

Area Calculations		
Mark	Areas:	Area
01	LIVING AREA	468.07 m ²
02	DOUBLE GARAGE	40.68 m ²
03	VERANDAH	153.90 m ²
04	ALFRESCO	75.51 m ²
Total:		738.16 m ²
Site Area (approx.):		3.16 Hectares (31600m ²)

Ground Floor Footprint: Max: 500m²
Proposed: 480.02m²

Shed Area: 432m²

NOTES:

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Issue:	Description:	By:	Date:
A	Issued for Review	R.S.	11.10.2018
B	Issued for Review	R.S.	24.10.2018
1	Issued for DA Approval	F.V.	09.11.2018

PROJECT:
Proposed New Single Storey Dwelling, Inground Pool & Farm Storage Shed

LOCATION:
880 Londonderry Road, Londonderry

CLIENT:
Mark Cohen

THIS DRAWING:
Site Plans

Development Application
J.A. Anzini Drafting And Building Services PTY LTD
A.C.N. 060 907 860

-ARCHITECTURAL + ENGINEER PLANS-
- AND CONSTRUCTION -
BUILDERS LIC No. 42764
18 A CARRINGTON ROAD,
GUILDFORD NSW 2161

MEMBER OF BUILDING DESIGNERS ASSOCIATION NSW
PH: 9892-2847 FAX: 9632-4213

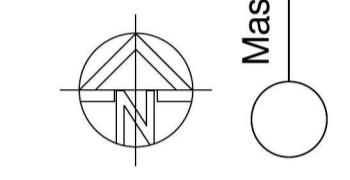
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DRAWN: R.S DATE: 09.11.2018

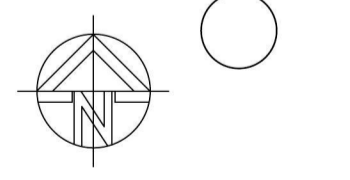
SCALE: As indicated CHECKED: J.B

DRAWING NUMBER: 180803A1 SHEET No. 1 of 8

CAD REFERENCE:



Master Site Plan
Scale 1 : 1000



Site Plan
Scale 1 : 250



D P 539282

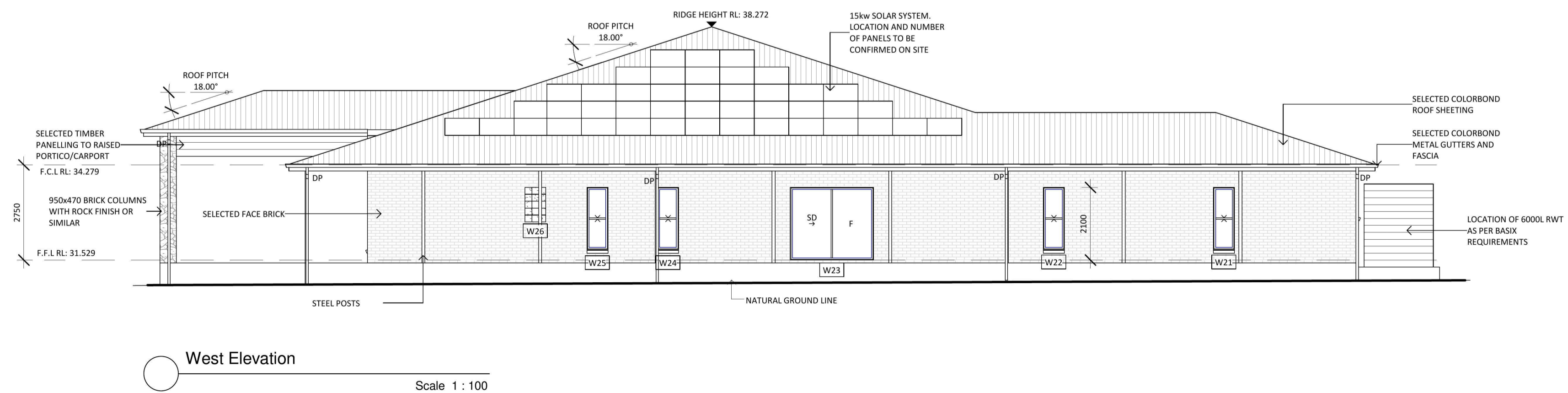
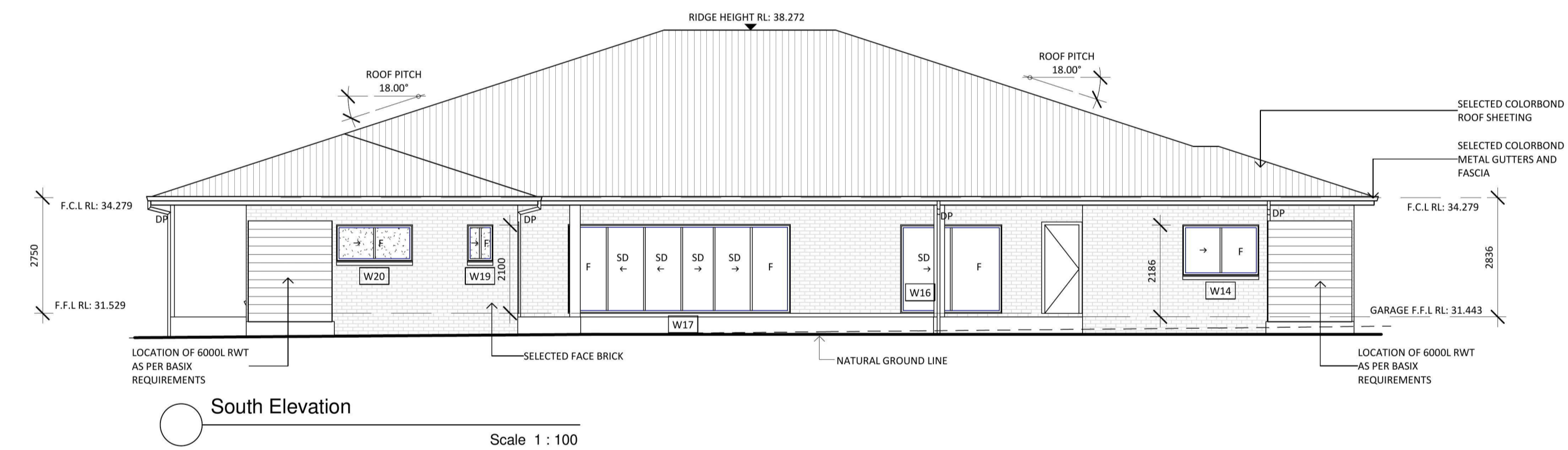
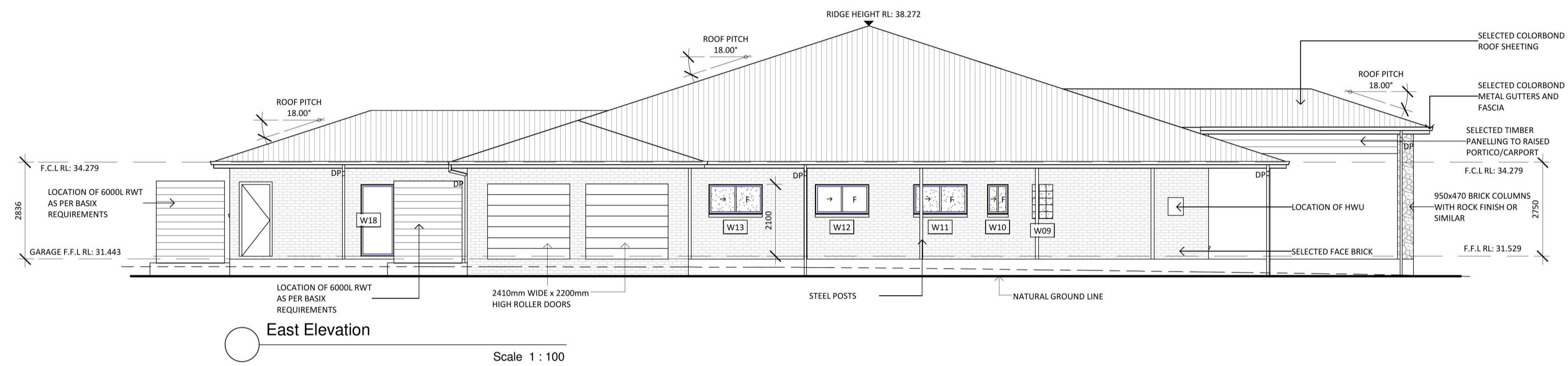
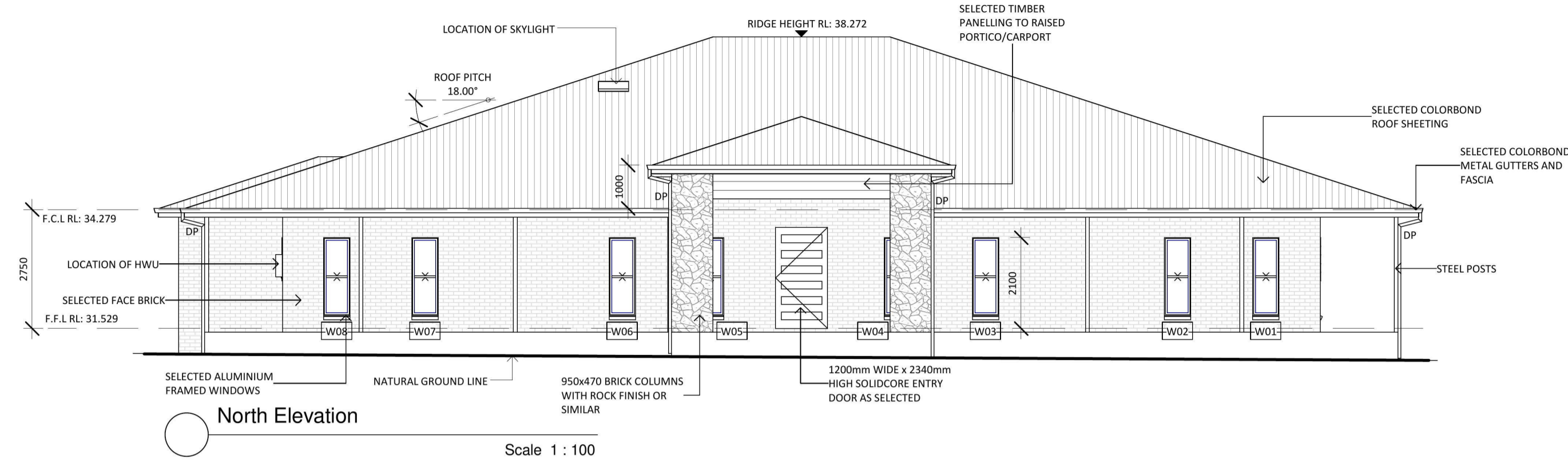
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4

