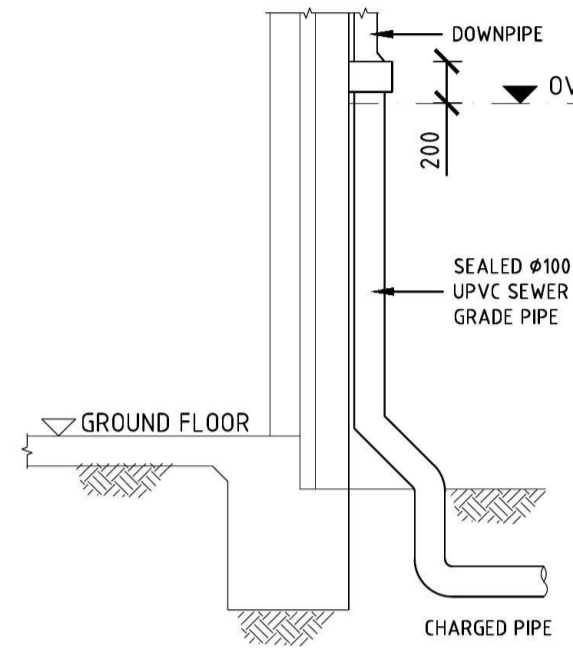


RAINWATER REUSE NOTES:

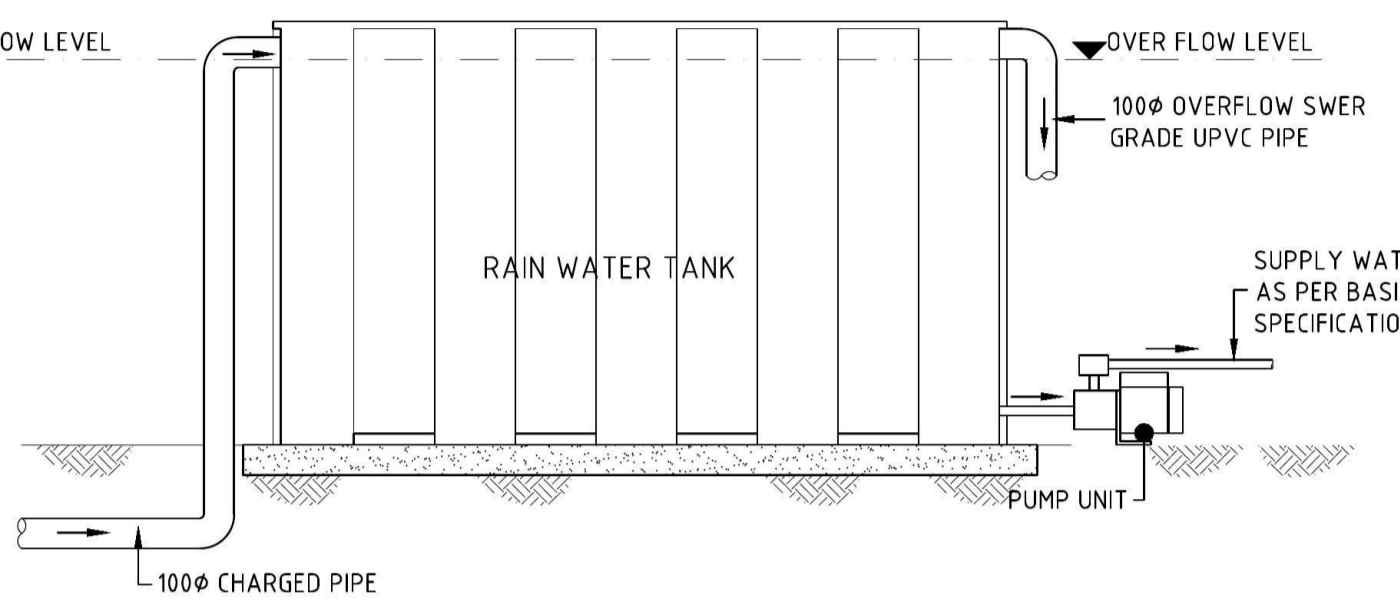
1. EVERY FIXTURE SERVICED FROM THE RECYCLED WATER SUPPLY MUST BE NOTED WITH A PLAQUE FOR IDENTIFICATION AND MARKED WITH "NOT FOR HUMAN CONSUMPTION" OR "NON-POTABLE WATER".
2. OVERFLOW FROM RAINWATER TANK TO BE CONNECTED TO STORMWATER DRAINAGE SYSTEM.
3. ALL RECYCLE WATER PIPES TO BE COLOUR CODED FOR IDENTIFICATION.
4. WATER AUTHORITY MUST BE CONTACTED REGARDING RECYCLED WATER ON THE BUILDING AND FOR THE BACKFLOW PREVENTION REQUIREMENTS AND TOP-UP SYSTEM.
5. ANY GARDEN OR CARWASH TAPS CONNECTED RECYCLE SYSTEM MUST BE LOCATED 1.5m MIN. ABOVE THE SURFACE.
6. FOR PERIOD OF LOW WATER LEVEL IN THE RAINWATER TANK, A CONNECTION TO WATER MAIN IS NEEDED AND TO BE PROVIDED IN ACCORDANCE WITH THE WATER AUTHORITY.
7. PUMPS AND FILTERS ON OUTLETS FROM RECYCLE SYSTEM TO BE SUPPLIED AS MAY BE REQUIRED.

STORMWATER DRAINAGE NOTES

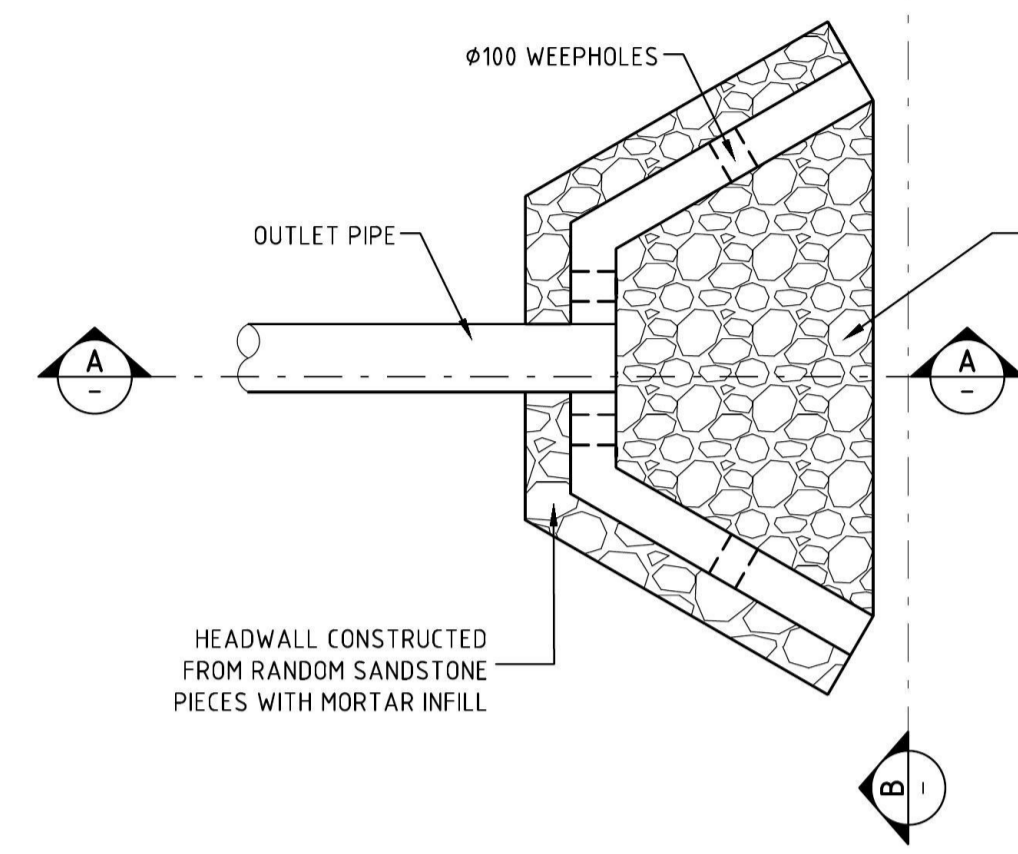
1. PROVIDE INSPECTION OPENINGS TO ALL DOWNPIPES NOT DIRECTLY CONNECTED TO PITS.
2. ALL PIPES TO BE 100Ø UPVC SEWER GRADE UNO, LAID ON A MIN 1% GRADE, MINIMUM 300mm COVER UNO.
3. PIT SIZE
 - TO BE 450x450mm, PITS ARE 600mm OR LESS DEEP TO BE 450X450mm.
 - TO BE 600x600mm, PITS ARE GREATER THAN 600mm BUT LESS THAN 1000mm DEEP.
4. ALL PIPES TO BE ADVISED.
5. ALL PIT FLOORS TO HAVE A MINIMUM OF 20mm FALL, PROFILED AND STEAMLINE (FOR HALF OF THE DEPTH OF THE PIPE) IN THE DIRECTION OF FLOW.
6. ALL GRATES ON THE DRIVEWAY TO BE HEAVY DUTY.
7. ALL GUTTERS, PITS, PIPES AND DOWNPIPES TO BE INSTALLED IN ACCORDANCE WITH AS3500.3.2.1 1998.
8. THE CONNECTION TO COUNCIL'S DRAINAGE SYSTEM SHALL BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF ALL INTERNAL DRAINAGE. THE COUNCIL ENGINEER BEING GIVEN 48 HOURS NOTICE PRIOR TO CONSTRUCTION.
9. DRIVEWAY BOUNDARY LEVEL'S MUST BE CONFIRMED PRIOR TO CONSTRUCTION.



