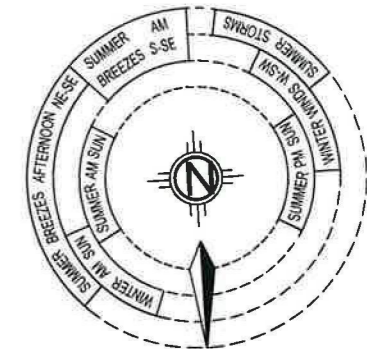


SAFETY WARNING
 RING 1100 "DIAL BEFORE YOU DIG"
 PRIOR TO ANY EXCAVATIONS.
 ANY REGISTERED EASEMENT WITHIN THE LOT
 IS SHOWN ON THIS SITE PLAN.



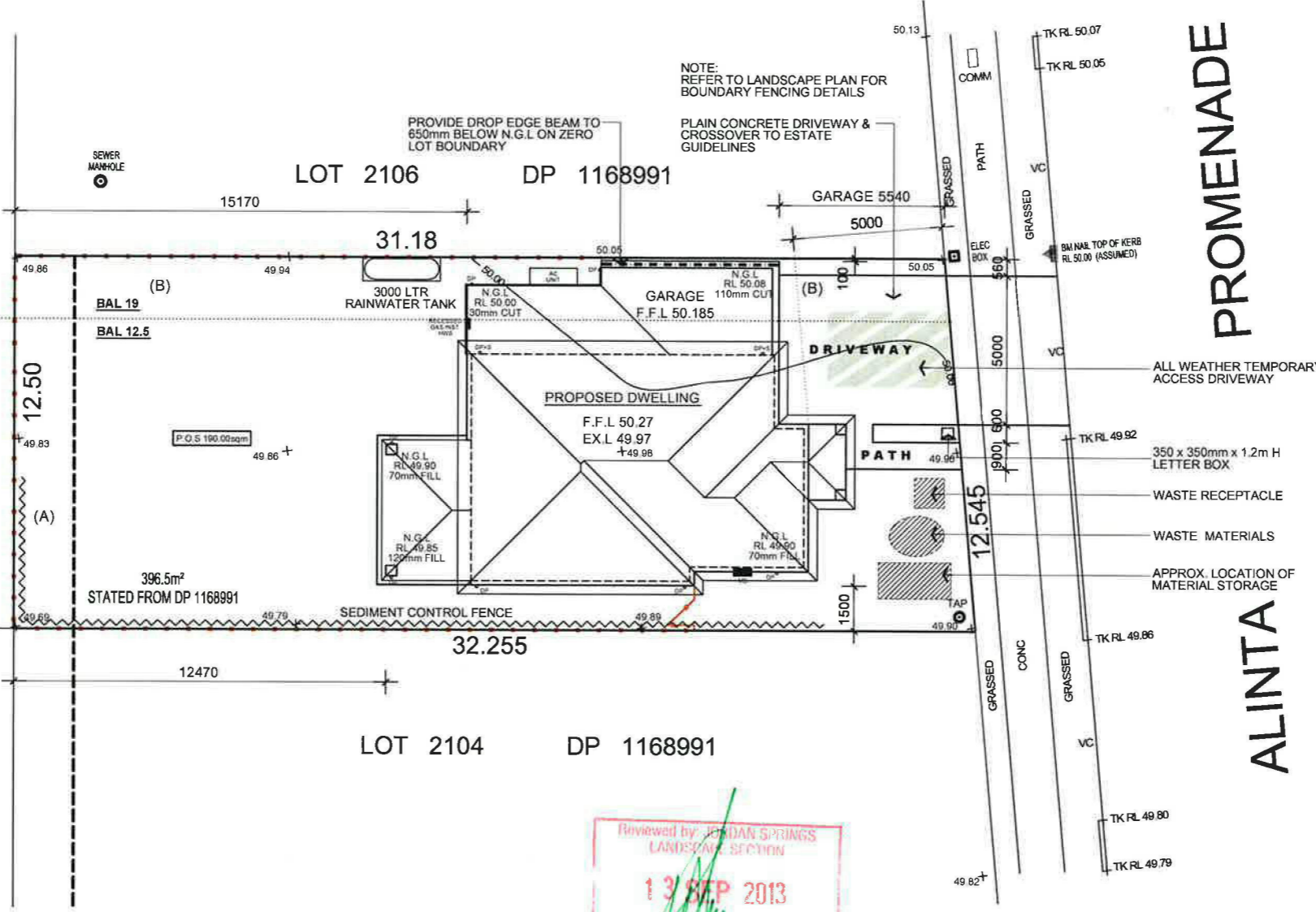
LOT 2105 DP 1168991

**CONSTRUCTION METHOD TO
 BAL-12.5
 BUSHFIRE REQUIREMENTS**



SITE CALCULATIONS

GROUND FLOOR :	81.58 m ²
FIRST FLOOR :	80.59 m ²
GARAGE :	32.31 m ²
PORCH :	3.20 m ²
ALFRESCO :	15.00 m ²
TOTAL AREA :	212.68 m ²
SITE AREA :	396.50 m ²
DRIVEWAY / PATH AREA :	32.00 m ²
ROOF AREA :	135.00 m ²
LANDSCAPING AREA :	232.41 m ²
PRIVATE OPEN SPACE :	180.00 m ²
SITE COVERAGE :	41%



**PROMENADE
 ALINTA**

**HOUSE TO BE CONSTRUCTED TO
 BAL-12.5 BUSHFIRE CONSTRUCTION**

ITEM	
EXTERNAL WALLS	BRICK VENEER
PROVIDE A SCREEN, HAVING AN APERTURE SIZE NO GREATER THAN 2mm. CONSTRUCTED OF CORROSION RESISTANT ALUMINIUM TO ALL WEEP HOLES AND VENTS	
WINDOWS	ALUMINIUM FRAME
THE GLAZING SHALL BE ANNEALED (STANDARD 4mm FLOAT)	
PROVIDE A SCREEN, HAVING AN APERTURE SIZE NO GREATER THAN 2mm. CONSTRUCTED OF CORROSION RESISTANT ALUMINIUM TO ALL OPENABLE PORTIONS OF THE WINDOWS	
WHERE GLAZING IS LESS THAN 400mm FROM A HORIZONTAL SURFACE THAT EXTENDS GREATER THAN A DISTANCE OF 110mm AND HAS AN ANGLE LESS THAN 18 DEGREES (GROUND, PORCH, DECK, ROOF, ETC.), IT WILL BE GRADE 'A' SAFETY GLASS WITH A MINIMUM THICKNESS OF 4mm.	
ALL EXTERNALLY FITTED HARDWARE TO BE CONSTRUCTED OF METAL	
EXTERNAL DOORS	
SIDE HUNG DOORS	
MAIN ENTRY	
BUSHFIRE RESISTANT FRAME IN ACCORDANCE W/ AS3959-2009 & MINIMUM 4mm GRADE 'A' SAFETY GLASS TO SIDELITE. DOORS TO BE TIGHT FITTING TO THE DOOR FRAME AND/OR ABUTTING DOOR.	
COMPLETELY PROTECTED EXTERNALLY BY A SCREEN, HAVING AN APERTURE SIZE NO GREATER THAN 2mm. CONSTRUCTED OF CORROSION RESISTANT ALUMINIUM	
PROVIDE WEATHER STRIPS, DRAUGHT EXCLUDERS, OR DRAFT SEALS	
LAUNDRY DOOR	
BUSHFIRE RESISTANT FRAME IN ACCORDANCE W/ AS3959-2009. DOOR TO BE TIGHT FITTING TO THE DOOR FRAME AND/OR ABUTTING DOOR.	
COMPLETELY PROTECTED EXTERNALLY BY A SCREEN, HAVING AN APERTURE SIZE NO GREATER THAN 2mm. CONSTRUCTED OF CORROSION RESISTANT ALUMINIUM	
PROVIDE WEATHER STRIPS, DRAUGHT EXCLUDERS, OR DRAFT SEALS	
SLIDING DOORS	
FULLY FRAMED ALUMINIUM W/ GRADE 'A' SAFETY GLASS COMPLIANT W/ AS1288	
THERE ARE NO REQUIREMENTS TO SCREEN THE OPERABLE PART OF EXTERNAL SLIDING DOORS, HOWEVER, IF SCREENED SHALL HAVE AN APERTURE SIZE NO GREATER THAN 2mm. CONSTRUCTED OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM	
GARAGE DOORS	
SECTIONAL OVERHEAD DOOR TO BE OF NON-COMBUSTIBLE MATERIAL & FITTED W/ SUITABLE SEALS WITH A MAXIMUM GAP NO GREATER THAN 3mm TO PREVENT ENTRY OF EMBERS	
ROOF	
CONCRETE ROOF TILES	
THE ROOF TO WALL JUNCTION TO BE SEALED SO THAT THERE ARE NO GAPS GREATER THAN 3mm.	
THE ROOF TO BE FULLY SARKED WITH SARKING HAVING A FLAMMABILITY INDEX RATING OF NO GREATER THAN 5 AND DIRECTLY BELOW THE ROOF BATTENS SUCH THAT THE ENTIRE ROOF IS COVERED, INCLUDING THE RIDGE. NO GAPS ARE TO BE LEFT THAT WOULD PERMIT THE ENTRY OF EMBERS SPECIFICALLY AROUND FASCIAS, GUTTERS & VALLEYS ETC.	
ANY PENETRATION THROUGH THE ROOF WILL BE ADEQUATELY SEALED WITH NON-COMBUSTIBLE MATERIALS TO PREVENT ANY GAPS GREATER THAN 3mm	
EAVES	
ANY PENETRATION THROUGH THE EAVES WILL BE ADEQUATELY SEALED WITH NON-COMBUSTIBLE MATERIALS TO PREVENT ANY GAPS GREATER THAN 3mm	
ANY GAPS IN THE EAVES GREATER THAN 3mm WILL BE FITTED WITH EMBER GUARDS MADE OF NON-COMBUSTIBLE MATERIALS, OR A MESH OR PERFORATED SHEET HAVING A MAXIMUM APERTURE SIZE OF 2mm CONSTRUCTED OF ALUMINIUM	
JOINTS IN EAVES LININGS TO BE SEALED W/ PLASTIC JOINING STRIPS OR TIMBER STORM MOULDS AS PERMITTED BY AS3959-2009	
WATER & GAS SUPPLY PIPES	
ALL ABOVE GROUND, EXPOSED WATER & GAS SUPPLY PIPES TO BE METAL	