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D P 650420

6



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PROJECT:
Proposed New Single Storey Dwelling, Inground Pool & Farm Storage Shed

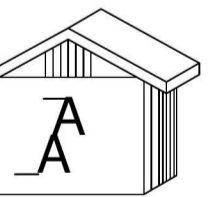
LOCATION:
880 Londonderry Road,
Londonderry

CLIENT:
Mark Cohen

THIS DRAWING:
House Elevations

Development Application

J.A. Anzini Drafting
And Building
Services PTY LTD



A.C.N. 060 907 860

ARCHITECTURAL + ENGINEER PLANS -
AND CONSTRUCTION -
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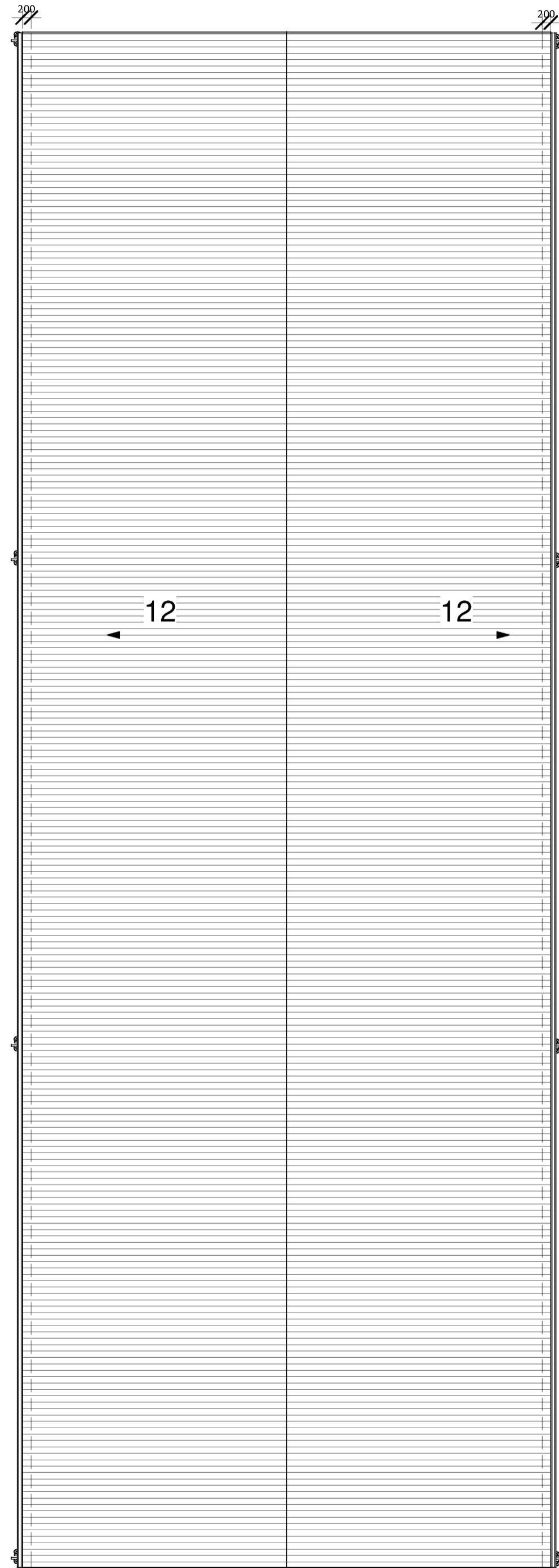
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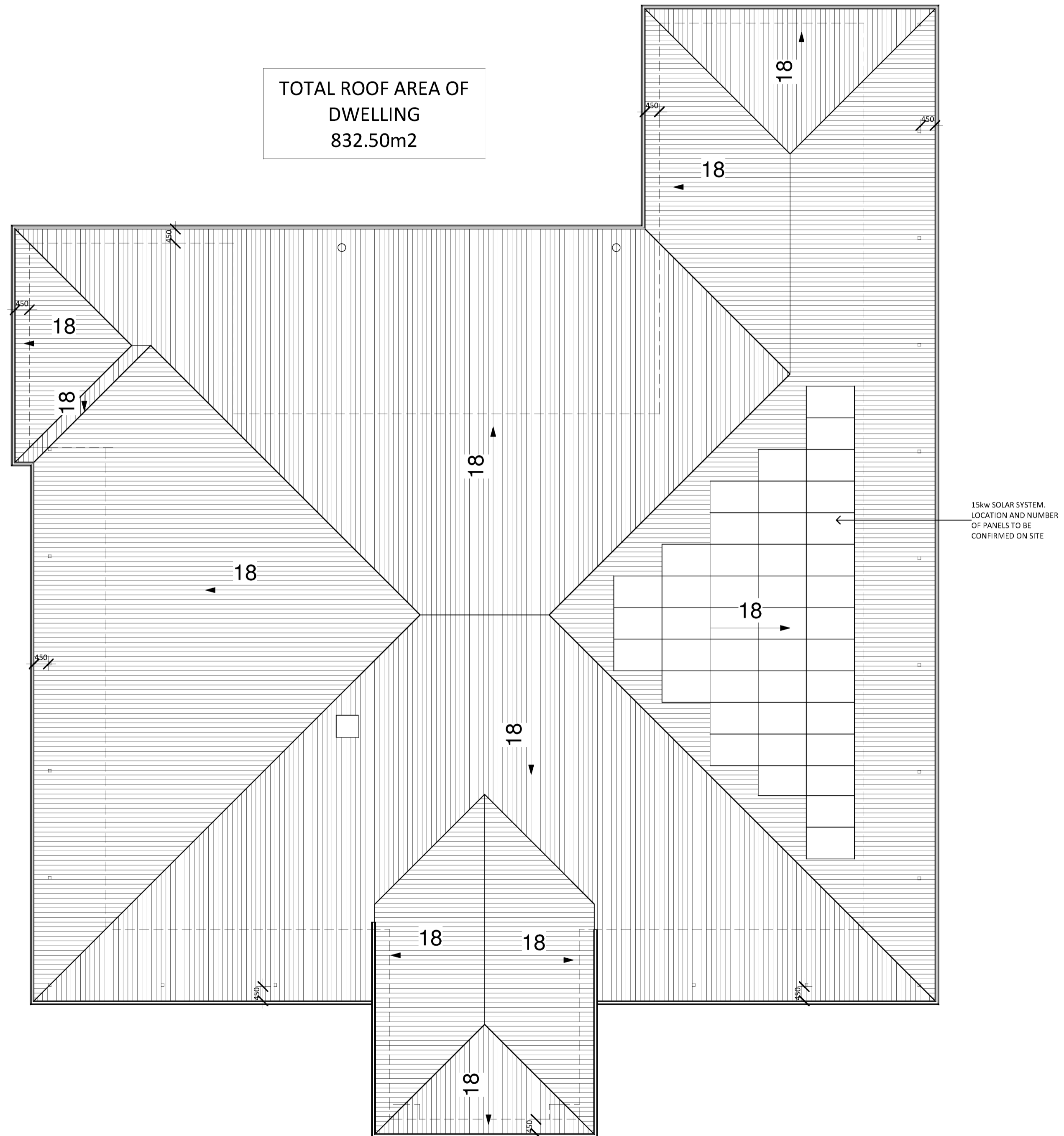
SCALE: 1 : 100 CHECKED: J.B