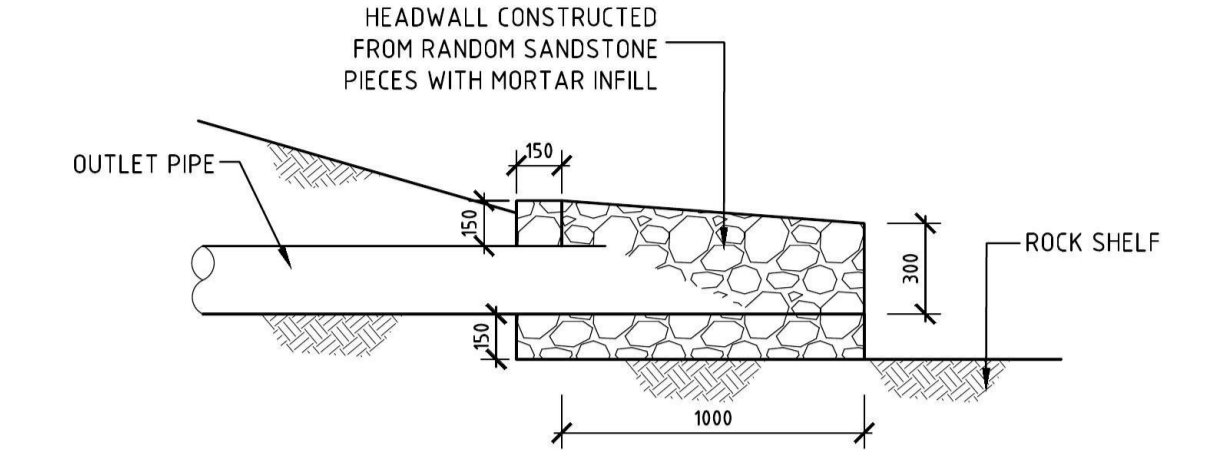
DETAILS OF CHARGED PIPE



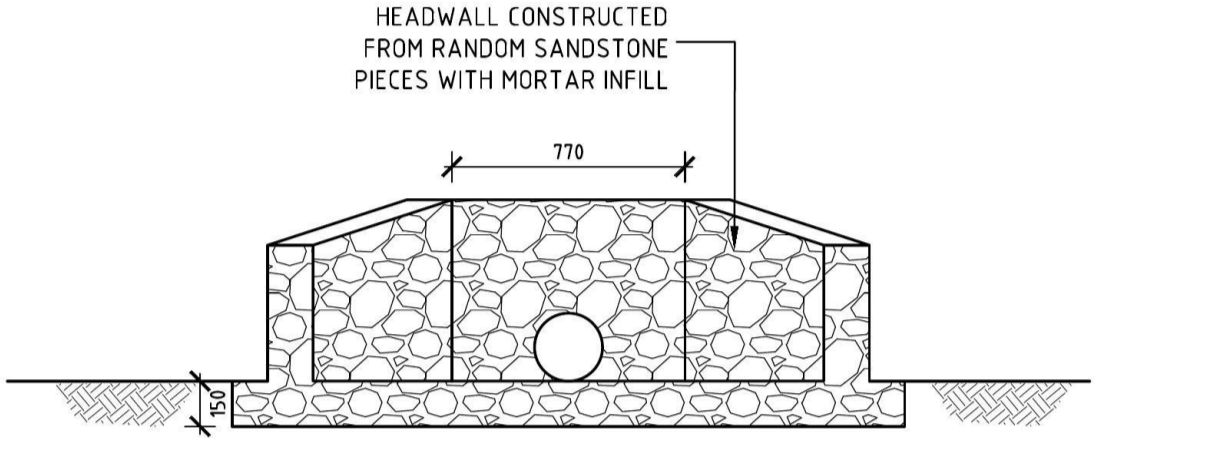
RAINWATER TANK DETAILS



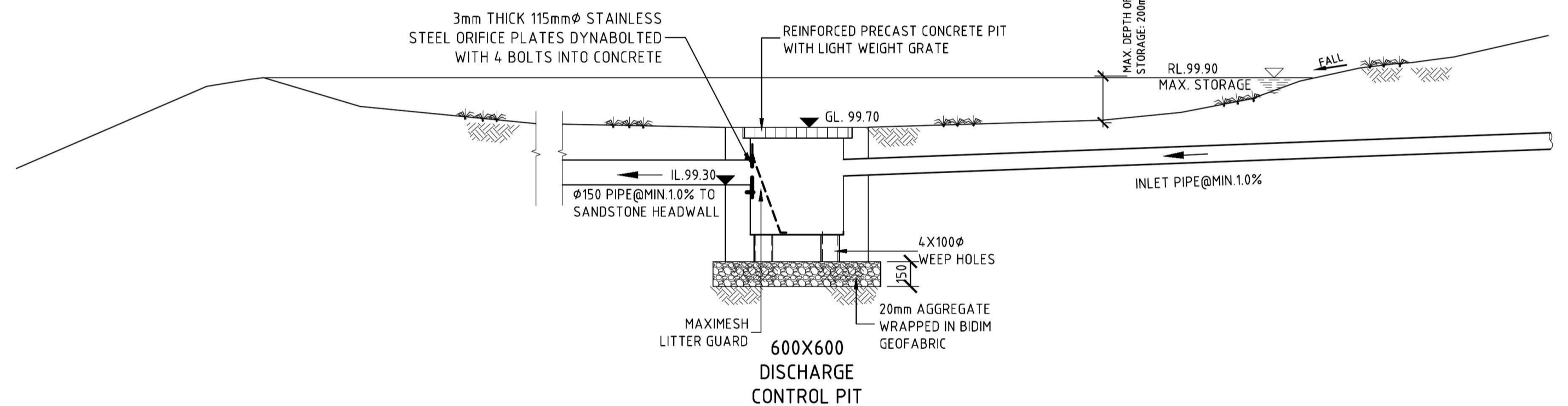
HEADWALL PLAN



SECTION A
SCALE: -



SECTION B
SCALE: -



ABOVE GROUND ON SITE DETENTION BASIN

ON-SITE DETENTION CALCULATION:

DESIGN ARI:	100YRS (1%)
PERMISSIBLE SITE DISCHARGE (Q _c):	4.1L/s (PRE-DEVELOPMENT)
PEAK INFLOW TO OSD FROM POST DEVELOPMENT (Q _p):	83L/s
DESIGNED OUTFLOW FROM OSD (Q _o):	40.6L/s (20.3L/s FOR EACH DISCHARGE CONTROL PIT)
CALCULATED OSD VOLUME (V _o):	33.3 m ³
REQUIRED OSD VOLUME (V _r):	40.0m ³ (EXTRA 20% FOR ABOVE OSD BASIN)
PROPOSED OSD VOLUME (V _p):	46.0 m ³ (7.6m ³ FOR EACH DWELLING)

REV.	DATE	BY	CHECKED	AMENDMENTS
A	12 OCT. 17	K.Z.	S.W.W.	FOR D.A. SUBMISSION

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LMW DESIGN GROUP P/L
Building Consultants and Structural Engineers

15 Woodlands Ave.
Lugarno NSW 2210

Phone: (02) 9532 1914
Fax: (02) 9543 1058
Mobile: 0418 285 592
Email: lmwdesigngroup@bigpond.com

