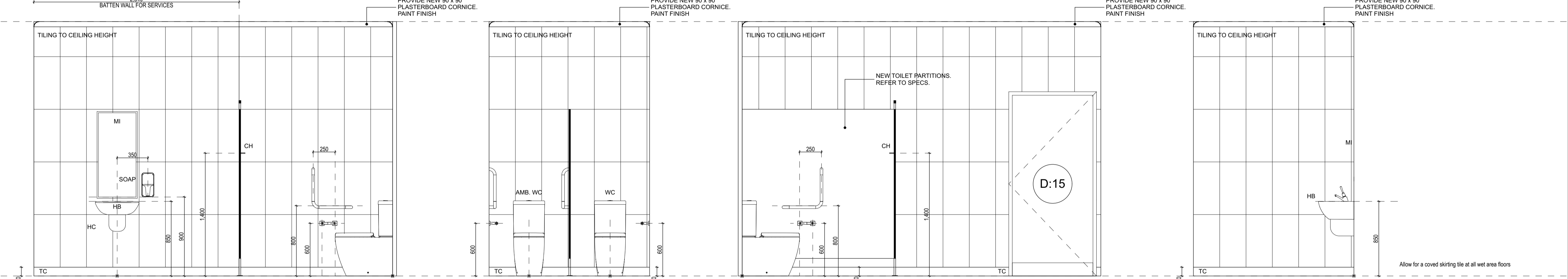
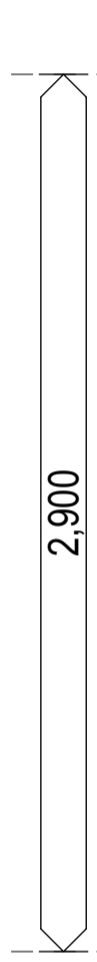
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UNISEX ACCESS WC - 02  
SCALE 1:25

UNISEX ACCESS WC - 03  
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UNISEX ACCESS WC - 04  
SCALE 1:25

U/SIDE CEILING  
TILE HEIGHT



MALE TOILETS

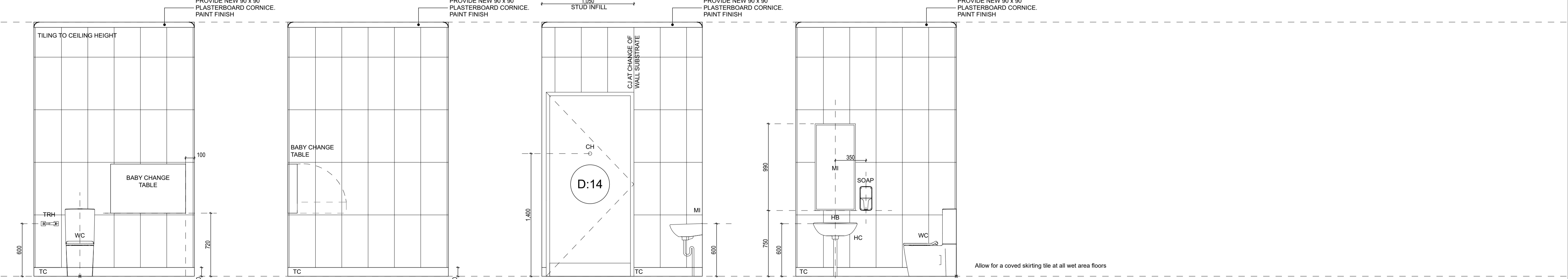
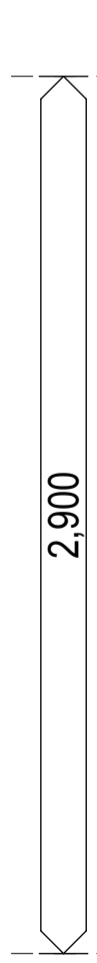
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SCALE 1:25

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SCALE 1:25

U/SIDE CEILING  
TILE HEIGHT



PARENTS ROOM

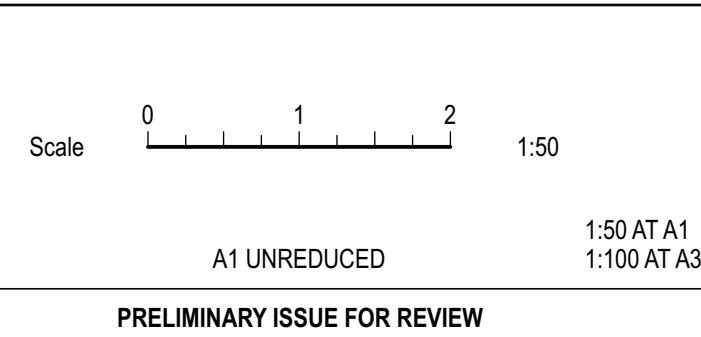
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PARENTS ROOM - 02  
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PARENTS ROOM - 03  
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PARENTS ROOM - 04  
SCALE 1:25