DRAWING NUMBER: 180803A1 SHEET No. 3 of 8

CAD REFERENCE: ISSUE A B 1



○ Farm Storage Shed Roof Plan
Scale 1 : 100



○ Dwelling Roof Plan
Scale 1 : 100

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PROJECT:
Proposed New Single Storey Dwelling, Inground Pool & Farm Storage Shed

LOCATION:
880 Londonderry Road, Londonderry

CLIENT:
Mark Cohen

THIS DRAWING:
Roof Plans

Development Application
J.A. Anzini Drafting And Building Services PTY LTD
A.C.N. 060 907 860

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- AND CONSTRUCTION -
BUILDERS LIC No. 42764
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SCALE: 1 : 100 CHECKED: J.B.

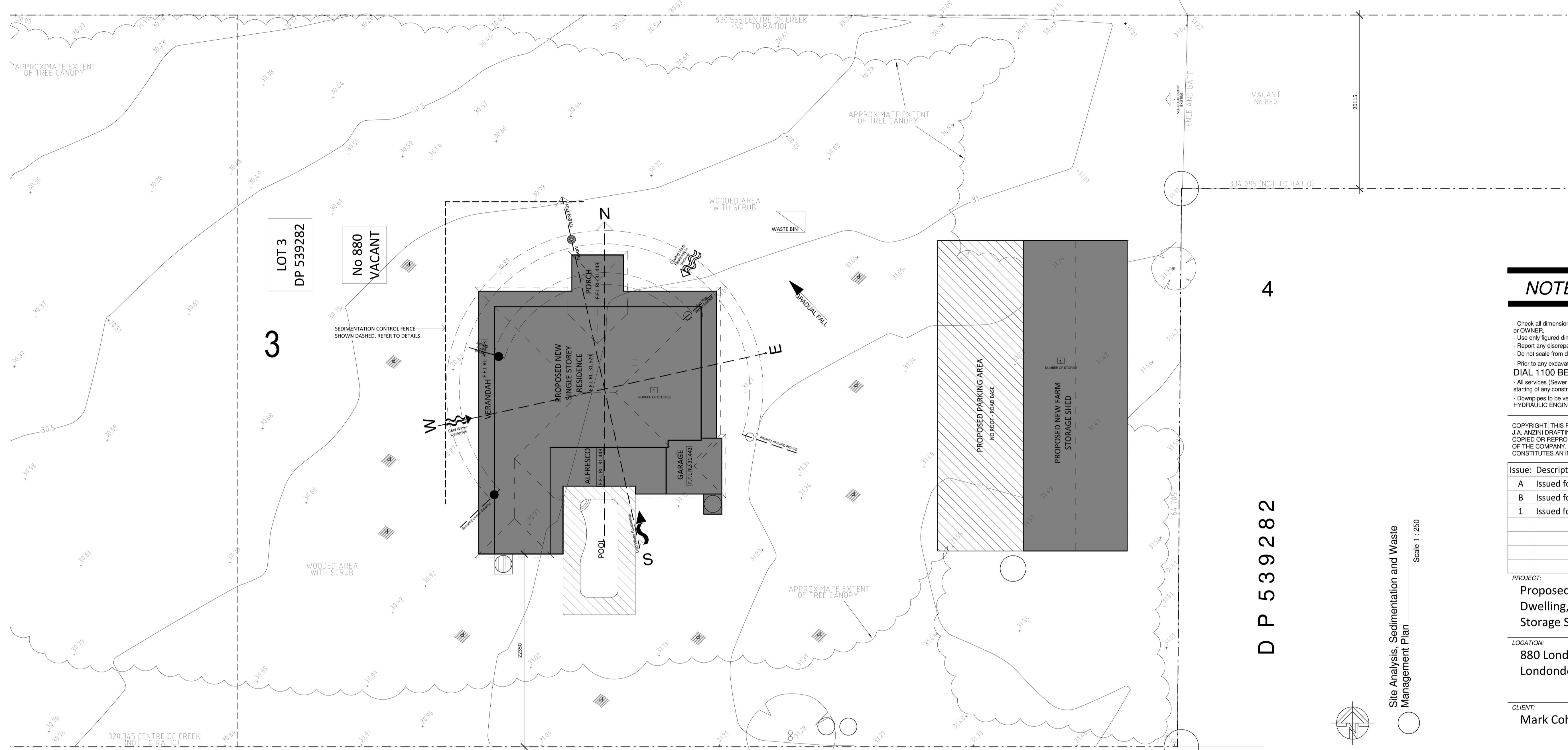
DRAWING NUMBER: 180803A1 SHEET No. 6 of 8 ISSUE 1