NOTES:
 REFER TO LANDSCAPE PLAN FOR BOUNDARY FENCING DETAILS
 VEHICLE CROSSING TO BE CONSTRUCTED IN PLAIN CONCRETE IN ACCORDANCE WITH COUNCIL REQUIREMENTS
 PROVIDE TEMPORARY CONSTRUCTION FENCING INCLUDING A 3.0m WIDE ACCESS GATE TO FRONT BOUNDARY
 JORDAN SPRINGS IS A FIBRE CONNECTED COMMUNITY AND ARRANGEMENTS FOR CONNECTIONS AND RELATED COSTS WILL BE REQUIRED.
 ANY CUT RELATIVE TO F.F.L., FILL & RETAINING WALLS ARE NOT PERMITTED WITHIN THE MAINTENANCE EASEMENT

JORDAN SPRINGS - ILLOURA VILLAGE NOTES:
 - ANY GARDEN OR LAWN EDGING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OF MASONRY TEXTURED OR COLOURED BRICKS, BLOCKS OR COLOURED CONCRETE- NO TIMBER EDGING IS PERMITTED.
 -ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900mm HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION.
 - VEHICLE CROSSOVER IS TO BE PLAIN CONCRETE TO COUNCIL SPECIFICATIONS. 5.0m WIDE V.C FOR A DOUBLE GARAGE AND 3.0m WIDE V.C FOR SINGLE GARAGE.
 - ALL EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.



(A) EASEMENT TO DRAIN WATER 2 WIDE
 (B) RESTRICTIONS ON THE USE OF LAND

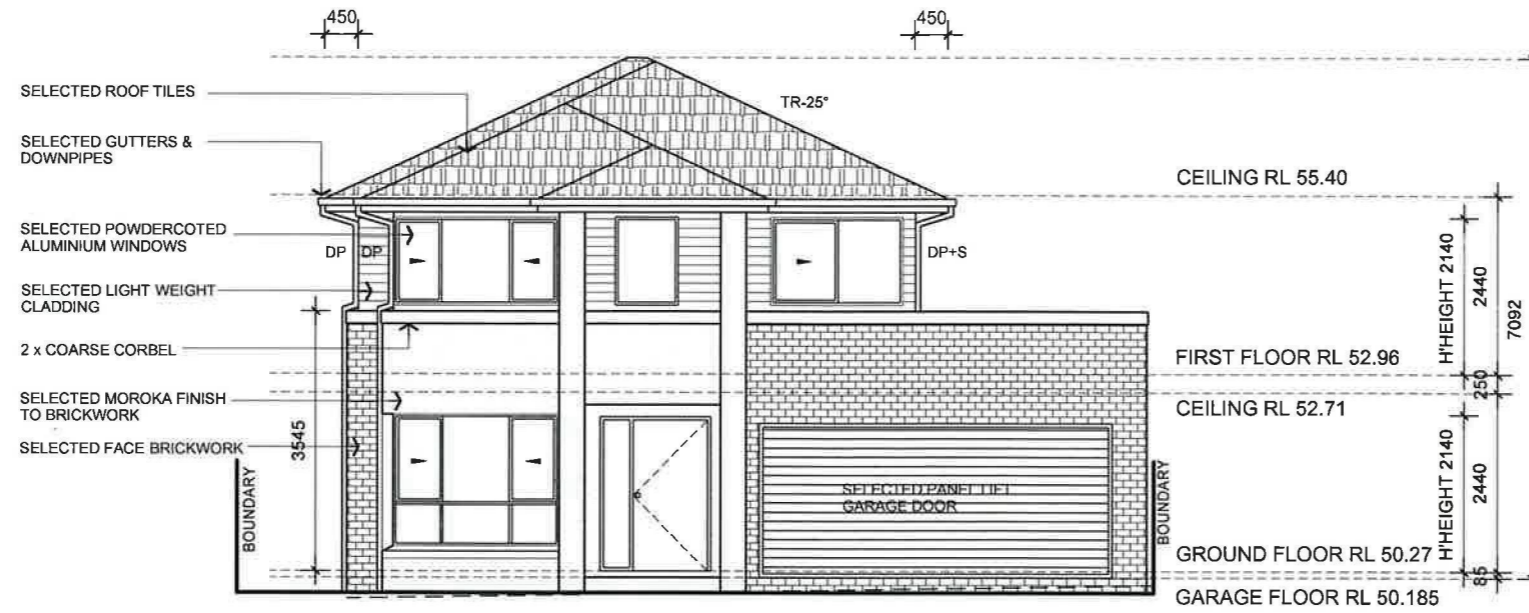


NOTES:
 ○ COPYRIGHT RESERVED. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM THIS OFFICE
 ○ ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE
 ○ THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATION AND ENGINEER'S DETAILS, IF APPLICABLE.
 ○ FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING
 ○ BUILDER TO VERIFY ALL DIMENSIONS ON SITE

dwg title :
SITE PLAN

project : Proposed Two storey Dwelling
 client : ANCON HOMES
 address : LOT 2105 Alinta Promenade JORDAN SPRINGS

scale : 1:200
 issue : dwg no:
 drawn by : MH
 date : 04.09.13
 filename : LOT 2105
A 020



1: 100 FRONT ELEVATION (WEST)



1: 100 REAR ELEVATION (EAST)

Reviewed by: JORDAN SPRINGS
LAWSON SECTION
13 SEP 2013
SIGNED



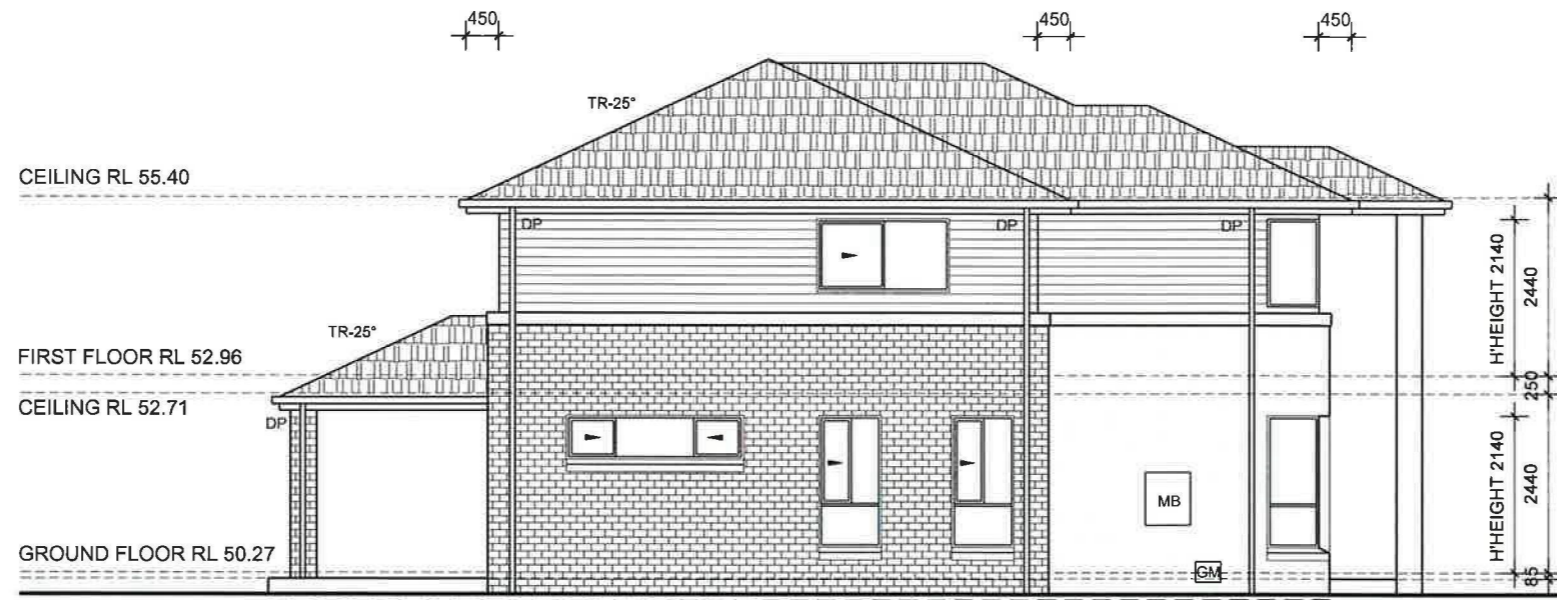
- NOTES:
- COPYRIGHT RESERVED. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM THIS OFFICE.
 - ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATION AND ENGINEER'S DETAILS, IF APPLICABLE.
 - FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING.
 - BUILDER TO VERIFY ALL DIMENSIONS ON SITE.

dwg title :
ELEVATIONS

project : Proposed Two storey Dwelling
client : ANCON HOMES
address : LOT 2105 Alinta Promenade
JORDAN SPRINGS

scale : 1:100
drawn by : MH
date : 04.09.13
filename : LOT 2105

issue : dwg no:
A 050



1: 100 SIDE ELEVATION (NORTH)



1: 100 SIDE ELEVATION (SOUTH)



