

CONCRETE FOOTING NOTES:

1. This drawing is to be read in conjunction with the Architectural drawing and specifications.
2. Workmanship and materials to comply with AS3600 and associated Australian Standards.
3. Concrete to be in accordance with AS3600 and the following:

Element	Slump	Max Agg Size	Cement Type	Grade in MPa
Footings	100mm	20mm	A	25MPa
Dintel Walls	140mm	20mm	A	32MPa
Dintel Columns	100mm	20mm	A	50MPa
4. Reinforcement to be supported on bar chairs spaced at every 5th wire in both directions.

All footing beams to bear directly onto hard shaly clay or be supported by 600mm x 1200mm piers spaced at 3.0m maximum centres to uniform hard shaly clay with a safe bearing capacity of at least 500kPa. If required, deepen internal footing pads below concrete columns to bear directly onto hard shaly clay.

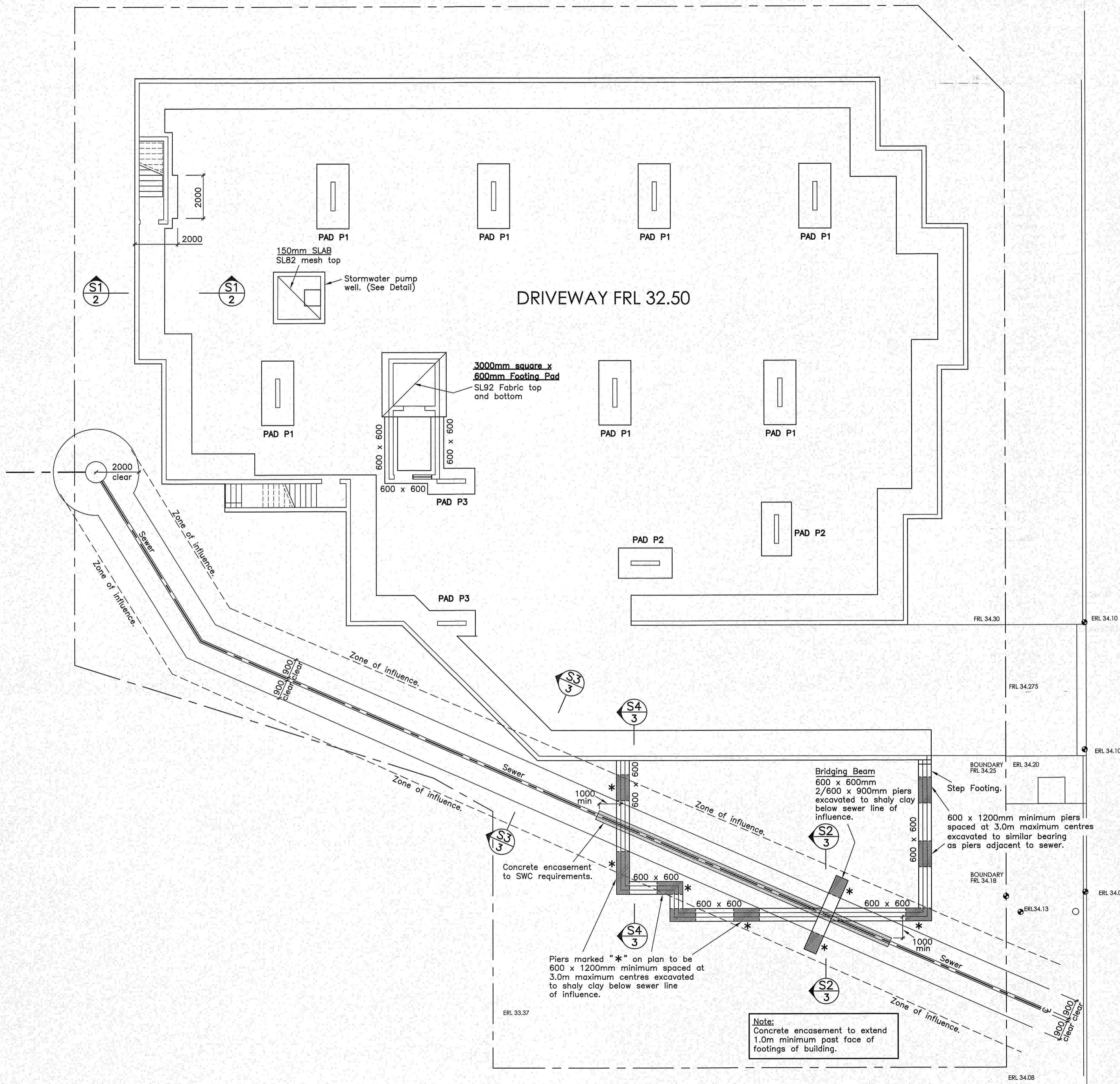
FOOTING PAD SCHEDULE

- PAD 'A' - 3000 x 1500 x 600mm min. deep
- PAD 'B' - 2500 x 1400 x 600mm min. deep
- PAD 'C' - 2200 x 1200 x 600mm min. deep

WALL PANEL SCHEDULE

- PAD 'A' - 1333 x 200mm Dintel Panels
- PAD 'B' - 1333 x 200mm Dintel Panels
- PAD 'C' - 1350 x 200mm Dintel Panels

ALL BASEMENT LEVEL PERIMETER AND INTERNAL SUPPORT WALLS CTO BE 200mm DINCEL WALL PANELS, REINFORCED AS DETAILED AND CONCRETE FILLED FULL HEIGHT OF WALLS.



Note:
Concrete encasement to extend 1.0m minimum past face of footings of building.

Issue	Date	App'd	DESCRIPTION
REVISIONS			

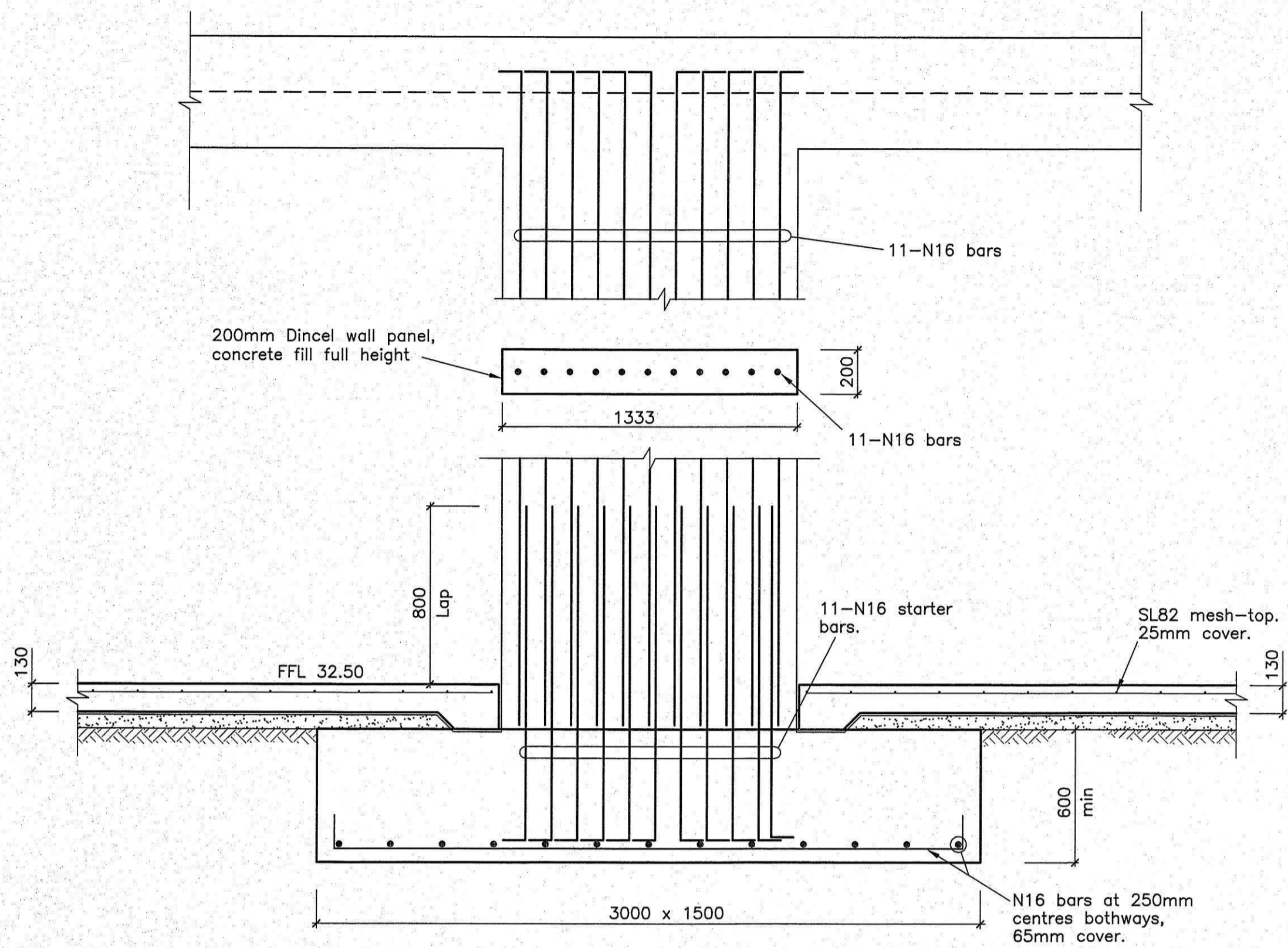
KNEEBONE, BERETTA & HALL PTY LTD
CONSULTING STRUCTURAL & CIVIL ENGINEERS
4 MACQUARIE AVENUE, PENRITH NSW 2750
PHONE: (02) 4731 3833 FACSIMILE: (02) 4721 5442
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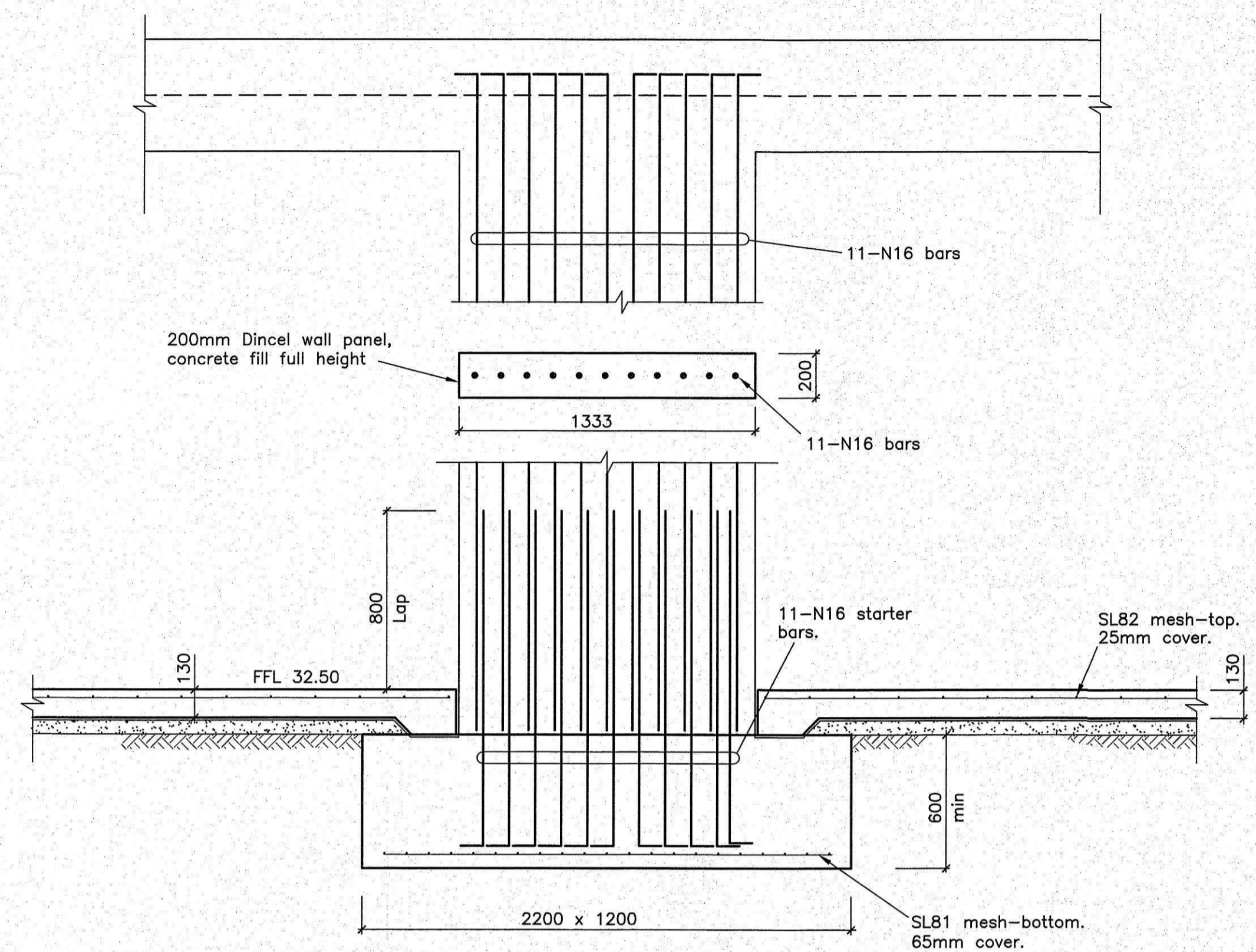
SCALE	1:100
DATE	6-5-19
DRAWN	P.Martin.
DESIGNED	P.Andresen.
APPROVED	<i>P. Andresen</i>

CLIENT: NORISIDE INVESTMENTS PTY LTD
PROPOSED RESIDENTIAL DEVELOPMENT
"LETHBRIDGE APARTMENTS"
104-108 LETHBRIDGE STREET, PENRITH
FOOTINGS PLAN AND DETAILS

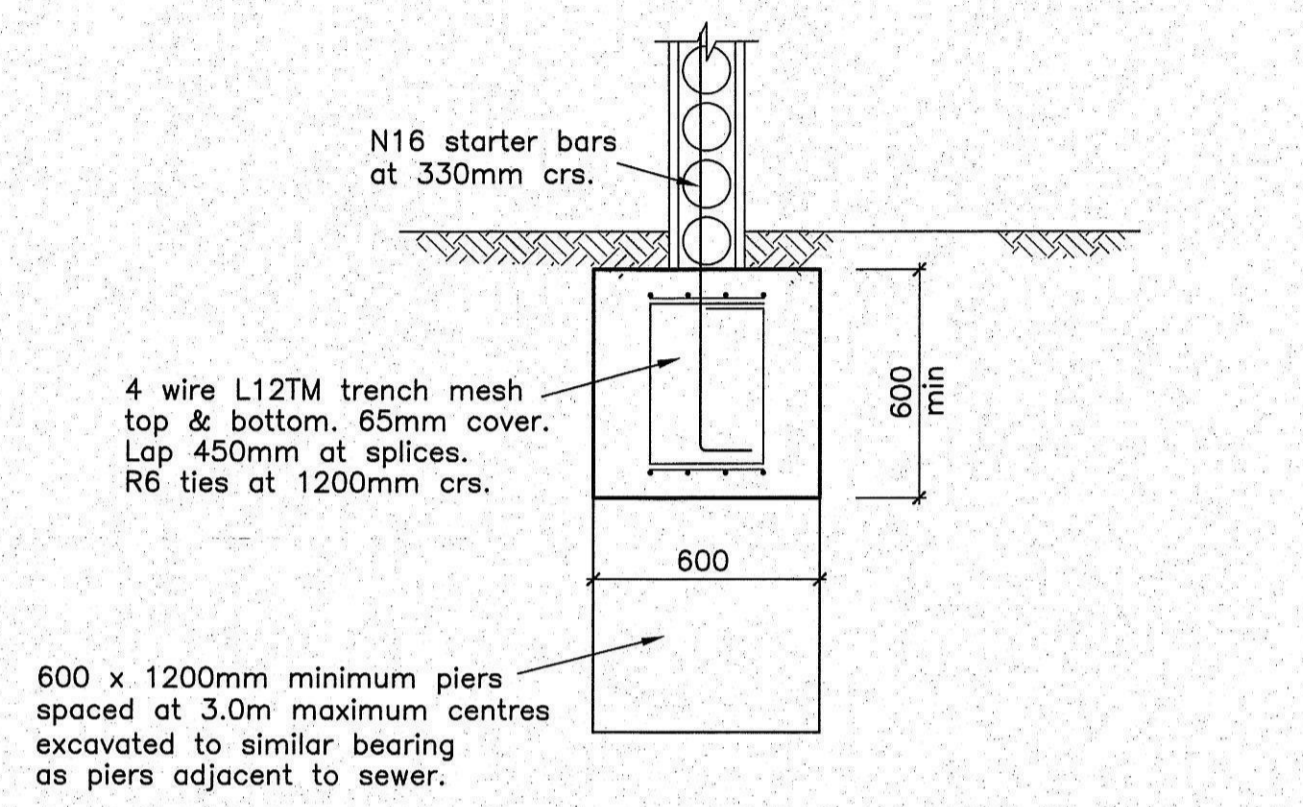
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ISSUE	