CAD REFERENCE:

DP 539282

2

TBM TOP OF METAL FENCE POST RL 32.24



LOT 3 DP 539282

No 880 VACANT

3

4

DP 539282

Site Analysis, Sedimentation and Waste Management Plan Scale 1:250

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Table with 4 columns: Issue, Description, By, Date. Contains 3 rows of issue tracking.

PROJECT: Proposed New Single Storey Dwelling, Inground Pool & Farm Storage Shed
LOCATION: 880 Londonderry Road, Londonderry

CLIENT: Mark Cohen

THIS DRAWING: Site Analysis, Sedimentation & Waste Management Plan & BASIX Certificate

Development Application
J.A. Anzini Drafting And Building Services PTY LTD
A.C.N. 060 907 860

ARCHITECTURAL + ENGINEER PLANS - AND CONSTRUCTION - BUILDERS LIC No. 42764
18 A CARRINGTON ROAD, GUILDFORD NSW 2161

MEMBER OF BUILDING DESIGNERS ASSOCIATION NSW
PH: 9892-2847 FAX: 9632-4213

MOBILE: 0418-167-277

DRAWN: R.S DATE: 09.11.2018

SCALE: As indicated CHECKED: J.B

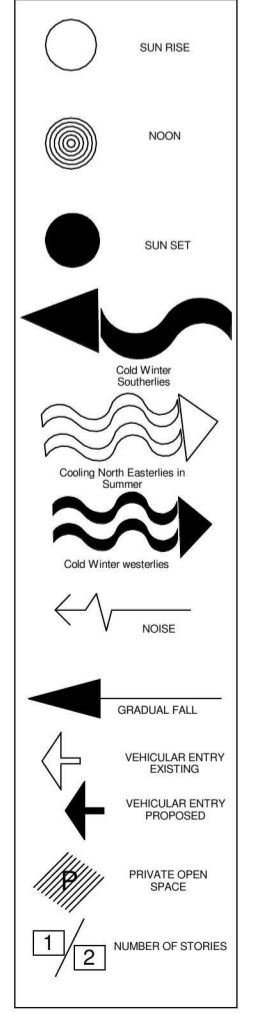
DRAWING NUMBER: 180803A1 SHEET No. 7 of 8

CAD REFERENCE: ISSUE 1

DP 650420

6

SITE ANALYSIS



BASIX Certificate Building Sustainability Index. Includes project summary, BASIX score, and BASIX details.

Description of project. Includes project address, BASIX score, and BASIX details.

Water Constraints table with columns for New on DA plans, New on COCCO plans & signs, and Current status. Includes sections for Landscaping, Figures, and Accessible water.

Thermal Comfort Constraints table with columns for New on DA plans, New on COCCO plans & signs, and Current status. Includes sections for Windows, Glass doors and skylights, and Sun shading.

Energy Constraints table with columns for New on DA plans, New on COCCO plans & signs, and Current status. Includes sections for Heating system, Cooling system, and Ventilation.