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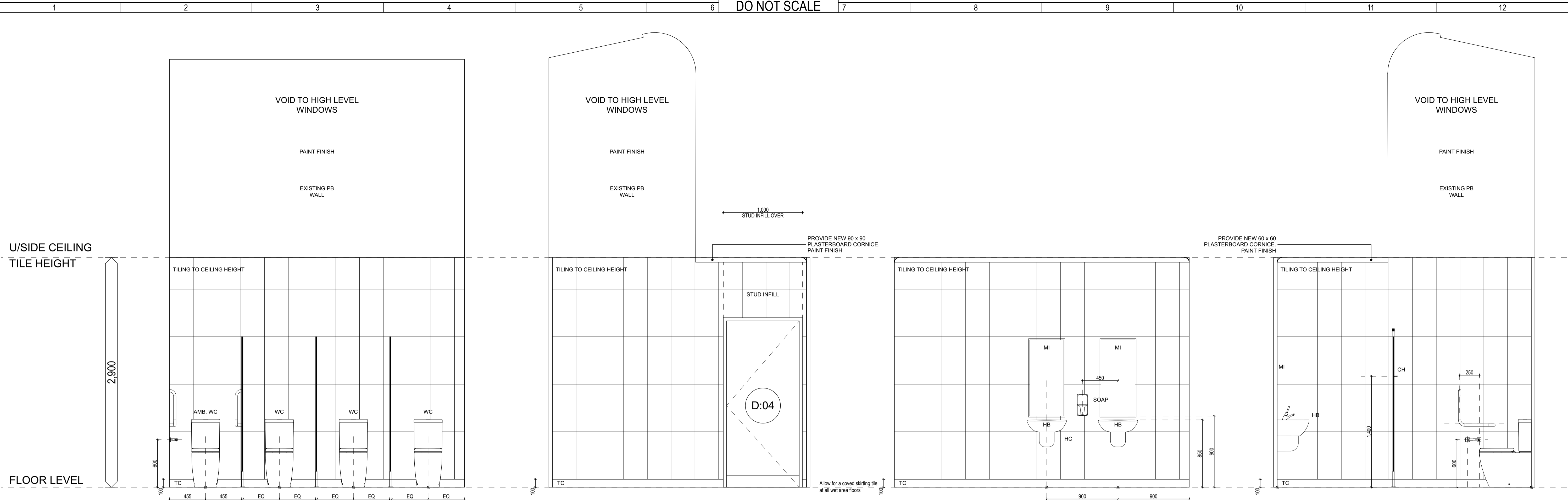
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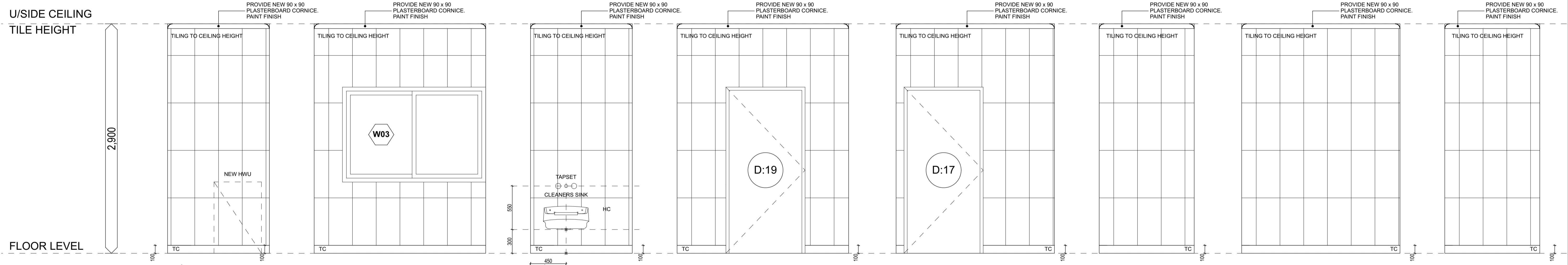
FEMALE TOILETS

FEMALE TOILETS - 01  
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FEMALE TOILETS - 02  
SCALE 1:25

FEMALE TOILETS - 03  
SCALE 1:25

FEMALE TOILETS - 04  
SCALE 1:25



CLEANERS ROOM

CLEANERS ROOM - 01  
SCALE 1:25

CLEANERS ROOM - 02  
SCALE 1:25

CLEANERS ROOM - 03  
SCALE 1:25

CLEANERS ROOM - 04  
SCALE 1:25

HIRERS CLEANERS ROOM - 01  
SCALE 1:25

HIRERS CLEANERS ROOM - 02  
SCALE 1:25

HIRERS CLEANERS ROOM - 03  
SCALE 1:25

HIRERS CLEANERS ROOM - 04  
SCALE 1:25

Allow for a covered skirting tile at all wet area floors

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Size: A1  
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