

NOTES:

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- Use only figured dimensions,
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DIAL 1100 BEFORE YOU DIG.
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- Downpipes to be verified on site by PLUMBER or BUILDER or from HYDRAULIC ENGINEER drawing if they have been provided,

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Α	Issued for Review	R.S.	11.10.201
В	Issued for Review	R.S.	24.10.201
1	Issued for DA Approval	F.V.	09.11.201

PROJE

Proposed New Single Storey Dwelling, Inground Pool & Farm Storage Shed

LOCATION:

880 Londonderry Road, Londonderry

CLIENT:

Mark Cohen

THIS DRAWING:

House Elevations

Development Application

J.A.Anzini Drafting And Building Services PTY LTD

A.C.N. 060 907 860

A.O.N. 000 907 00

-ARCHITECTURAL + ENGINEER PLANS-- AND CONSTRUCTION -

> BUILDERS LIC No. 42764 18 A CARRINGTON ROAD, GUILDFORD NSW 2161

MEMBER OF BUILDING DESIGNERS ASSOCIATION NSW

PH: 9892-2847 FAX: 9632-4213

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DRAWN: R.S	D.	ATE: 09.1	1.2018
SCALE: 1:100	C	HECKED: J.B	
DRAWING NUMBER: 180803A1		SHEET No.	ISSUE
CAD REFERENCE:		3 of 8	A B

SECTION 5 CONSTRUCTION FOR BUSHFIRE ATTACK LEVEL 12.5 (BAL—12.5)

A building assessed in Section 2 as being BAL—12.5 shall comply with Section 3 and Clauses 5.2 to 5.8. NOTE: There are a number of Standards that specify requirements for construction; however, where this Standard does not provide construction requirements for a particular element, the other Standards apply. Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 5.2 to 5.8 (see Clause 3.8). NOTE: BAL—12.5 is primarily concerned with protection from ember attack and radiant heat up to and including 12.5 kW/m2 where the site is less than 100 m from the source of

5.2 SUBFLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor support posts, columns, stumps, piers and poles. NOTE: The exclusion of requirements for subfloor supports applies to the principal building only and not to verandas, decks, steps, ramps and landings (see Clause 5.7). C5.2 Ideally, storage of combustible materials beneath a floor at this BAL would not occur and, on this assumption, there is no requirement to enclose the subfloor space or to protect the subfloor supports, or the bearers, joists and flooring from bushfire attack; however, should combustible materials be stored, it is recommended the area be protected as materials stored in the subfloor space may be ignited by embers and cause an impact to the building.

Concrete slabs on ground This Standard does not provide construction requirements for concrete slabs on the ground.

Elevated floors This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring,

5.4 EXTERNAL WALLS

Walls That part of an external wall surface that is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D) shall be of— (a) noncombustible material; or (b) fibre-cement external cladding, a minimum of 6 mm in thickness; or (c) bushfire-resisting timber (see Appendix F); or (d) a timber species as specified in Paragraph E1, Appendix E; or (e) a combination of any of Items (a), (b), (c) or (d) above.

There are no requirements for external wall surfaces 400 mm or more from the ground or for external wall surfaces 400 mm or more above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D).

Joints All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3 mm. Alternatively, sarkingtype material may be applied over the outer face of the frame prior to fixing any external cladding.

Vents and weepholes Vents and weepholes in external walls shall be screened with a mesh with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, except where the vents and weepholes are less than 3 mm (see Clause 3.6), or are located in an external wall of a subfloor space.

5.5 EXTERNAL GLAZED ELEMENTS AND ASSEMBLIES AND EXTERNAL DOORS

Bushfire shutters Where fitted, bushfire shutters shall comply with Clause 3.7 and be made from— (a) non-combustible material; or (b) a timber species as specified in Paragraph E1, Appendix E; or (b) bushfire-resisting timber (see Appendix F); or (c) a combination of any of Items (a), (b) or (c) above. 5.5.1A Screens for windows and doors Where fitted, screens for windows and doors shall have a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium. Gaps between the perimeter of the screen assembly and the building element to which it is fitted shall not exceed 3 mm. The frame supporting the mesh or perforated sheet shall be made from— (d) metal; or (e) bushfire-resisting timber (see Appendix F); or a timber species as specified in Paragraph E2, Appendix E. 5.5.2 Windows Window assemblies shall comply with one of the following:

(a) They shall be completely protected by a bushfire shutter that complies with Clause 5.5.1. or (b) They shall be completely protected externally by screens that comply with Clause 5.5.1A. or

(c) They shall comply with the following: (i) For window assemblies less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), window frames and window joinery shall be made from one of the following: (A) Bushfire-resisting timber (see Appendix F). or (B) A timber species as specified in Paragraph F2, Appendix E, or (C) Metal, or (D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosionresistant steel and the frame and sash shall satisfy the design load, performance and structural strength of the member. (ii) Externally fitted hardware that supports the sash in 5.7.3.2 Framing its functions of opening and closing shall be metal. (iii) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and

similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), the glazing shall be Grade A safety glass minimum 4 mm, or glass blocks with no restriction on glazing methods. NOTE: Where double glazed units are used the above requirements apply to the external face of the window assembly only. (iv) Where glazing is other than that specified in Item (iii) above, annealed glass may be used. (v) The openable portions of windows shall be screened internally or externally with screens that comply with

Side-hung external doors (including French doors, panel fold and bi-fold doors) Side-hung external doors, including French doors, panel fold and bi-fold doors, shall comply with one of the following: (a) They shall be protected by a bushfire shutter that complies with Clause 5.5.1, or (b) They shall be completely protected externally by screens that comply with Clause 5.5.1A. or (c) They shall comply with the following: (i) Doors shall be— (A) non-combustible; or (B) a solid timber door, having a minimum thickness of 35 mm for the first 400 mm above the threshold; or

(C) a door, including a hollow core door, with a non-combustible kickplate on the outside for the first 400 mm above the threshold; or (D) a fully framed glazed door, where the framing is made from materials required for bushfire shutters (see Clause 5.5.1), or from a timber species as specified in Paragraph

(ii) Where doors incorporate glazing, the glazing shall comply with the glazing requirements for windows.