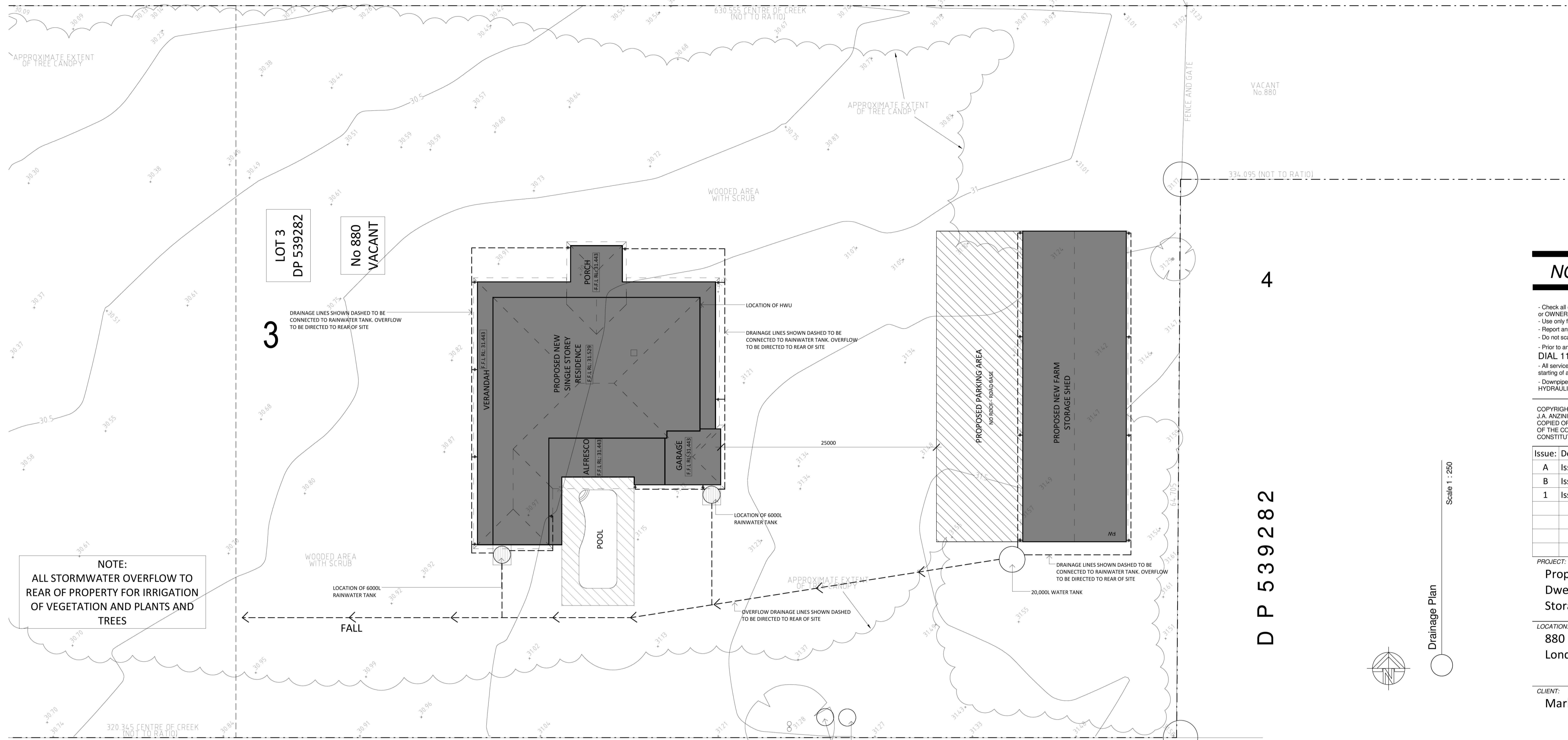
Artificial lighting table with columns for New on DA plans, New on COCCO plans & signs, and Current status. Includes sections for Daylighting and Artificial lighting.

Water Constraints table with columns for New on DA plans, New on COCCO plans & signs, and Current status. Includes sections for Swimming pool and Water constraints.

Thermal Comfort Constraints table with columns for New on DA plans, New on COCCO plans & signs, and Current status. Includes sections for Windows, Glass doors and skylights, and Sun shading.

Energy Constraints table with columns for New on DA plans, New on COCCO plans & signs, and Current status. Includes sections for Heating system, Cooling system, and Ventilation.

Artificial lighting table with columns for New on DA plans, New on COCCO plans & signs, and Current status. Includes sections for Daylighting and Artificial lighting.



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PROJECT:
Proposed New Single Storey Dwelling, Inground Pool & Farm Storage Shed

LOCATION:
880 Londonderry Road, Londonderry

CLIENT:
Mark Cohen

THIS DRAWING:
Drainage Plan & Specification Notes

Development Application

J.A. Anzini Drafting And Building Services PTY LTD
A.C.N. 060 907 860

ARCHITECTURAL + ENGINEER PLANS - AND CONSTRUCTION - BUILDERS LIC No. 42764
18 A CARRINGTON ROAD, GUILDFORD NSW 2161

MEMBER OF BUILDING DESIGNERS ASSOCIATION NSW
PH: 9892-2847 FAX: 9632-4213

MOBILE: 0418-167-277

DRAWN: R.S DATE: 09.11.2018

SCALE: As indicated CHECKED: J.B

DRAWING NUMBER: 180803A1 SHEET No. 8 of 8

CAD REFERENCE:

General Notes
Coordination
Refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify any discrepancies between the architectural and/or other consultants documentation prior to proceeding with the works.
Specifications and Schedules
Refer to and coordinate with applicable Specifications and Schedules. Notify any discrepancies between documents prior to proceeding with the works.
Detail Drawings
Drawings at larger scales take precedence over drawings at smaller scales. Notify any discrepancies prior to proceeding with the works.
Execution of the works
Execute the works in accordance and compliance with:
- The approved Development Application and in accordance with the relevant Conditions of Consent and other relevant Local Authority requirements;
- The requirements scheduled by a current BASIX Certificate consistent with the works.
- The current edition of the Building Code of Australia (as amended); and
- Current editions of the relevant Australian and other applicable published standards relevant to the execution of the works.
Units of measurement
Dimensions are shown in millimetres unless noted otherwise.
Materials handling and storage
Material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

