

PLANTING SCHEDULE

TREE							
SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM POT SIZE	SPACING	QUANTITY	REQUIRED HEIGHT AT TIME OF PLANTING	ADDITIONAL COMMENTS
Ar	Acer rubrum 'Brandywine'	Red Maple	200mm	6m	3	2000mm	TREE GUARD - 3x1800x40x40 HARDWOOD STAKES; 2x50 WIDE HESSIAN STRAPS STAPLED ALL ROUND.
SHRUBS/GRASSES/GROUNDCOVERS							
Di	Dianella revoluta	Blue Flax Lily	140mm	6/m ²	1014	-	PLANT IN GROUP OF 20
Dr	Dichondra repens	Kidney Weed	TUBE	4/m ²	672	-	PLANT IN GROUP OF 10
LI	Lomandra longifolia	Mat Rush	TUBE	-	388	-	-
Oj	Ophiopogon japonicus	Mondo Grass	TUBE	6/m ²	545	-	PLANT IN GROUP OF 30
Vd	Viola hederacea	Native Violet	TUBE	4/m ²	672	-	PLANT IN GROUP OF 10
TURF							
	Stenotaphrum secundatum	Sir Walter Buffalo	-	-	246.1m ²	-	-

FURNITURE SCHEDULE

SYMBOL	ITEM	NO.	SUPPLIER
B	BOLLARD AS SPECIFIED	5	LANDMARK
	SANDSTONE LOG (500MM X 500MM X 2000MM) AS SPECIFIED	5	-
HR	HANDRAIL REFER TO HANDRAIL DETAIL ON DRAWING 2915-LS-002	10.8LM	-