(iii) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable. (iv) Where any part of the door frame is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having

an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the door (see Figure D3, Appendix D), that part of the door frame shall be made from one of the following: (A) Bushfire-resisting timber (see Appendix F). or

(B) A timber species as specified in Paragraph E2, Appendix E. or (C) Metal. or

(D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the door

assembly shall satisfy the design load, performance and structural strength of the member.

(v) Weather strips, draught excluders or draught seals shall be installed at the base of side-hung external doors.

5.5.4 Doors—Sliding doors

Sliding doors shall comply with one of the following: (a) They shall be protected by a bushfire shutter that complies with Clause 5.5.1. or

(b) They shall be completely protected externally by screens that comply with Clause 5.5.1A. or (c) They shall comply with the following

(i) Any glazing incorporated in sliding doors shall be Grade A safety glass complying with AS 1288. (ii) Both the door frame supporting the sliding door and the framing surrounding any glazing shall be made from one of the following:

(A) Bushfire-resisting timber (see Appendix F). or (B) A timber species as specified in Paragraph E2, Appendix E. or

(C) Metal. or (D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and the sash shall satisfy the design load, performance and structural strength

(iii) There is no requirement to screen the openable part of the sliding door. However, if screened, the screens shall comply with Clause 5.5.1A.

NOTE: The construction of manufactured sliding doors should prevent the entry of embers when the door is closed. There is no requirement to provide screens to the openable part of these doors as it is assumed that a sliding door will be closed if occupants are not present during a bushfire event. Screens of materials other than those specified may not resist ember attack.

5.5.5 Doors—Vehicle access doors (garage doors)

(iv) Sliding doors shall be tight-fitting in the frames

The following apply to vehicle access doors: (a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from—

(i) non-combustible material: or

(ii) bushfire-resisting timber (see Appendix F); or (iii) fibre-cement sheet, a minimum of 6 mm in thickness; or (iv) a timber species as specified in Paragraph E1, Appendix E; or

(v) a combination of any of Items (i), (ii), (iii) or (iv) above.

(b) Panel lift, tilt doors or side-hung doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks, as appropriate to the door type, with a maximum gap no greater than 3 mm. (c) Roller doors shall have guide tracks with a maximum gap no greater than 3 mm and shall be fitted with a nylon brush that is in contact with the door (see Figure D4,

(d) Vehicle access doors shall not include ventilation slots.

5.6 ROOFS (INCLUDING VERANDA AND ATTACHED CARPORT ROOFS. PENETRATIONS, EAVES, FASCIAS, GABLES, GUTTERS AND DOWNPIPES

5.6.1 General

The following apply to all types of roofs and roofing systems (a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.

(b) The roof/wall junction shall be sealed, to prevent openings greater than 3 mm, either by the use of fascia and eaves linings or by sealing between the top of the wall and the underside of the roof and between the rafters at the line of the wall. (c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a

maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium

5.6.2 Tiled roofs Tiled roofs shall be fully sarked. The sarking shall—

(a) have a flammability index of not more than 5; (b) be located directly below the roof battens;

(c) cover the entire roof area including the ridge; and (d) be installed so that there are no gaps that would allow the entry of embers where the sarking meets fascias, gutters, valleys and the like. 5.6.3 Sheet roofs

Sheet roofs shall-(a) be fully sarked in accordance with Clause 5.6.2, except that foil-backed insulation blankets may be installed over the battens; or

(b) have any gaps greater than 3 mm, under corrugations or ribs of sheet roofing and between roof components, sealed at the fascia or wall line and at valleys, hips and

(i) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or (ii) mineral wool; or

(iii) other non-combustible material; or (iv) a combination of any of Items (i), (ii) or (iii) above

5.6.4 Veranda, carport and awning roofs

The following apply to veranda, carport and awning roofs

(a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 5.6.1, 5.6.2, 5.6.3, 5.6.5 and 5.6.6. (b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] complying with Clause 5.4 shall have

a non-combustible roof covering. NOTE: There is no requirement to line the underside of a veranda, carport or awning roof that is

separated from the main roof space.

penetration shall be non-combustible.

5.6.5 Roof penetrations

The following apply to roof penetration (a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3 mm. The material used to seal the

(b) Openings in vented roof lights, roof ventilators or vent pipes shall be fitted with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium. (c) All overhead glazing shall be Grade A safety glass complying with AS 1288.

(d) Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass minimum4 mm, shall be used in the outer pane of the IGU.

(e) Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-flashing of a material having a flammability index no greater than 5. (f) Evaporative cooling units shall be fitted with butterfly closers at or near the ceiling

level or, the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel,

bronze or aluminium (g) Vent pipes made from PVC are permitted. 5.6.6 Eaves linings, fascias and gables

The following apply to eaves linings, fascias and gables:

(a) Gables shall comply with Clause 5.4. (b) Eaves penetrations shall be protected the same as for roof penetrations, as specified in

(c) Eaves ventilation openings greater than 3 mm shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium. Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds. This Standard does not provide construction requirements for fascias, bargeboards and eaves linings.

5.6.7 Gutters and downpipes This Standard does not provide material requirements for—

(a) gutters, with the exception of box gutters; and

If installed, gutter and valley leaf guards shall be non-combustible. Box gutters shall be non-combustible and flashed at the junction with the roof with

5.7 VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

5.7.1 General Decking may be spaced

There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

C5.7.1 Spaced decking is nominally spaced at 3 mm (in accordance with standard industry practice); however, due to the nature of timber decking with seasonal changes in moisture content, that spacing may range from 0–5 mm during service. The preferred dimension for gaps is 3 mm (which is in line with

other 'permissible gaps') in other parts of this Standard. It should be noted that recent research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacings of 10 mm may preclude this from happening but such a spacing regime may not be practical for a timber

5.7.2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings

5.7.2.1 Materials to enclose a subfloor space This Standard does not provide construction requirements for the materials used to enclose a subfloor space except where those materials are less than 400 mm from the ground. Where the materials used to enclose a subfloor space are less than 400 mm from the ground,

5.7.2.2 Supports This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists). 5.7.2.4 Decking, stair treads and the trafficable surfaces of ramps and landings This Standard does not provide construction requirements for decking, stair treads and the trafficable surfaces of ramps and landings that are more than 300 mm from a glazed element. Decking, stair treads and the trafficable surfaces of ramps and landings less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be

made from—

they shall comply with Clause 5.4.