Specification Notes
General Specifications
Execute the works in compliance with the relevant deemed-to-satisfy provisions of the Building Code of Australia (BCA) (Volume 2), current editions of relevant Australian and other applicable published Standards and the relevant requirements of Local and/or Statutory Authorities applicable to the execution of the works.
This schedule of codes and standards outlines the minimum acceptable standards.
Termite protection
Provide termite protection: In accordance with Part 3.1.3 - Termite Risk Management of the BCA (Volume 2) and to AS 3660.1 (Termite management - New building work).
Provide professional certification of the termite protection measures to the principal certifying authority, confirming compliance with the provisions of the BCA and Australian Standard.
Flashing and damp-proof courses
Provide flashing and damp-proof courses: To AS/NZS 2904 (Damp proof courses and flashings).
Fastenings
Steel nails: Hot-dip galvanised to AS/NZS 4680 (Hot-dip galvanised (zinc) coatings on fabricated ferrous articles).
Self-drilling screws: To AS 3556.1 (Self-drilling screws for the building and construction industries).
Metal finishes
Corrosion protection: To BCA Volume 2 clause 3.4.2.2 (Acceptable construction - Framing - Steel framing - General).
Site Preparation
Demolition
Demolish existing structures as shown: To AS 2601 (Demolition of structures).
Earthworks
To be carried out in accordance with:
The requirements of the Environmental Planning & Assessment Act 1979; Relevant conditions of the development consent; and the relevant requirements of Part 3.1.1 of the BCA (Volume 2).
Stormwater drainage
Part 3.1.2 of the BCA (Volume 2) and AS/NZS 3500 (Part 3 - Stormwater drainage).
AS/NZS 3500 (Part 5 - Domestic installations - Section 5 - stormwater drainage).

Site Classification
To be in accordance with Part 3.2.4 of the BCA (Volume 2)
Structural design manuals
AS 1170.1 (Dead and live loads and load combinations)
AS 1170.2 (AS 4055 - Wind loads)
AS 1170.4 (Earthquake loads)
AS 1720.1 (Timber structures code)
AS 2159 (Piling - design and installation)
AS 2327.1 (Composite structures)
AS 3600 (Concrete structures)
AS 4100 (Steel structures)
Structural design certification
Submit structural engineer's design certification, in accordance with Local Authority requirements, the Principal Certifying Authority prior to the commencement of works.
Concrete construction
Concrete structures generally: To AS 3600 (Concrete structures).
Ground slabs and footings: To AS 2870 (Residential slabs and footings - Construction).
Ready mixed supply: To AS 1379 (Specification and supply of concrete).
Footings and slabs
Design and construct footings and slabs: In accordance with Part 3.2 of the BCA (Volume 2) and AS 2870 (Residential slabs and footings), AS 3600 (Concrete structures) and AS 2159 (Piling - Design and installation).
Brick & block construction (masonry)
Masonry construction: To be in accordance with Part 3.3 of the BCA (Volume 2) and AS 3700 (Masonry structures).
Masonry units: To AS/NZS 4455 (Masonry units and segmental pavers).
Clay brick durability below damp-proof course: Use exposure category to AS/NZS 4456.10 (Masonry units and segmental pavers - Methods of test - Determining resistance to salt attack) Appendix A (Salt attack resistance categories).
Galvanising
Galvanising mild steel components (including fasteners) to AS 1214 or AS/NZS 4680, as appropriate, where exposed to weather, embedded in masonry or in contact with chemically treated timber.

Wall Ties
Wall tie type: To BCA Volume 2 clause 3.3.3.2 (Acceptable construction - Masonry - Masonry accessories - Wall ties) and AS/NZS 2089.1 (Built-in components for masonry construction - Wall ties); Non-seismic areas:
Type A: Seismic areas: Type B.
Wall tie spacing: To BCA Volume 2 Figure 3.3.3.1 (Typical brick ties spacings in cavity and veneer construction).
Wall tie corrosion protection: To BCA Volume 2 Table 3.3.3.1 As 2327.1 (Composite structures)
Lintels generally: In accordance with Part 3.3.3.4 of the BCA (Volume 2).
Timber & steel framed construction
Sub-floor ventilation
To be in accordance with Part 3.4.1.1 of the BCA (Volume 2) and AS 1684.4 (Residential timber-framed construction - Simplified design and installation).
Timber wall, floor and roof framing
Timber framing: To be in accordance with Part 3.4 of the BCA (Volume 2) and AS 1720.1 (Timber structures - Design methods).
Steel framing and structural steel members
Steel framing: to be in accordance with Part 3.4.2 of the BCA (Volume 2) Acceptable construction practice (Part 3.4.2.1 of the BCA) and / or AS 4100 (Steel structures).
Cold-formed steel framing: Provide a proprietary system designed to AS 3823 (Domestic metal framing).
Roof and wall cladding
Roof lining
To be in accordance with Parts 3.5.1.1 & 3.5.1.2 of the BCA (Volume 2) and AS 2049 (Roof tiles).
Roof tile installation: To AS/NZS 4455 (Installation of roofing tiles).
Metal roof sheeting
To be in accordance with Parts 3.5.1.1 & 3.5.1.3 of the BCA (Volume 2).
Metal roofing design and installation: To AS 1562.1 (Design and installation of sheet roof and wall cladding - Metal).
Roof plumbing
To be in accordance with Part 3.5.2 of the BCA (Volume 2) and AS/NZS 3500 (Part 3 - Stormwater drainage) and AS/NZS 3500 (Part 5 - Domestic installation - section 5 - stormwater drainage).
Wall cladding
To be in accordance with Part 3.5.3 of the BCA (Volume 2)