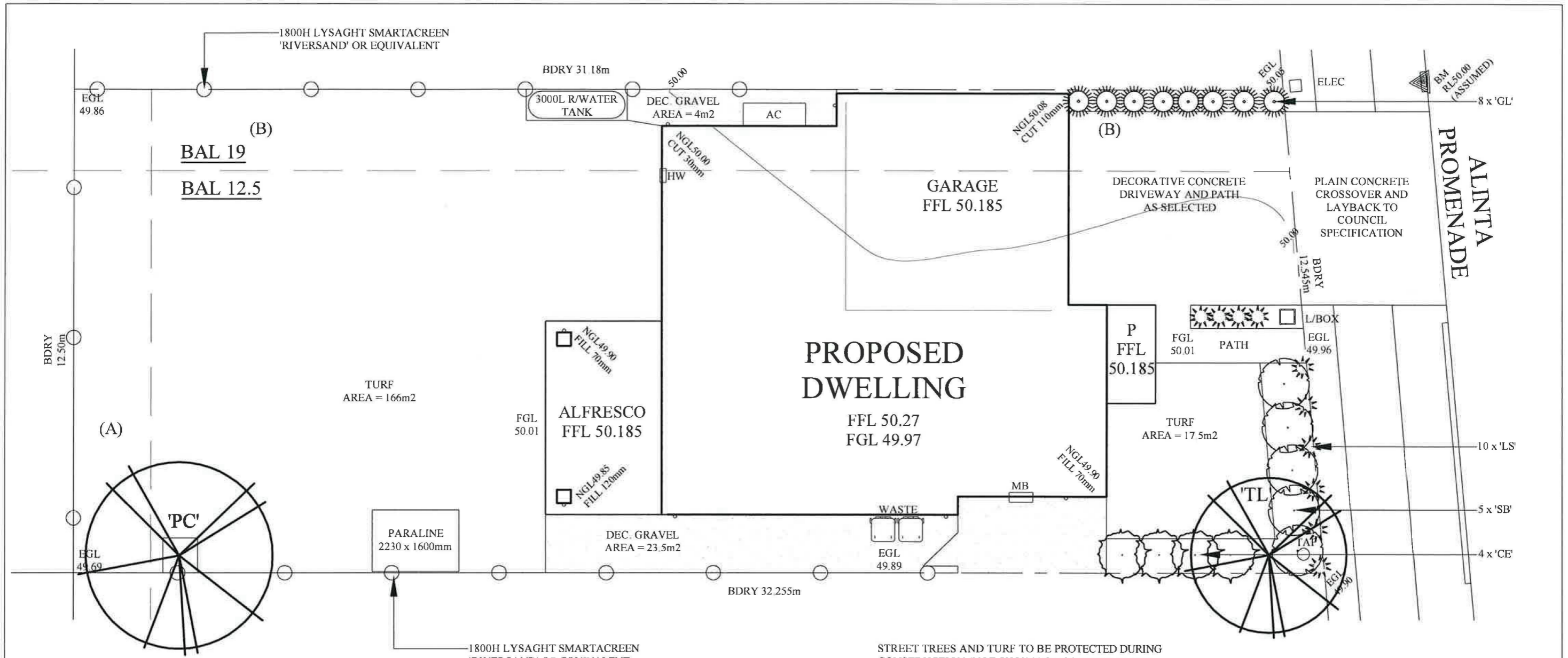
- NOTES:
- COPYRIGHT RESERVED. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM THIS OFFICE.
 - ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATION AND ENGINEER'S DETAILS, IF APPLICABLE.
 - FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING.
 - BUILDER TO VERIFY ALL DIMENSIONS ON SITE.

dwg title :
SIDE ELEVATIONS

project : Proposed Two storey Dwelling
client : ANCON HOMES
address : LOT 2105 Alinta Promenade
JORDAN SPRINGS

scale : 1:100
drawn by : MH
date : 04.09.13
filename : LOT 2105

issue : dwg no:
A 060



(A) - EASEMENT TO DRAIN 2W
 (B) - RESTRICTIONS ON THE USE OF LAND

STREET TREES AND TURF TO BE PROTECTED DURING CONSTRUCTION (NOT SHOWN ON CONTOUR PLANS PROVIDED). ANY DAMAGE TO TURF AND STREET TREE TO BE RECTIFIED AS PART OF THE LANDSCAPE WORKS

PLANT SCHEDULE

BOTANIC NAME	KEY	QTY	POT SIZE	HT (M)	WTH (M)
TREES					
PYRUS 'CHANTICLEER' (FLOWERING PEAR)	PC	1	45L	8	5
TRISTANIOPSIS LAURINA (WATER GUM)*	TL	1	45L	6	4
SHRUBS					
CALLISTEMON 'ENDEAVOUR' (BOTTLEBRUSH)*	CE	4	200MM	3	1.5
GREVILLEA LANIGERA (WOOLLY GREVILLEA)*	GL	8	200MM	1	1
LIRIOPE 'SAMANTHA' (LIRIOPE)	LS	10	150MM	0.3	0.6
SYZYGIUM 'BRONZE AUSSIE' (LILLY PILLY)*	SB	5	200MM HEDGE	-	-

* = NATIVE SPECIES (62% - ACHIEVED) GARDEN AND LAWN AREA - 199m²

* ALL PATHWAYS, LANDSCAPING, FENCING TO BE COMPLETED BY OWNERS UNLESS NOTED OTHERWISE WITHIN TENDER. ALL ITEMS NOTED WITHIN ARE TO BE COMPLETED IN ACCORDANCE WITH THE ESTATE AND / OR COUNCIL GUIDELINES TO PCA SATISFACTION. MONACO DESIGNS PL RESERVES THE RIGHT NOT TO UNDERTAKE NOR SUPPLY LANDSCAPE CERTIFICATION FOR OCCUPATION CERTIFICATE OR 12 MONTH LANDSCAPE CERTIFICATION FOR RELEASE OF BOND HELD BY COUNCIL WHEN APPLICABLE.

NOTE - TO AID COMPLIANCE WITH BASIX LEGISLATION, PLANTS (WHERE APPLICABLE) HAVE BEEN SELECTED FROM THE LOCAL CITY COUNCIL / SHIRE PLANT LISTS.
 NOTE - LOCATION OF SEWER MAINS / LINES, WATER PIPES, UNDERGROUND ELECTRICITY AND OTHER SERVICES MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. DIAL BEFORE YOU DIG 1100.
 COPYRIGHT - THIS PLAN AND DESIGN IS THE PROPERTY OF MONACO DESIGNS PL. IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE COMPANY. REPRODUCTION PARTLY OR IN FULL CONSTITUTES AN INFRINGEMENT OF COPYRIGHT.
 CONTRACTORS NOTE - CALCULATED AREAS DETERMINED BY CAD AND HAVE BEEN ROUNDED UP FOR USE AS A GUIDE ONLY. ALLOW STANDARD PERCENTAGE S FOR CUTTING AND WASTAGE. CONTRACTOR TO CONFIRM DIMENSIONS PRIOR TO QUOTING / ORDERING.

Reviewed by: JORDAN SPRINGS
 LANDSCAPE SECTION
 13 SEP 2013
 SIGNED



MONACO
 DESIGNS PL
 14 York Street, Glenbrook NSW, 2773
 ph & fax: 0247395136 mb: 0409123200
 email: paul@monaco.net.au

PROJECT:
PROPOSED DWELLING

ADDRESS:
 LOT 2105 ALINTA PR.,
 JORDAN SPRINGS

CLIENT:
 ANCON

TITLE:
LANDSCAPE CONCEPT

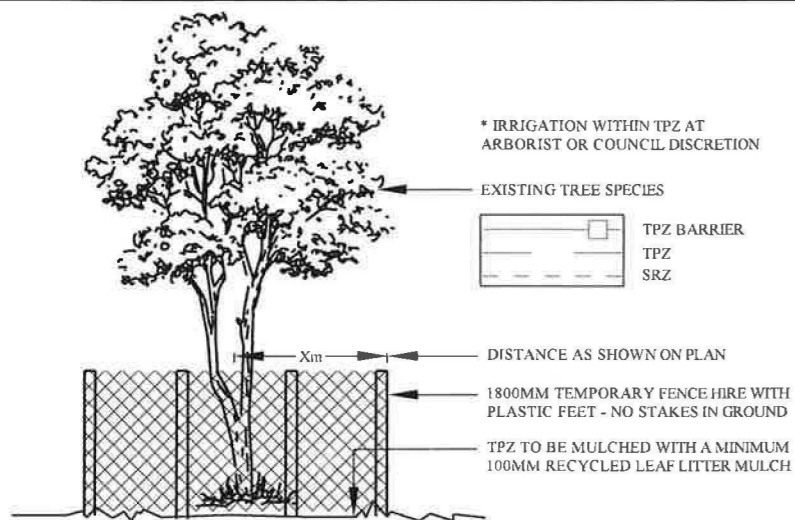
DATE: 10 SEP 13	SCALE: 1 : 100 - A3	SHEET No: 1 OF 2
JOB No: 3491	DRAWN: CJ / PM	

TREE REPORTS
 LANDSCAPE PLANS
 VEGETATION MANAGEMENT PLANS

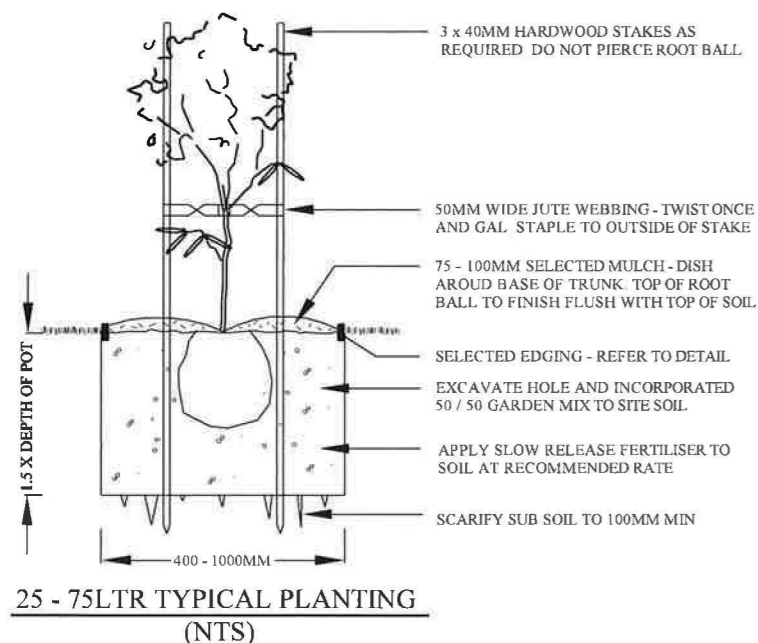
JORDAN SPRINGS - ILLOURA - LANDSCAPE CHECKLIST