JOB NAME
PROPOSED ALTERATION AND ADDITION AT No.18-19 RIGNEY CL CECIL PARK

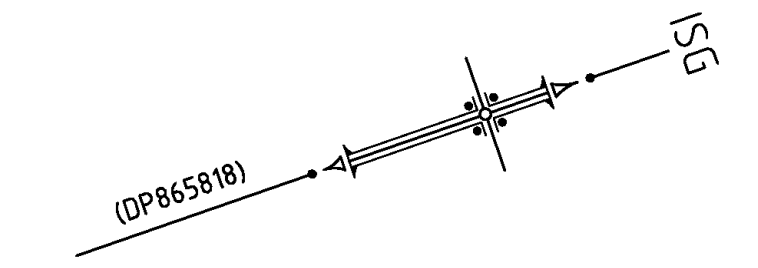
CLIENT, ARCHITECT
MITZ DESIGN

DRAWING TITLE
STORMWATER DRAINAGE SYSTEM DETAILS

No. IN SET	Job No	1307.17	DRG. No	REV
SCALE	DESIGNED	DRAWN	DATE	No.
N.T.S.	S.W.W.	K.Z.	OCT. 2017	

APPROVED BY

STEVEN WATERS
B.E., M.Eng.Sc.
M.I.E. Aust., C.P. Eng, NPER-3
Reg. No. 417092
CIVIL AND STRUCTURAL



1
DP865818
SINGLE STOREY
BRICK
COTTAGE
TILE ROOF
No.108

3
DP865818

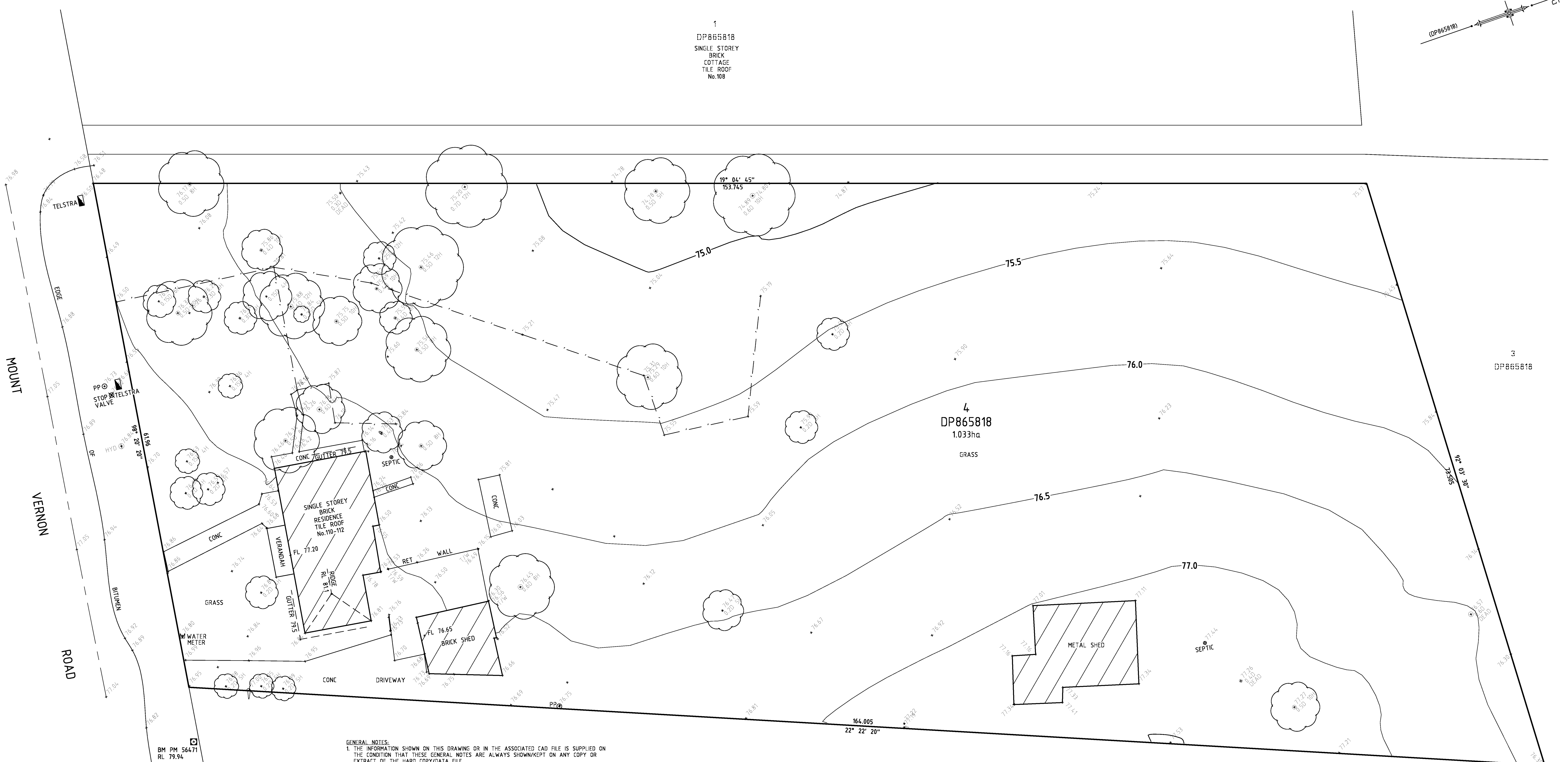
4
DP865818
1.033ha
GRASS

137
DP32143
SINGLE STOREY
BRICK
COTTAGE
TILE ROOF
No.114

AUSTRALIAN HEIGHT DATUM

AHD SOURCE
SSM 13865 RL 71.361
CLASS LA , ORDER L1
VIDE SCIMS DATED 2/8/2017

J102829 COVENANT



- GENERAL NOTES:
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 2. FRANKHAM ENGINEERING SURVEYS GRANTS TO THE CLIENT NAMED A LICENSE TO USE THE INFORMATION HEREON FOR THE PURPOSES FOR WHICH WE WERE ENGAGED TO PERFORM THE WORK. USE OF THIS PLAN AND INFORMATION FOR ANY OTHER PURPOSE IS NOT PERMITTED UNLESS WRITTEN APPROVAL HAS BEEN OBTAINED FROM FRANKHAM ENGINEERING SURVEYS.
 3. THE BOUNDARIES HAVE NOT BEEN SURVEYED. DIMENSIONS AND AREA HAVE BEEN COMPILED FROM THE SUBJECT DEPOSITED PLANS AND ARE SUBJECT TO FINAL SURVEY.
 4. THE RECORDS OF THE SERVICE AUTHORITIES SHOULD BE INVESTIGATED AS TO THE LOCATION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY DETAILED DESIGN OR CONSTRUCTION WORKS.
 5. THE RECORDS OF THE SERVICE AUTHORITIES HAVE NOT BEEN INVESTIGATED. ONLY THOSE SERVICES VISIBLE AT THE TIME OF SURVEY HAVE BEEN SHOWN. FURTHER SERVICES MAY BE PRESENT.
 6. CONSTRUCTION WORKS MUST BE RELATED TO THE SITE BENCH MARK AND NOT LEVELS OF STRUCTURES SHOWN ON THE PLAN.
 7. SYMBOLS REPRESENTING SERVICE PITS, POLES AND STREET FURNITURE ARE NOT TO SCALE.
 8. PIT SIZE IS SHOWN AT GROUND LEVEL. PITS MAY BE LARGER BELOW THE SURFACE.
 9. CONTOURS HAVE BEEN INTERPOLATED FROM SPOT HEIGHTS. WHEREVER POSSIBLE SPOT HEIGHTS SHOULD BE USED IN PREFERENCE TO CONTOURS.
 10. UNLESS DIMENSIONED, IMPROVEMENTS AND FEATURES SHOWN ON OR NEAR THE BOUNDARIES ARE INDICATIVE ONLY.
 11. EASEMENTS, RESTRICTIONS AND OTHER LAND DEALINGS HAVE NOT BEEN SHOWN OR NOTED ON THIS PLAN. PLEASE REFER TO THE CURRENT CERTIFICATE OF TITLES.
 12. TREE SPREADS AND TRUNK DIAMETERS SHOWN ARE DIAGRAMMATIC ONLY AND TREE HEIGHTS ARE ESTIMATED.
 13. IF ANY OF THESE ELEMENTS ARE CRITICAL TO DESIGN (IN PARTICULAR DRIP LINES) MORE SPECIFIC DETAILS SHOULD BE REQUESTED FOR ACCURATE LOCATION.
 14. THIS PLAN HAS BEEN CREATED AT A SCALE OF 1:100 AND MAY NOT BE SATISFACTORY FOR OTHER PURPOSES.
 15. THE ACCURACY OF ANY ENLARGEMENT OR OTHER REPRODUCTION MAY BE LESS THAN THAT OF THE ORIGINAL.
 16. THESE GENERAL NOTES SHOULD BE STORED WITH THE SUPPLIED CAD DRAWING, AND ARE AN INTEGRAL PART OF THIS PLAN.

SCALE 1 : 200
METRES

DATE	REVISION	BY

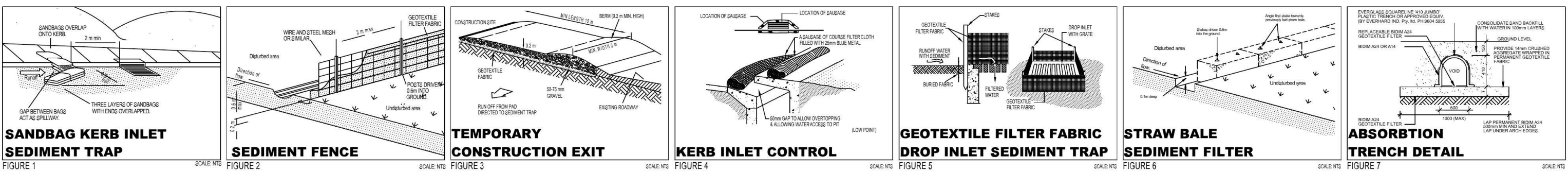
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DRAWN: LM
CHECKED: DB
SURVEYED: DB/SH/MD

FRANKHAM ENGINEERING SURVEYS
10 PRITCHARD STREET EAST, WENTWORTHVILLE NSW 2145
P.O. BOX 281, WENTWORTHVILLE NSW 2145.
PH: (02) 9636 3248
Email: office@fjsepl.com.au

CLIENT: MARK TOMA
DETAIL & LEVEL SURVEY FOR DA PURPOSES
(KNOCKDOWN & REBUILD ONLY)
WITHIN LOT 4 DP865818
KNOWN AS 110-112 MOUNT VERNON ROAD, MOUNT VERNON

SCALE: 1:200 ~ B1
DATE: 3/8/2017
DRAWING No.:
217167



- SEDIMENT CONTROL NOTES**
- All erosion and sedimentation control measures, including revegetation and storage of soil and topsoil, shall be implemented to the standards of the soil conservation of NSW.
 - All drainage works shall be constructed and stabilized as early as possible during development.
 - Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trench.
 - All sediment basins and traps shall be cleaned when the structures are a maximum of 60% full of soil materials, including the maintenance period.
 - All disturbed areas shall be revegetated as soon as the relevant works are completed.
 - Soil and topsoil stockpiles shall be located away from drainage lines and area where water may concentrate.
 - Filter shall be constructed by stretching a filter fabric (propex) or approved equivalent between post at 3.0m centres. fabric shall be buried 150mm along its lower edge.