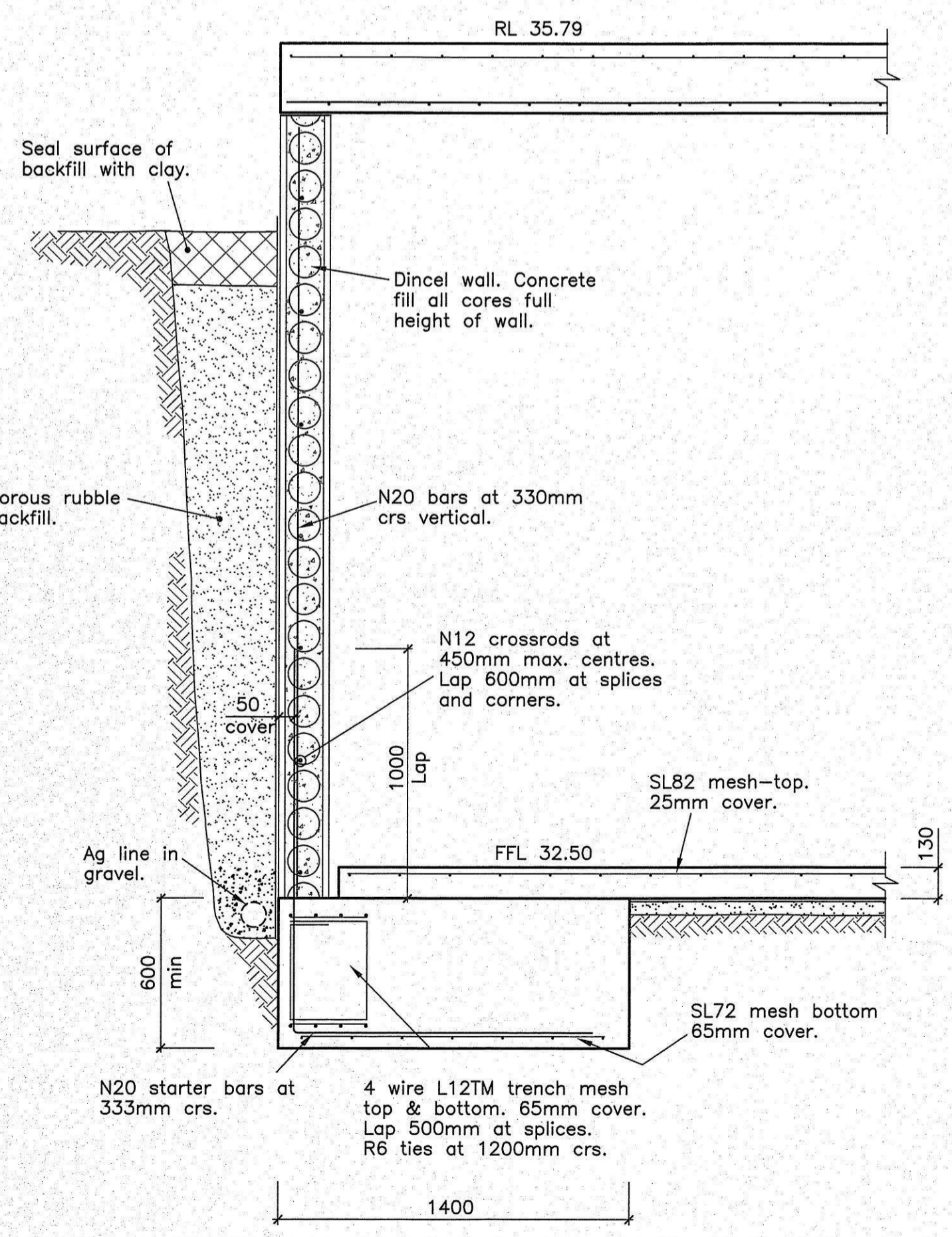
DETAIL - COLUMN PAD P1
PAD P2 Similar



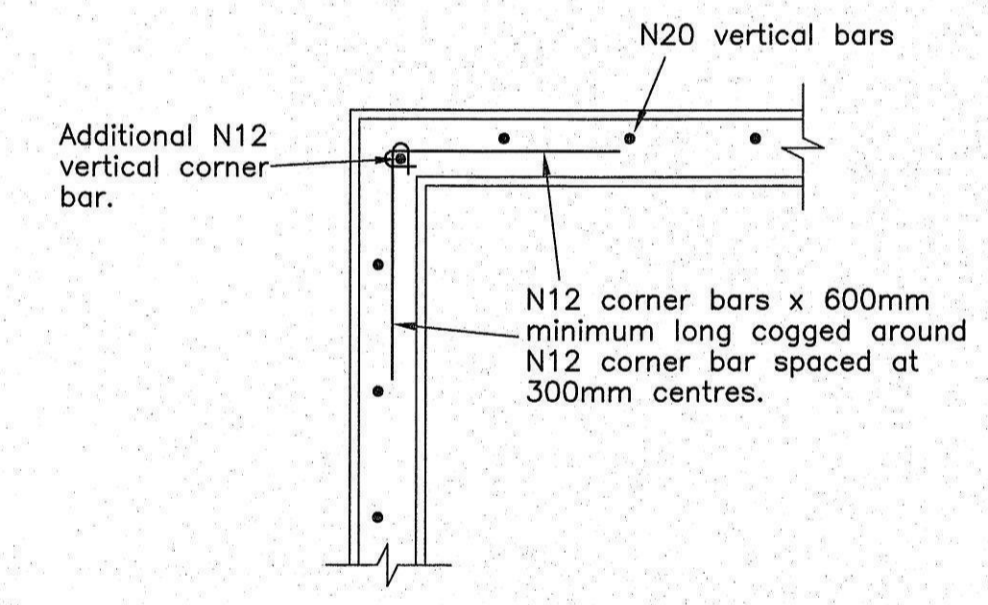
DETAIL - COLUMN PAD P3



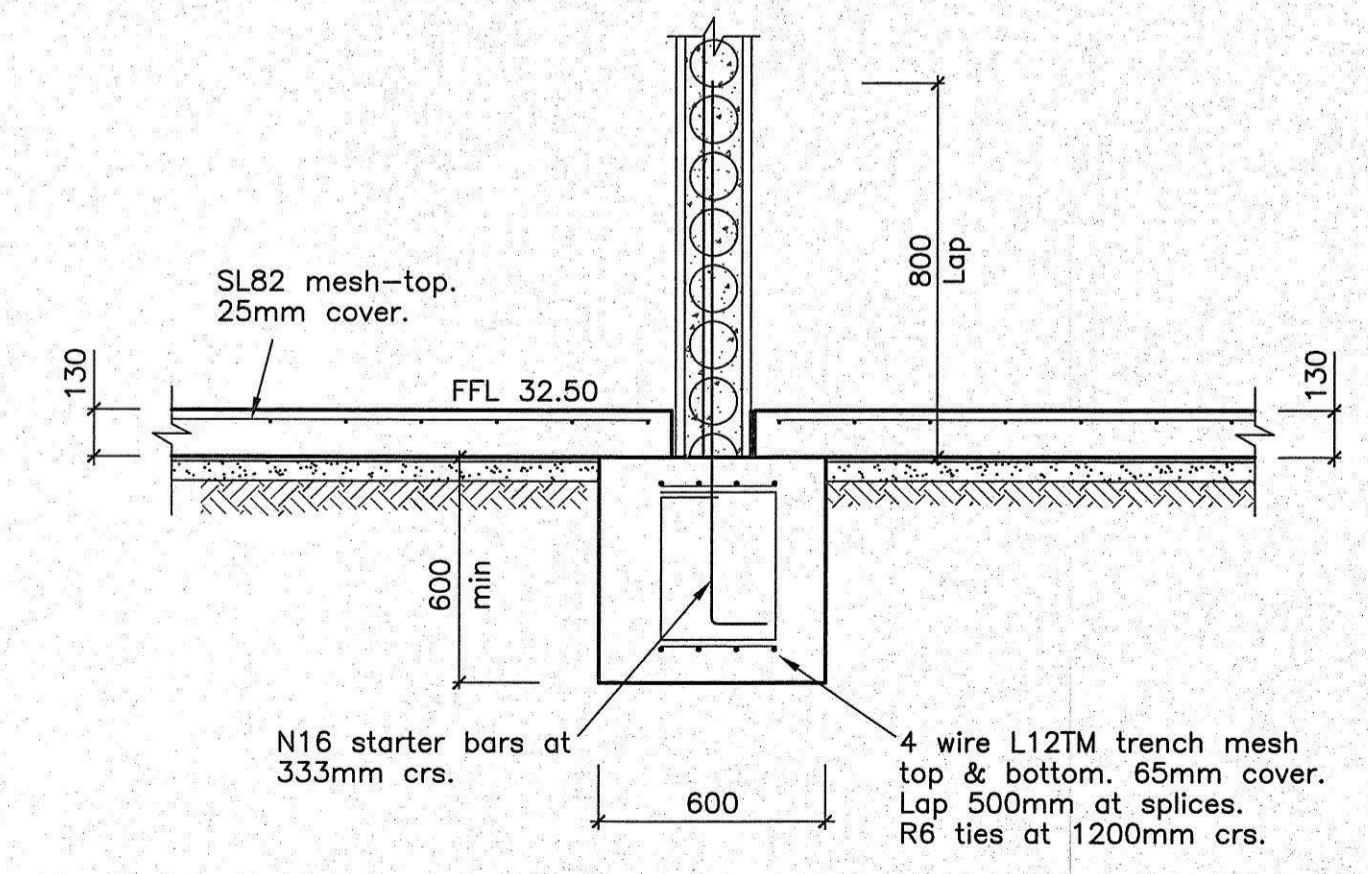
DETAIL - 600 x 600mm FOOTING



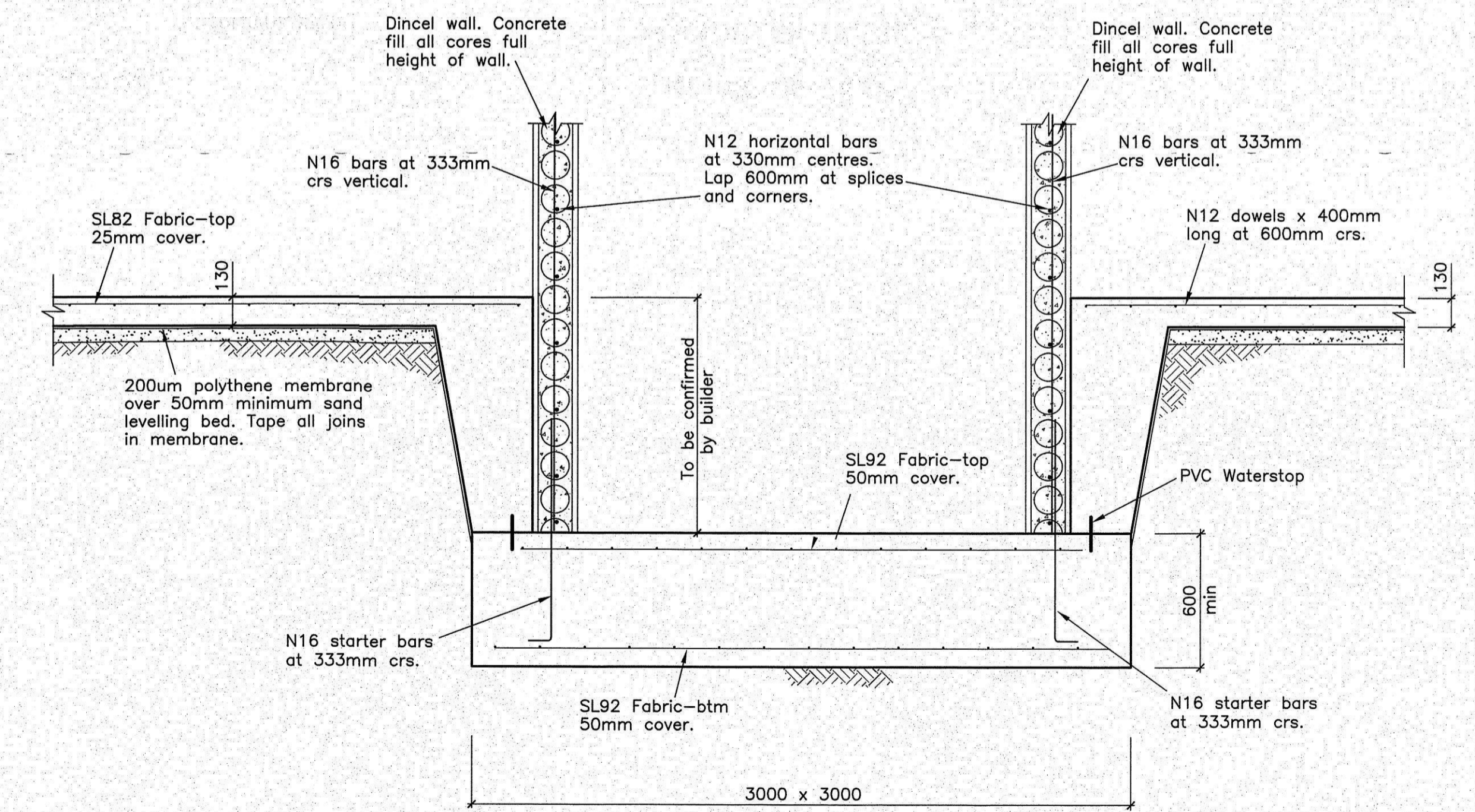
SECTION S1
1:20



TYPICAL DINCEL CORNER DETAIL



DETAIL - 600 x 600 BASEMENT FOOTING



DETAIL - LIFT SHAFT

Issue	Date	App'd	DESCRIPTION
REVISIONS			

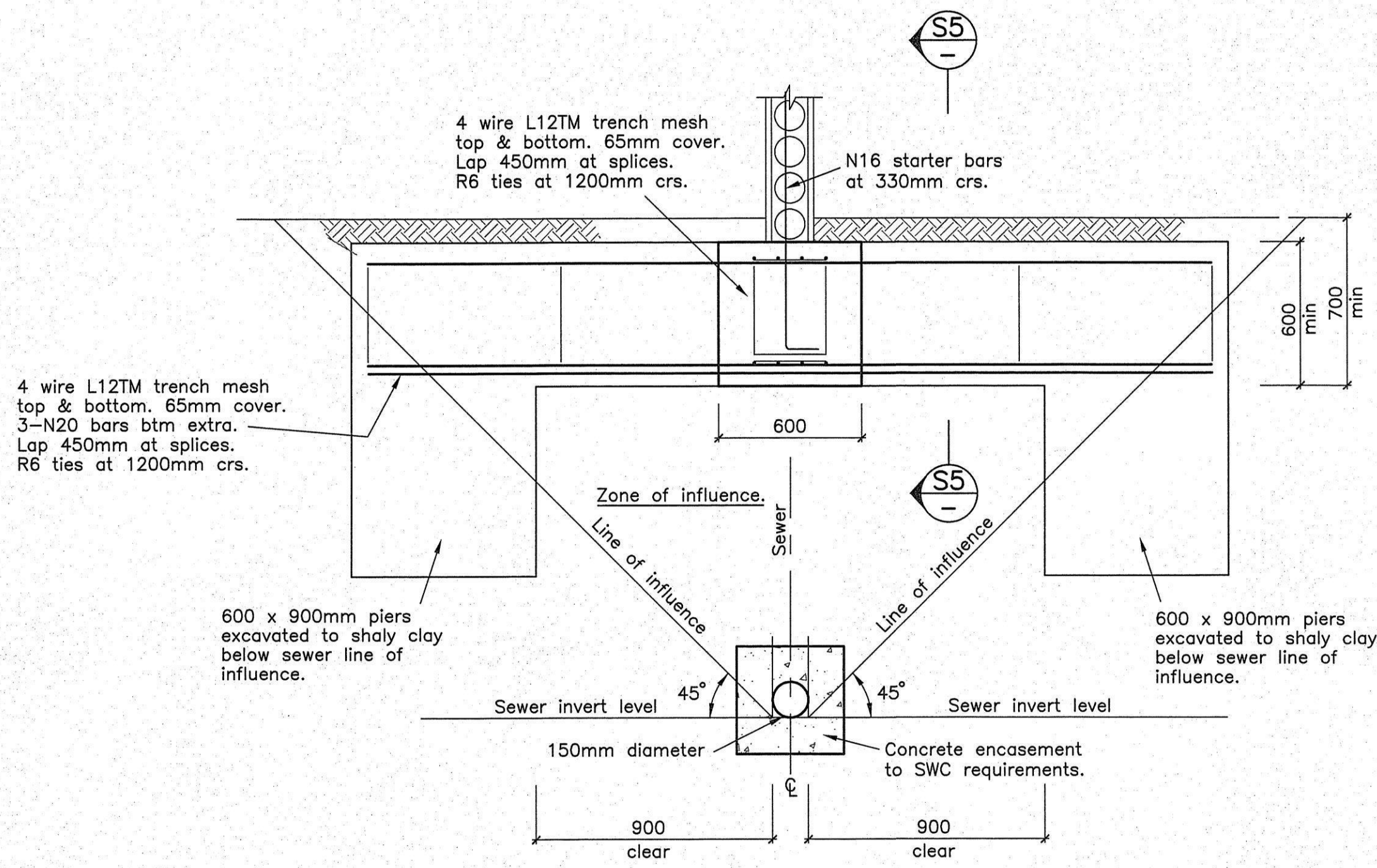
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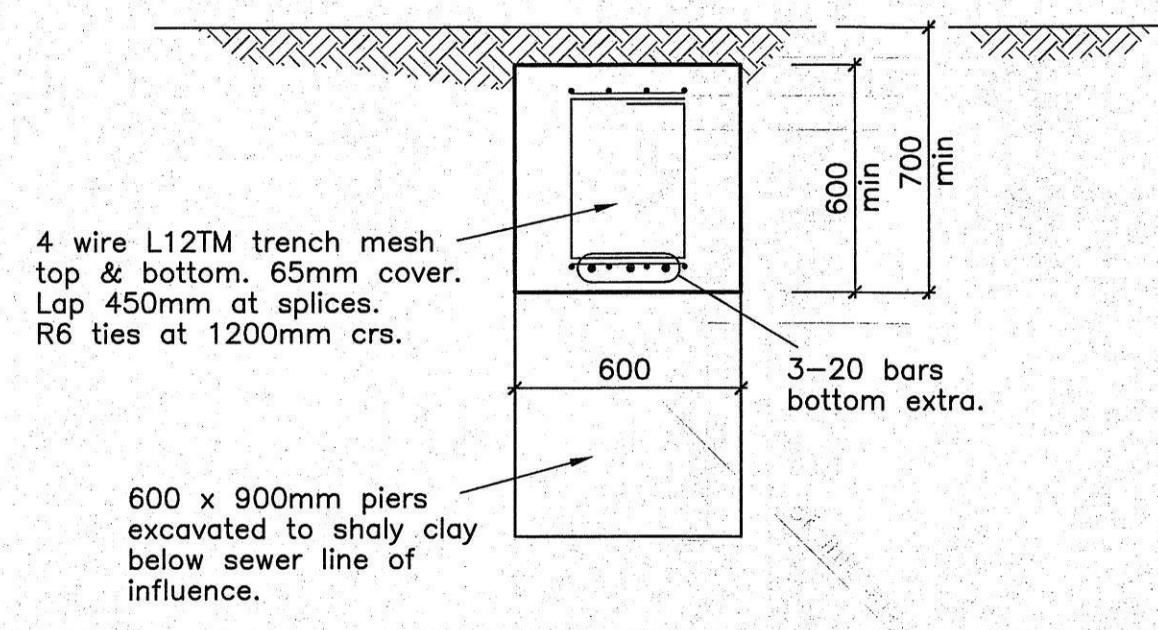
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DATE	6-5-19
DRAWN	P.Martin
DESIGNED	P.Andresen
APPROVED	<i>Peter R. Andresen</i>

CLIENT: NORSE INVESTMENTS PTY LTD	
PROPOSED RESIDENTIAL DEVELOPMENT "LETHBRIDGE APARTMENTS"	
104-108 LETHBRIDGE STREET, PENRITH	
FOOTINGS DETAILS	