PROJECT: LANDSCAPE PLAN - JORDAN SPRINGS
OWNER: ANCON

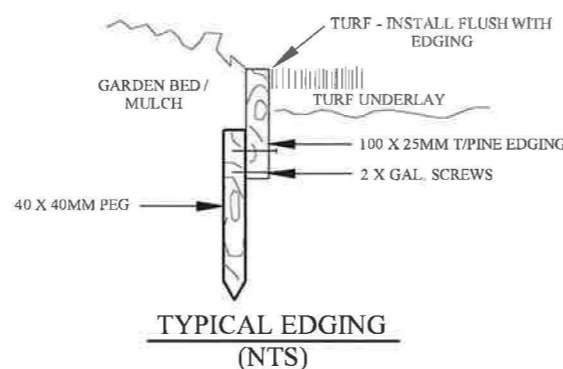
STREET ADDRESS: LOT 2105, ALINTA PR., JORDAN SPRINGS
DATE: 10 SEP 13



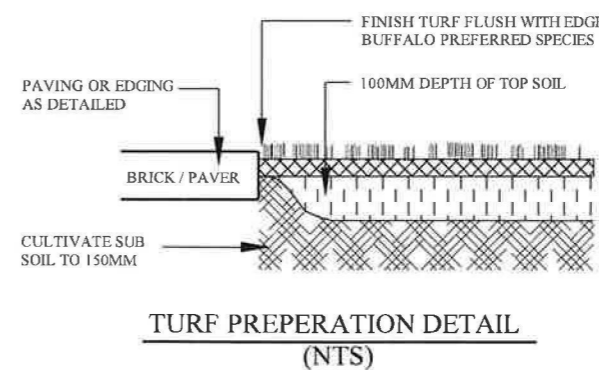
**TYPICAL TREE PROTECTION
DETAIL - (NTS)**
(IF NO ARBORIST REPORT REQUIRED)



**25 - 75LTR TYPICAL PLANTING
(NTS)**



**TYPICAL EDGING
(NTS)**



**TURF PREPARATION DETAIL
(NTS)**

- * THE LANDSCAPE PLAN IS A MINIMUM SCALE OF 1:100 **YES**
- * A TREE (4-8m) IS REQUIRED IN THE FRONT AND REAR OF EACH DWELLING. **YES**
- * 300-500mm PLANTING STRIPS BETWEEN FOOTPATH & DRIVEWAY, DRIVEWAY AND BOUNDARY AND ALONG FRONT BOUNDARY **YES**
- * THE PLAN HAS BEEN PREPARED BY A QUALIFIED LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER SHOWING SUITABLE REGISTRATION WITH AUSTRALIAN INSTITUTE LANDSCAPE ARCHITECTS OR EQUIVALENT QUALIFICATIONS **YES**
- * 50% OF PLANTING ARE TO BE NATIVE AUSTRALIAN SPECIES, WITH PERCENTAGE NOTED **YES**
- * THE EXISTING STREET TREE IS TO BE CLEARLY AND ACCURATELY INDICATED ON THE PLAN. THE LANDSCAPE PLAN MUST NOTE THAT THE STREET TREE AND TURF AREAS IN FRONT OF THE HOUSE ARE TO BE PROTECTED DURING CONSTRUCTION, WITH ALL DAMAGE TO BE RECTIFIED AS PART OF THE LANDSCAPE WORKS **NO**
- * THE SURFACE TREATMENT OF ALL AREAS IS TO BE CLEARLY INDICATE. **YES**
- * THE PLAN IS TO BE FULLY DOCUMENTED INCLUDING RETAINING WALL HEIGHTS, MATERIALS, PLANTING LAYOUT, GARDEN EDGING AND GROUND PREPARATION. RETAINERS ABOVE 900mm OR WITHIN FRONT SETBACK TO BE MASONRY. **N/A**
- * THE REAR FENCE AND SIDE FENCE MATERIAL IS INDICATED AS 1800mm 'LYSAGHT 'SMARTASCREEN - RIVERSAND' OR EQUIVALENT. **YES**
- * FRONT FENCE TO BE 1200mm MAX WITH PERMEABLE INFILL - **N/A**
- * SIDE GATE / FENCE TO RETURN 7500mm FROM FRONT BOUNDARY OR 2000m BEHIND BUILDING FACADE. **YES**
- * DRIVEWAY MATERIAL MUST BE INDICATED WITHIN THE LOT. NOTE: PLAIN CONCRETE IS NOT PERMITTED WITHIN THE LOT. REFER TO THE BUILDING AND SITING REQUIREMENTS FOR ACCEPTABLE FINISHES. 3m C/OVER SINGLE OR 5m DOUBLE C/OVER - **YES**
- * DRIVEWAY MATERIAL TO BE INDICATED FROM THE KERB TO THE FRONT BOUNDARY AS PLAIN CONCRETE TO COUNCIL SPECIFICATION. **YES**
- * PROVIDE A SEPARATE PEDESTRIAN ACCESS (NOT THE DRIVEWAY). THE MAXIMUM WIDTH OF THE PEDESTRIAN ACCESS PATH IS 1.8M. **YES**
- * ENSURE AIR CON, HWS, BINS AND DRYING LOCATIONS ARE SHOWN. **YES**
- * ENSURE THE LANDSCAPE PLAN COMPLIES WITH BASIX LANDSCAPE SPECIFICATIONS - REFER TO YOUR BASIX CERTIFICATE PROVIDED BY YOUR BUILDER AND THE BASIX WEBSITE - WWW.BASIX.NSW.GOV.AU. **ASSUMED**
- * REFER TO GUIDELINES FOR SECONDARY CORNER FENCING.
- * THE PLAN HAS A PLANT SCHEDULE INCLUDING ALL BOTANICAL NAMES AND COMMON NAMES **YES**

PLANTING AND MAINTENANCE NOTES

- * GLAZED OR POLISHED PLANTING HOLES, PARTICULARLY IN CLAY SOILS SHOULD BE AVOIDED PLANTS TO BE MOUNDED WITHIN THESE SOIL TYPES
- * PLANTS SHOULD BE PLANTED STRAIGHT, WITH THE TOP OF THE ROOT BALL LEVEL WITH OR SLIGHTLY LOWER THAN THE SOIL SURFACE
- * PLANTS SHOULD BE WATERED AS SOON AS POSSIBLE AFTER PLANTING
- * PLANTING SHOULD BE AVOIDED AT THE HEIGHT OF SUMMER (DECEMBER - JANUARY)
- * PLANTS SHOULD BE WATERED AT LEAST WEEKLY FOR SIX WEEKS TO AID ESTABLISHMENT WATER CRYSTALS MAY BE USED TO REDUCE THE AMOUNT OF WATER REQUIRED
- * IF A FERTILISER IS TO BE APPLIED, A SLOW RELEASE 8 - 9 MONTH PLANT FOOD PREFERRED
- * ONLY SPECIES WITHIN THE LANDSCAPE PLAN SHOULD BE PLANTED PERMISSION SHOULD BE SOUGHT BEFORE ALTERING THE PLANT SPECIES LIST (ON MOST OCCASIONS NURSERIES CAN SUBSTITUTE)
- * STOCK SHOULD BE FREE OF PESTS, DISEASE AND WEEDS AND NOT POT BOUND
- * REPLACEMENT PLANTS SHOULD BE MADE AVAILABLE FOR ANY LOSSES OF PLANT STOCK THAT MAY OCCUR FOR A MINIMUM 12 MONTH PERIOD
- * WEEDS SHOULD BE REMOVED ON A FORTNIGHTLY BASIS
- * PEST OR DISEASE SAMPLES TO THE LOCAL NURSERY FOR IDENTIFICATION AND APPROPRIATE REMEDY

GENERAL NOTES:-

- * LANDSCAPE CONTRACTOR TO CHECK DA CONDITIONS AND STAMPED LANDSCAPE PLAN BEFORE COMMENCING WORKS TO ENSURE NO ADDITIONS / AMENDMENTS TO PLAN
- * GARDEN BEDS IN OSD BASIN TO CONSIST OF NON FLOATABLE DECORATIVE GRAVEL
- * REFER TO HYDRAULICS ENGINEERS PLAN FOR OSD DETAILS / FINAL LEVELS
- * MULCHED PLANTING BEDS TO BE A MINIMUM DEPTH OF 75MM AS SELECTED
- * CONTRACTORS RESPONSIBILITY TO CHECK AND ADJUST SOIL pH AS REQUIRED
- * PROVIDE TIMBER EDGE AS A MINIMUM BENEATH FENCING / GATES TO DEFINE TURF AND GARDEN BEDS / PATHWAYS EDGING TO BE PROVIDED TO ALL AREAS WHERE DIFFERING MATERIALS MEET, i.e TURF / GARDEN, TURF / GRAVEL PATH ETC.
- * WEED MAT BENEATH GRAVEL PATHWAYS REQUIRED TO LIMIT MUD TRACKING
- * PREMIUM ORGANIC GARDEN MIX TO BE USED
- * ALL PLANTS TO BE HEALTHY AND VIGOROUS.
- * CONTRACTOR TO MAKE GOOD TURF ON NATURE STRIP POST CONSTRUCTION
- * DO NOT SCALE ARCHITECTURAL SETOUT FROM LANDSCAPE DRAWING
- * EXISTING TREE SPREAD APPROXIMATE ONLY REFER TO TREE REPORT WHEN APPLICABLE.
- * SITE SURVEY PROVIDED BY OTHERS
- * BUFFALO TURF PREFERRED OVER KIKUYU.