- GENERAL**
- NGL NATURAL GROUND LEVEL
 - PGL PROPOSED GROUND LEVEL
 - AC AIR CONDITIONING
 - HWS HOT WATER SYSTEM
 - RWT RAINWATER TANK
 - FF FIRE PLACE
 - ALL ALUMINIUM LOUVRES
 - TL TIMBER LOUVRES
 - ESB EXHAUSTIBLE EXTERNAL LOUVRE
 - RT ROOF TRILES
 - MRS METAL ROOF SHEETING
 - CSB COLOURBOND GUTTERING
 - SB STEEL BEAM
 - AD ALUMINIUM DOOR
 - PL PANEL LIFT DOOR
 - FD FOLLER DOOR
 - HG HANDRAIL - GLASS
 - HM HANDRAIL - METAL
 - HT HANDRAIL - TIMBER
 - PSA PRIVACY SCREEN - ALUMINIUM
 - PSF PRIVACY SCREEN - FROSTED GLASS
 - PST PRIVACY SCREEN - TIMBER
 - TP TIMBER PERGOLA

- WET AREAS**
- WM WASHING MACHINE
 - D DRYER
 - LAU LAUNDRY TUB
 - WC TOILET
 - BIBET BIKET
 - U URINAL
 - SHR SHOWER
 - BATH TUB
 - SPA SPA BATH
 - V VANTY
 - BA BASKIN
 - WC WALL OVEN
 - CT COOKTOP
 - UBO UNDER BENCH OVEN
 - S SINK
 - RH RANGEHOOD
 - CPD CUPBOARD
 - RFR REFRIGERATOR
 - DW DISHWASHER
 - P PANTRY

- WALL FINISHES**
- SBC SANDSTONE CAPPING
 - BMV BLOCKWORK
 - BSW SANDSTONE BLOCKWORK
 - STS STACK STONE
 - SR SEMENT RENDER
 - CRU CEMENT RENDERED RAKED JOINTS
 - CRP1 CEMENT RENDERED PAINT 1
 - CRP2 CEMENT RENDERED PAINT 2
 - CRP3 CEMENT RENDERED PAINT 3
 - CRP4 CEMENT RENDERED PAINT 4
 - FB FACE BRICK
 - BC BRICK CORSEL
 - FC FIRE CEMENT SHEETING
 - AL ALUMINIUM SHEETING
 - PL PLASTERBOARD
 - BS BLUEBOARD SHEETING
 - WB WEATHERBOARD
 - FM FERROGRATED METAL
 - MZ MINERAL SHEETING
 - CO CUSTOM GRID SHEETING
 - CC CONCRETE COLUMN
 - FC FIRE CEMENT COLUMN
 - TP TIMBER POST
 - FC FIRE CEMENT COLUMN
 - RWB RETAINING WALL - BRICK
 - RVCB RETAINING WALL - CONCRETE BLOCK
 - SMTX SMCX "MATRIX" CLADDING
 - ALU ALUMINIUM CLADDING

Certificate no.: 0001877680
 Assessor Name: Zoran Cvekovic
 Accreditation no.: WCBGAN131941
 Certificate date: 08 September 2017
 Dwelling Address: 110-112 Mount Vernon Rd, Mount Vernon, NSW 2178

NATIONWIDE HOUSE
 www.nationwidehouse.com.au

Gross Area Calculations

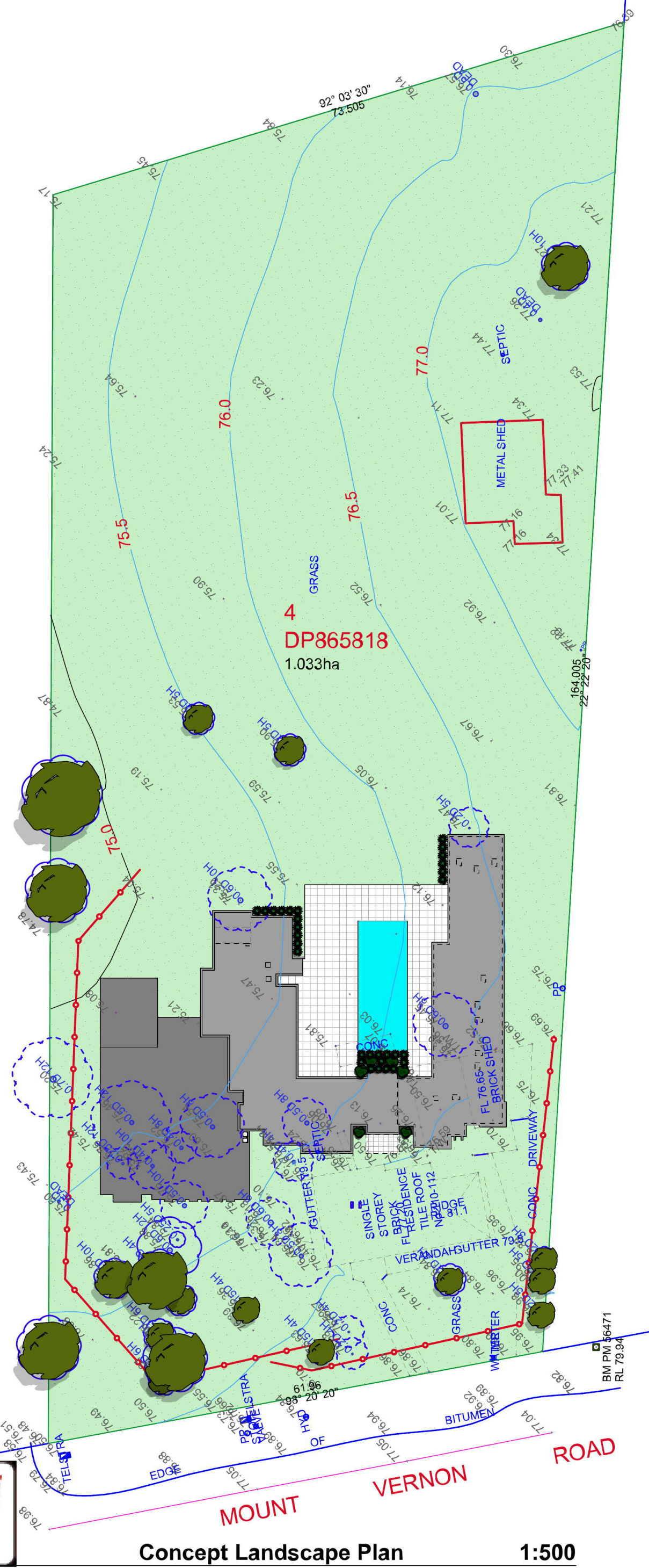
Area Name	Area
1.0 Ground Floor Living	59.52
1.0 Ground Floor Living	709.33
3.0 Garage	122.75
3.1 Covered Carport	225.47
4.0 Alfresco	74.79
5.0 Patio	9.49
	1,201.35 m ²

F.S.R. Floor Area Calculation

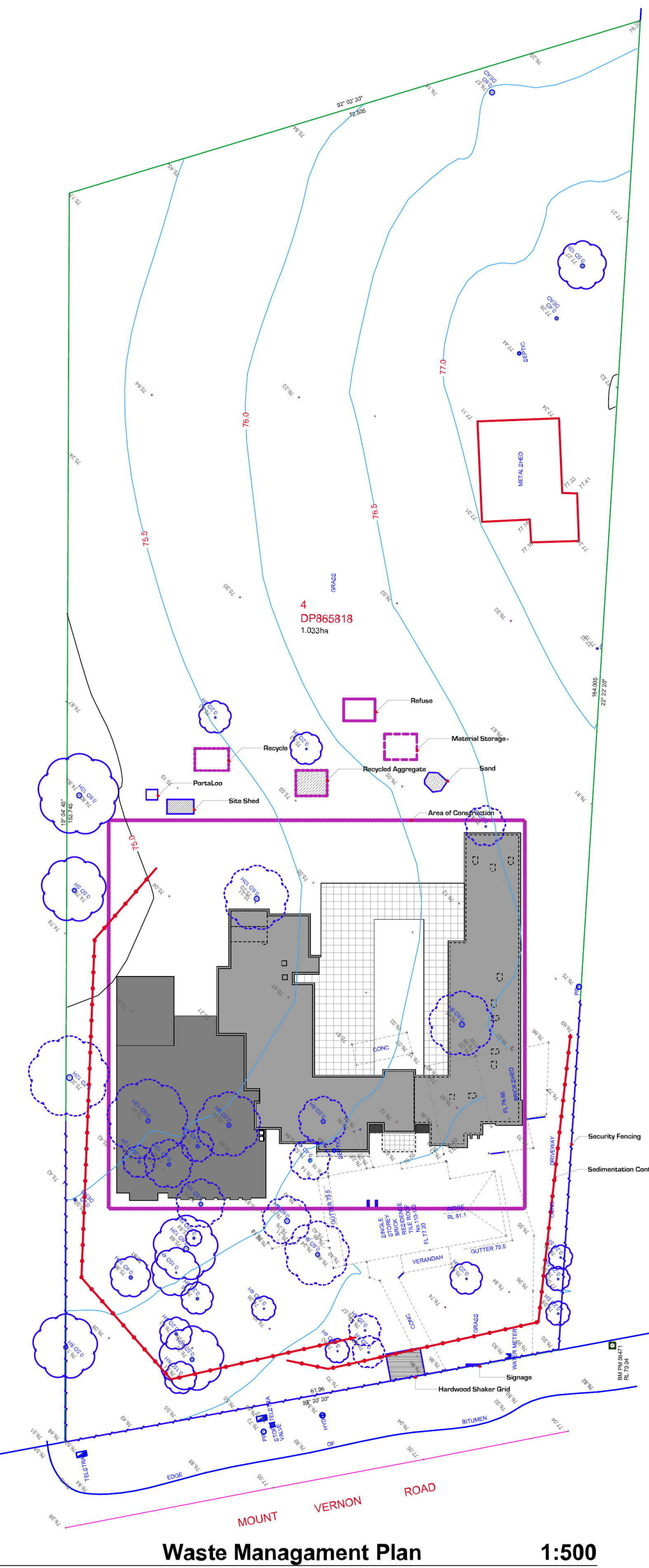
Area Name	Area
1.2 Ground Floor FSR	53.97
1.2 Ground Floor FSR	663.11
	717.08 m ²