(a) non-combustible material: or (b) bushfire-resisting timber (see Appendix F); or

(c) a timber species as specified in Paragraph E1, Appendix E;

(e) a combination of any of Items (a), (b), (c) or (d) above.

5.7.3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings 5.7.3.1 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

5.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landings

This Standard does not provide construction requirements for decking, stair treads and the trafficable surfaces of ramps and landings that are more than 300 Decking, stair treads and the trafficable surfaces of ramps and landings less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be

made from-(a) non-combustible material; or (b) bushfire-resisting timber (see Appendix F): or

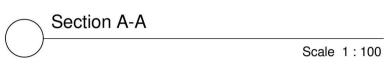
(c) a timber species as specified in Paragraph E1, Appendix E; or

AS 3959-2009 50 Standards Australia www.standards.org.au (d) a combination of any of Items (a), (b) or (c) above.

5.7.4 Balustrades, handrails or other barriers This Standard does not provide construction requirements for balustrades, handrails and other barriers.

5.8 WATER AND GAS SUPPLY PIPES Above-ground, exposed water and gas supply pipes shall be metal.

TIMBER FRAMED ROOF TRUSSES TO BE IN ACCORDANCE WITH AS1684 RIDGE HEIGHT RL: 38.272 AND AS PER MANUFACTURER'S DETAILS AND SPECIFICATIONS CEILING INSULATION AS PER BASIX REQ. ROOF PITCH **ROOF PITCH** SELECTED ROOF SHEETING TO BE INSTALLED AS PER MANUFACTURER'S DETAILS. PROVIDE SELECTED COLORBOND METAL ROOF INSULATION AS SPECIFIED **GUTTERS AND FASCIA** FC SHEETING TO U/S OF EAVES GYPROCK LINING TO INTERNAL **Butler's Pantry** Hall Verandah Bathroom WALLS AND CEILING 240mm BRICK VENEER CONSTRUCTION EXTERNAL WALL INSULATION AS PER BASIX REQUIREMENT F.F.L RL: 31.529 WATER PROOF MEMBRANE SHOWN DASHED REINFORCED CONCRETE RAFT SLAB —



Window Schedule				
Mark	Height	Width	Comments	Window Area
W01	1800	610	DOUBLE HUNG WINDOW - 300mm SILL	1.10 m ²
W02	1800	610	DOUBLE HUNG WINDOW - 300mm SILL	1.10 m ²
W03	1800	610	DOUBLE HUNG WINDOW - 300mm SILL	1.10 m ²
W04	1800	610	DOUBLE HUNG WINDOW - 300mm SILL	1.10 m ²
W05	1800	610	DOUBLE HUNG WINDOW - 300mm SILL	1.10 m ²
W06	1800	610	DOUBLE HUNG WINDOW - 300mm SILL	1.10 m ²
W07	1800	610	DOUBLE HUNG WINDOW - 300mm SILL	1.10 m ²
W08	1800	610	DOUBLE HUNG WINDOW - 300mm SILL	1.10 m ²
W09	1000	600	GLASS BRICKS, 5 GLASS BRICKS IN HEIGHT x 3 GLASS BRICKS IN WIDTH, 1100mm SILL	0.60 m ²
W10	860	610	SLIDING WINDOW - OBSCURE GLASS, 1240mm SILL	0.52 m ²
W11	860	1570	SLIDING WINDOW - OBSCURE GLASS, 1240mm SILL	1.35 m²
W12	860	1570	SLIDING WINDOW - 1240mm SILL	1.35 m²
W13	860	1570	SLIDING WINDOW - OBSCURE GLASS, 1240mm SILL	1.35 m²
W14	1200	1810	SLIDING WINDOW - 986mm SILL (SUBJECT TO GARAGE LEVEL)	2.17 m ²

			Window Schedule	
Mark	Height	Width	Comments	Window Area
W15	2100	2410	SLIDING DOOR	5.06 m ²
W16	2100	2410	SLIDING DOOR	5.06 m ²
W17	2110	5290	GLASS STACKER DOORS - 6 PANELS OVERALL - 2 FIXED PANELS AND 4 OPENING TYPE	11.16 m²
W18	2100	2650	SLIDING DOOR - 3 PANELS, 2 FIXED AND 1 OPENING TYPE	5.57 m ²
W19	860	610	SLIDING WINDOW - OBSCURE GLASS, 1240mm SILL	0.52 m ²
W20	860	1810	SLIDING WINDOW - OBSCURE GLASS, 1240mm SILL	1.56 m ²
W21	1800	610	DOUBLE HUNG WINDOW - 300mm SILL	1.10 m ²
N22	1800	610	DOUBLE HUNG WINDOW - 300mm SILL	1.10 m ²
N23	2100	2410	SLIDING DOOR	5.06 m ²
N24	1800	610	DOUBLE HUNG WINDOW - 300mm SILL	1.10 m ²
N25	1800	610	DOUBLE HUNG WINDOW - 300mm SILL	1.10 m ²
N26	1000	600	GLASS BRICKS, 5 GLASS BRICKS IN HEIGHT x 3 GLASS BRICKS IN WIDTH, 1100mm SILL	0.60 m ²