EROSION CONTROL NOTES

- 1 ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO SITE DISTURBANCE.
- 2 STRIPPING OF GRASS AND VEGETATION ETC. FROM TO BE KEPT TO A MINIMUM.
- 3 TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO BE SCRAPPED AND STOCKPILED ON SITE
- 4 ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO THE NOMINATED SOIL STOCKPILE AREA.

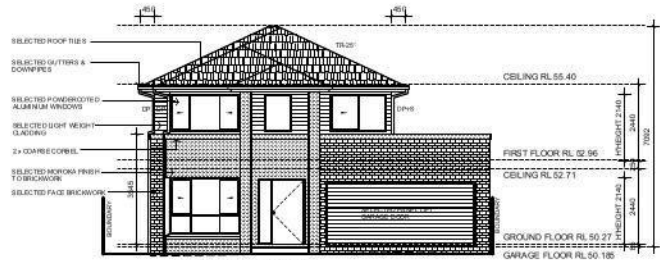
* ALL PATHWAYS, LANDSCAPING, FENCING TO BE COMPLETED BY OWNERS UNLESS NOTED OTHERWISE WITHIN TENDER ALL ITEMS NOTED WITHIN ARE TO BE COMPLETED IN ACCORDANCE WITH THE ESTATE AND / OR COUNCIL GUIDELINES TO PCA SATISFACTION MONACO DESIGNS PL RESERVES THE RIGHT NOT TO UNDERTAKE NOR SUPPLY LANDSCAPE CERTIFICATION FOR OCCUPATION CERTIFICATE OR 12 MONTH LANDSCAPE CERTIFICATION FOR RELEASE OF BOND HELD BY COUNCIL WHEN APPLICABLE

NOTE - TO AID COMPLIANCE WITH BASIX LEGISLATION, PLANTS (WHERE APPLICABLE) HAVE BEEN SELECTED FROM THE LOCAL CITY COUNCIL / SHIRE PLANT LISTS
NOTE - LOCATION OF SEWER MAINS / LINES, WATER PIPES, UNDERGROUND ELECTRICITY AND OTHER SERVICES MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK ON SITE **DIAL BEFORE YOU DIG 1100**
COPYRIGHT - THIS PLAN AND DESIGN IS THE PROPERTY OF MONACO DESIGNS PL. IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE COMPANY. REPRODUCTION PARTLY OR IN FULL CONSTITUTES AN INFRINGEMENT OF COPYRIGHT
CONTRACTORS NOTE - CALCULATED AREAS DETERMINED BY CAD AND HAVE BEEN ROUNDED UP FOR USE AS A GUIDE ONLY. ALLOW STANDARD PERCENTAGE S FOR CUTTING AND WASTAGE. CONTRACTOR TO CONFIRM DIMENSIONS PRIOR TO QUOTING / ORDERING

MONACO
DESIGNS PL

14 York Street, Glenbrook NSW, 2773
ph & fax: 0247395136 mb: 0409123200
email paul@monaco.net.au

PROJECT: PROPOSED DWELLING		
ADDRESS: LOT 2105 ALINTA PR., JORDAN SPRINGS		
CLIENT: ANCON		
TITLE: LANDSCAPE DETAILS		
DATE: 10 SEP 13	SCALE: 1 : 100 - A3	SHEET No: 2 OF 2
JOB No. 3491	DRAWN: P MONACO	
TREE REPORTS LANDSCAPE PLANS VEGETATION MANAGEMENT PLANS		



1:100 FRONT ELEVATION (WEST)



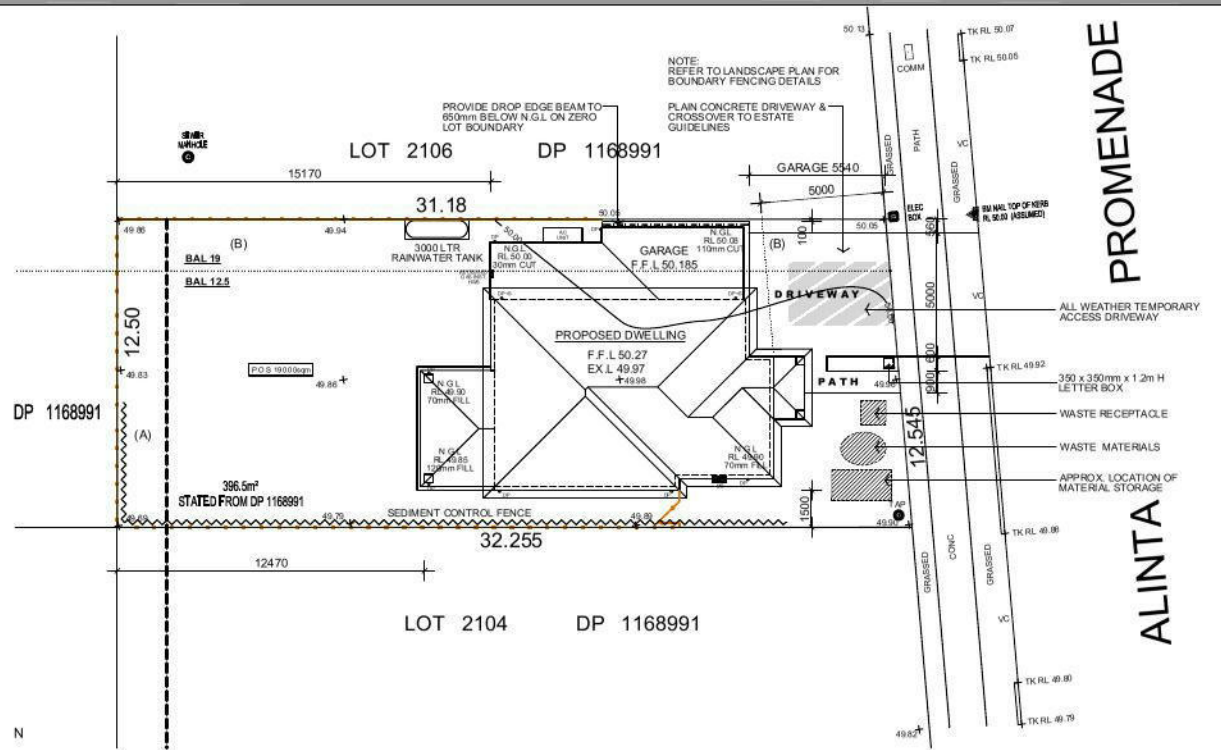
1:100 REAR ELEVATION (EAST)



1:100 SIDE ELEVATION (SOUTH)



1:100 SIDE ELEVATION (NORTH)



PROMENADE
ALINTA



NOTES:

- COPYRIGHT RESERVED. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM THIS OFFICE.
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATION AND ENGINEER'S DETAILS IF APPLICABLE.
- FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING.
- BUILDER TO VERIFY ALL DIMENSIONS ON SITE.

dwg title :
NOTIFICATION PLAN

project : Proposed Two storey Dwelling
client : ANCON HOMES
address : LOT 2105 Alinta Promenade
JORDAN SPRINGS

scale : 1:100
drawn by : MH
date : 04.09.13
filename : LOT 2105

issue :
B 000

dwg no:

NO.	SHEET	TITLE
10	N/A	COVER SHEET
20	1:100	SITE PLAN
30	1:100	PROPOSED GROUND PLAN
40	1:100	PROPOSED FIRST FLOOR PLAN
50	1:100	FRONT & REAR ELEVATIONS
60	1:100	SIDE ELEVATIONS
70	1:100	SECTION A & BASIX REQUIREMENTS
80	1:200	CONCEPT DRAINAGE
90	1:200	SHADOW DIAGRAM & SITE ANALYSIS

PROJECT:

**DEVELOPMENT APPLICATION
PROPOSED TWO STOREY DWELLING**

CLIENT:

ANCON HOMES

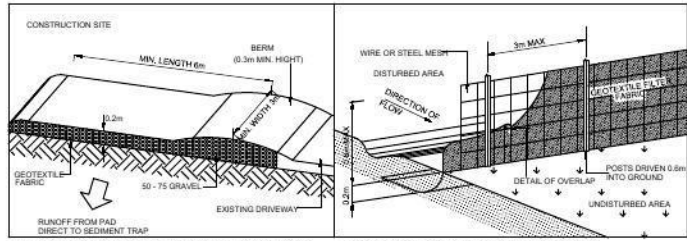
ADDRESS:

**Lot 2105 ALINTA PROMENADE,
JORDAN SPRINGS**

B	17.09.13	DEVELOPMENT APPLICATION
A	04.19.13	DRP REVIEW
amendment :	date :	issued for :



project :	PROPOSED TWO STOREY DWELLING
client :	ANCON HOMES
address :	Lot 2105 ALINTA PROMENADE JORDAN SPRINGS
house type :	N/A
filename :	LOT 2105



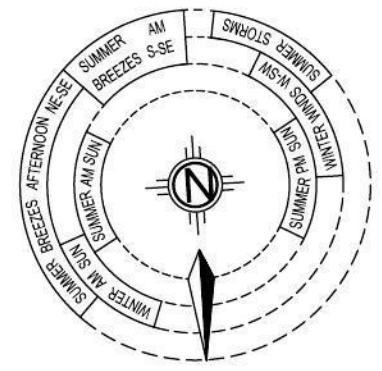
TEMPORARY CONSTRUCTION DRIVEWAY (NOT TO SCALE)
 SEDIMENT FENCE (NOT TO SCALE)
 DRAINAGE AREA 0.6 ha MAX. SLOPE GRADIENT 12 MAX. SLOPE LENGTH 60M MAX

SAFETY WARNING
 RING 1100 "DIAL BEFORE YOU DIG"
 PRIOR TO ANY EXCAVATIONS.
 ANY REGISTERED EASEMENT WITHIN THE LOT IS SHOWN ON THIS SITE PLAN.