SITE PLAN NOTE:

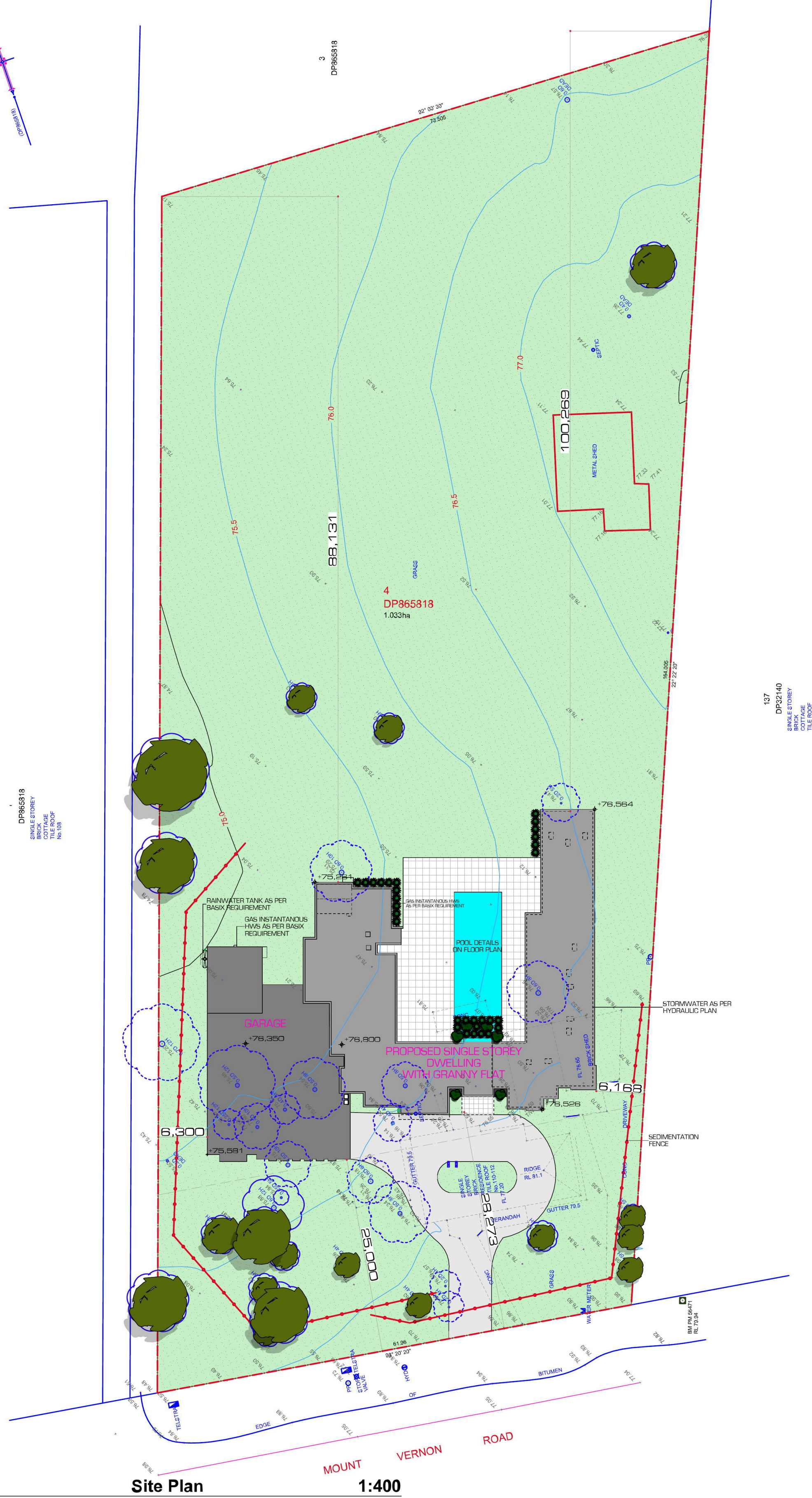
- # All Structures listed are illustrative only
- # Final Levels may be subject to adjustment. Such adjustments, while complying with council requirements remain at the discretion of the builder.
- # This plan has been prepared from a combination of field survey and existing records for the purpose of construction on the land and should not be used for any other purpose.
- # Prior to Demolition, Excavation or Construction on the Site, The Relevant Authority should be contacted for possible location of further underground services and detailed location of all Services.
- # Contours have been interpolated from spot heights taken are approximate only.



Concept Landscape Plan 1:500



Waste Management Plan 1:500



Site Plan 1:400

GENERAL NOTES

All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities Regulations and all other relevant Authorities concerned.

All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs & footings, r.c. and steel beams and columns, wind bracing to AS 1170 & AS4055, anchor rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1684.

All work to be carried out in a professional and workmanship like manner according to the plans and specification.

Document Set ID: 7984556
 Version: 1, Version Date: 20/12/2017

NOTE

Do not scale off the drawings unless otherwise stated & use figured Dimensions in preference. All dimensions to be checked & verified by the CONTRACTOR on site before the commencement of any work, all dimensions and levels are subject to final survey & set-out.

Discrepancies to be reported to designer prior to survey & set-out. Discrepancies to be reported to designer prior to commencement. No responsibility will be accepted by this firm for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction.

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DATE:	ISSUE:	AMENDMENT:

Drawing | Site Plan/ Landscape Plan/ Waste Management
 Proposed | Proposed New Single Storey Dwelling

ALL IMAGE ARCHITECTS
 22 Kiernan Cr, Abbotsbury NSW 2176
 P 02 8014 3598
 F 02 9734 0430
 M 0414 32 69 79
 michael@allimagearchitects.com.au
 allimagearchitects.com.au

Client | Mr & Mrs Toma
 Address | 110 - 112 Mt Vernon Rd
 Mt Vernon 2178 NSW
 Job No | 17-20-Tom
 Issue | Issue A
 Scale | as noted
 Date | 18-Dec-17

Drawing No | 2

GENERAL

- NGL NATURAL GROUND LEVEL
- PCL PROPOSED GROUND LEVEL
- AC AIR CONDITIONING
- HWS HOT WATER SYSTEM
- BWT BATHWATER TANK
- FP FIRE PLACE
- AL ALUMINIUM LOUVER
- TL TIMBER LOUVER
- AE ADJUSTABLE EXTERNAL LOUVER
- RT ROOF TILES
- MRS METAL ROOF SHEETING
- CSG COLORBOND CUTTING
- SB STEEL BEAM
- AO ALUMINIUM DOOR
- PL PANEL LIFT DOOR
- RD ROLLER DOOR
- HG HANDRAIL - GLASS
- HM HANDRAIL - METAL
- HT HANDRAIL - TIMBER
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- PSG PRIVACY SCREEN - FROSTED GLASS
- HTS PRIVACY SCREEN - TIMBER
- TP TIMBER PERGOLA