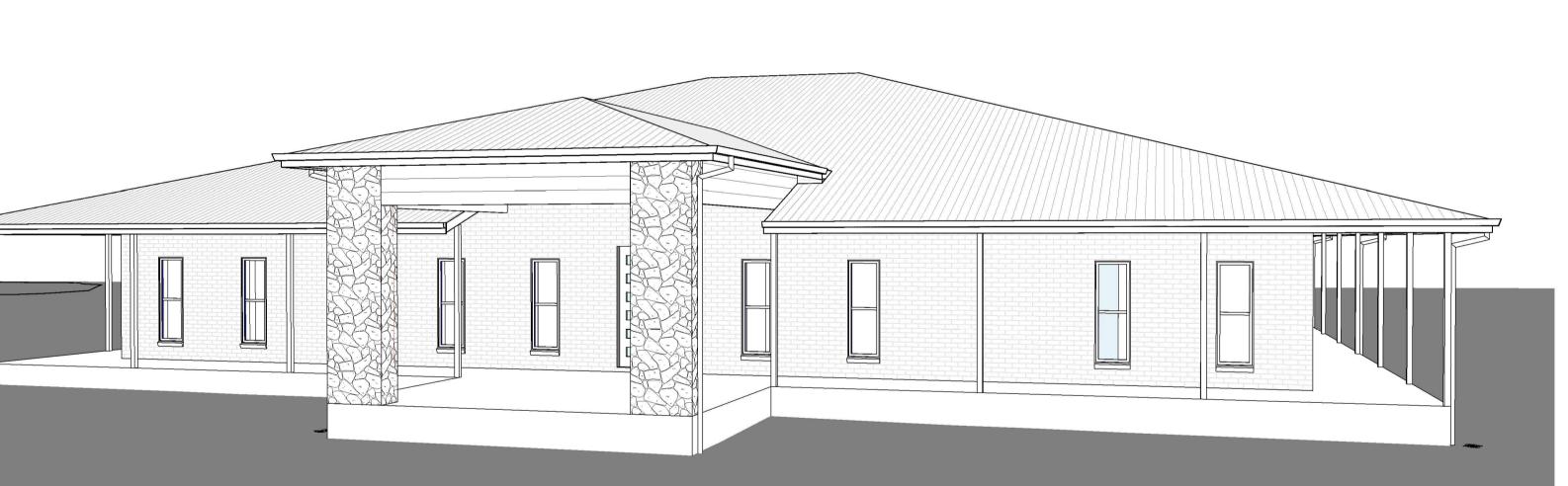
AS PER ENGINEER'S DETAILS

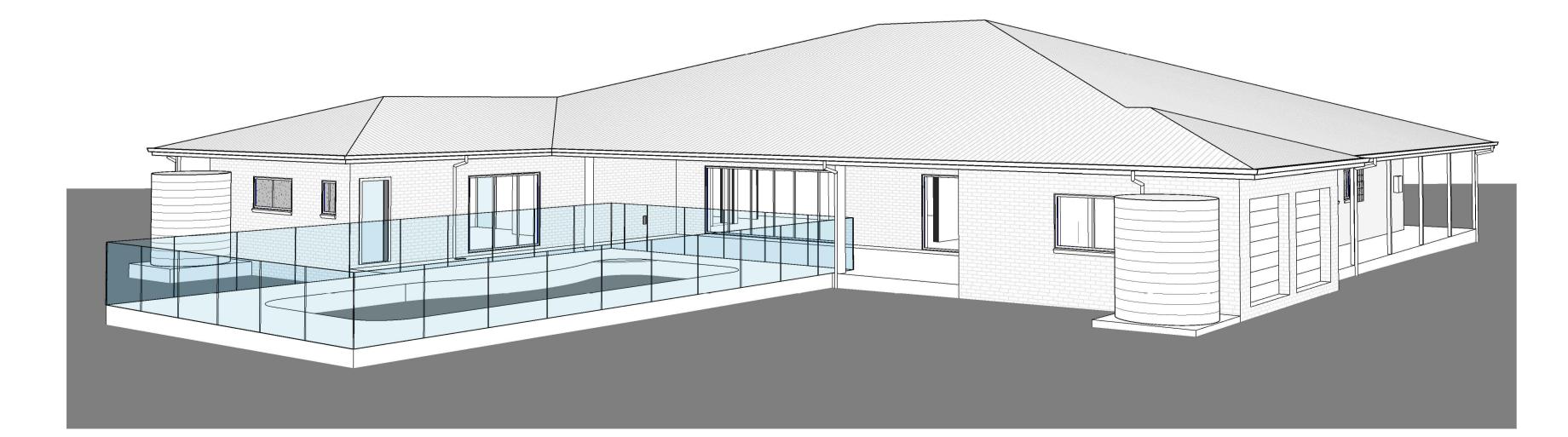
* All windows are aluminium framed sliding type. Unless noted otherwise. * Confirm all windows with builder and owner prior to ordering.

* All windows are nominal sizes. * Builder and owner to comply with relevant BASIX commitments in regards to glazing requirements.

* All bedroom windows more than 2m above natural ground with sill height <1.7m must provide either crimsafe screening to opening portion or fixed to open max. 125mm in accordance with Clause 3.9.2.5 (Protection of openable windows) of

Volume 2 of the Building Code of Australia.





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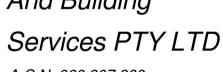
CLIENT: Mark Cohen

Londonderry

Section A-A & Window Schedule & 3D's

Development Application

J.A.Anzini Drafting And Building



A.C.N. 060 907 860

-ARCHITECTURAL + ENGINEER PLANS-- AND CONSTRUCTION

> BUILDERS LIC No. 42764 18 A CARRINGTON ROAD,

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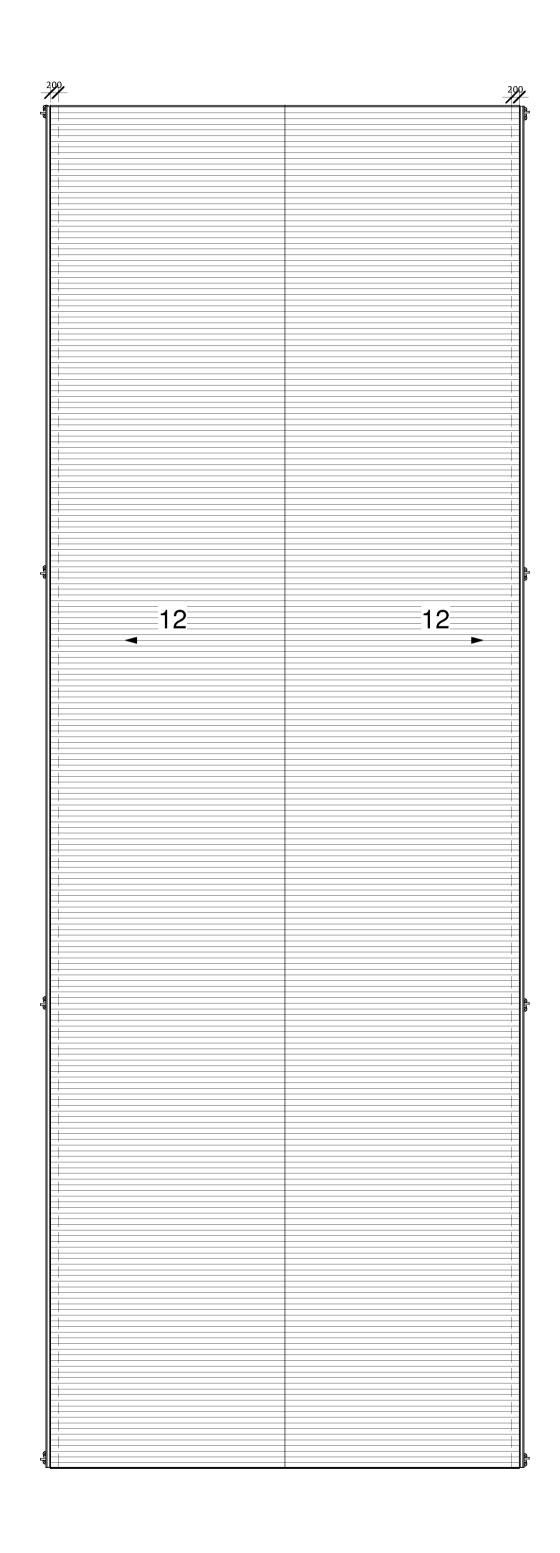
DATE: 09.11.2018 DRAWN: R.S CHECKED: J.B SCALE: 1:100 DRAWING NUMBER: SHEET No. ISSUE