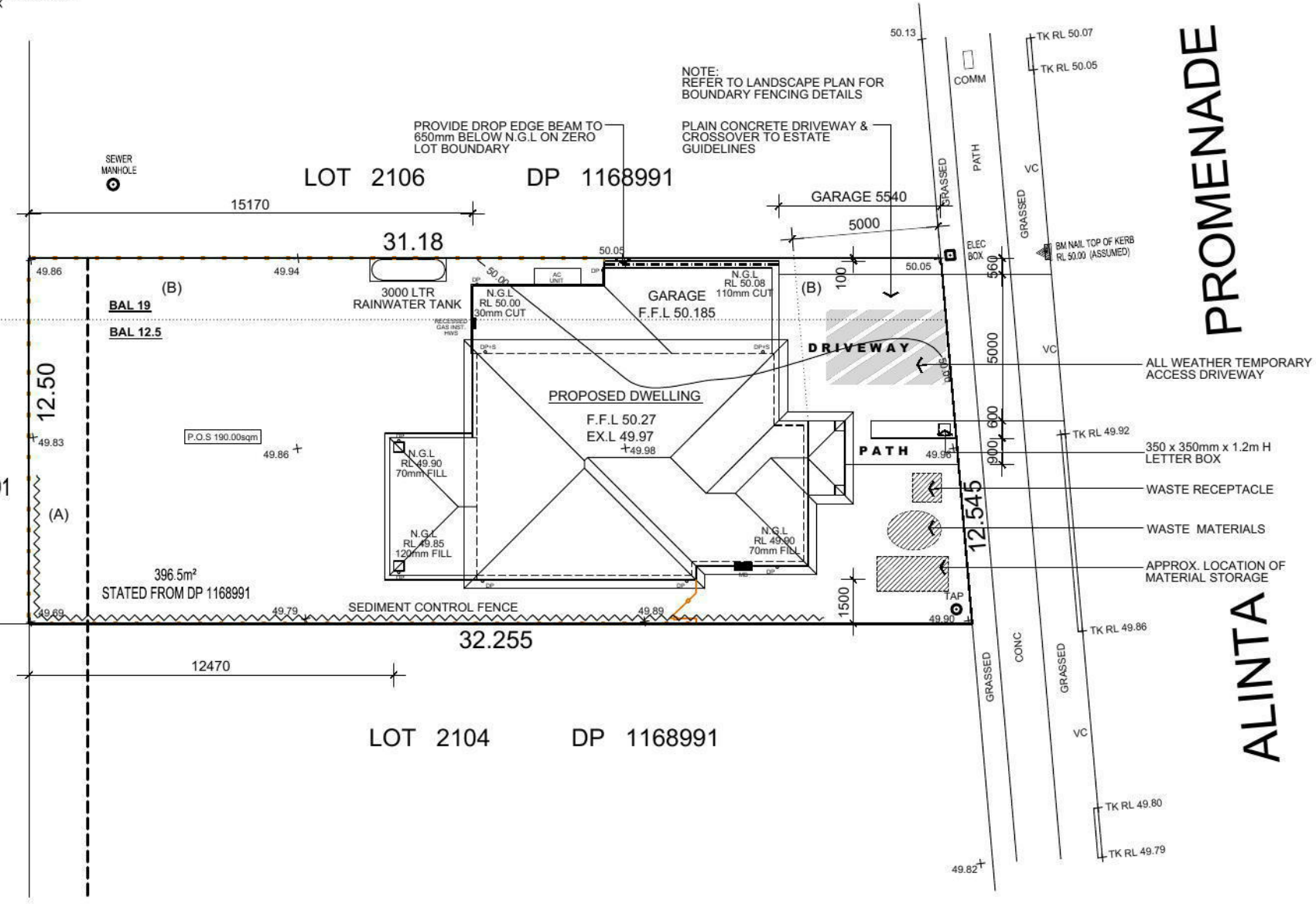
LOT 2105 DP 1168991

CONSTRUCTION METHOD TO
BAL- 12.5
 BUSHFIRE REQUIREMENTS



SITE CALCULATIONS

GROUND FLOOR :	81.58 m ²
FIRST FLOOR :	80.59 m ²
GARAGE :	32.31 m ²
PORCH :	3.20 m ²
ALFRESCO :	15.00 m ²
TOTAL AREA :	212.68 m ²
SITE AREA :	396.50 m ²
DRIVEWAY / PATH AREA :	32.00 m ²
ROOF AREA :	135.00 m ²
LANDSCAPING AREA :	232.41 m ²
PRIVATE OPEN SPACE :	190.00 m ²
SITE COVERAGE :	41%



PROMENADE
 ALINTA

HOUSE TO BE CONSTRUCTED TO BAL-12.5 BUSHFIRE CONSTRUCTION

ITEM	
EXTERNAL WALLS.	BRICK VENEER
WINDOWS	ALUMINIUM FRAME
EXTERNAL DOORS	
LAUNDRY DOOR	
GARAGE DOORS	
ROOF	CONCRETE ROOF TILES
EAVES	
WATER & GAS SUPPLY PIPES.	

NOTES:
 REFER TO LANDSCAPE PLAN FOR BOUNDARY FENCING DETAILS
 VEHICLE CROSSING TO BE CONSTRUCTED IN PLAIN CONCRETE IN ACCORDANCE WITH COUNCIL REQUIREMENTS
 PROVIDE TEMPORARY CONSTRUCTION FENCING INCLUDING A 3.0m WIDE ACCESS GATE TO FRONT BOUNDARY
 JORDAN SPRINGS IS A FIBRE CONNECTED COMMUNITY AND ARRANGEMENTS FOR CONNECTIONS AND RELATED COSTS WILL BE REQUIRED.
 ANY CUT RELATIVE TO F.F.L, FILL & RETAINING WALLS ARE NOT PERMITTED WITHIN THE MAINTENANCE EASEMENT

JORDAN SPRINGS - ILLOURA VILLAGE NOTES:
 - ANY GARDEN OR LAWN EDGING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OF MASONRY TEXTURED OR COLOURED BRICKS, BLOCKS OR COLOURED CONCRETE- NO TIMBER EDGING IS PERMITTED.
 -ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900mm HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION.
 - VEHICLE CROSSOVER IS TO BE PLAIN CONCRETE TO COUNCIL SPECIFICATIONS. 5.0m WIDE V.C FOR A DOUBLE GARAGE AND 3.0m WIDE V.C FOR SINGLE GARAGE.
 - ALL EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.