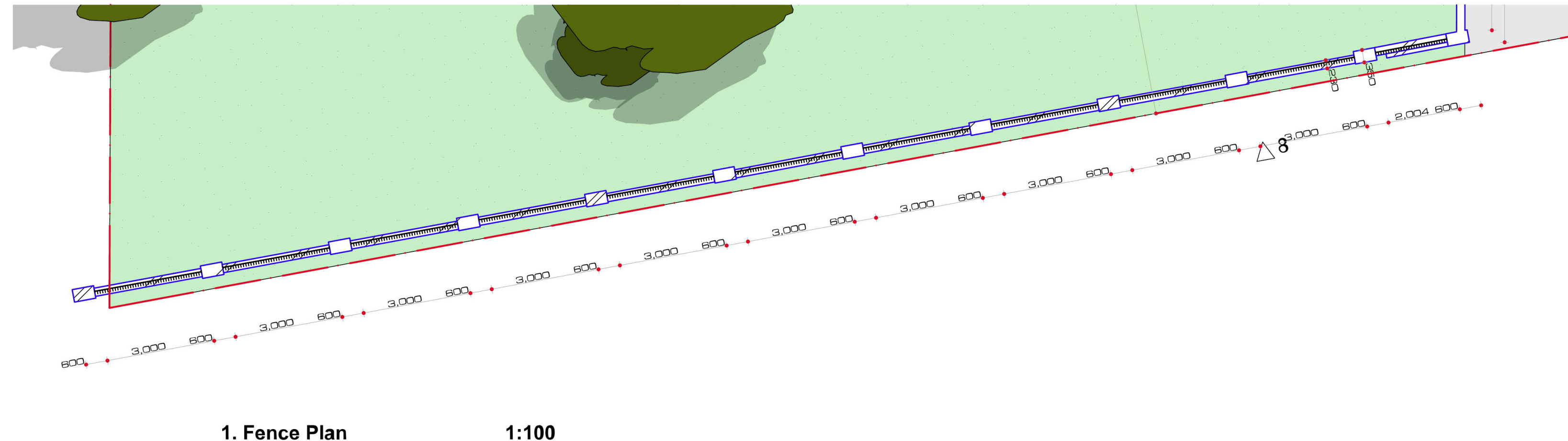
WET AREAS

- WM WASHING MACHINE
- ET EXTERIOR TOILET
- WC TOILET
- BT BUCKET
- U URINAL
- SHR SHOWER
- B BTUB
- SPA SPA BATH
- BA BATH
- WC WALL OVEN
- CO COOKTOP
- UBO UNDER BENCH OVEN
- S SINK
- RH RANGEHOOD
- CHC OVERHEAD CUPBOARD
- F REFRIGERATOR
- DW DISHWASHER
- P PANTRY

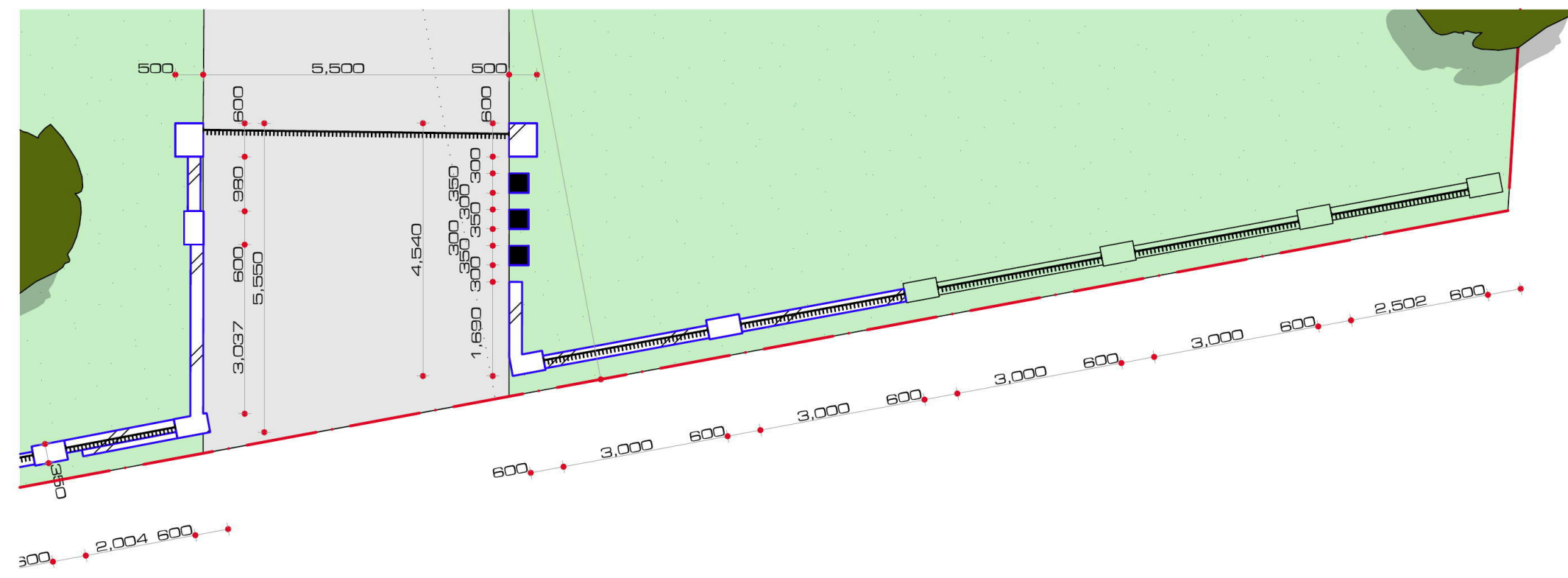
WALL FINISHES

- SSC SANDSTONE CAPPING
- BSW SANDSTONE BLOCKWORK
- STS STACK STONE
- CR CEMENT RENDER
- CRU CEMENT RENDER RAKED JOINTS
- CRP1 CEMENT RENDER PAINT 1
- CRP2 CEMENT RENDER PAINT 2
- CRP3 CEMENT RENDER PAINT 3
- CRP4 CEMENT RENDER PAINT 4
- FB FACE BRICK
- BC BRICK CORNICE
- FC FIRE CEMENT SHEETING
- AL ALUMINIUM SHEETING
- PL PLASTERBOARD
- BB BLUEBOARD SET JOINTS
- MB MESH REINFORCED
- PM PERFORATED METAL
- MO MINOR SHEETING
- CD CUSTOM GRB SHEETING
- CC CONCRETE COLUMN
- FC FIRE CEMENT COLUMN
- TP TIMBER POST
- FC FIRE CEMENT COLUMN
- RWB RETAINING WALL - BRICK
- RWC RETAINING WALL - CONCRETE BLOCK
- SMX SEWON "MATRIX" CLADDING
- SLG SILVER LINER CLADDING
- ALU ALUCABOND CLADDING

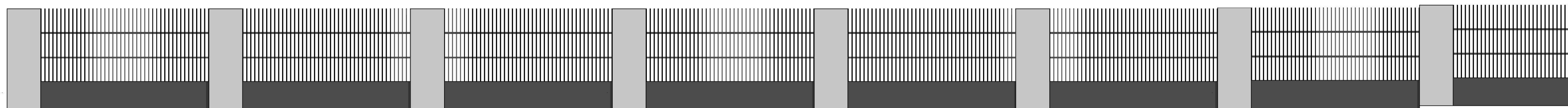
Certificate no.: 000197080
 Assessor Name: Zoran Cvetkovic
 Accreditation no.: VQ36941/31541
 Issue Date: 09 September 2017
 Dwelling Address: 110-112 Mount Vernon Rd, Mount Vernon, NSW 2178