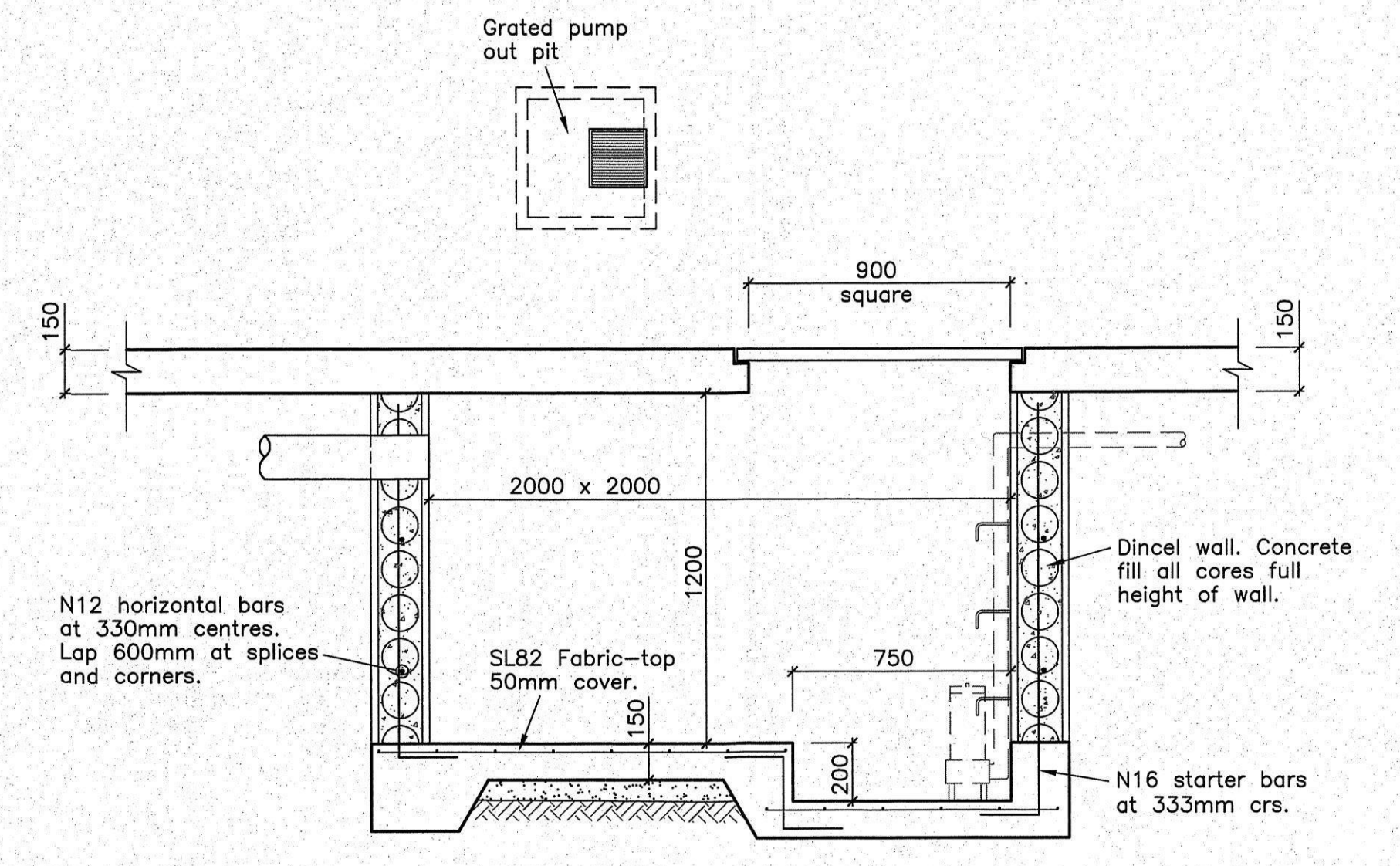
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SECTION S2
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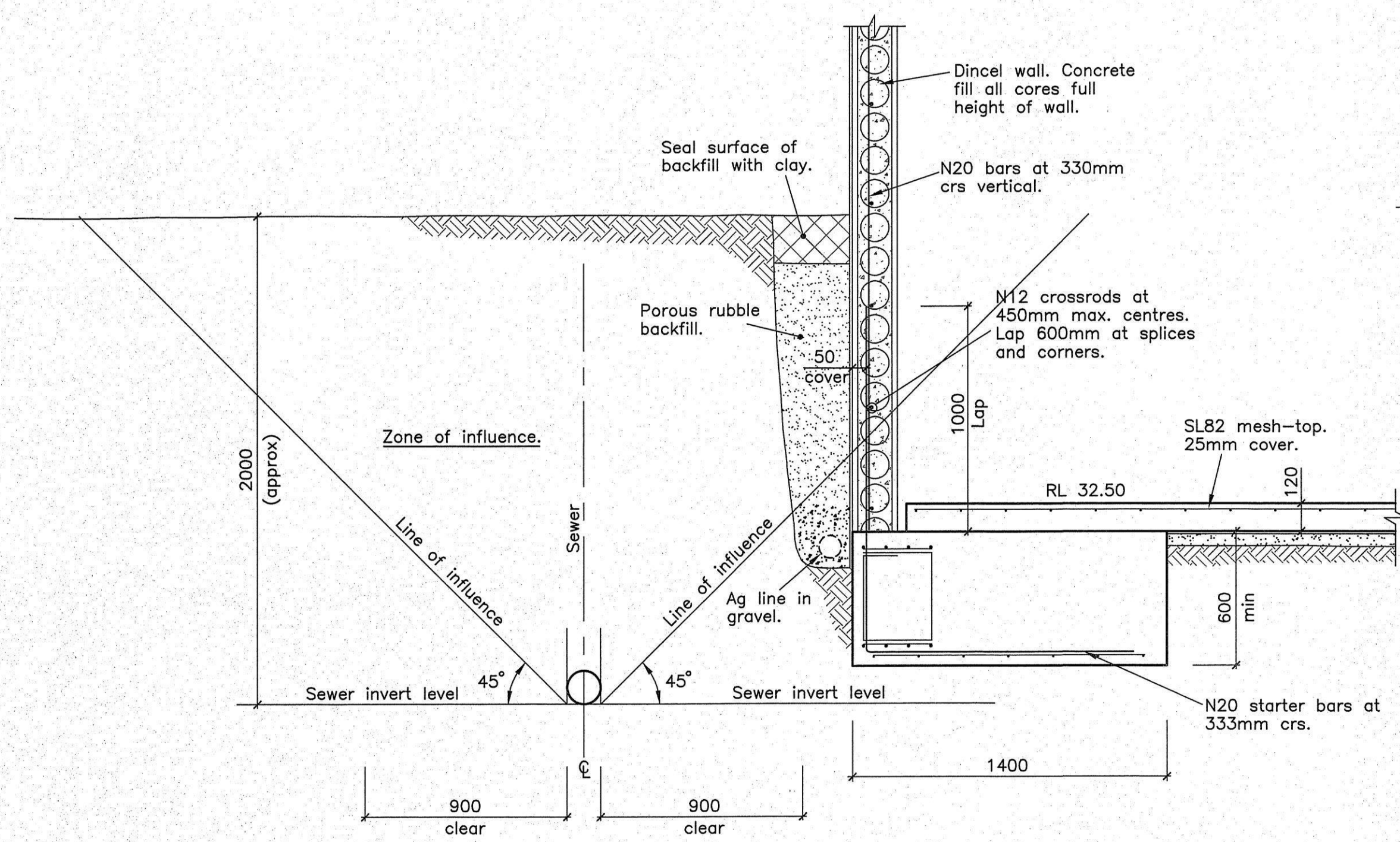


SECTION S5
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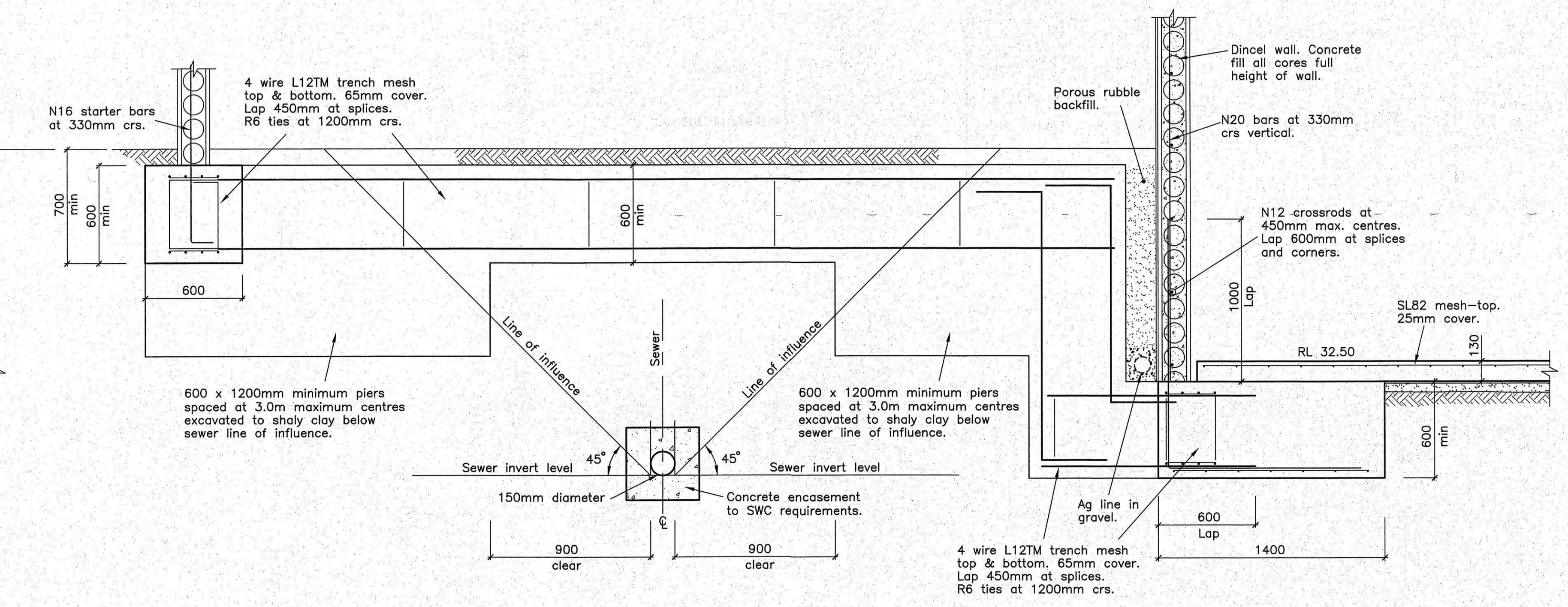


DETAIL - STORMWATER PUMP WELL

Basement pump-out pit to be constructed in accordance with drawings E293145-D1 to D8 prepared by Donovan Associates.



SECTION S3
1
1:20



SECTION S4
1
1:20

Issue	Date	App'd	DESCRIPTION
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APPROVED	<i>P.Andresen</i> CDEng

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PROPOSED RESIDENTIAL DEVELOPMENT "LETHBRIDGE APARTMENTS"	
104-108 LETHBRIDGE STREET, PENRITH	
FOOTINGS DETAILS	

DRAWING NUMBER	105930-3
ISSUE	

STORMWATER MANAGEMENT PLAN (FOR CC)

PROPOSED APARTMENTS

104-108, LETHBRIDGE STREET, PENRITH

GENERAL NOTES

- FINAL LOCATION OF NEW DOWNPIPES TO BE DETERMINED BY BUILDER/ARCHITECT AT TIME OF CONSTRUCTION.
- THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTS AND OTHER CONSULTANTS DRAWINGS. ANY DISCREPANCIES TO BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
- ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH AS/NZS 3500.3:2003 STORMWATER DRAINAGE, BCA AND LOCAL COUNCIL POLICY/CONSENT/REQUIREMENTS.
- ALL DIMENSIONS AND LEVELS TO BE VERIFIED BY BUILDER ON-SITE PRIOR TO COMMENCEMENT OF WORKS. THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS NOR TO BE USED FOR SETOUT PURPOSES.
- ALL SURVEY INFORMATION AND PROPOSED BUILDING AND FINISHED SURFACE LEVELS SHOWN IN THESE DRAWINGS ARE BASED ON LEVELS OBTAINED FROM DRAWINGS BY OTHERS.
- ALL STORMWATER DRAINAGE PIPES ARE TO BE uPVC AT MINIMUM 1% GRADE UNLESS NOTED OTHERWISE.
- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND LEVEL ALL EXISTING SERVICES OR OTHER STRUCTURES WHICH MAY AFFECT/BE AFFECTED BY THIS DESIGN PRIOR TO COMMENCEMENT OF WORKS.
- ALL PITS WITHIN DRIVEWAYS TO BE 150mm THICK CONCRETE OR EQUAL.
- THIS PLAN IS THE PROPERTY OF DONOVAN ASSOCIATES AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM DONOVAN ASSOCIATES.

PLAN SPECIFIC NOTES

- ROOF DRAINAGE NOTE:** AS 3500 ROOF DRAINAGE REQUIRES EAVES GUTTERS TO BE SIZED FOR 20 YEAR 5 MIN. STORM = 205mm/hr. FOR EAVES GUTTERS, AS 3500.3:2003 THEN HAS THE FOLLOWING REQUIREMENTS:
 - FOR TYPICAL STANDARD QUAD GUTTER WITH $A_e = 6000\text{mm}^2$ AND GUTTER SLOPE 1:500 AND STEEPER, THIS REQUIRES ONE DOWNPIPE PER 30m^2 ROOF AREA.
 - DOWNPIPES TO BE MINIMUM 90mm DIA. OR 100 x 50mm FOR GUTTERS SLOPE 1:500 AND STEEPER.
 - OVERFLOW METHOD TO FIGURE G1 OF AS 3500.3:2003 IT IS THE RESPONSIBILITY OF THE PLUMBER AND / OR BUILDER TO COMPLY WITH THIS. THIS DRAWING SHOWS PRELIMINARY LOCATIONS / NUMBERS OF DOWNPIPES ONLY WHICH ARE TO BE VERIFIED BY BUILDER / PLUMBER
- TREE PRESERVATION:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY PRIOR APPROVAL REQUIRED FROM COUNCIL WITH RESPECT TO POTENTIAL IMPACT ON TREES FOR ANY WORKS SHOWN ON THIS DRAWING PRIOR TO THE COMMENCEMENT OF THOSE WORKS
- ALL ROOF GUTTERS TO HAVE OVERFLOW PROVISION IN ACCORDANCE WITH AS 3500.3:2003 AND SECTIONS 3.5.3, 3.7.5 AND APPENDIX G OF AS 3500.3:2003
- THIS DRAWING IS NOT TO BE USED FOR SET-OUT PURPOSES - REFER TO ARCHITECTURAL DRAWINGS
- LOCATION OF SURFACE STORMWATER GRATED INLET PITS MAY BE VARIED OR NEW PITS INSTALLED AT THE CONSTRUCTION STAGE PROVIDED DESIGN INTENT OF THIS DRAWING IS MAINTAINED

DRAINAGE NOTES

PIPE SIZE:

THE MINIMUM PIPE SIZE SHALL BE:

- 90mm DIA WHERE THE LINE ONLY RECEIVES ROOFWATER RUNOFF; OR
- 100mm DIA WHERE THE LINE RECEIVES RUNOFF FROM PAVED OR UNPAVED AREAS ON THE PROPERTY

THE MINIMUM PIPE VELOCITY SHOULD BE 0.6 m/s AND A MAXIMUM PIPE VELOCITY OF 6.0 m/s DURING THE DESIGN STORM.

PIPE GRADE:

THE MINIMUM PIPE GRADE SHALL BE:

- 1.0% FOR PIPES LESS THAN 225mm DIA (UNO)
- 0.5% FOR ALL LARGER PIPES (UNO)

PIPES WITH A GRADIENT GREATER THAN 20% WILL REQUIRE ANCHOR BLOCKS AT THE TOP AND BOTTOM OF THE INCLINED SECTION; AND AT INTERVALS NOT EXCEEDING 3.0m

ANCHOR BLOCKS ARE DESIGNED ACCORDING TO *CLAUSE 3.5.3 OF AS3500.3-1990*

DEPTH OF COVER FOR PVC PIPES:

MINIMUM PIPE COVER SHALL BE AS FOLLOWS:

LOCATION	MINIMUM COVER
NOT SUBJECT TO VEHICLE LOADING	100mm SINGLE RESIDENTIAL 300mm ALL OTHER DEVELOPMENTS
SUBJECT TO VEHICLE LOADING UNDER A SEALED ROAD	450mm WHERE NOT IN A ROAD 600mm
UNSEALED ROAD	750mm
PAVED DRIVEWAY	100mm PLUS DEPTH OF CONCRETE

SEE AS2032 INSTALLATION OF UPVC PIPES FOR FURTHER INFORMATION.

CONCRETE PIPE COVER SHALL BE IN ACCORDANCE WITH *AS3725-1989 LOADS ON BURIED CONCRETE PIPES*, HOWEVER A MINIMUM COVER OF 450mm WILL APPLY.

WHERE INSUFFICIENT COVER IS PROVIDED, THE PIPE SHALL BE COVERED AT LEAST 50mm THICK OVERLAY AND SHALL THEN BE PAVED WITH AT LEAST:

- 150mm REINFORCED CONCRETE WHERE SUBJECT TO HEAVY VEHICLE TRAFFIC;
- 75mm THICKNESS OF BRICK OR 100mm OF CONCRETE PAVING WHERE SUBJECT TO LIGHT VEHICLE TRAFFIC; OR
- 50mm THICK BRICK OR CONCRETE PAVING WHERE NOT SUBJECT TO VEHICLE TRAFFIC.

CONNECTIONS TO STORMWATER DRAINS UNDER BUILDINGS:

SHALL BE CARRIED OUT IN ACCORDANCE WITH *SECTION 3.10 OF AS3500.3-1990*

CONNECTIONS TO COUNCIL SYSTEM:

IF PROPOSED DRAINAGE SYSTEM IS DESIGNED TO CONNECT TO COUNCIL'S DRAINAGE SYSTEM, IT IS ADVISED THAT A 'WORKS PERMIT' IS OBTAINED FROM THE RESPECTIVE COUNCIL PRIOR TO COMMENCEMENT OF WORKS

ABOVE GROUND PIPEWORK:

SHALL BE CARRIED OUT IN ACCORDANCE WITH *SECTION 6 OF AS3500.3-1990*

PIT SIZES AND DESIGN:

DEPTH (mm)	MINIMUM PIT SIZE (mm)
UP TO 450mm	450 x 450
450mm TO 600mm	600 x 600
600mm TO 900mm	600 x 900
900mm TO 1500mm	900 x 900 (WITH STEP IRONS)
1500mm TO 2000mm	1200 x 1200 (WITH STEP IRONS)

ALL PIPES SHOULD BE CUT FLUSH WITH THE WALL OF THE PIT.

PITS GREATER THAN 600mm DEEP SHALL HAVE A MINIMUM ACCESS OPENING OF 600 x 600mm

THE GRATED COVERS OF PITS LARGER THAN 600 x 600mm ARE TO BE HINGED TO PREVENT THE GRATE FROM FALLING INTO THE PIT.

THE BASE OF THE DRAINAGE PITS SHOULD BE AT THE SAME LEVEL AS THE INVERT OF THE OUTLET PIPE. RAINWATER SHOULD NOT BE PERMITTED TO POND WITHIN THE STORMWATER SYSTEM

- TRENCH DRAINS:** CONTINUOUS TRENCH DRAINS ARE TO BE OF WIDTH NOT LESS THAN 150mm AND DEPTH NOT LESS THAN 100mm. THE BARS OF THE GRATING ARE TO BE PARALLEL TO THE DIRECTION OF SURFACE FLOW.
- STEP IRONS:** PITS BETWEEN 1.2m AND 6m ARE TO HAVE STEP IRONS IN ACCORDANCE WITH AS1657. FOR PITS GREATER THAN 6m OTHER MEANS OF ACCESS MUST BE PROVIDED.
- PVC PITS:** PVC PITS WILL ONLY BE PERMITTED IF THEY ARE NOT A GREATER SIZE THAN 450 x 450mm (MAXIMUM DEPTH 450mm) AND ARE HEAVY DUTY
- IN-SITU PITS:** IN-SITU PITS ARE TO BE CONSTRUCTED ON A CONCRETE BED OF AT LEAST 150mm THICK. THE WALLS ARE TO BE DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF *CLAUSE 4.6.3 OF AS3500.4-1990*. PITS DEEPER THAN 1.8m SHALL BE CONSTRUCTED WITH REINFORCED CONCRETE.
- GRATES:** GRATES ARE TO BE GALVANISED STEEL GRID TYPE. GRATES ARE TO BE OF HEAVY-DUTY TYPE IN AREAS WHERE THEY MAY BE SUBJECT TO VEHICLE LOADING.