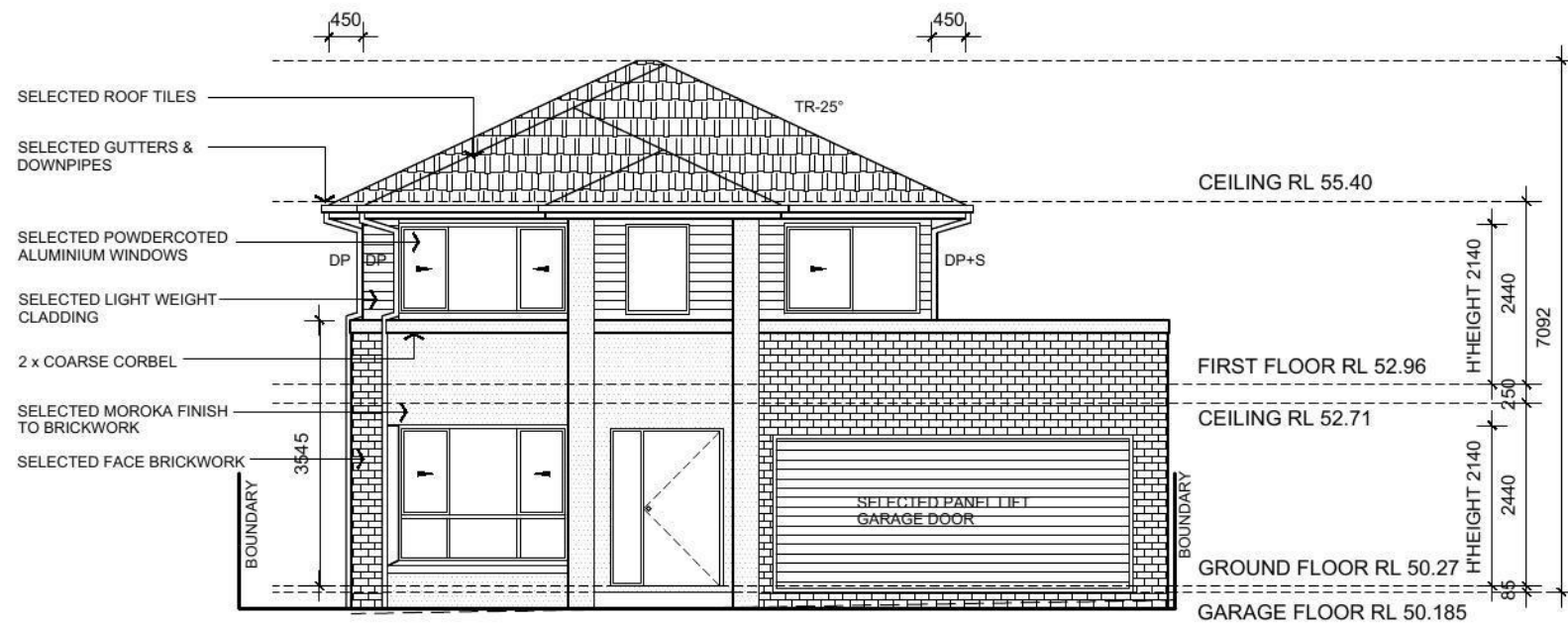
(A) EASEMENT TO DRAIN WATER 2 WIDE
 (B) RESTRICTIONS ON THE USE OF LAND



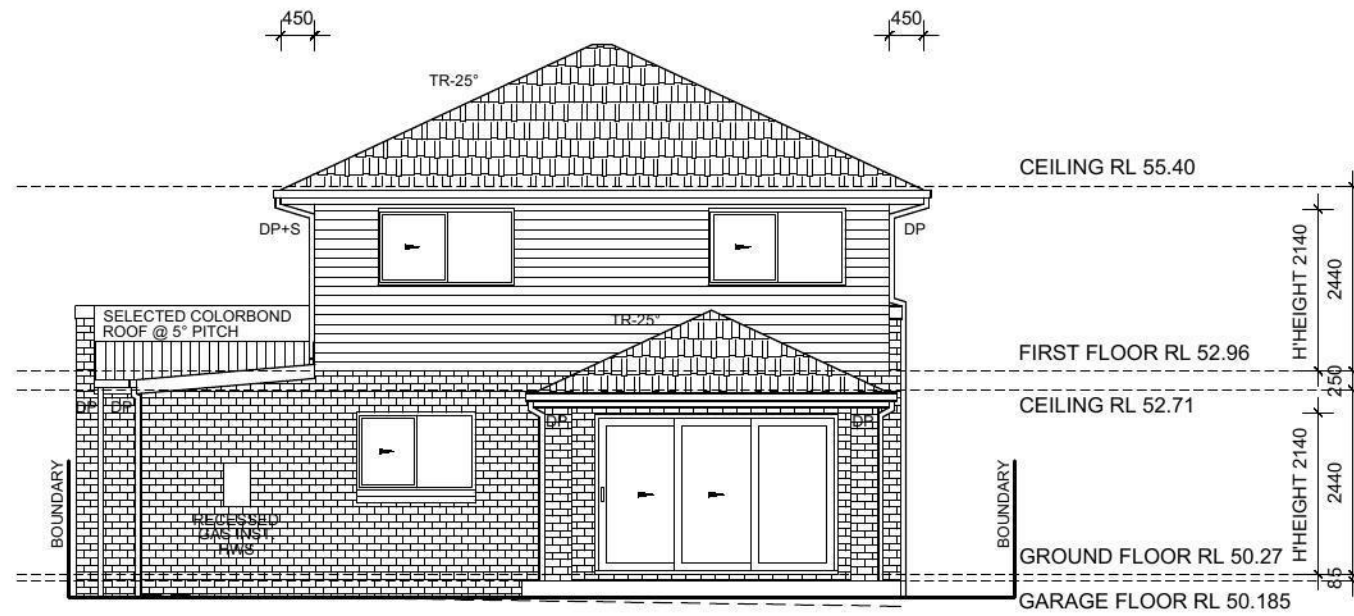
NOTES:
 ○ COPYRIGHT RESERVED. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM THIS OFFICE.
 ○ ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
 ○ THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATION AND ENGINEER'S DETAILS, IF APPLICABLE.
 ○ FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING.
 ○ BUILDER TO VERIFY ALL DIMENSIONS ON SITE.

dwg title :
SITE PLAN

project :	Proposed Two storey Dwelling	scale :	1:200	issue :	dwg no:
client :	ANCON HOMES	drawn by :	MH	B	020
address :	LOT 2105 Alinta Promenade JORDAN SPRINGS	date :	04.09.13		
		filename :	LOT 2105		



1: 100 FRONT ELEVATION (WEST)



1: 100 REAR ELEVATION (EAST)



- NOTES:**
- COPYRIGHT RESERVED. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM THIS OFFICE.
 - ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATION AND ENGINEER'S DETAILS, IF APPLICABLE.
 - FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING.
 - BUILDER TO VERIFY ALL DIMENSIONS ON SITE.

dwg title :
ELEVATIONS

project : Proposed Two storey Dwelling

scale : 1:100

issue : dwg no:

client : ANCON HOMES

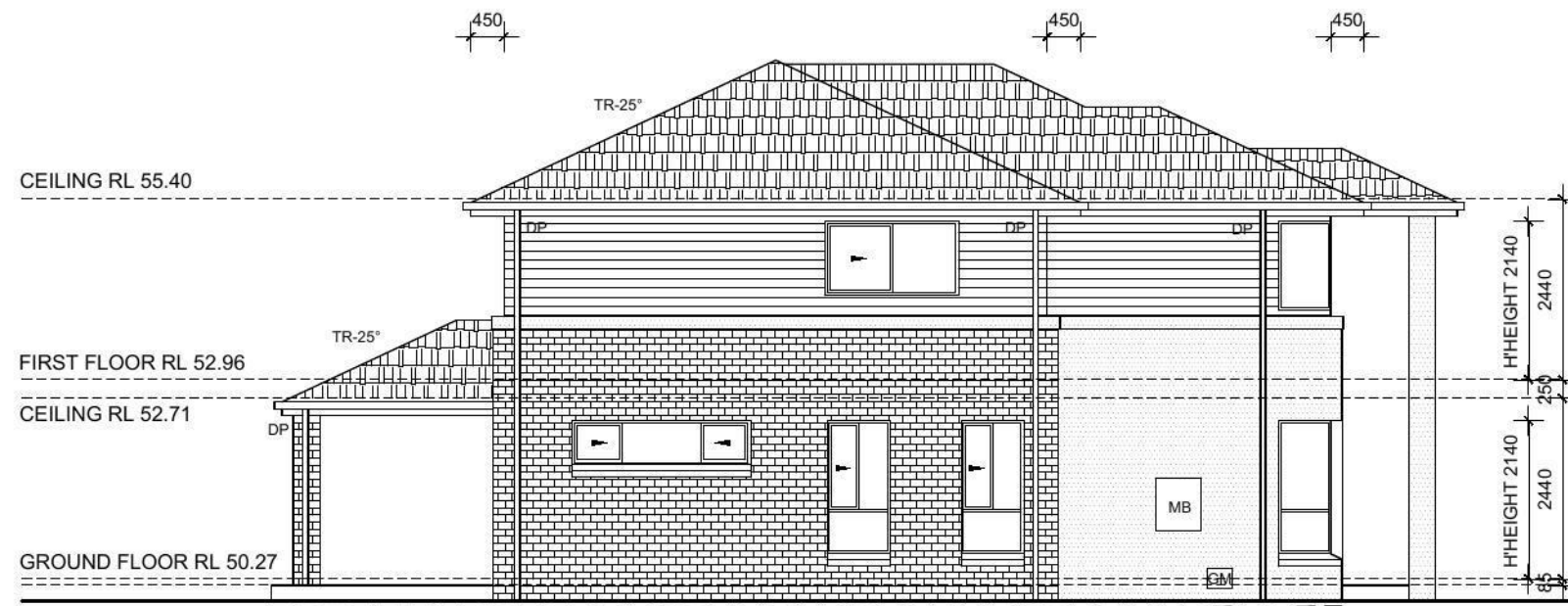
drawn by : MH

B 050

address : LOT 2105 Alinta Promenade
JORDAN SPRINGS

date : 04.09.13

filename : LOT 2105



1: 100 SIDE ELEVATION (NORTH)



1: 100 SIDE ELEVATION (SOUTH)



- NOTES:**
- COPYRIGHT RESERVED. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM THIS OFFICE.
 - ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATION AND ENGINEER'S DETAILS, IF APPLICABLE.
 - FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING.
 - BUILDER TO VERIFY ALL DIMENSIONS ON SITE.

dwg title :
SIDE ELEVATIONS

project : Proposed Two storey Dwelling

scale : 1:100

issue : dwg no:

client : ANCON HOMES

drawn by : MH

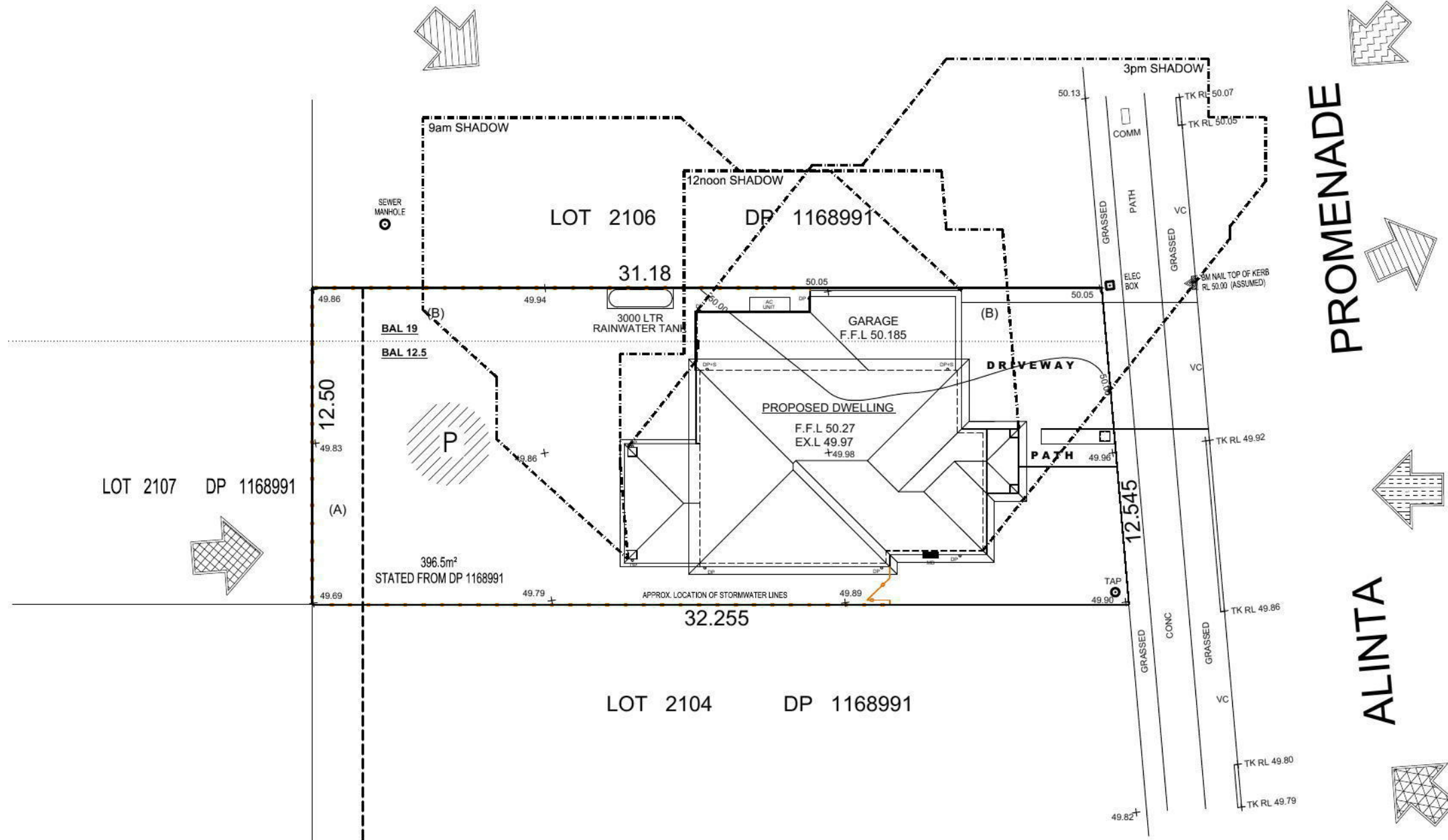
B 060

address : LOT 2105 Alinta Promenade
JORDAN SPRINGS

date : 04.09.13

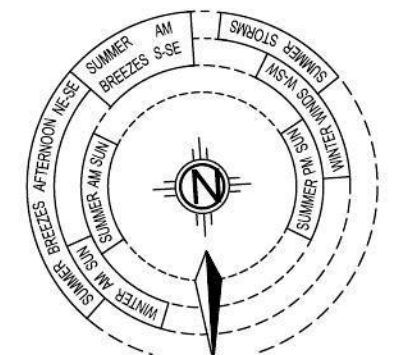
filename : LOT 2105

1:200 SITE ANALYSIS & SHADOW DIAGRAM
(JUNE 22)



LEGEND (SITE ANALYSIS)

- WINTER COLD MORNING WINDS.
- WINTER COOL AFTERNOON WINDS.
- SUMMER COOL AFTERNOON WINDS.
- SUMMER HOT WINDS.
- SITE VIEWS.
- NOISE.
- PRIVATE OPEN SPACE.
- OVERLOOKING



- NOTES:**
- COPYRIGHT RESERVED. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM THIS OFFICE.
 - ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATION AND ENGINEER'S DETAILS, IF APPLICABLE.
 - FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING.
 - BUILDER TO VERIFY ALL DIMENSIONS ON SITE.

dwg title :
**SHADOW DIAGRAM
& SITE ANALYSIS**

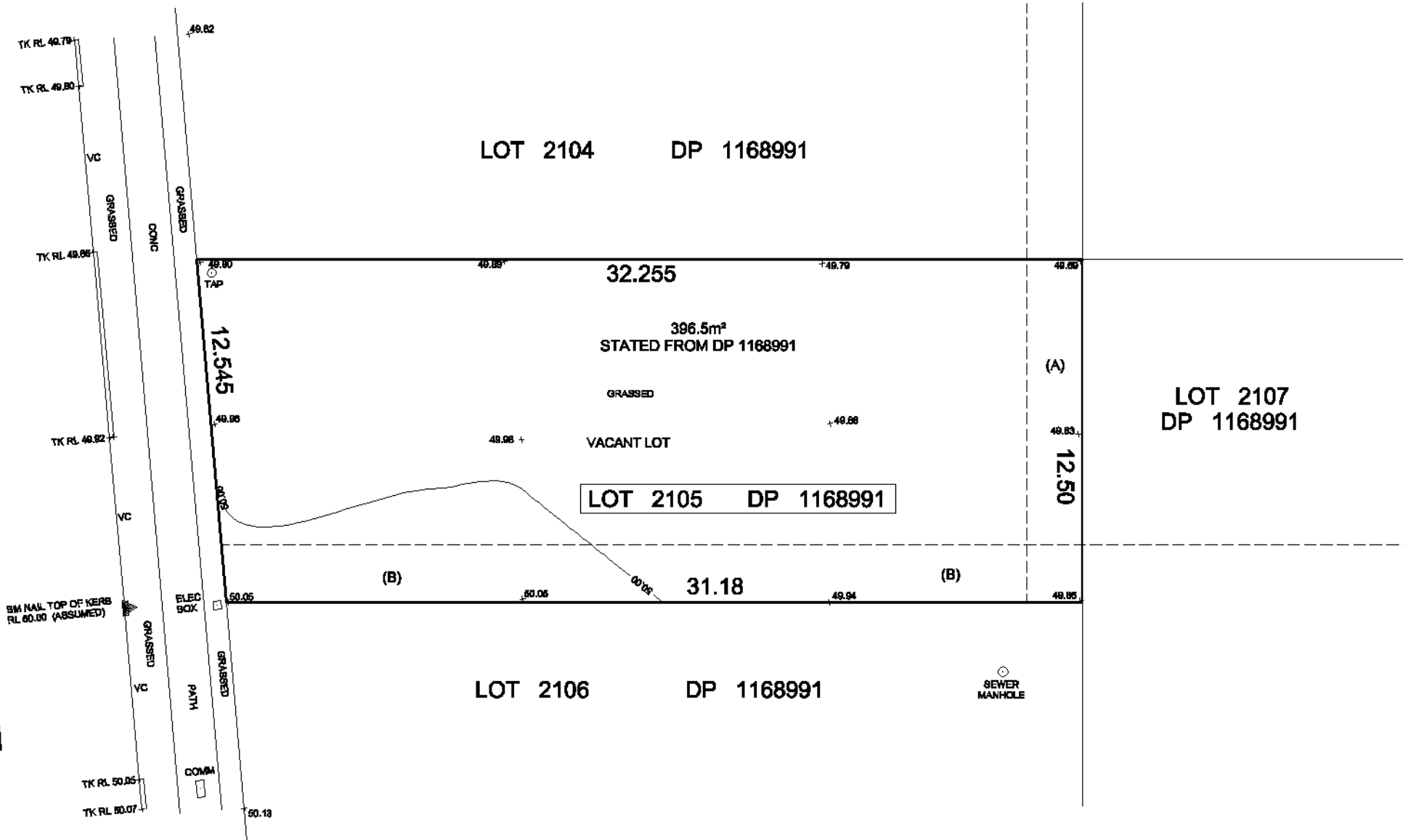
project : Proposed Two storey Dwelling
client : ANCON HOMES
address : LOT 2105 Alinta Promenade
JORDAN SPRINGS

scale : 1:200
drawn by : MH
date : 04.09.13
filename : LOT 2105

issue : **B**
dwg no: **090**



ALINTA
PROMENADE



NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS

NOTES:

A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.

B) IF THE DIMENSIONS OR DESCRIPTION OF THE TITLE ARE CRITICAL FOR DESIGN AND/OR CONSTRUCTION OF NEW STRUCTURES OR FINANCIAL DECISIONS I RECOMMEND THAT AN IDENTIFICATION SURVEY OR RE-SURVEY OF BOUNDARIES BE CARRIED OUT.

C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.

D) DETAIL ON THIS PLAN HAS BEEN LOCATED FOR PLOTTING PURPOSES ONLY.

E) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.

F) DIMENSIONS AND BEARINGS FROM DP 1168991

G) USE STATED DIMENSIONS. DO NOT SCALE

H) THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN AND CANNOT BE REMOVED.

LEGEND

BM BENCH MARK
 COMM COMMUNICATION PIT
 CONC CONCRETE
 ELEC ELECTRICITY
 TK TOP OF KERB
 VC VEHICLE CROSSING

(A) EASEMENT TO DRAIN WATER 2 WIDE
 (B) RESTRICTIONS ON THE USE OF LAND

© THIS PLAN AND THE INFORMATION CONTAINED HEREON REMAINS THE PROPERTY OF C & A SURVEYORS AND MUST NOT BE COPIED IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF C & A SURVEYORS AND IS NOT TO BE USED FOR ANY OTHER PURPOSE THAN FOR THAT WHICH IT HAS BEEN PREPARED. THIS PLAN HAS BEEN PREPARED FOR THE SOLE USE OF THE INSTRUCTING PARTY.

C & A SURVEYORS
 MOB: 0439 723 846
 ADDRESS: PO BOX 5203, GREYSTANES NSW 2145
 EMAIL: CRASURVEYORS@GMAIL.COM

**PLAN SHOWING DETAIL AND LEVELS
 OVER LOT 2105 DP 1168991
 LOT 2105 ALINTA PROMENADE, JORDAN SPRINGS**

FOR:	MAROUN HACHEM		DATUM:	ASSUMED	SCALE (A1):	1:100	
ADDRESS:	LOT 2105 ALINTA PROM	LOT:	2105	SURVEY DATE:	12/08/2013	(A3):	1:200
SUBURB:	JORDAN SPRINGS	DP:	1168991	DATE DRAWN:	23/08/2013	REFERENCE:	901/13
POSTCODE:	2747	LGA:	PENRITH	DRAWN BY:	CRA	SHEET:	1 OF 1