CAD REFERENCE:

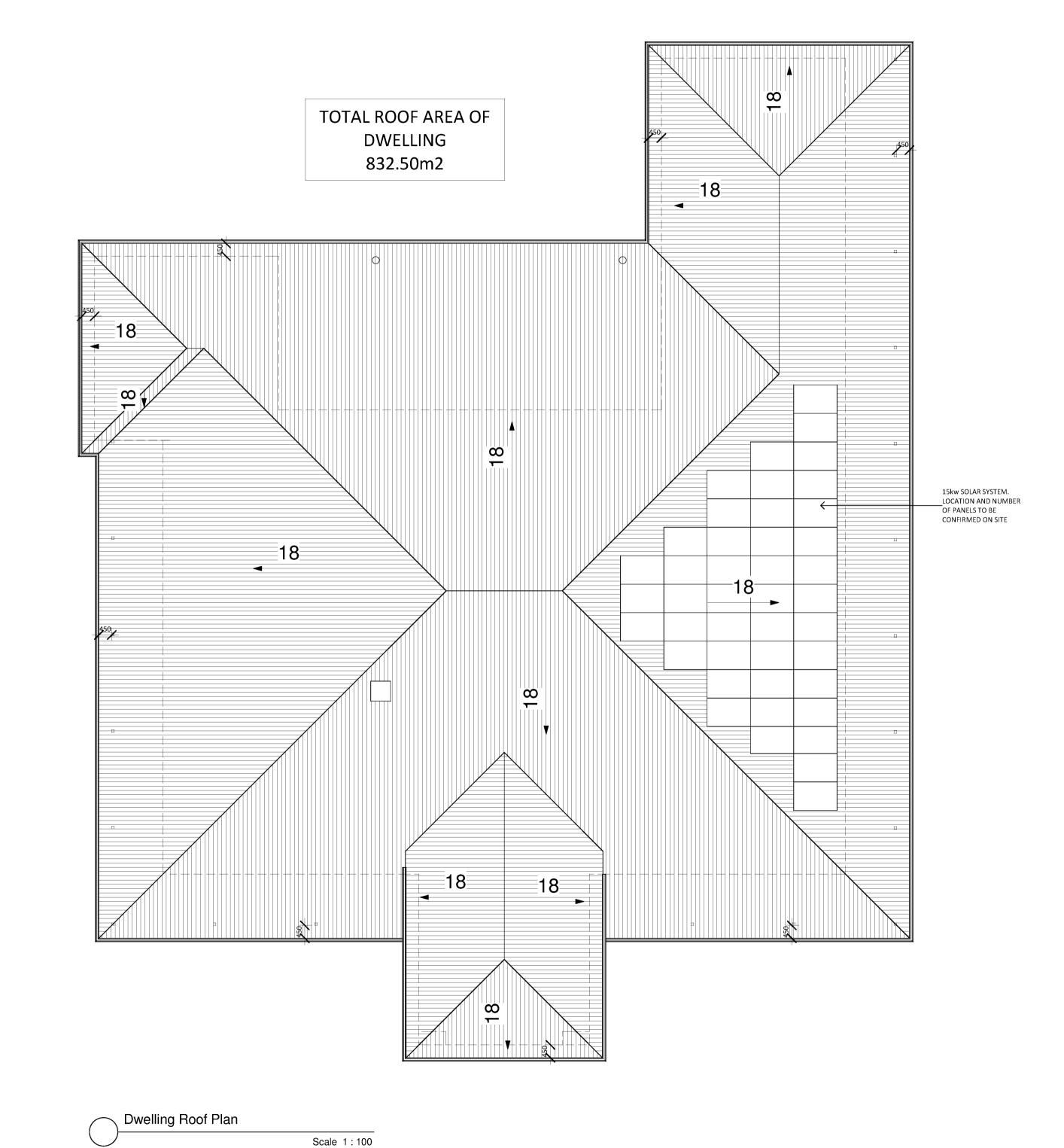
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Dwelling, Inground Pool & Farm