Installation and sarking
Bulk insulation: To AS/NZS 4859.1 (Materials for the thermal insulation of buildings - General criteria and technical provisions), Section 5.
Reflective insulation: To AS/NZS 4859.1, Section 9.
Sarking material: To AS/NZS 4200.
(Pliable building materials and underlays - Materials).
Windows and doors
Glazing to be in accordance with Part 3.6 of the BCA (Volume 2).
Glass Selection and installation: To AS 1288 (Glass in buildings - Selection and installation).
Timber doorsets: To AS 2688 (Timber doors).
Timber frames and jamb linings: To AS 2689 (Timber doorsets) Security screen doors and window grilles: To AS 5039 (Security screen doors and security window grilles).
Doorset installation and installation: To AS 1909 (Installation of timber doorsets).
Garage doors: To AS/NZS 4505 (Domestic garage doors).
Lining
Plasterboard: To AS/NZS 2588 (Gypsum plasterboard).
Plasterboard installation: To AS/NZS 2588.1 (Gypsum linings in residential and light commercial construction - Application and finishing - Gypsum plasterboard) Level 4 finish.
Fibre cement: To AS/NZS 2906.2 (Cellulose-cement products - Flat Sheets).
Type B, Category 2.
Fibrous plaster products: To AS 2185 (Fibrous plaster products).
Fire safety
Fire separation
To be in accordance with Part 3.7.1 of the BCA (Volume 2).
Fire separation - Separating wall construction: Part 3.7.1.8 of the BCA (Volume 2).
Fire separation - Roof lights: Part 3.7.1.10 of the BCA (Volume 2).
Refer to architectural details of fire separation methods.
Smoke alarms
To be in accordance with Part 3.7.2 of the BCA (Volume 2); and AS 3786 (Smoke alarms).
Wall cladding
To be in accordance with Part 3.5.3 of the BCA (Volume 2)

Health and amenity
Wet areas
Refer to "Waterproofing", Room heights
To be in accordance with Part 3.8.2 of the BCA (Volume 2).
Kitchen, sanitary and washing facilities
To be in accordance with Parts 3.8.3.2 and 3.8.3.3 of the BCA (Volume 2).
Natural and artificial light
To be in accordance with Parts 3.8.4.2 and 3.8.4.3 of the BCA (Volume 2).
Ventilation
To be in accordance with Part 3.8.5 of the BCA (Volume 2).
Natural Ventilation: Parts 3.8.5.2 and 3.8.5.3 of the BCA (Volume 2).
Mechanical Ventilation: Parts 3.8.5.0 and 3.8.5.3 of the BCA (Volume 2).
Sound insulation
To be in accordance with Part 3.8.6.1 of the BCA (Volume 2).
Safe movement and access
Stair construction
To be in accordance with Part 3.9.1.1 of the BCA (Volume 2) - Acceptable construction practice.
Balustrades
To be in accordance with Part 3.9.2.1 of the BCA (Volume 2) - Acceptable construction practice.
Block and tile finishes
Ceramic and tile finishes
Ceramic tiling: Follow the guidance provided by AS 3958.1 (Ceramic tiles - residential and light commercial construction - Application and finishing - Guide to the selection of a ceramic tiling system).
Adhesives: To AS 2938 (Adhesives - For fixing ceramic tiles).
Waterproofing
To be in accordance with Part 3.8.1 of the BCA (Volume 2).
Waterproofing: To AS 3740 (Waterproofing of wet areas in residential buildings).
Refer to architectural details of waterproofing.

Plumbing installations
Where a discrepancy arises the hydraulic consultant's, local or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy.
Plumbing and draining products: To SAA MP52 (Manual of authorization procedures for plumbing and drainage products) and AS/NZS 3718 (Water supply - Tap ware).
Stormwater: To AS/NZS 3500.3 (Plumbing and Drainage - Stormwater drainage) or AS/NZS 3500.5 (National Plumbing and Drainage - Domestic installations).
Wastewater: To AS/NZS 3500.2 (Plumbing and Drainage - Sanitary plumbing and drainage) or AS/NZS 3500.5.
Freshwater: To AS/NZS 3500.1 (Plumbing and Drainage - Water services) and AS/NZS 3500.4 (Plumbing and Drainage - Heated water services) or AS/NZS 3500.5.
Gas: To AS 5601 (Gas installation code).
Electrical installations
Where a discrepancy arises the electrical consultant's, local or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy.
Electrical installation: To AS/NZS 3018 (Electrical installation - Domestic installations).
Smoke Alarms: Refer to "Fire Safety, Smoke Alarms".
Smoke alarm installation and testing: To AS 1670.1 (Fire detection, warning, control and intercom systems - System design, installation, and commissioning - Fire) in accordance with the requirements of the Building Code of Australia. Connect smoke alarms to mains power.
Test electrical installations: To AS/NZS 3017 (Electrical installations - Testing guidelines). Certify compliance with AS/NZS 3018.
Mechanical installations
Mechanical ventilation: To AS 1668.2 (The use of ventilation and air-conditioning in buildings - Mechanical ventilation for acceptable indoor quality) - Grade 2 amenity.

Scale 1:250
Drainage Plan