LEGEND

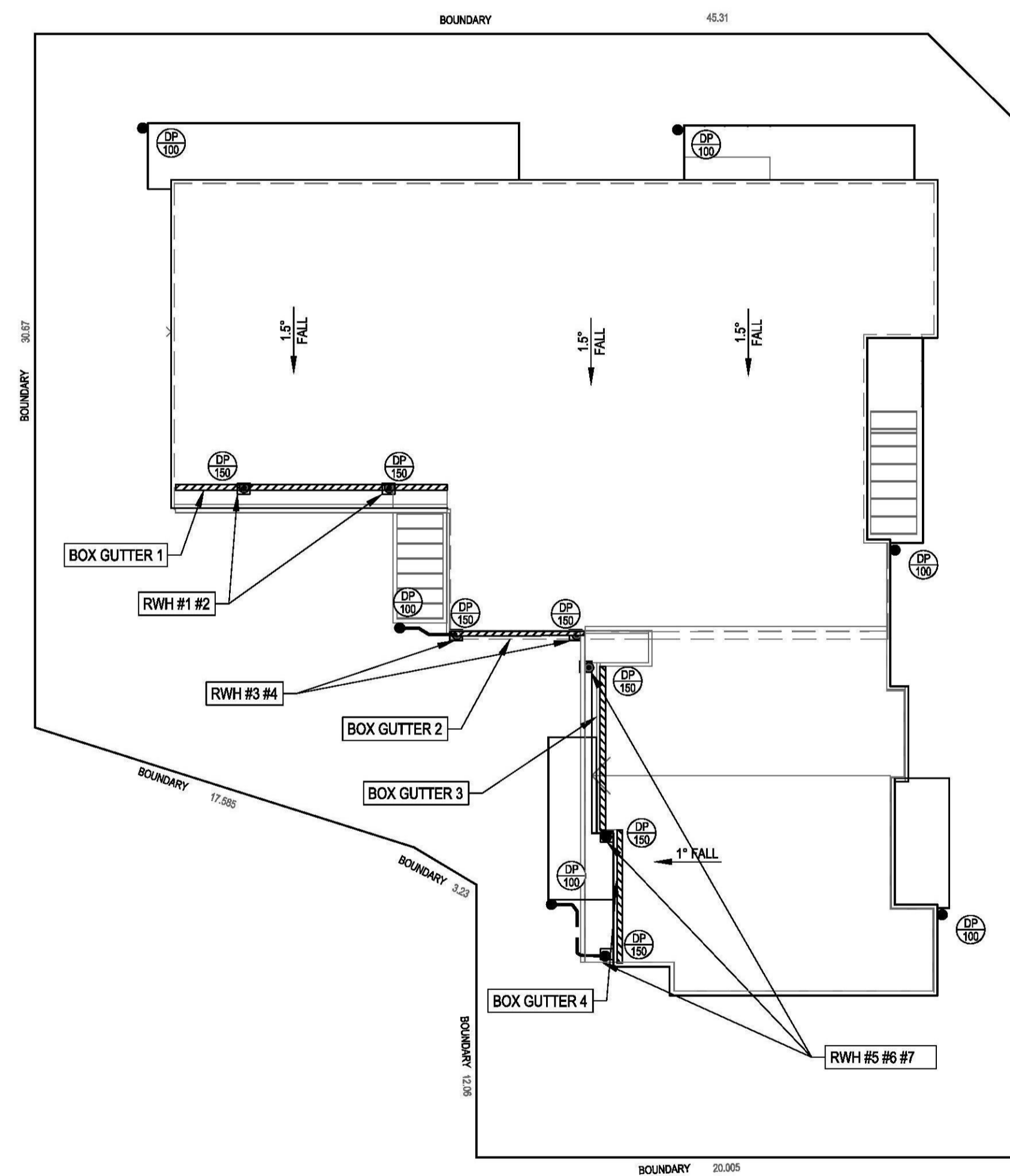
SURFACE INLET PIT		GRADED TRENCH DRAIN	
SURFACE INLET PIT (WITH ENVIROPOD 200 MICRON)		ABSORPTION TRENCH	
ACCESS GRATE (WITH ENVIROPOD 200 MICRON)		PROPOSED ROOF GUTTER FALL	
450 SQUARE INTERVAL	450 X 450	PROPOSED DOWNPIPE SPREADER	
GRATE LEVEL = 75.50	SL 75.50	STORMWATER PIPE 100mm DIA. MIN. UNO	
INVERT LEVEL = RL 75.20	IL 75.20	SUBSOIL PIPE	
PROPOSED DOWNPIPE 90mm DIA. OR 100mm x 50mm MIN.		EXISTING STORMWATER PIPE	
NATURAL GROUND FINISHED DESIGN LEVEL		INSPECTION RISER	
		RAINWATER HEAD	

 INCORPORATED ENGINEERING PTY LTD ABN 64 133 618 678 Pty Ltd 1800 300 077 02 9861 2008 17 adp@donovanassociates.com.au 15 PARKES STREET PARRAMATTA NSW 2150	DRAWING TITLE:	DRAWN	DATE	DESCRIPTION	ISSUE	FOR	APPROVED BY:	DESIGNED BY:	SS	ISSUE
	DETAILS, NOTES & LEGEND R.S 10.05.2019 ISSUED FOR CC PROJECT PROPOSED APARTMENTS	S.SINGH	14.06.2017	ARCHITECTURALS AMENDED	B	COLPANI CONSTRUCTION PTY LTD	 SCOTT SHARMA M.E. A.M.	CHECKED BY: SS SCALE: - SHEET SIZE: A1 CLIENT REF.: CE17058 DRAWING No.: E293145	A SHEET No. D1	

ROOF DRAINAGE

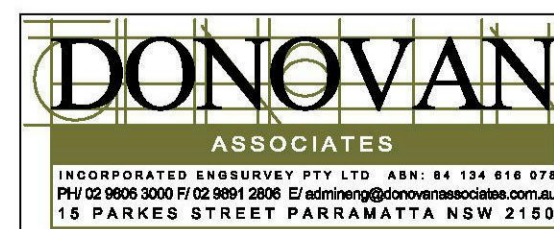
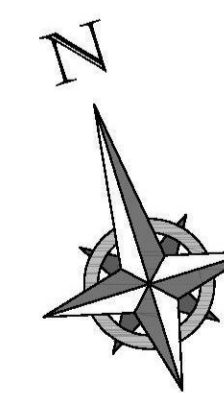
- BOX GUTTER #1 & #2 - 300mm WIDE x 200mm HIGH
 - RAINWATER HEAD SUMP #1, #2, #3 & #4 - 250mm SQUARE x 250mm DEEP
NOTE: DOWNPIPES TO BE 150mm DIA PVC OR 100x100 COLORBOND
 - BOX GUTTER #3 & #4 - 400mm WIDE x 200mm HIGH
 - RAINWATER HEAD SUMP #5, #6, #7 - 350mm SQUARE x 250mm DEEP
NOTE: DOWNPIPES TO BE 150mm DIA PVC OR 150x150 COLORBOND
- RWH (EXTERNAL)
- NOTE: ALL RAINHEADS TO HAVE OVERFLOW SLOT 50mm LOWER THAN TOP OF BOX GUTTER

LETHBRIDGE STREET



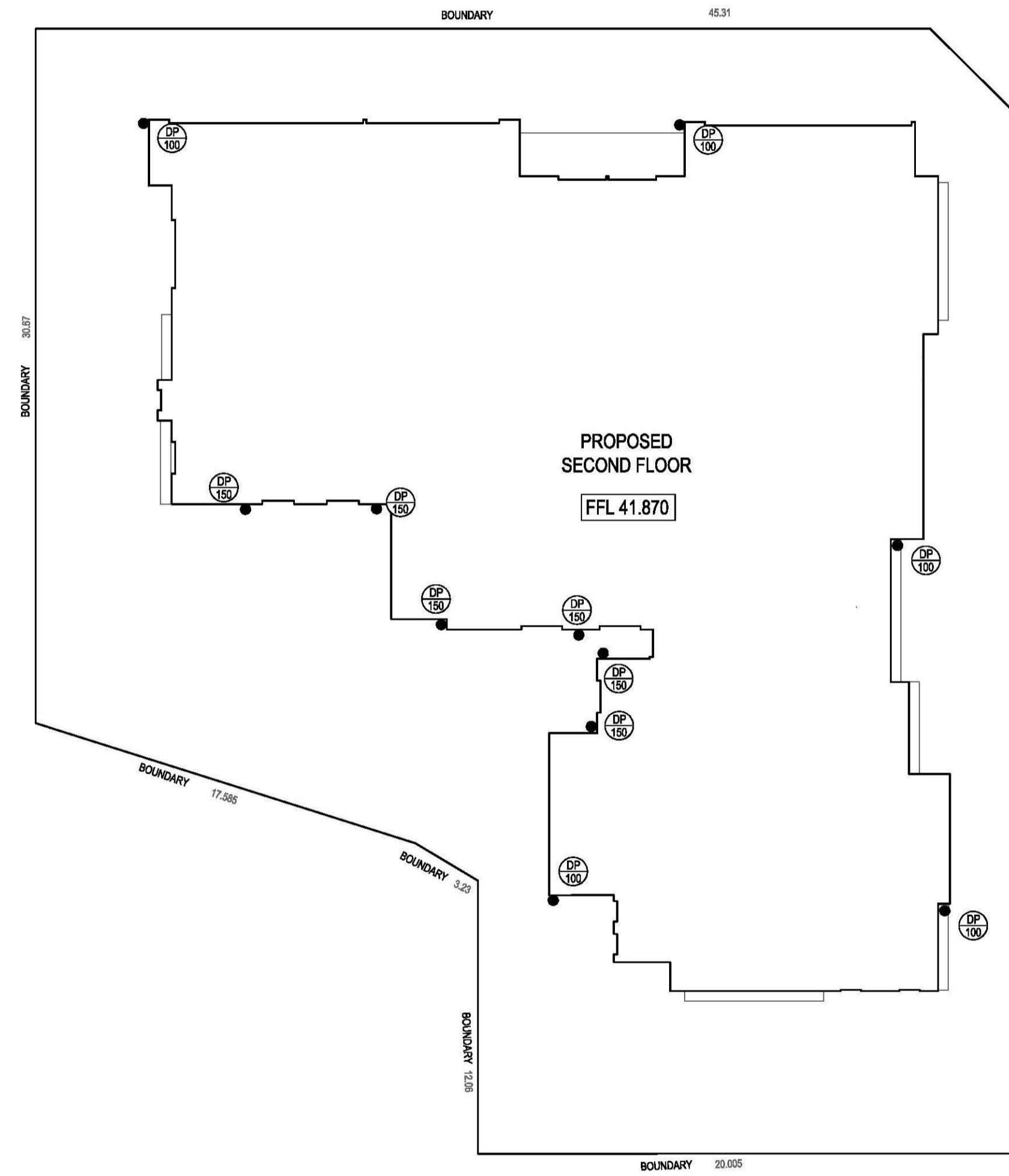
EVAN STREET

ROOF PLAN

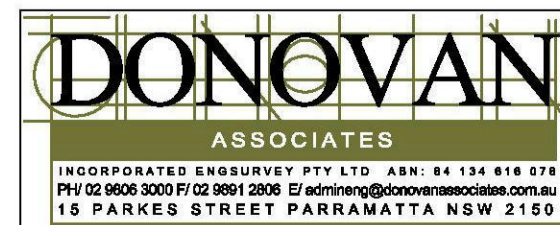
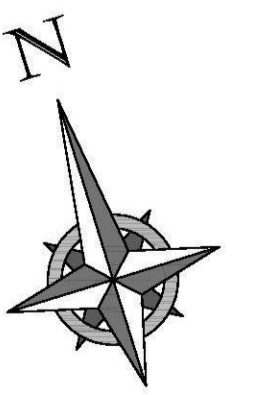


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LETHBRIDGE STREET

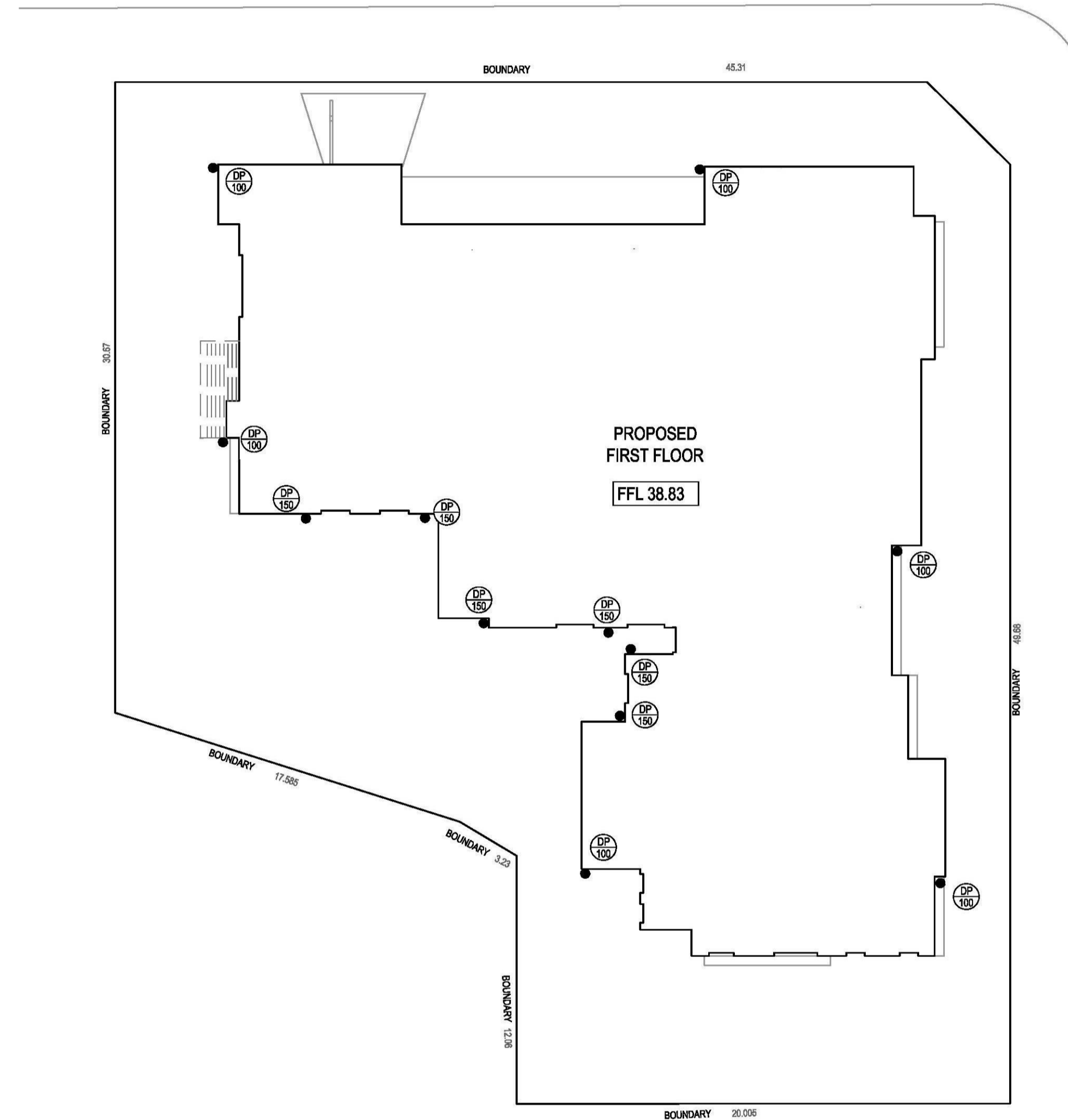


LEVEL 2 FLOOR PLAN



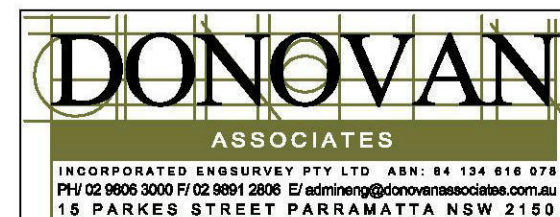
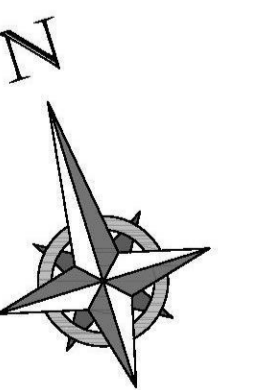
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LETHBRIDGE STREET