Storage Shed

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Roof Plans

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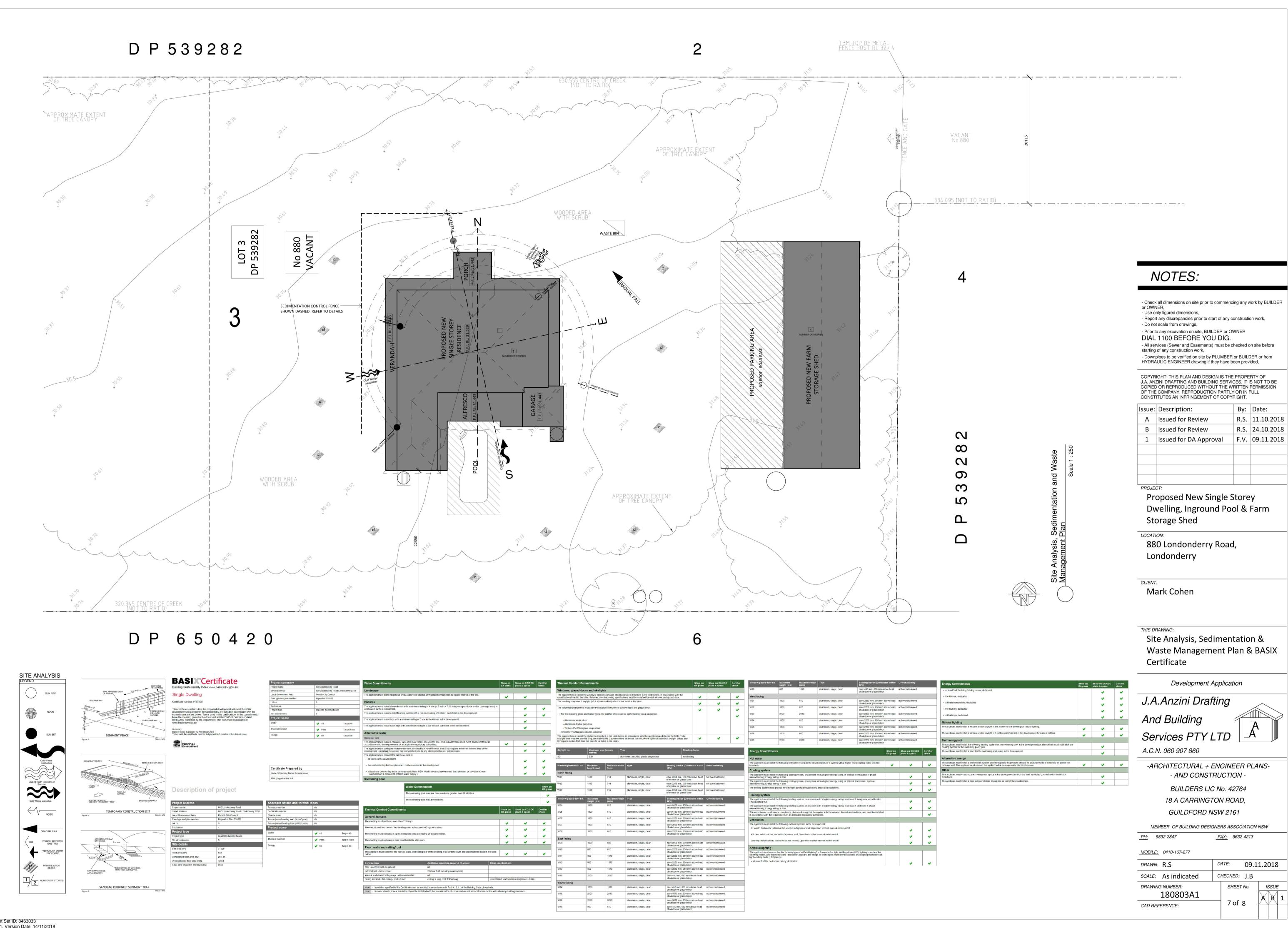
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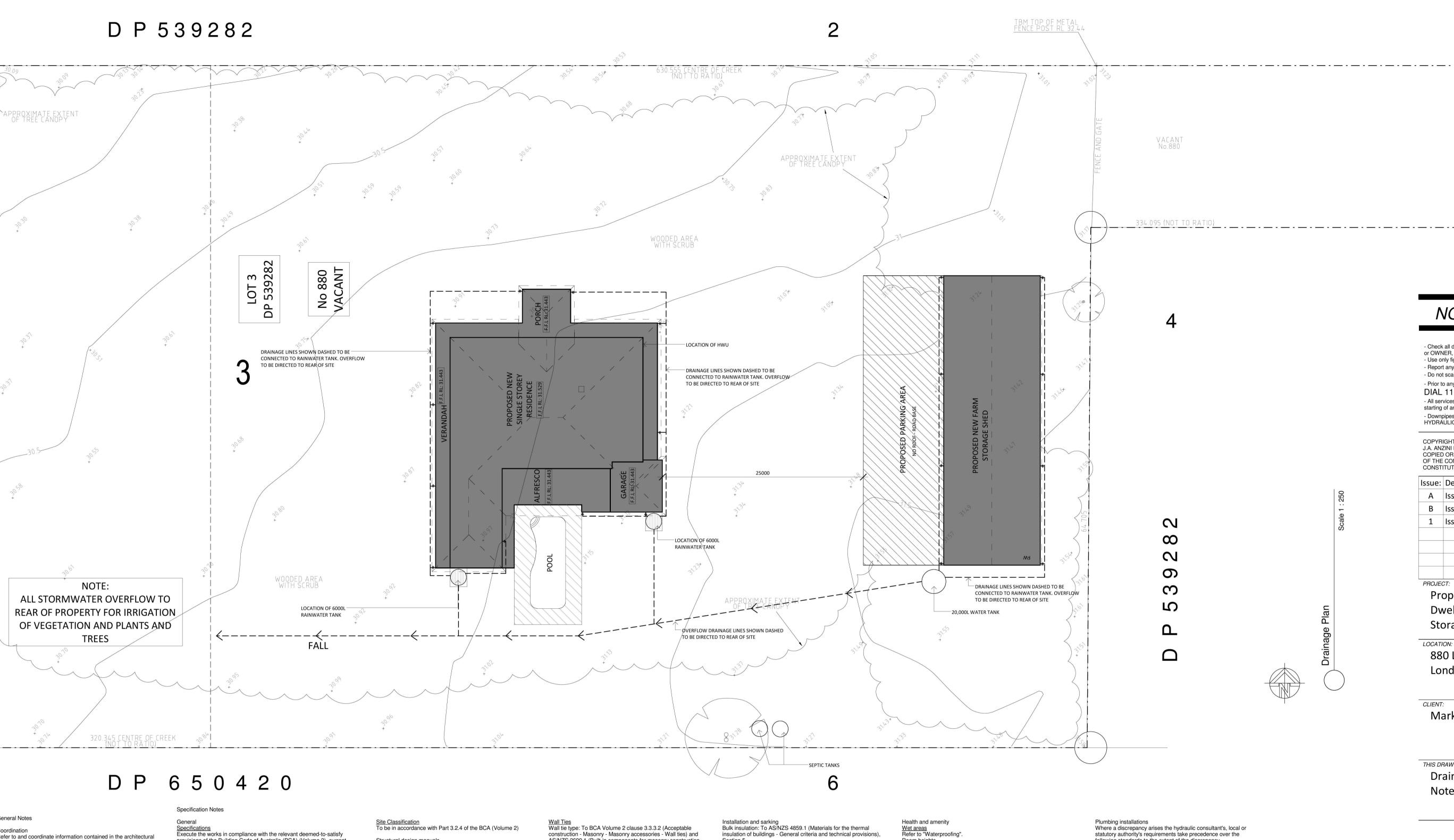
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SHEET No. ISSUE

6 of 8



Version: 1, Version Date: 14/11/2018



General Notes

Refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify any discrepancies between the architectural and/or other consultants documentation prior to proceeding with the works.