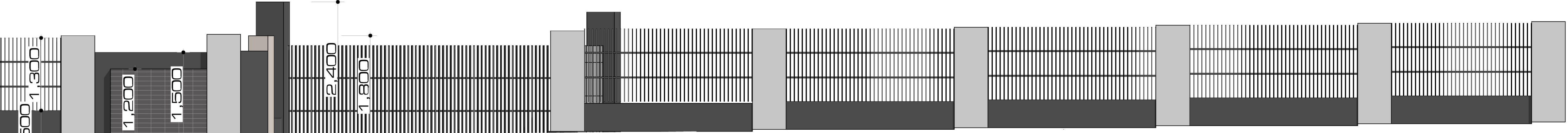
1. Fence Plan 1:100



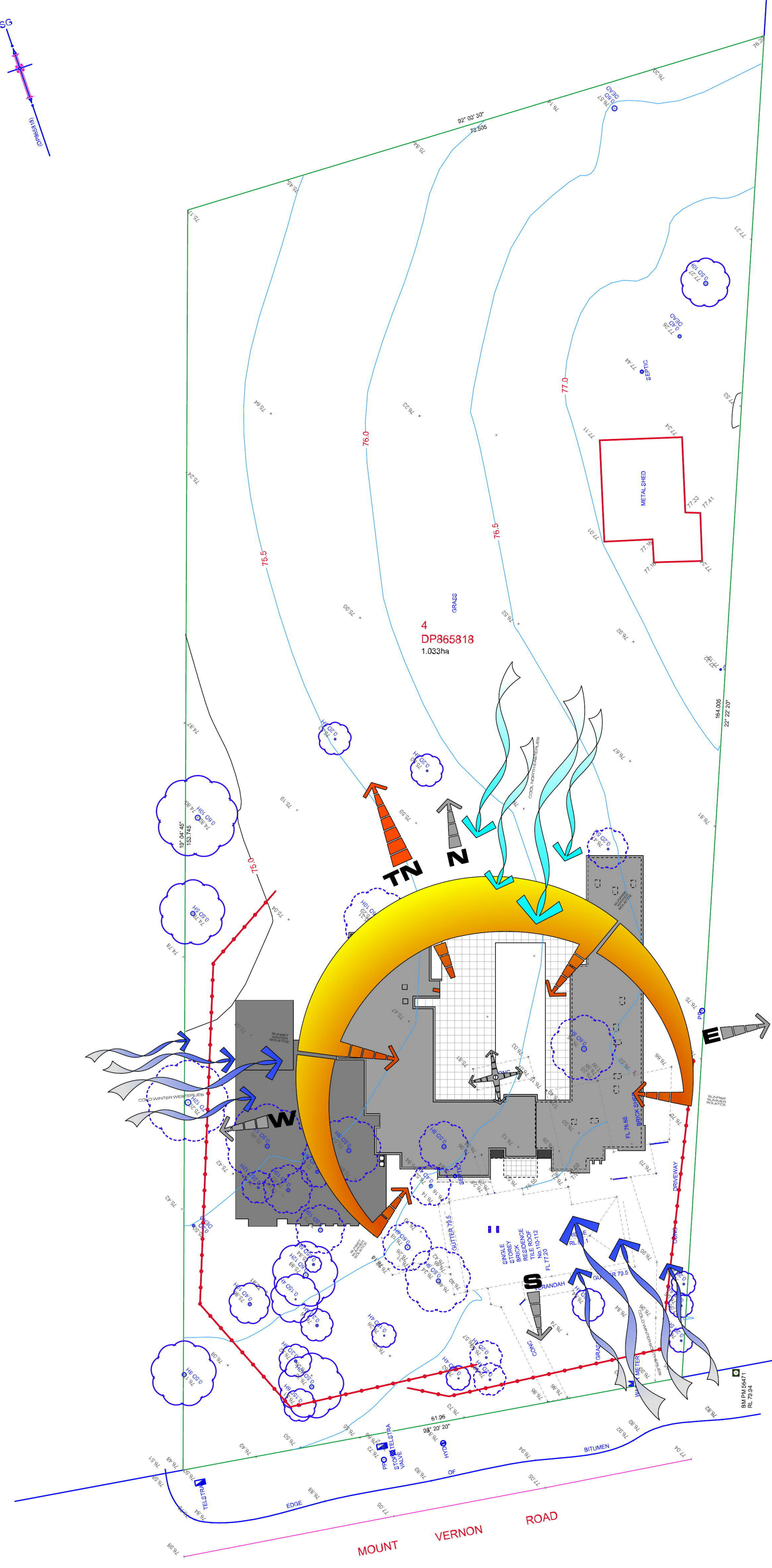
1. Fence Plan 1:100



8 FENCE ELEVATION 1:50



8 FENCE ELEVATION 1:50

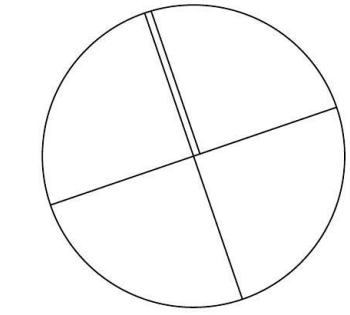


Site Analysis 1:400

GENERAL NOTES
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DATE:	ISSUE:	AMENDMENT:



Drawing | Fence Details/ Site Analysis
 Proposed | Proposed New Single Storey Dwelling
ALL IMAGE ARCHITECTS
 22 Kiernan Cr, Abbotsbury NSW 2178
 P 02 8014 3598
 F 02 9734 0430
 M 0414 32 69 79
 michael@allimagearchitects.com.au
 allimagearchitects.com.au
 Client | Mr & Mrs Toma
 Address | 110 - 112 Mt Vernon Rd Mt Vernon 2178 NSW
 Job No | 17-20-Tom
 Issue | Issue A
 Scale | as noted
 Date | 18-Dec-17
 Drawing No | 5

Window Schedule (Frame Size)																			
ID	W01	W02	W03	W04	W05	W06	W07	W08	W09	W10	W11	W12	W13	W14	W15	W16	W17	W18	W19
3D Front View																			
Height	2,330	3,000	3,200	3,200	3,200	3,000	3,000	3,000	3,000	3,000	3,000	3,000	2,600	2,600	750	750	750	600	600
Width	600	4,980	500	500	500	500	500	500	500	500	500	500	500	500	3,500	3,500	3,500	2,000	1,500
Window Head Height	2,700	3,700	3,800	3,800	3,800	3,000	3,000	3,000	3,000	3,000	3,000	3,000	2,600	2,600	2,400	2,400	2,400	2,400	2,400
Notes																			

Window Schedule (Frame Size)																		
ID	W20	W21	W22	W23	W24	W25	W26	W27	W28	W29	W30	W31	W32	W33	W34			
3D Front View																		
Height	1,600	1,600	2,400	2,400	3,500	3,500	3,500	3,500	3,500	600	2,700	2,700	3,500	2,700	2,700			
Width	2,400	2,400	500	500	500	500	500	2,450	1,403	4,250	4,250	4,250	600	10,000	7,000			
Window Head Height	2,400	2,400	3,000	3,000	3,500	3,500	3,500	3,500	3,500	2,700	2,700	2,700	3,500	2,670	2,700			
Notes																		

Window Schedule (Frame Size)																		
ID	W35	W36	W37	W38	W39	W40	W41	W42	W43	W44	W45	W46	W47	W48	W49	W50		
3D Front View																		
Height	2,700	2,700	2,700	2,670	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700	2,700		
Width	3,000	3,500	4,000	4,000	6,000	4,000	750	750	750	6,000	6,000	1,000	4,250	4,250	1,000	750		
Window Head Height	2,700	2,700	2,670	2,670	2,670	2,670	2,700	2,700	2,700	2,670	2,700	2,700	2,700	2,700	2,700	2,700		
Notes																		

Window Schedule (Frame Size)							
ID	W51	W52	W53	W54	W55	W56	W57
3D Front View							
Height	750	750	2,700	2,700	3,000	3,000	2,200
Width	2,400	2,400	750	500	2,000	1,540	600
Window Head Height	2,700	2,700	2,700	2,700	3,000	3,000	2,700
Notes							

Basix-Commitments

For details: See the Basix certificate/

Alternative water

The applicant must install a Central rainwater tank of at least 5000 litres. The rainwater tank to collect rain runoff from at least 500 m2 of the roof The applicant must connect the rainwater tank to:

- all toilets in the development
- at least one outdoor tap in the development for the landscape irrigation

Fixtures (House and sec Dwelling)

- Shower heads 3 star (> 6.0 but <= 7.5 L/min)
- Toilets.....4 star
- Kitchen tap.....5 star
- Basin Taps.....6 star

Hot Water System: gas instantaneous with a performance of 5.5 stars /House and Sec. Dwelling/

Heating/Cooling: 3-phase air-conditioning; Energy rating: EER 2.5 - 3.0 (Zoned) /House/

Heating/Cooling: 1-phase air-conditioning; 2.5 * (Living Only) /Sec.Dwelling/

Ventilation/House/: Laundry (Natural), Bathrooms & Kitchen (individual fan, ducted; manual on/off

Ventilation/ Sec.Dwelling/: Laundry & Bathroom (Natural), Kitchen (individual fan, ducted; manual on/off

Natural lighting: Window in 7 Bathrooms/Toilets (House)

Natural lighting: Window in 1 Bathroom/Toilet (Sec.Dwelling) **Artificial lighting fluorescent or (LED)/ DEDICATED/:**

- 5 (House), 2 (Sec.Dwelling) in the bedrooms/study,
- 3 (House), 2 (Sec.Dwelling) in the livings,
- All kitchens, All bathroom,All laundries and ALL Hallways

OTHER

- The applicant must install a gas cooktop & electric oven in the kitchen of each dwelling.
- The fridge space must be constructed as “well ventilated” for each dwelling
- The applicant must install a fixed outdoor clothes drying line for each dwelling

Alternative energy

- The applicant must install a photovoltaic system with the capacity to generate at least 7 peak kW of electricity (House)

Swimming pool and SPA

- The swimming pool and the spa must be outdoors.
- The development must not incorporate any heating system for the swimming pool and for the spa.
- The applicant must install a timer for the swimming pool pump and for the spa pump



Certificate no.: 0001877680
 Assessor Name: Zoran Cvetkovski
 Accreditation no.: VIC/BDV/13/1641
 Certificate date: 06 September 2017
 Dwelling Address: 110-112 Mount Vernon Rd, Mount Vernon, NSW 2178
 www.nathers.gov.au



GENERAL NOTES

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All work to be carried out in a professional and workmanship like manner according to the plans and specification.

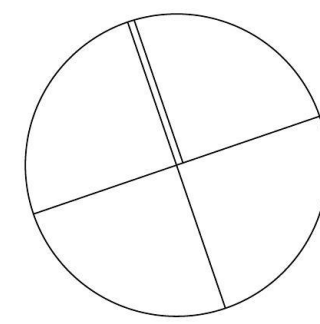
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DATE: ISSUE: AMENDMENT:



Drawing | Window Schedule/ Basix Commitments

Proposed | Proposed New Single Storey Dwelling

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 ARCHITECTS

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Client | Mr & Mrs Toma
 Address | 110 - 112 Mt Vernon Rd
 Mt Vernon 2178 NSW