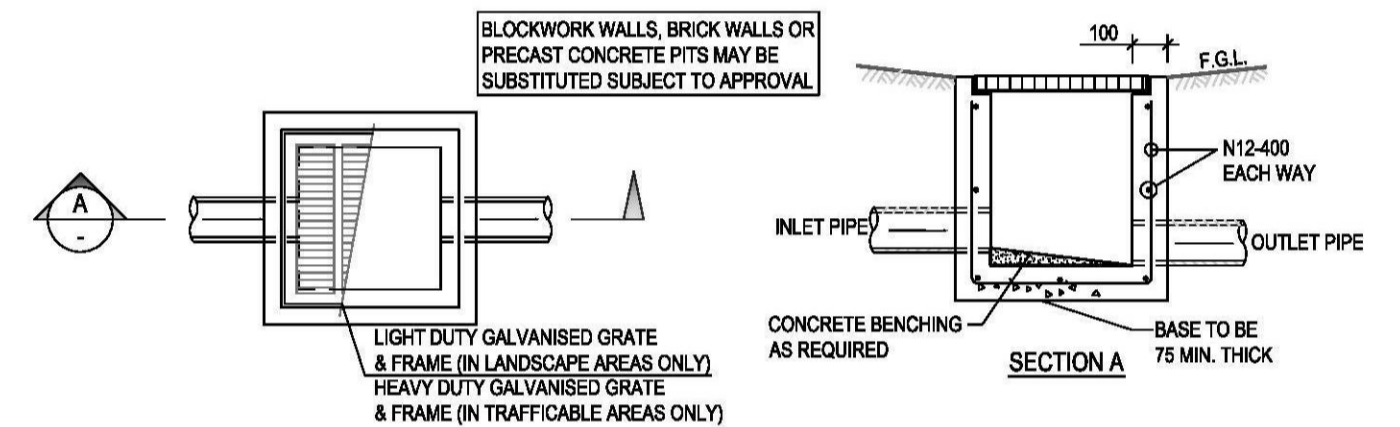
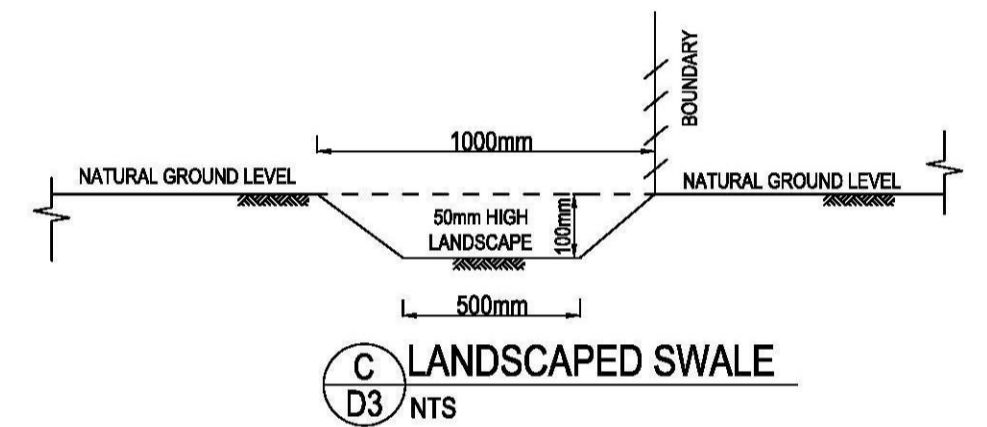
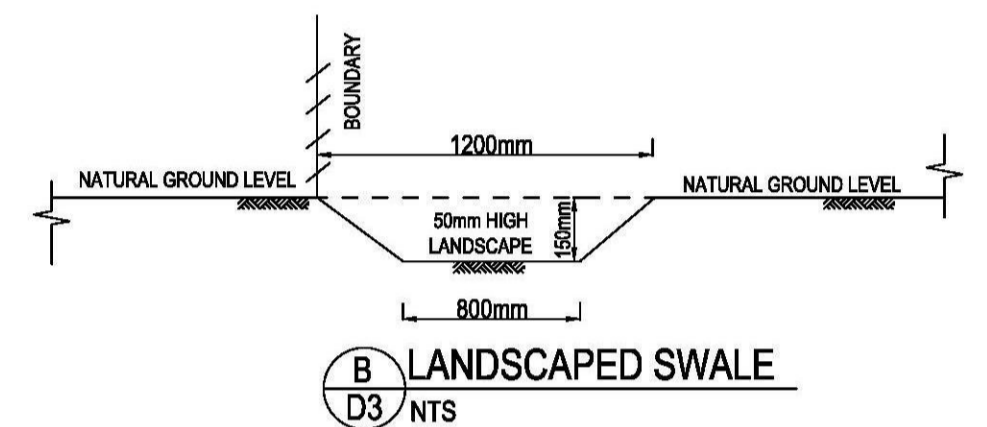
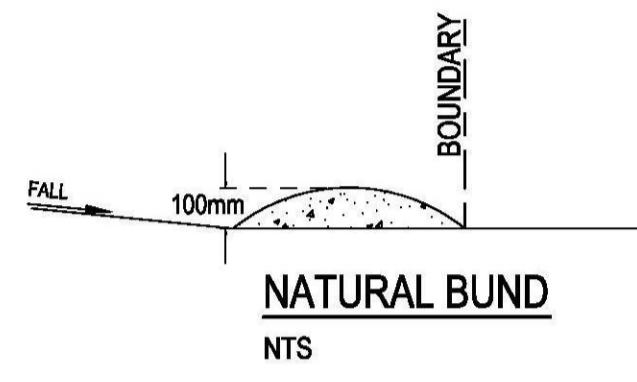
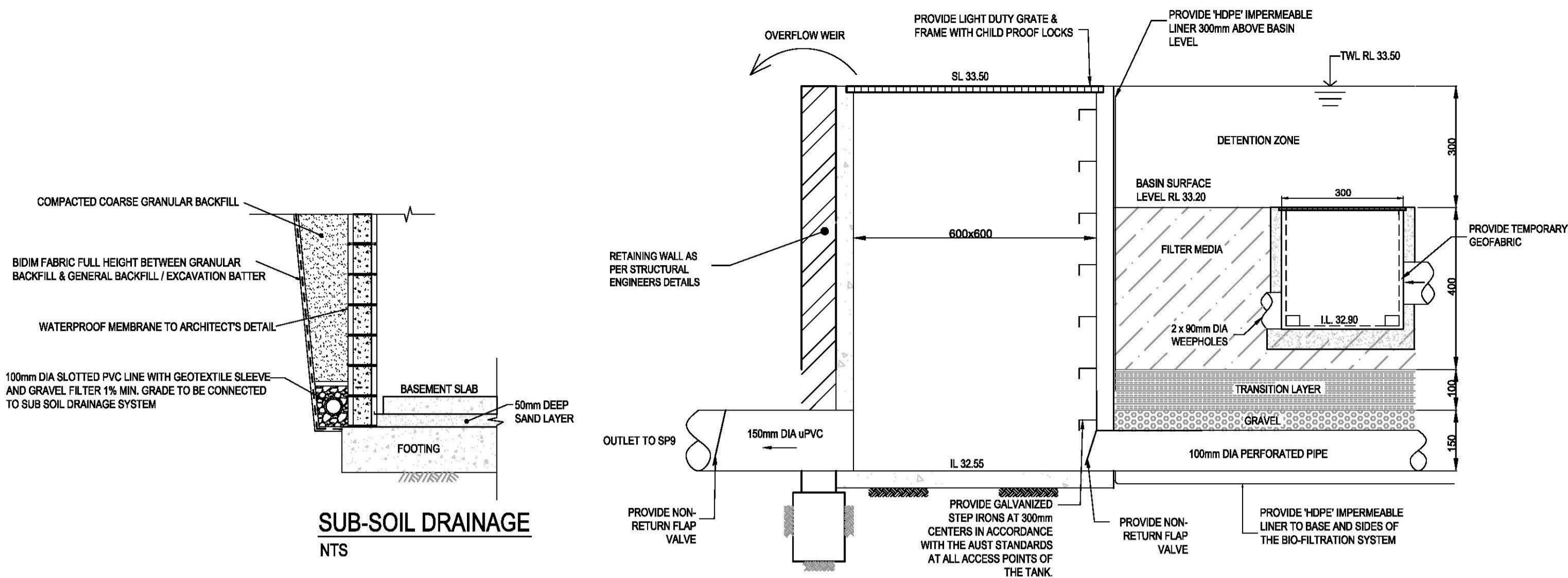


EVAN STREET

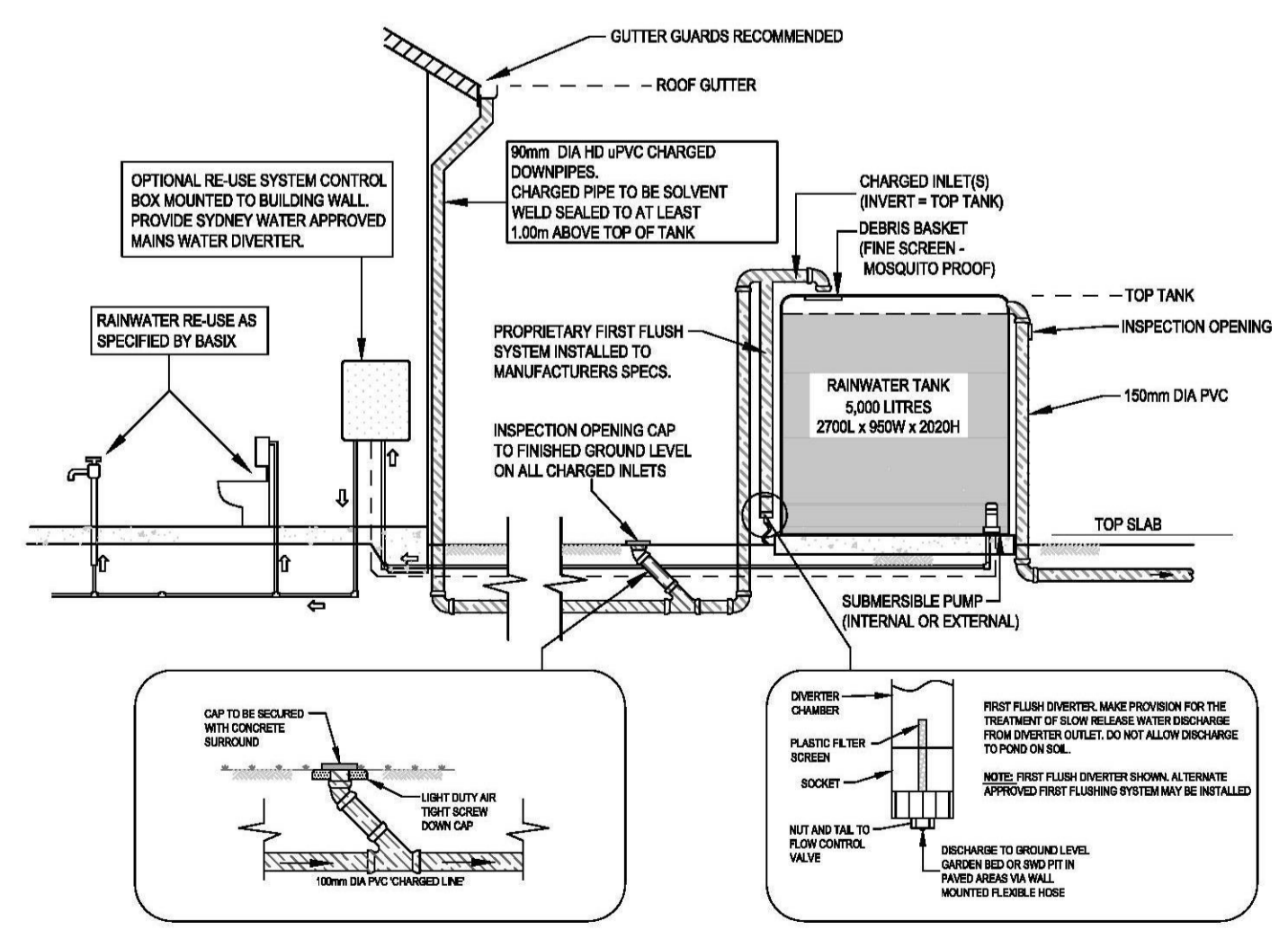
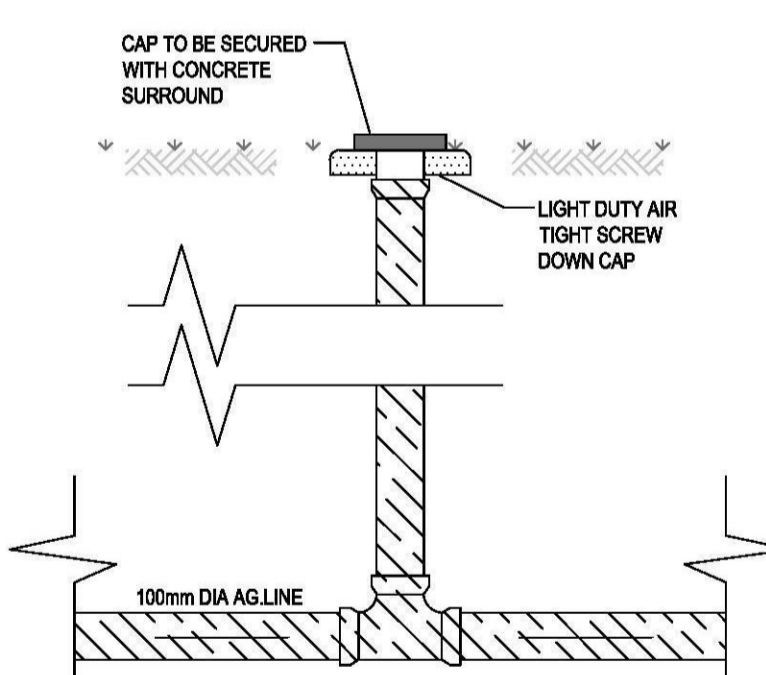
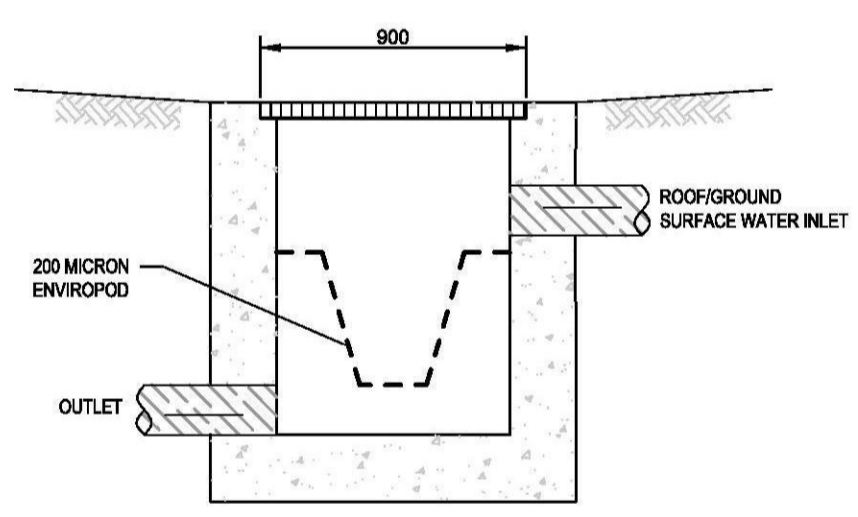
LEVEL 1 FLOOR PLAN



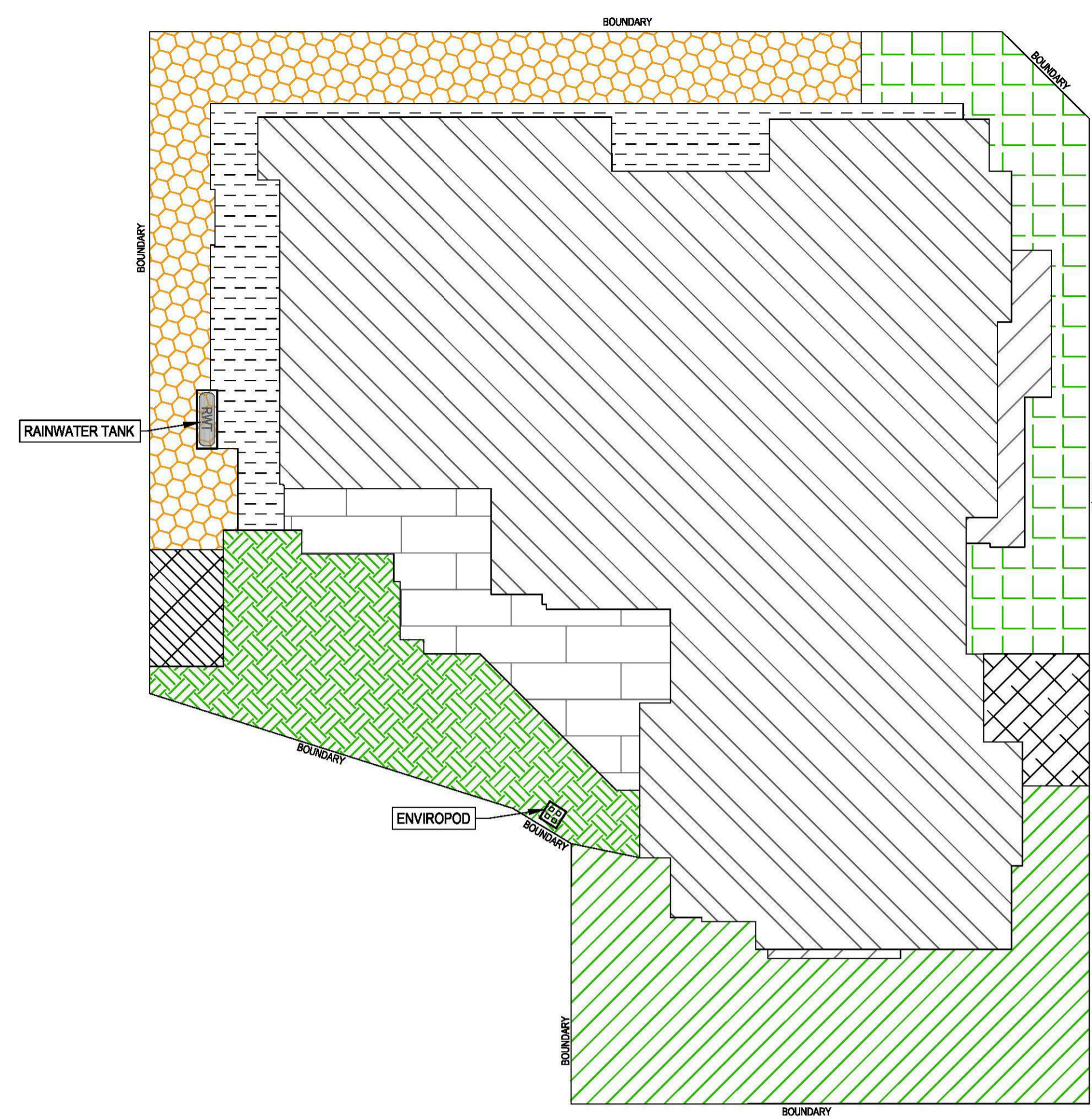
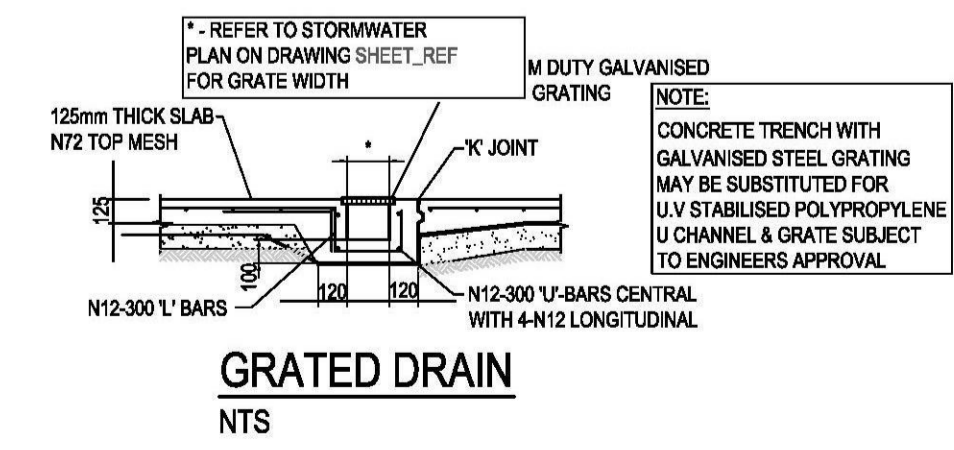
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		R.S	10.05.2019	ISSUED FOR CC	F	LETHBRIDGE STREET PENRITH		CLIENT REF.	DRAWING No.	
		PROJECT	PROPOSED APARTMENTS				CE17058	E293145		D4



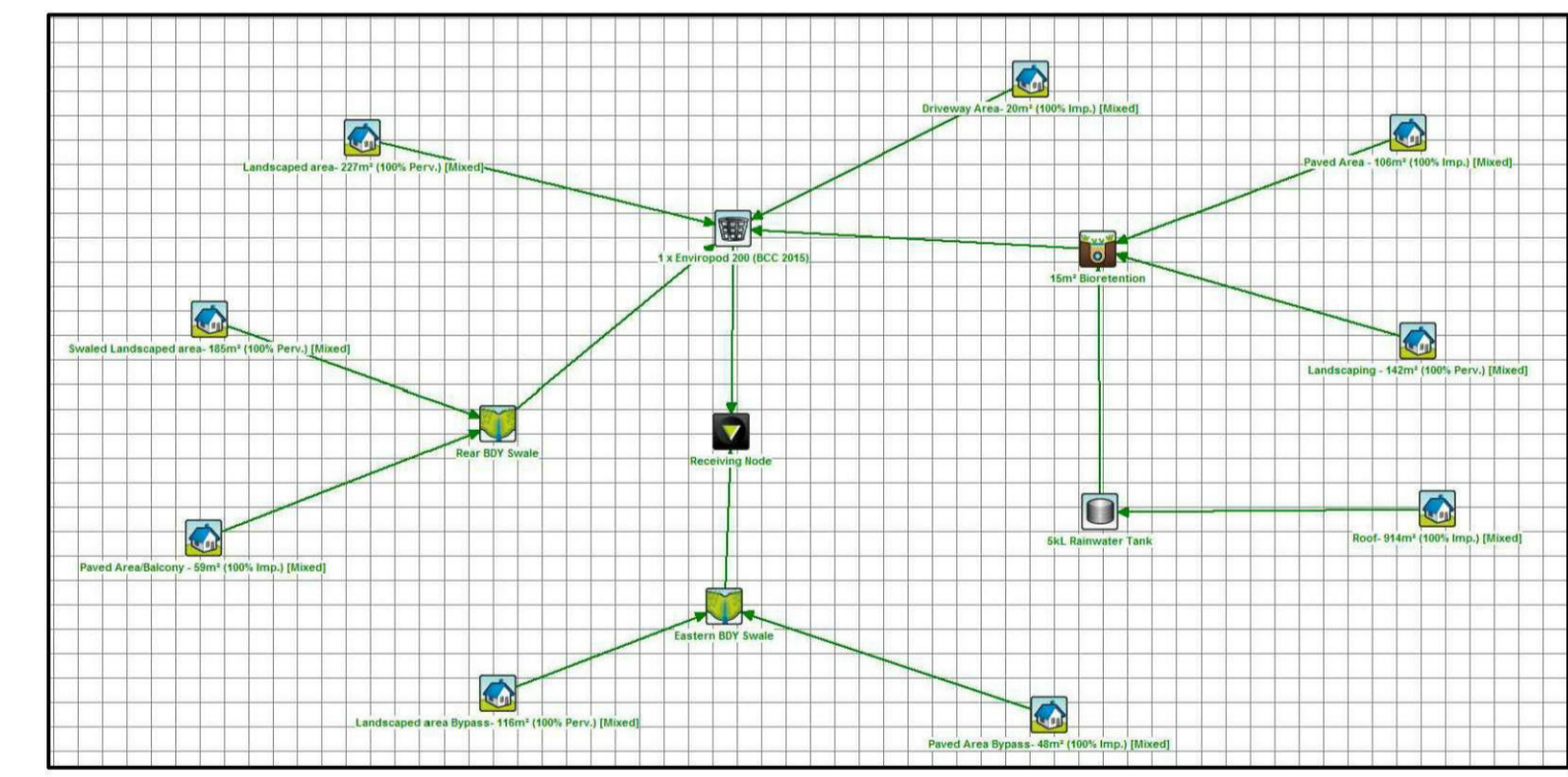
NOTE: ALL PROPOSED SITE PITS ARE TO BE CONSTRUCTED IN CONCRETE CAST IN SITU PLASTIC OR BRICK PITS ARE NOT ACCEPTABLE. HOWEVER, COUNCIL MAY CONSIDER PRE-CAST UNITS IF THE UNITS ARE PLACED ON A SOLID BASE OF GRAVEL OR CONCRETE OF 75mm THICK AND BACKFILL UP TO HALF THE DEPTH OF THE PIT SURROUND WITH CONCRETE.



