



Application Lodgement Summary

 Sydney
WATER

Reference Number 8499543

Date Requested: Wed July 31 2013

Agent Plumbers CoOp Penrith, Unit 2/112 -114 Batt Street
Applicant Qalchek P/L, P.O BOX 4185 Penrith 2750
Property/Asset Lot 2236 Katandra Pl, Jordan Springs 2747 (M Roux RI Roux) PNum: 5486217
 150 mm PVC Sewer Main - (10582418) (WasteWater)
Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application	\$17.01	\$0.00	\$17.01

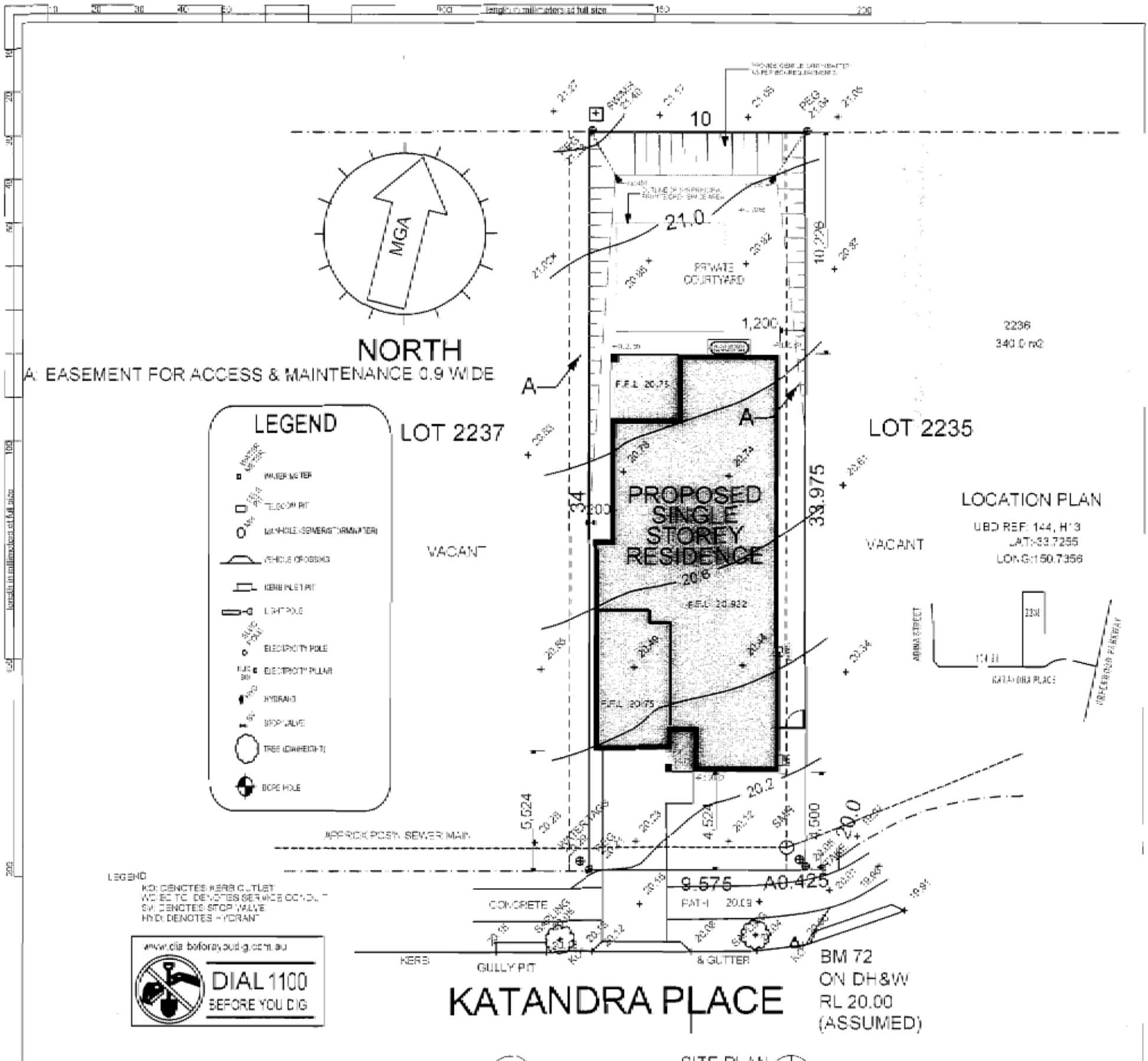
Property Special Conditions for Plumbers

Boundary Trap Required	No
Watercharged/Tidal area	Unknown
Partial Drainage area	No
Aggressive Soil area	No
Cast Iron Pipe area	No
Sewer Surcharge area	Unknown
Minimum Gully Height area	Unknown
Sewer Available	Yes
Connection Type	Low Infiltration Sewer

You must contact Sydney Water to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or "not available" or if the proposed development is being built over more than one existing property.

Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards.

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards.



General Calculations

Allotment area = 340.00sqm
 Gross floor area = 155.16sqm
 Landscaped area = 166.73sqm
 Site Coverage = 50.96%
 Roof area = 176.26sqm
 Private Open Space = 114.01sqm

1 SITE PLAN

SYDNEY WATER APPROVED

- The position of the proposed building/building works in relation to Sydney Water's pipes and structures are satisfactory.
- Connections to Sydney Water's sewer, watermain or stormwater may only be made following the issue of a permit to a licensed plumber/drainier.
- It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
- All Plumbing and/or Drainage Work is to be carried out in accordance with the NSW Code of Practice, AS 3500 and the Sydney Water Act 1994.
- Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
- Property No. 5486217

Plumbers Co-op, Penrith
Quick Check Agent on behalf of SYDNEY WATER

31/7/13

SITE AREA = 340.00m²
GROSS FLOOR AREA = 155.16m²

Technical drawing only, all dimensions are approximate and should be checked on site. All work to be done in accordance with the relevant codes of practice and standards.



For: Meridian Homes Pty Ltd
 Proposed Single Storey Residence
 At: Lot 2235 DP1188262 Holo 15 Katandra Place
 Jordan Springs NSW

Drawing No: MC 1314	Project: MC 1314	Scale: 1:100	Level: 1/8
Date: 31/7/13	Author: [Signature]	Checked: [Signature]	Scale: 1:100