Specifications and Schedules Refer to and coordinate with applicable Specifications and Schedules. Notify any discrepancies between documents prior to

proceeding with the works.

Drawings at larger scales take precedence over drawings at smaller scales, Notify any discrepancies prior to proceeding with the works.

Execution of the works Execute the works in accordance and compliance with: - The approved Development Application and in accordance with the relevant Conditions of Consent and other relevant Local Authority requirements:

- The requirements scheduled by a current BASIX Certificate consistent with the works. - The current edition of the Building Code of Australia (as amended); and

- Current editions of the relevant Australian and other applicable published standards relevant to the execution of the works.

Units of measurement Dimensions are shown in millimetres unless noted otherwise.

Materials handling and storage Material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written

Foundations, footings, reinforced concrete slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be constructed in accordance with the Structural Engineer's details and specifications.

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be constructed in accordance with Local Authority and Hydraulic Engineer's requirements.

provisions of the Building Code of Australia (BCA) (Volume 2), current editions of relevant Australian and other applicable published Standards and the relevant requirements of Local and/or Statutory Authorities applicable to the execution of the works. This schedule of codes and standards outlines the minimum acceptable

Termite protection Provide termite protection: In accordance with Part 3.1.3 -Termite Risk Management of the BCA (Volume 2) and to AS 3660.1 (Termite management - New building work) Provide professional certification of the termite protection measures to the principal certifying authority, confirming compliance with the provisions of

he BCA and Australian Standard. Flashing and damp-proof courses Flashings and damp-proof courses: To AS/NZS 2904 (Damp proof courses Fasteners
Steel nails: Hot-dip galvanised to AS/NZS 4680 (Hot-dip glavanised (zinc)

coatings on fabricated ferrous articles). Self-drilling screws: To AS 3566.1 (Self-drilling screws for the building and construction industries) Metal finishes Corrosion protection: To BCA Volume 2 clause 3.4.2.2 (Acceptable

construction - Framing - Steel framing - General).

Structural design

Demolish existing structures as shown: To AS 2601 (Demolition of structures).

Structural design is to be in accordance with the relevant structural design

To be carried out in accordance with: The requirements of the Environmental Planning & Assessment Act 1979; Relevant conditions of the development consent; and the relevant requirements of Part 3.1.1 of the BCA (Volume 2). Stormwater drainage
Part 3.1.2 of the BCA (Volume 2) and AS/NZS 3500 (Part 3 - Stormwater drainage).
AS/NZS 3500 (Part 5 - Domestic installations - Section 5 - stormwater

For details of structural footings, slabs, framing and the like refer to structural engineering details, to be prepared by a qualified structural

Structural design manuals AS 1170.1 (Dead and live loads and load combinations) AS 1170.2 (AS 4055 - Wind loads) AS 1170.4 (Earthquake loads) AS 1720.1 (Timber structures code) AS 2159 (Piling - design and installation)

As 2327.1 (Composite structures)

AS 3600 (Concrete structures)

AS 4100 (Steel structures)

Structural design certification Submit structural engineer's design certification, in accordance with Local Authority requirements, the Principal Certifying Authority prior to the commencement of works.

Concrete structures generally: To AS 3600 (Concrete structures). Ground Slabs and footings: To AS 2870 (Residential slabs and footings - Construction) Ready mixed supply: To AS 1379 (Specification and supply of concrete).

Design and construct footings and slabs: In accordance with Part 3.2 of the BCA (Volume 2) and AS 2870 (Residential slabs and footings), AS 3600 (Concrete structures) and AS 2159 (Piling -Design and installation).

Brick & block construction (masonry) Masonry construction: To be in accordance with Part 3.3 of the BCA (Volume 2) and to AS 3700 (Masonry structures). Masonry units: To AS/NZS 4455 (Masonry units and segmental Clay brick durability below damp-proof course: Use exposure category to AS/NZS 4456.10 (Masonry units and segmental pavers - Methods of test - Determining resistance to salt attack) Appendix A (Salt attack resistance categories).

Galvanising mild steel components (including fasteners) to AS 1214 or AS/NZS 4680, as appropriate, where exposed to weather, embedded in masonry or in contact with chemically

AS/NZS 2699.1 (Built-in components for masonry construction -Wall ties); Non-seismic areas:

Type A; Seismic areas: Type B. Wall tie spacing: To BCA Volume 2 Figure 3.3.3.1 (Typical brick ties spacings in cavity and veneer construction).
Wall tie corrosion protection: To BCA Volume 2 Table 3.3.3.1 (Corrosion protection for wall ties). Lintels generally: In accordance with Part 3.3.3.4 of the BCA

Timber & steel framed construction Sub-floor ventilation To be in accordance with Part 3.4.1 of the BCA (Volume 2) Timber wall, floor and roof framing Timber framing: To be in accordance with Part 3.4 of the BCA Volume 2) and

AS 1684.4 (Residential timber-framed construction - Simplified

Steel framing and structural steel members
Steel framing: to be in accordance with Part 3.4.2 of the BCA Acceptable construction practice (Part 3.4.2.1 of the BCA) and /

- Non-cyclonic) or AS 1720.1 (Timber structures - Design

AS 4100 (Steel structures) Cold-formed steel framing: Provide a proprietary system designed to AS 3623 (Domestic metal framing).

Roof and wall cladding

To be in accordance with Parts 3.5.1.1 & 3.5.1.2 of the BCA Volume 2) and AS 2049 (Roof tiles). Roof tile installation: To AS 2050 (Installation of roofing tiles). Metal roof sheeting To be in accordance with Parts 3.5.1.1 & 3.5.1.3 of the BCA Metal roofing design and installation: To AS 1562.1 (Design and installation of sheet roof and wall cladding - Metal). Roof plumbing To be in accordance with Part 3.5.2 of the BCA (Volume 2) and

AS/NZS 3500 (Part 3 - Stormwater drainage) and AS/NZS 3500

(Part 5 - Domestic installation - section 5 - stormwater drainage).