EVERY EXTERNAL SUPPLY OUTLET FROM RAINWATER RE-USE TANK TO BE LABELED WITH METALLIC WARNING SIGN



- LANDSCAPING AREA = 173.74 m² TO BIORETENTION
- PAVED AREA = 93.33 m² TO BIORETENTION
- BIORETENTION BASIN AREA = 15 m²
- ROOF AREA = 926.23m² TO BIORETENTION
- LANDSCAPED AREA = 116m² TO EASTERN BOUNDARY SWALE
- PAVED AREA = 27.28m² TO EASTERN BOUNDARY SWALE
- PAVED AREA = 95.74m² TO REAR BOUNDARY SWALE
- LANDSCAPING AREA = 139.23 m² TO REAR BOUNDARY SWALE
- LANDSCAPING AREA = 219.37 m² TO ENVIROPOD
- DRIVEWAY AREA = 28.09m² TO ENVIROPOD



	SOURCES	RESIDUAL LOAD	% REDUCTION
TOTAL SUSPENDED SOLIDS (kg/yr)	75.3	7.52	90.0
TOTAL PHOSPHORUS (kg/yr)	0.187	0.0527	71.8
TOTAL NITROGEN (kg/yr)	1.66	0.647	61.0
GROSS POLLUTANTS (kg/yr)	19.1	0.000559	100

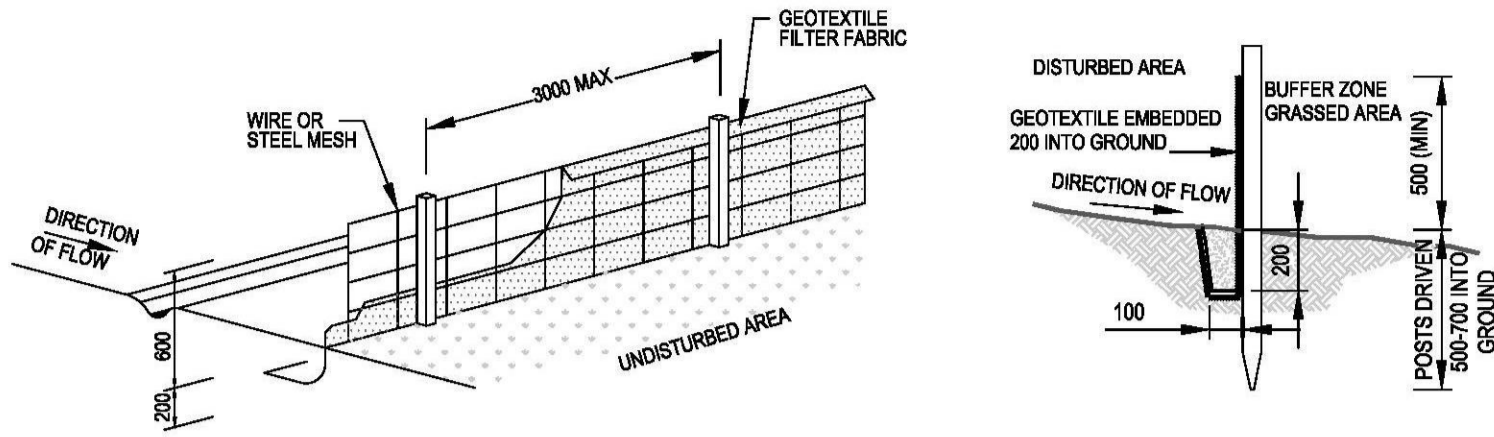
MUSIC RESULTS

WSUD ANALYSIS



DRAWING TITLE:	ISSUE:	FOR:
STORMWATER DETAILS	B	COLPANI CONSTRUCTION PTY LTD
PROJECT:	PROPOSED APARTMENTS	SITE ADDRESS:
		104-108 LETHBRIDGE STREET PENRITH

APPROVED BY:	DESIGNED BY:	SS	ISSUE
	SS		A
SCOTT SHARMA, M.E. Aust.	CE17058	E293145	D7

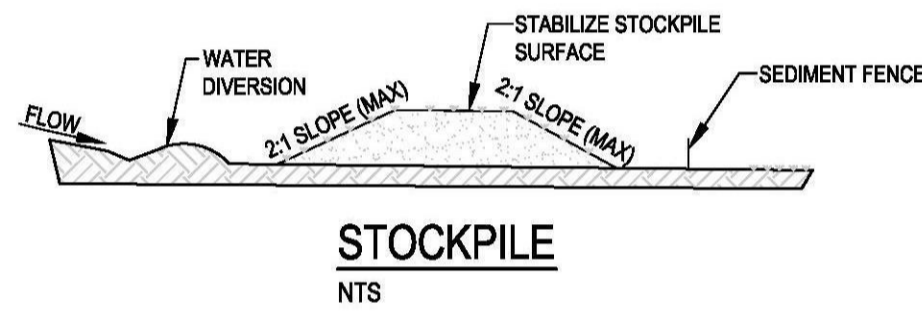
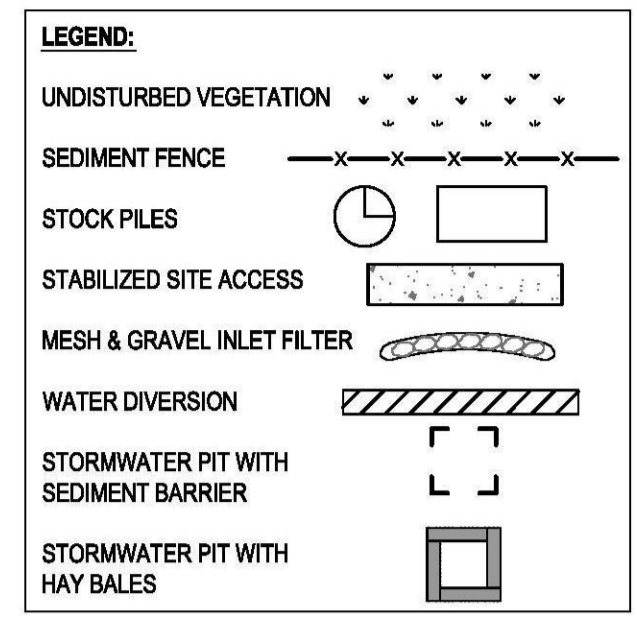


SEDIMENT FENCE DETAIL
NTS

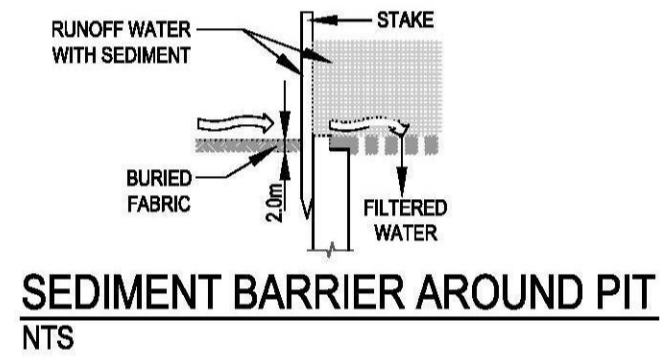
- CONSTRUCTION NOTES:**
- CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENTS AREA OF ANY ONE SECTION. THE CATCHMENTS AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10 YEAR EVENT.
 - CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
 - DRIVE 15m LONG STAR PICKETS INTO GROUND AT 2.5m INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
 - FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
 - JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH 150mm OVERLAP.
 - BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

- DUST CONTROL:**
- NOTE: DURING EXCAVATION, DEMOLITION AND CONSTRUCTION, ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT DUST FROM AFFECTING THE AMENITY OF THE NEIGHBORHOOD.
- THE FOLLOWING MEASURES MUST BE ADOPTED:
- PHYSICAL BARRIERS SHALL BE ERECTED AT RIGHT ANGLES TO PREVENT WIND DIRECTION OR SHALL BE PLACED AROUND OR OVER DUST SOURCES TO PREVENT WIND OR ACTIVITY FROM GENERATING DUST.
 - EARTHWORKS AND SCHEDULING ACTIVITIES SHALL BE MANAGED TO COINCIDE WITH THE NEXT STAGE OF DEVELOPMENT TO MINIMISE THE AMOUNT OF TIME THE SITE IS LEFT TO CUT OR EXPOSED.
 - ALL MATERIALS SHALL BE STORED OR STOCKPILED AT THE BEST LOCATIONS.
 - THE GROUND SURFACE SHOULD BE DAMPENED SLIGHTLY TO PREVENT DUST FROM BECOMING AIRBORNE BUT SHOULD NOT BE WET TO THE EXTENT THAT RUN-OFF OCCURS.
 - ALL VEHICLES CARRYING SOIL OR RUBBLE TO OR FROM THE SITE SHALL AT ALL TIMES BE COVERED TO PREVENT THE ESCAPE OF DUST.
 - ALL EQUIPMENT WHEELS SHALL BE WASHED BEFORE EXISTING THE SITE USING MANUAL OR AUTOMATED SPRAYERS AND DRIVE - THROUGH WASHING BAYS.
 - GATES SHALL BE CLOSED BETWEEN VEHICLE MOVEMENTS SHALL BE FITTED WITH SHADE CLOTH.
 - CLEANING OF FOOTPATHS AND ROADWAYS SHALL CARRIED OUT DAILY.
 - ALL BUILDERS REFUSE, SPOIL AND/OR MATERIAL UNSUITABLE FOR USE IN LANDSCAPE AREAS SHALL BE REMOVED FROM SITE ON COMPLETION OF THE BUILDING WORKS.

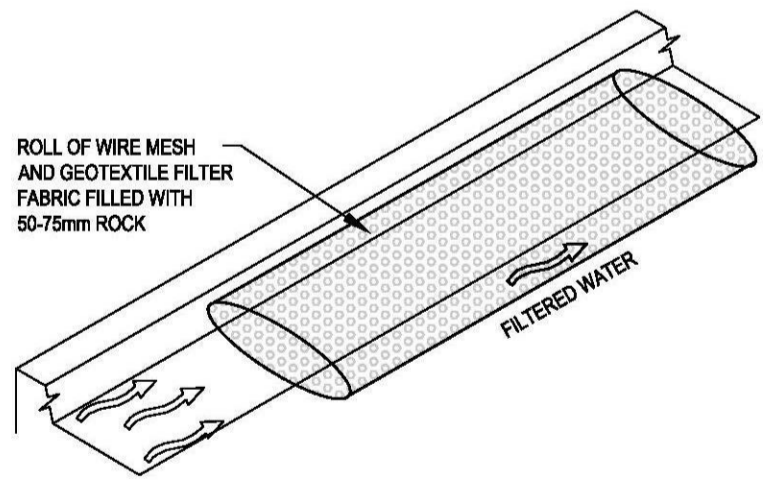
- NOTES:**
- ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
 - ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
 - DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
 - ROADS AND FOOTPATH TO BE SWEEP DAILY AS REQUIRED BY COUNCIL.
 - IF YOU DO NOT COMPLY WITH COUNCIL REQUIREMENTS & DOCUMENTATION, YOU MAY BE LIABLE TO PROSECUTION FROM GOVERNMENT AUTHORITIES.



- NOTE:**
- PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
 - CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
 - WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
 - WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILIZE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
 - CONSTRUCT EARTH BANKS (LOW FLOW) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METRES ON THE DOWNSLOPE.

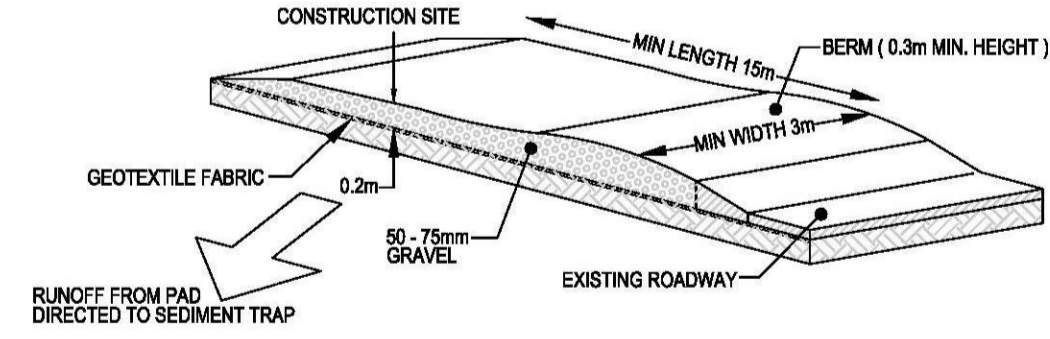


- CONSTRUCTION NOTES:**
- FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
 - FOLLOW STRAW FILTER AND SEDIMENT FENCE FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOTEXTILE. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
 - IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
 - DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.



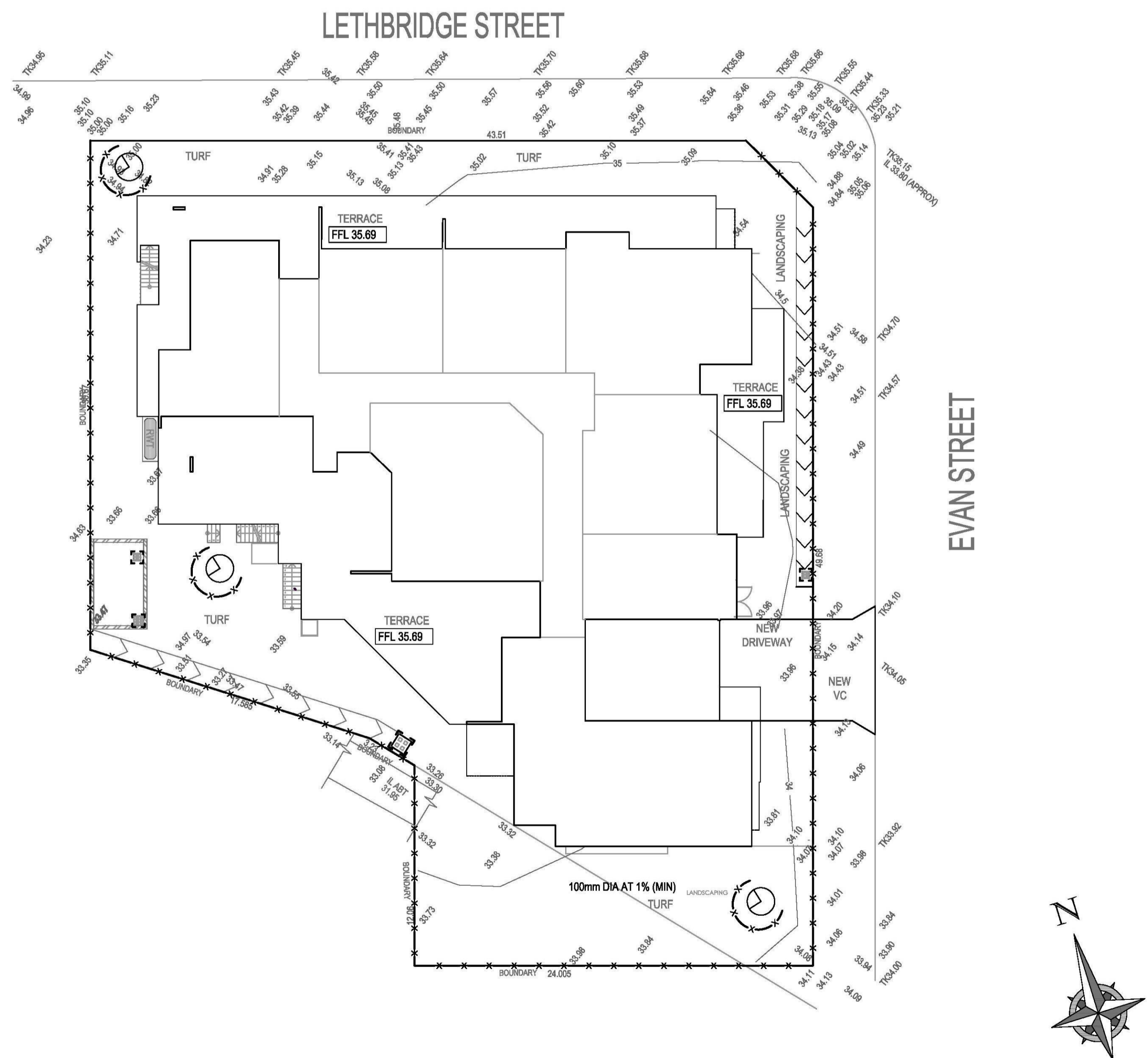
MESH AND GRAVEL FILTER
NTS

- CONSTRUCTION NOTES:**
- INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS
 - FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
 - FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm (H) x 400mm (W).
 - PLACE THE FILTER AT THE OPENING LEAVING AT LEAST 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
 - FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
 - SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.



STABILIZED SITE ACCESS
NTS

- CONSTRUCTION NOTES:**
- STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE
 - COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE
 - CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASED OR 30mm AGGREGATE
 - ENSURE THE STRUCTURE IS AT LEAST 15m LONG OR TO BUILD ALIGNMENT AND AT LEAST 3 METRES WIDE.
 - WHERE A SEDIMENT FENCE JOINS ONTO THE STABILIZED ACCESS, CONSTRUCT A HUMP IN THE STABILIZED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.