Job No | 17-20-Tom
 Issue | Issue A
 Scale | as noted
 Date | 18-Dec-17

GENERAL

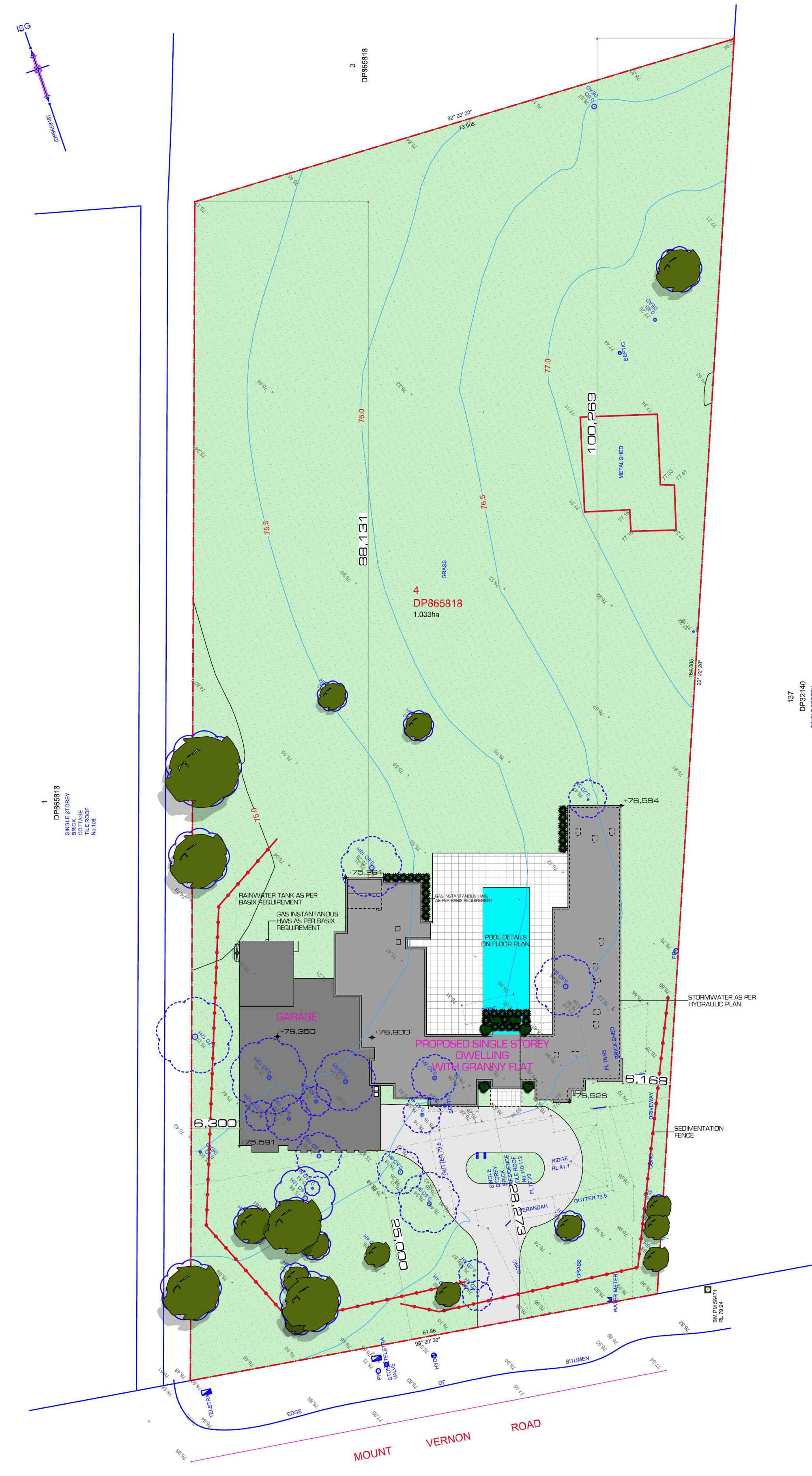
- NGL NATURAL GROUND LEVEL
- PCL PROPOSED GROUND LEVEL
- AC AIR CONDITIONING
- HWS HOT WATER SYSTEM
- BWT BAKING WATER TANK
- FP FIRE PLACE
- ALL ALUMINIUM LOUVER
- TL TIMBER LOUVER
- ASB ADJUSTABLE EXTERNAL LOUVER
- RT ROOF TILES
- MRS METAL ROOF SHEETING
- CLB COLOURBOND CLUTTERING
- SB STEEL BEAM
- AD ALUMINIUM DOOR
- PL PANEL LIFT DOOR
- RD ROLLER DOOR
- HG HANDRAIL - GLASS
- HM HANDRAIL - METAL
- HT HANDRAIL - TIMBER
- PSA PRIVACY SCREEN - ALUMINIUM
- PSG PRIVACY SCREEN - FROSTED GLASS
- HTS TIMBER PERGOLA

WET AREAS

- WM WASHING MACHINE
- LT LAUNDRY TUB
- WC TOILET
- BS BUCKET
- LI URINAL
- SHR SHOWER
- BT BATH TUB
- SPA SPA BATH
- WNT WANNY
- BA BASKIN
- VO WALL OVEN
- COO COOKTOP
- UBO UNDER BENCH OVEN
- S SINK
- RH RANGEHOOD
- CHD OVERHEAD CUPBOARD
- F REFRIGERATOR
- DW DOWNSHOWER
- P PANTRY

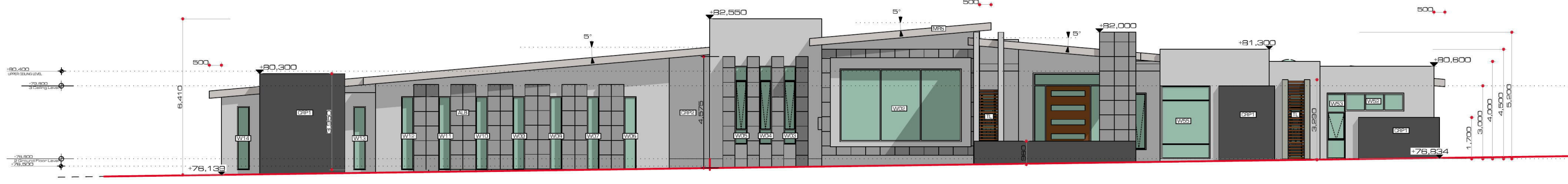
WALL FINISHES

- SSC SANDSTONE CAPPING
- SBW SANDSTONE BLOCKWORK
- STS STACK STONE
- CR CEMENT RENDER
- CR1 CEMENT RENDER RAKED JOINTS
- CR2 CEMENT RENDER PAINT 1
- CR3 CEMENT RENDER PAINT 2
- CR4 CEMENT RENDER PAINT 3
- CR5 CEMENT RENDER PAINT 4
- FB FACE BRICK
- BC BRICK CORREL
- FC FIRE CEMENT SHEETING
- AL ALUMINIUM SHEETING
- PL PLASTERBOARD
- BB BLUEBOARD SET JOINTS
- MB MESHREINFORCED
- PM PERFORATED METAL
- MD MINOR SHEETING
- CD CUSTOM ORB SHEETING
- CC CONCRETE COLUMN
- FC FIRE CEMENT COLUMN
- TP TIMBER POST
- RWB RETAINING WALL - BRICK
- RWC RETAINING WALL - CONCRETE BLOCK
- SMTX SICHON "MATRIX" CLADDING
- SLD SICHON "LINEA" CLADDING
- ALU ALUCABOND CLADDING



Site Plan

1:400



1 ELEVATION 1:150



2 ELEVATION 1:150



3 ELEVATION 1:150



4 ELEVATION 1:150

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DATE:	ISSUE:	AMENDMENT:

Drawing | Notification Plan
 Proposed | Proposed New Single Storey Dwelling

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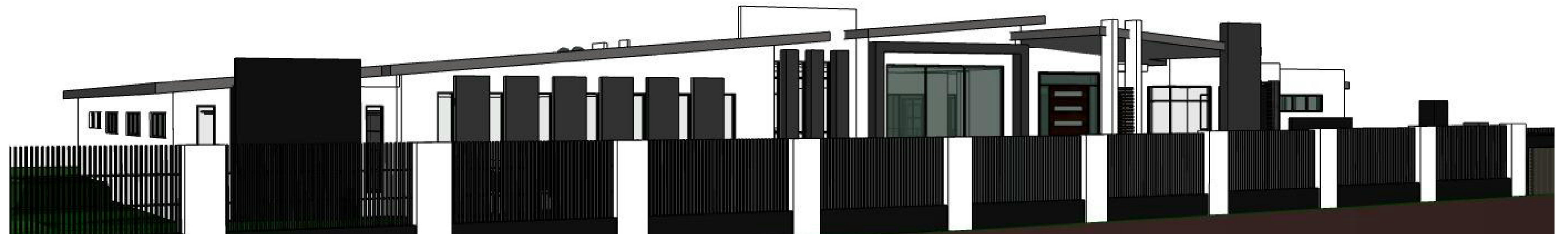
Client | Mr & Mrs Toma
 Address | 110 - 112 Mt Vernon Rd
 Mt Vernon 2178 NSW
 Job No | 17-20-Toma
 Issue | Issue A
 Scale | as noted
 Date | 18-Dec-17

10

Mr & Mrs Toma

Proposed New Single Storey Dwelling
 110 - 112 Mt Vernon Rd Mt Vernon 2178
 NSW ,

Sheet Index	
No	Layout Name
01	Perspective
02	Site Plan/ Landscape Plan/ Waste Management
03	Ground Floor Plan
04	Elevations/ Section
05	Fence Details/ Site Analysis
06	Window Schedule/ Basix Commitments
07	Schedule of External Finishes
08	Specifications Sheet 1 of 2
09	Specifications Sheet 2 of 2
10	Notification Plan
11	Roof Plan



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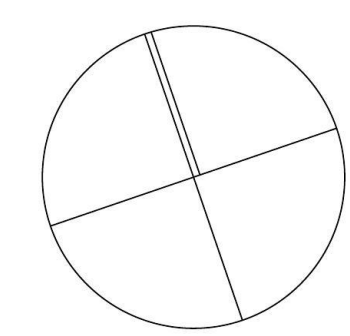
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Drawing Perspective	Client Mr & Mrs Toma
Proposed Proposed New Single Storey Dwelling	Address 110 - 112 Mt Vernon Rd Mt Vernon 2178 NSW ,
ALL IMAGE	Job No 17-20-Tom
ARCHITECTS	Issue Issue A
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