To be in accordance with Part 3.5.3 of the BCA (Volume 2)

Reflective insulation: To AS/NZS 4859.1, Section 9. Sarking material: To AS/NZS 4200.1

Windows and doors Glazing to be in accordance with Part 3.6 of the BCA (Volume 2). Glass Selection and installation: To AS 1288 (Glass in buildings -

(Pliable building materials and underlays - Materials).

Selection and installation Timber doorsets: To AS 2688 (Timber doors). Timber frames and jamb linings: To AS 2689 (Timber doorsets) Security screen doors and window grilles: To AS 5039 (Security screen doors and security window grilles).
Window selection and installation: To AS 2047 (Windows in buildings -Selection and installation). Doorset installation: To AS 1909 (Installation of timber doorsets). Garage doors: To AS/NZS 4505 (Domestic garage doors).

Plasterboard: To AS/NZS 2588 (Gypsum plasterboard). Plasterboard installation: To AS/NZS 2589.1 (Gypsum linings in residential and light commercial construction - Application and finishing - Gypsum plasterboard) Level 4 finish. Fibre cement: To AS/NZS 2908.2 (Cellulose-cement products - Flat

Fibrous plaster products: To AS 2185 (Fibrous plaster products).

Type B, Category 2.

Fire safety To be in accordance with Part 3.7.1 of the BCA (Volume 2). Fire separation - Separating wall construction: Part 3.7.1.8 of the BCA Fire separation - Roof lights: Part 3.7.1.10 of the BCA (Volume 2). Refer to architectural details of fire separation methods.

Smoke alarms
To be in accordance with Part 3.7.2 of the BCA (Volume 2); and AS 3786 (Smoke alarms).

Room heights To be in accordance with Part 3.8.2 of the BCA (Volume 2). Kitchen, sanitary and washing facilities

To be in accordance with Parts 3.8.3.2 and 3.8.3.3 of the BCA (Volume 2). Natural and artificial light To be in accordance with Parts 3.8.4.2 and 3.8.4.3 of the BCA (Volume 2). To be in accordance with Part 3.8.5 of the BCA (Volume 2).

Natural Ventilation: Parts 3.8.5.2 and 3.8.5.3 of the BCA (Volume 2). Mechanical Ventilation: Parts 3.8.5.0 and 3.8.5.3 of the BCA (Volume 2). To be in accordance with Part 3.8.6.1 of the BCA (Volume 2).

Safe movement and access

Block and tile finishes

Stair construction Γο be in accordance with Part 3.9.1.1 of the BCA (Volume 2) - Acceptable construction practice. To be in accordance with Part 3.9.2.1 of the BCA (Volume 2) - Acceptable construction practice.

Guide to the installation of ceramic tiles) and AS 3958.2 (Ceramic tiles -Guide to the selection of a ceramic tiling system).

Adhesives: To AS 2358 (Adhesives - For fixing ceramic tiles).

Ceramic tiling: Follow the guidance provided by AS 3958.1 (Ceramic tiles -

Waterproofing
To be in accordance with Part 3.8.1 of the BCA (Volume 2). Waterproofing: To AS 3740 (Waterproofing of wet areas in residential Refer to architectural details of waterproofing.

Floor coatings and coverings Carpeting: To AS/NZS 2455.1 (Textile floor coverings - Installation practice -Resilient finishes: To AS 1884 (Floor coverings - Resilient sheet and tiles -Laying and maintenance practices).

Painting generally: Follow the guidance provided by AS/NZS 2311 (Guide to the painting of buildings) and AS/NZS 2312 (Guide to the protection of structural steel against atmospheric corrosion by the use of protective

following standards to the extent of the discrepancy. Plumbing and draining products: To SAA MP52 (Manual of authorization procedures for plumbing and drainage products) and AS/NZS 3718 (Water supply - Tap ware). Stormwater: To AS/NZS 3500.3 (Plumbing and Drainage -Stormwater drainage) or AS/NZS 3500.5 (National Plumbing and Drainage - Domestic installations). Wastewater: To AS/NZS 3500.2 (Plumbing and Drainage -Sanitary plumbing and drainage) or AS/NZS 3500.5. Freshwater: To AS/NZS 3500.1 (Plumbing and Drainage - Water services) and AS/NZS 3500.4 (Plumbing and Drainage - Heated

Electrical installations

water services) or AS/NZS 3500.5.

Gas: To AS 5601 (Gas installation code).

Where a discrepancy arrises the electrical consultant's, local or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy. Electrical installation: To AS/NZS 3018 (Electrical installation -Smoke Alarms: Refer to "Fire Safety, Smoke Alarms". Smoke alarm installation and testing: To AS 1670.1 (Fire detection, warning, control and intercom systems - System design, installation, and commissioning - Fire) in accordance with the requirements of the Building Code of Australia. Connect smoke alarms to mains power. Test electrical installations: To AS/NZS 3017 (Electrical installations - Testing guidelines). Certify compliance with AS/NZS

Mechanical installations Mechanical ventilation: To AS 1668.2 (The use of ventilation and air-conditioning in buildings - Mechanical ventilation for acceptable indoor quality) - Grade 2 amenity.

NOTES:

- Check all dimensions on site prior to commencing any work by BUILDER - Use only figured dimensions, - Report any discrepancies prior to start of any construction work, - Do not scale from drawings, - Prior to any excavation on site, BUILDER or OWNER

DIAL 1100 BEFORE YOU DIG. - All services (Sewer and Easements) must be checked on site before starting of any construction work, - Downpipes to be verified on site by PLUMBER or BUILDER or from HYDRAULIC ENGINEER drawing if they have been provided,

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	R.S.	24.10.201
Issued for DA Approval	F.V.	09.11.201
		<i>T</i> -

Proposed New Single Storey Dwelling, Inground Pool & Farm Storage Shed

LOCATION:

880 Londonderry Road, Londonderry

CLIENT:

Mark Cohen

Drainage Plan & Specification **Notes**

Development Application

J.A.Anzini Drafting And Building

Services PTY LTD A.C.N. 060 907 860

-ARCHITECTURAL + ENGINEER PLANS-- AND CONSTRUCTION

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CAD REFERENCE:

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8 of 8

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