DRAWING TITLE:	DRAWN:	DATE:	DESCRIPTION:	ISSUE:	FOR:	APPROVED BY:	DESIGNED BY:	SS:	ISSUE:
SEDIMENT CONTROL PLAN	S.SINGH	14.08.2017	ARCHITECTURALS AMENDED	B	COLPANI CONSTRUCTION PTY LTD	 SCOTT SHARMA, M.I.E. Aust.	SS	SS	A
	S.SINGH	08.02.2018	ARCHITECTURALS AMENDED	C	104-108		SCALE: 1:200	SS	A
	S.SINGH	06.08.2018	ARCHITECTURALS AMENDED	D	LETHBRIDGE STREET		SHEET SIZE: A1	SS	A
	R.S.	10.05.2019	ISSUED FOR CC	F	PENRITH		CLIENT REF.: CE17058	DRAWING No.: E293145	SHEET No.: D8

PROJECT:	PROPOSED APARTMENTS	CLIENT REF.:	DRAWING No.:	SHEET No.:
		CE17058	E293145	D8

Project summary		
Project name	680	
Street address	106-108 Leithbridge Street Penrith 2750	
Local Government Area	Penrith City Council	
Plan type and plan number	Deposited S43204	
Lot no.	11	
Section no.	-	
No. of residential flat buildings	1	
No. of units in residential flat buildings	20	
No. of multi-dwelling houses	0	
No. of single dwelling houses	0	
Project score		
Water	40	Target 40
Thermal Comfort	Pass	Target Pass
Energy	35	Target 35

Description of project

Project address		
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Street address	106-108 Leithbridge Street Penrith 2750	
Local Government Area	Penrith City Council	
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Lot no.	11	
Section no.	-	
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No. of residential flat buildings	1	
No. of units in residential flat buildings	20	
No. of multi-dwelling houses	0	
No. of single dwelling houses	0	
Site details		
Site area (m ²)	1825	
Plot area (m ²)	1175	
Non-residential floor area (m ²)	0.0	
Residential car spaces	27	
Non-residential car spaces	0	

Common area landscape	
Common area lawn (m ²)	300.0
Common area garden (m ²)	260.0
Area of impervious or low water use special (m ²)	0.0
Assessor details	
Assessor number	20099
Assessor name	2
Climate zone	2B
Project score	
Water	40 Target 40
Thermal Comfort	Pass Target Pass
Energy	35 Target 35

Description of project

The tables below describe the dwellings and common areas within the project

Residential flat buildings - Building, 20 dwellings, 3 stores above ground																				
Dwelling no.	No. of bedrooms	No. of bathrooms	No. of balconies	No. of car spaces	No. of car ports	No. of car lifts	No. of car ramps	No. of car stairs	No. of car ramps	No. of car ramps	No. of car ramps	No. of car ramps	No. of car ramps	No. of car ramps	No. of car ramps	No. of car ramps	No. of car ramps	No. of car ramps	No. of car ramps	No. of car ramps
1	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
4	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
5	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
6	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
8	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
9	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
13	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
14	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
15	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
16	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
17	2	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0

Description of project

The tables below describe the dwellings and common areas within the project

Common areas of unit building - Building				
Common area	Floor area (m ²)	Common area	Floor area (m ²)	Common area
Basement Car park area	777.0	LR car (No. 1)	-	Service Cupboard
Service Room	41.0	Garage Room/Bicycle Wash	28.0	Stairwells (Total)
Common areas (Total)	826.0			86.0

Schedule of BASIX commitments

- Comments for Residential flat buildings - Building
 - Dwellings
 - Water
 - Energy
 - Thermal Comfort
 - Common areas and central systems/facilities
 - Water
 - Energy
- Comments for multi-dwelling houses
- Comments for single dwelling houses
- Comments for common areas and central systems/facilities for the development (non-building specific)
 - Water
 - Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Commitment	Show on DA plans	Show on COCCDC plans & specs	Checklist
(a) Water			
(b) Energy			
(c) Thermal Comfort			

Dwelling no.	Cooling		Heating		No. of bedrooms	No. of living/dining/entertainment areas	Each kitchen	Artificial lighting				Natural lighting	Mech. Exhaust
	Room area	Room area	Room area	Room area				Bedroom	Living/dining/entertainment	Bath	Other		
2	(none)	(none)	(none)	(none)	1	1	yes	yes	yes	yes	yes	0	no
3	(none)	(none)	(none)	(none)	2	2	yes	yes	yes	yes	yes	0	yes
4, 15	(none)	(none)	(none)	(none)	2	2	yes	yes	yes	yes	yes	1	no
8, 12, 13, 14, 17, 18, 19, 20	(none)	(none)	(none)	(none)	2	2	yes	yes	yes	yes	yes	0	yes
All other dwellings	(none)	(none)	(none)	(none)	2	2	yes	yes	yes	yes	yes	0	no

Dwelling no.	Hot water system		Hot water system		Kitchen cooktop/oven	Refrigerator	Washers/dryers	Appliances & other efficiency measures				
	Pool heating system	Room	Room	Room				Washing machine	Dishwasher	Washing machine	Dishwasher	Indoor air conditioning
All dwellings	-	-	-	-	electric cooking & electric oven	yes	yes	yes	yes	yes	yes	no

Common area	Common area ventilation system			Common area lighting		
	Verification system type	Verification efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control mechanism	Lighting control mechanism
Basement Car park area	ventilation supply + exhaust	carbon monoxide monitor + VSD fan	light-emitting diode	night sensor and motion sensor	no	no
LR car (No. 1)	-	-	light-emitting diode	none	no	no
Service Cupboard	no mechanical ventilation	-	fluorescent	manual on / manual off	no	no
Service Room	no mechanical ventilation	-	fluorescent	manual on / manual off	no	no
Garage Room/Bicycle Wash	ventilation exhaust only	-	fluorescent	motion sensors	no	no
Stairwells (Total)	no mechanical ventilation	-	light-emitting diode	night sensor and motion sensor	no	no
Common areas (Total)	no mechanical ventilation	-	light-emitting diode	night sensor and motion sensor	no	no

Common area	Common area lighting		Thermal loads
	Verification system type	Verification efficiency measure	
LR (No. 1)	powered hood with V.A.C motor	Number of levels including basement: 4	

Common area	Common area lighting		Thermal loads	
	Verification system type	Verification efficiency measure	Area adjusted heating load (in m ² /m ²)	Area adjusted cooling load (in m ² /m ²)
LR (No. 1)	powered hood with V.A.C motor	Number of levels including basement: 4	30.4	28.1
			28.1	28.1
			28.9	28.9
			28.9	28.9
			28.9	28.9
			28.9	28.9

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			28.9	28.9
			28.9	28.9
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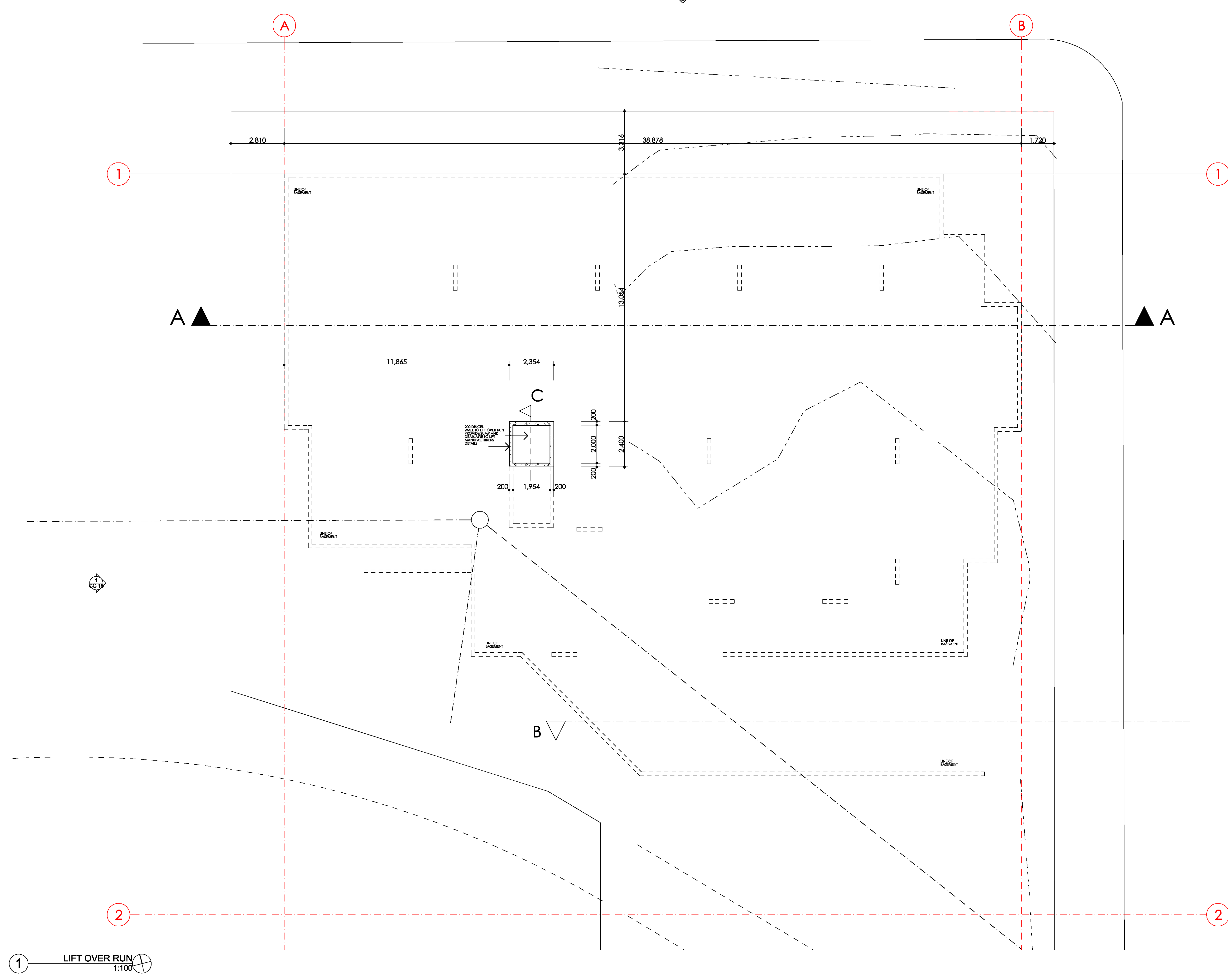
BUILDING ENVIRONMENTS PTY LTD
PO BOX 34 EMU PLAINS NSW 2750
ARVI RANNASSE ARCHITECT RN 7085
ph 0428 505 900
email: arvi@buildingenvironments.com.au

ISSUE A 27.02.19
CC TO COUNCIL

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
NOR-SIDE INVESTMENTS PTY LTD
Project Name
LETHBRIDGE APARTMENTS
104-108 LETHBRIDGE STREET PENRITH 2750

Drawing Title:
Council Submission DA - Cover Sheet
View List DA, Sheet Index DA, 6660 - 106
LETHBRIDGE ST - Draft BASIX v2
Scale: as noted Date:
Status: PRELIMINARY Checked By:
Project No:
0316
Drawing No.:
BASIX A
Plot Date:
27/02/2019



**ISSUE A 27.02.19
CC TO COUNCIL**

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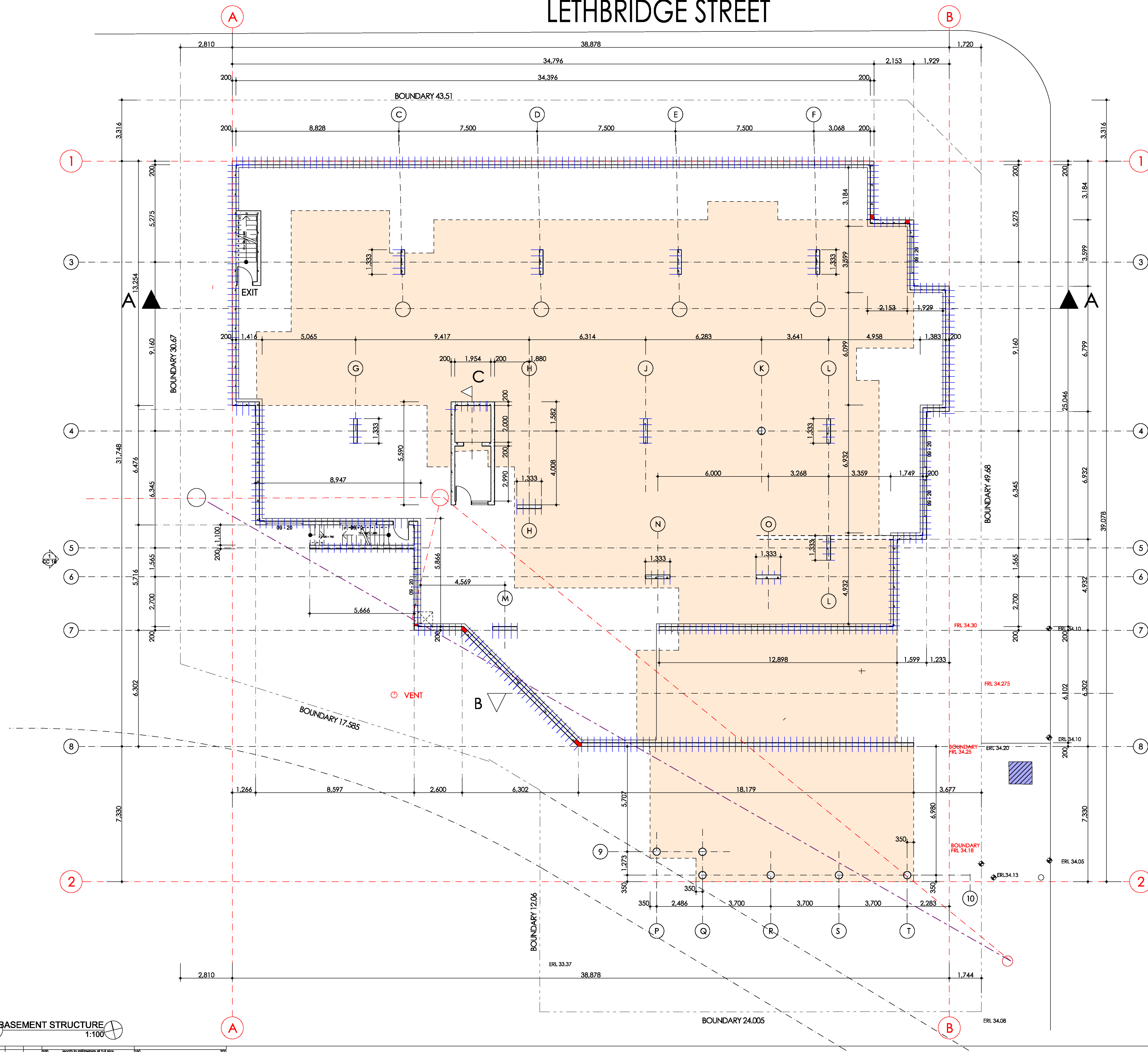
Client:
NOR-SIDE INVESTMENTS PTY LTD
 Project Name:
LETHBRIDGE APARTMENTS
 104-108 LETHBRIDGE STREET PENRITH
 2750

Drawing Title:
**Council Submission DA - LIFT OVER RUN
 LIFT OVER RUN**

Scale: as noted	Date:
Status: PRELIMINARY	Checked By:
Project No: 0316	Drawing No.: CC 3 A
Plot Date:	27/02/2019

1 LIFT OVER RUN
1:100

LETHBRIDGE STREET



BUILDING ENVIRONMENTS PTY LTD
 PO BOX 34 EMU PLAINS NSW 2750
 ARVI RANNASTE ARCHITECT RN 7085
 ph 0428 505 900
 email: arvi@buildingenvironments.com.au

EVAN STREET

ISSUE A 27.02.19
CC TO COUNCIL

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Client
NOR-SIDE INVESTMENTS PTY LTD
 Project Name
LETHBRIDGE APARTMENTS
 104-108 LETHBRIDGE STREET PENRITH
 2750

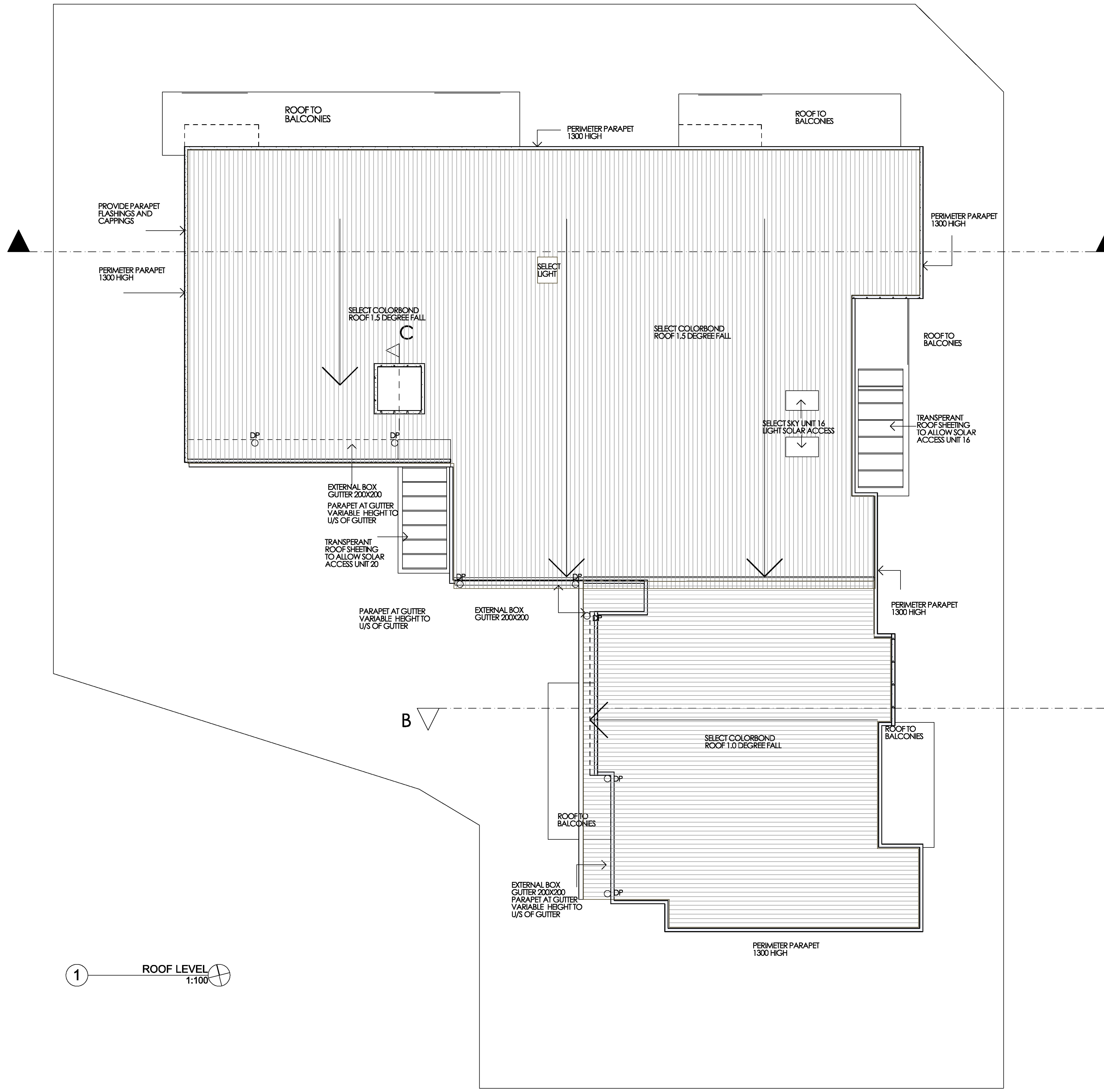
Drawing Title:
Council Submission DA - BASEMENT
BASEMENT STRUCTURE

Scale: as noted Date:
 Status: PRELIMINARY Checked By:

Project No: **0316** Drawing No.: **CC 4** **A**

Plot Date: 27/02/2019

BASEMENT STRUCTURE
 1:100



1 ROOF LEVEL
1:100

ISSUE A 27.02.19
CC TO COUNCIL

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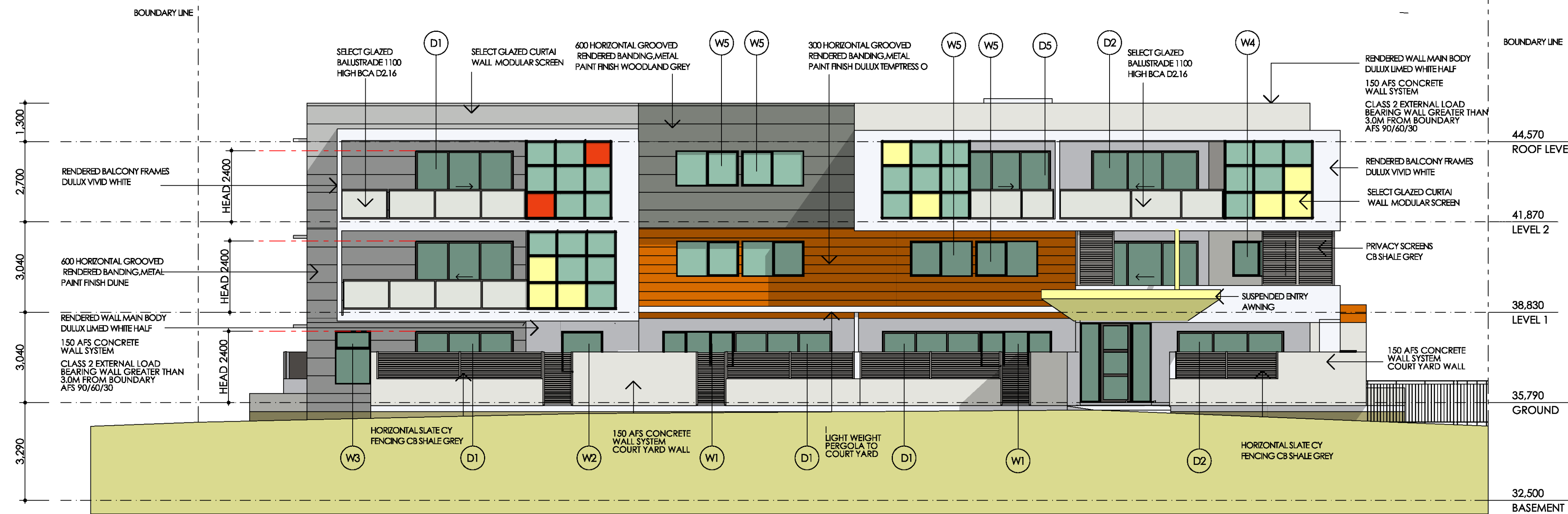
Client
NOR-SIDE INVESTMENTS PTY LTD
 Project Name
LETHBRIDGE APARTMENTS
 104-108 LETHBRIDGE STREET PENRITH
 2750

Drawing Title:
**Council Submission DA - ROOF PLAN
 ROOF LEVEL**

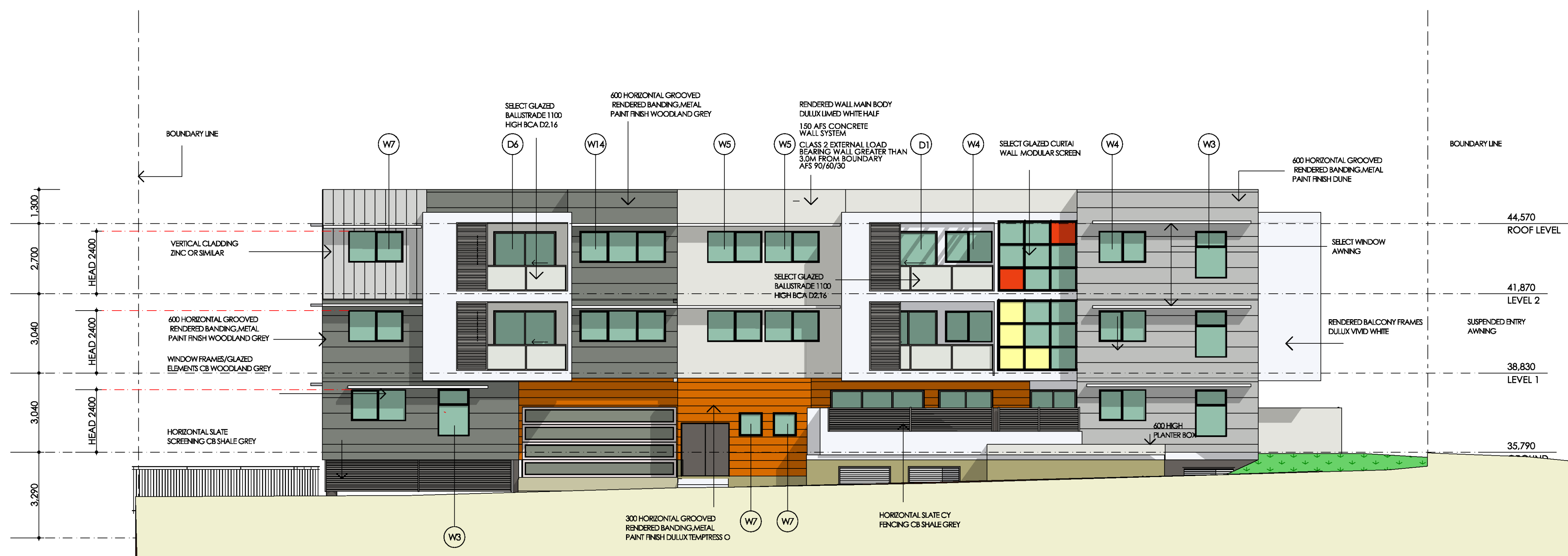
Scale: as noted Date:
 Status: PRELIMINARY Checked By:

Project No.: **0316** Drawing No.: **CC 16** **A**

Plot Date: 27/02/2019



1 NORTH ELEVATION
1:100



3 EAST ELEVATION
1:100

**ISSUE A 27.02.19
CC TO COUNCIL**

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Client
NOR-SIDE INVESTMENTS PTY LTD
 Project Name
LETHBRIDGE APARTMENTS
 104-108 LETHBRIDGE STREET PENRITH
 2750

Drawing Title:
**- NORTH ELEVATION
 NORTH ELEVATION, EAST ELEVATION**

Scale: as noted

Date:

Status: PRELIMINARY

Checked By:

Project No:

0316

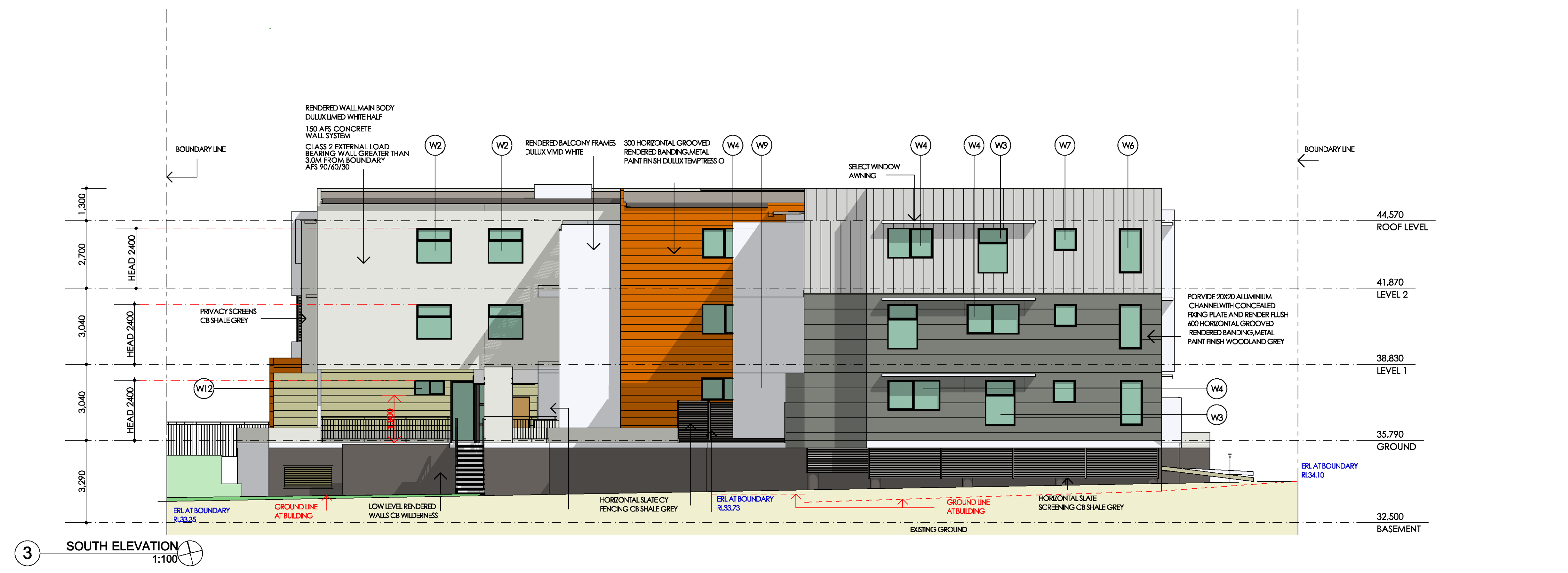
Drawing No.:

CC 17

A

Plot Date:

27/02/2019



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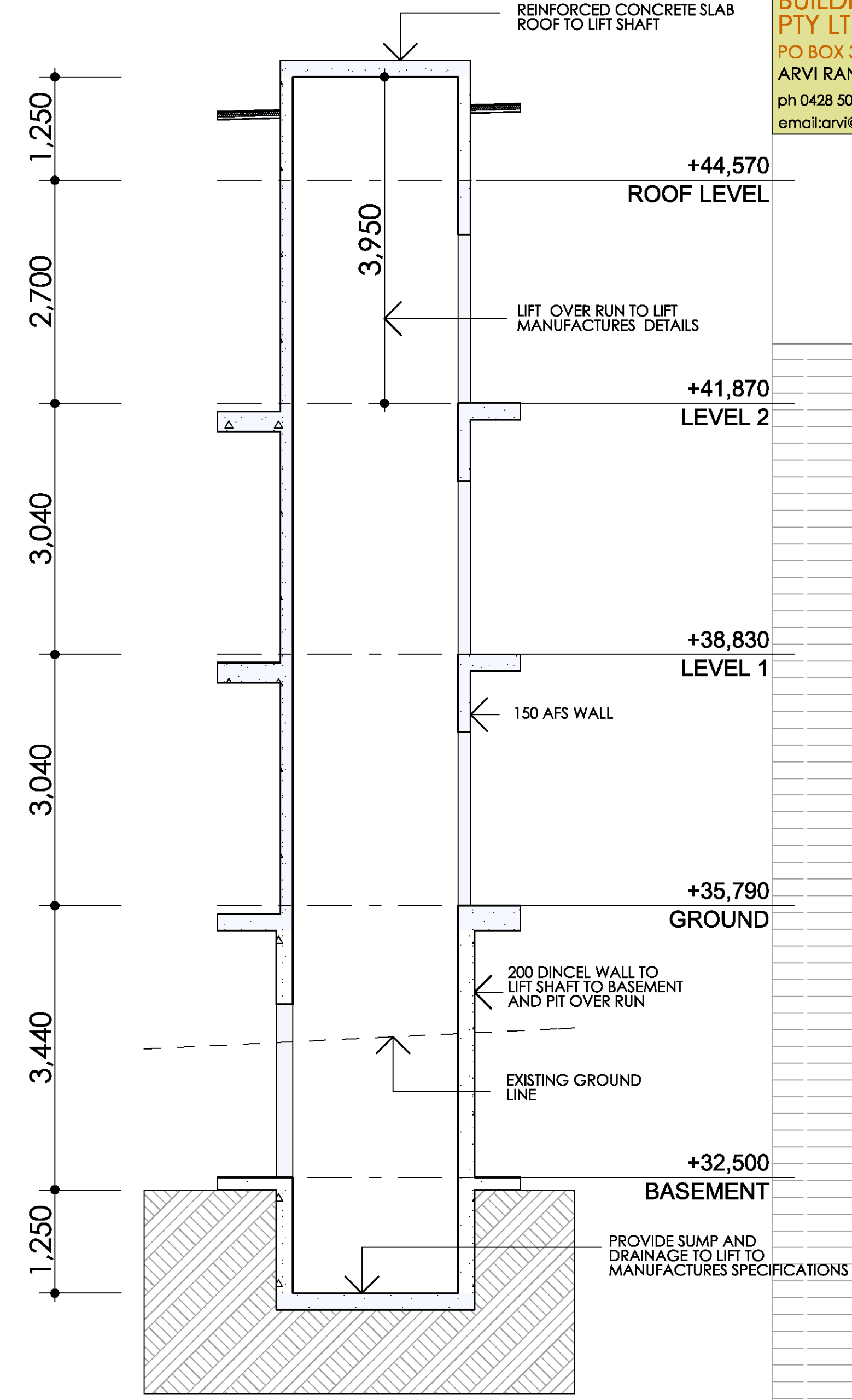
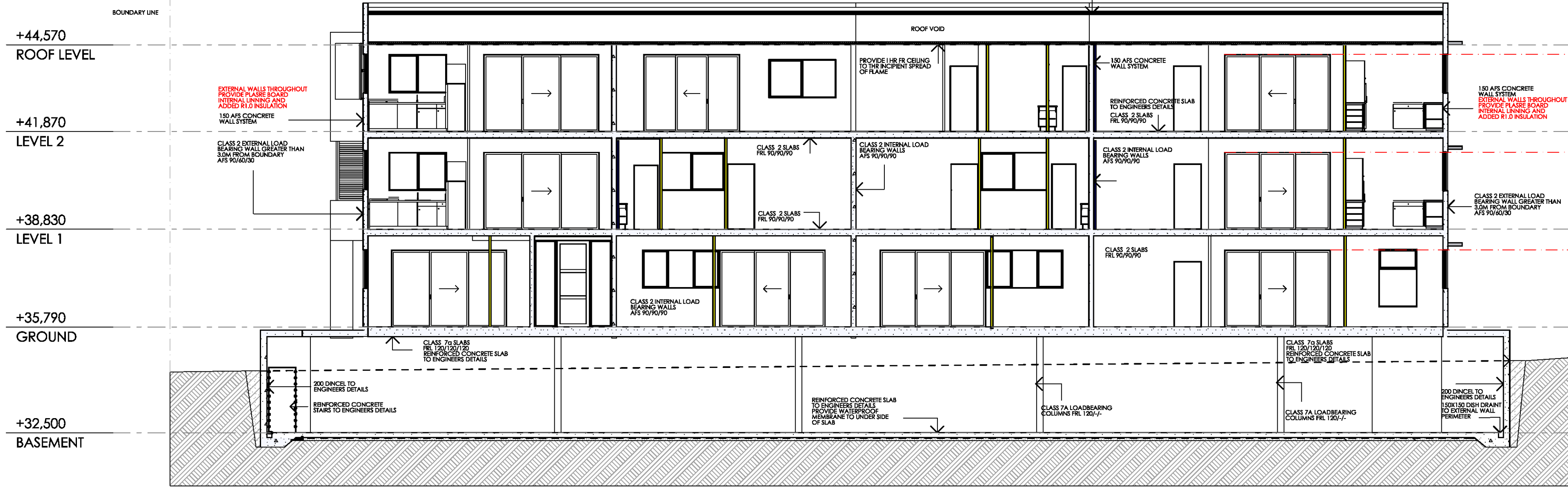
Client
NOR-SIDE INVESTMENTS PTY LTD
 Project Name
LETHBRIDGE APARTMENTS
 104-108 LETHBRIDGE STREET PENRITH
 2750

Drawing Title:
- WEST ELEVATION
 WEST ELEVATION, SOUTH ELEVATION

Scale: as noted Date:
 Status: PRELIMINARY Checked By:

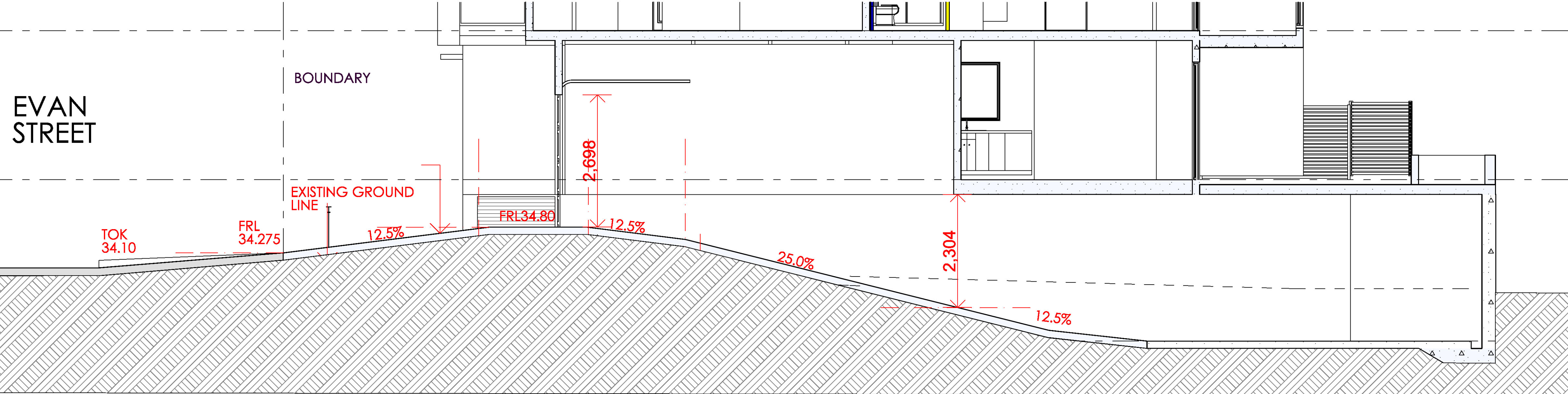
Project No.: **0316** Drawing No.: **CC 18** **A**

Plot Date: 27/02/2019



SECTION A
1:100

LIFT SHAFT
1:50



SECTION B
1:50

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Client
NOR-SIDE INVESTMENTS PTY LTD
 Project Name
LETHBRIDGE APARTMENTS
 104-108 LETHBRIDGE STREET PENRITH
 2750

Drawing Title:
- SECTION A
SECTION A, SECTION B, LIFT SHAFT

Scale: as noted Date:
 Status: PRELIMINARY Checked By:

Project No.: **0316** Drawing No.: **CC 19** A

Plot Date: 27/02/2019

Window List							
ID	W1	W2	W3	W3 FV	W4	W5	W6
Height	1,200	1,400	1,800	1,800	1,200	1,200	1,800
Width	2,400	1,400	1,200	1,200	1,800	2,100	900
Quantity	2	15	8	2	12	18	3
3D Front View							

Window List							
ID	W7	W8	W9	W10	W011	W12	W13
Height	900	1,800	900	1,800	1,400	600	2,100
Width	900	750	1,800	1,200	1,400	1,200	600
Quantity	13	2	2	3	1	1	1
3D Front View							

Window List					
ID	W14	W14	W15	W16	W20
Height	1,200	1,200	1,200	1,800	900
Width	1,800	3,300	3,000	650	2,000
Quantity	2	2	2	2	6
3D Front View					

1 Window List 2:1

Door List						
ID	D1	D2	D3	D4	D5	D6
Quantity	11	4	6	3	3	2
Height	2,400	2,400	2,400	2,400	2,400	2,400
Width	3,300	3,600	1,800	2,100	3,000	2,400
3D Front View						

3 Door List 2:1

NOTE ALL FRAMES CB WOODLAND GREY

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Client
NOR-SIDE INVESTMENTS PTY LTD
 Project Name
LETHBRIDGE APARTMENTS
 104-108 LETHBRIDGE STREET PENRITH
 2750

Drawing Title:
- WINDOW/DOOR SCHEDULES
 Door List, Window List

Scale: as noted Date:
 Status: PRELIMINARY Checked By:

Project No: **0316** Drawing No.: **CC21** **A**

Plot Date: 27/02/2019