LEGEND- GENERAL

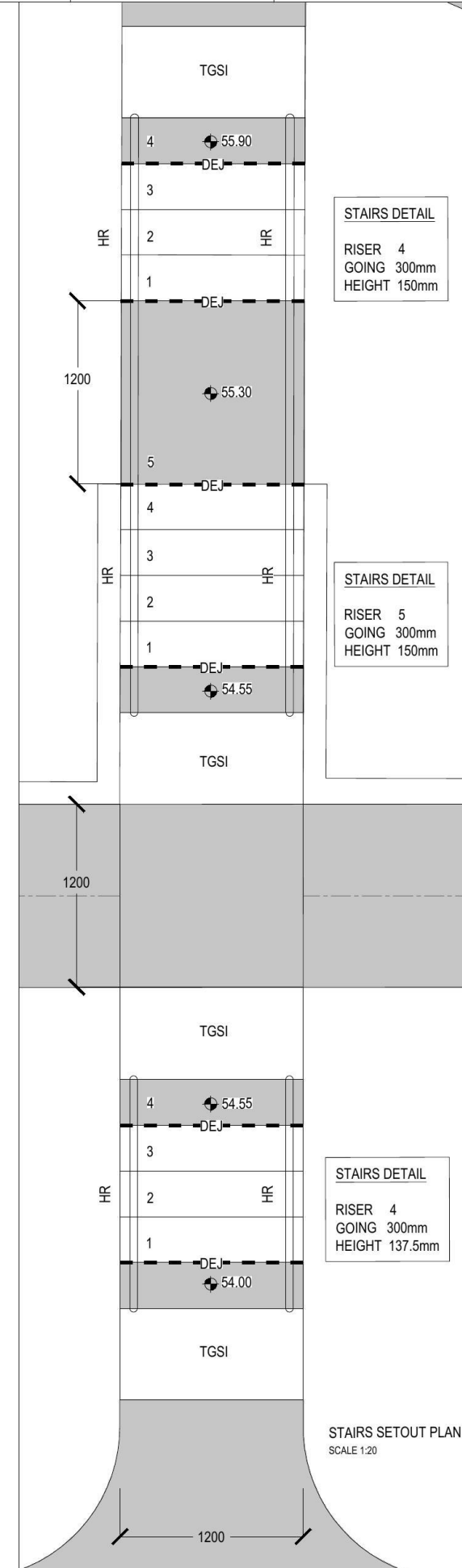
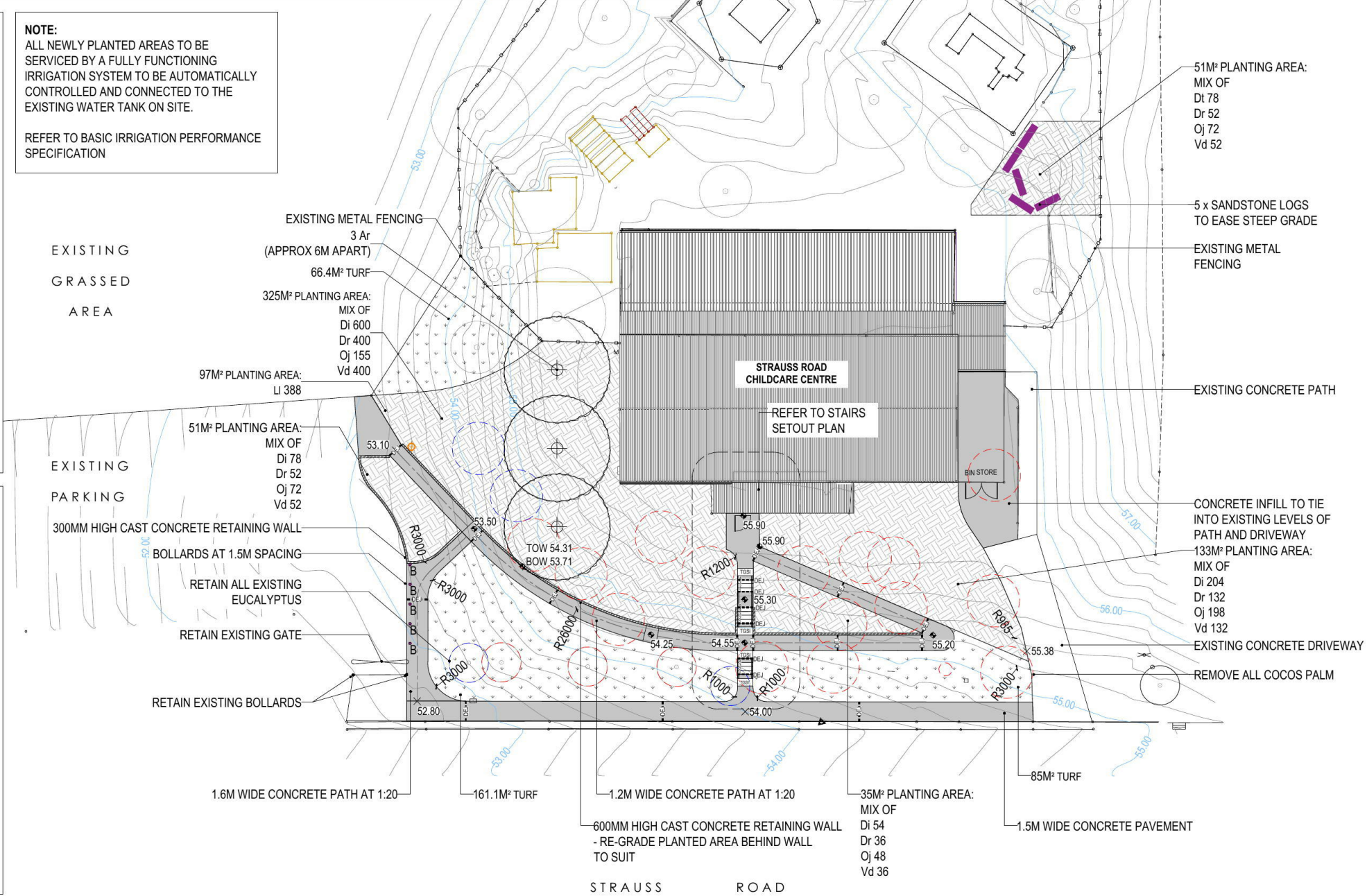
- EXISTING MAJOR CONTOURS FROM SURVEY
- EXISTING MINOR CONTOURS FROM SURVEY
- PROPOSED LEVELS
- EXISTING LEVELS
- EXISTING LIGHT POLE
- EXISTING METAL FENCE
- EXISTING TREE TO BE RETAINED
- EXISTING COCOS PALM TO BE REMOVED
- EXISTING EUCALYPTUS TO BE RETAINED
- PROPOSED TREE

NOTE:
ALL NEWLY PLANTED AREAS TO BE SERVICED BY A FULLY FUNCTIONING IRRIGATION SYSTEM TO BE AUTOMATICALLY CONTROLLED AND CONNECTED TO THE EXISTING WATER TANK ON SITE.

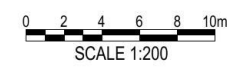
REFER TO BASIC IRRIGATION PERFORMANCE SPECIFICATION

LEGEND - PAVEMENT, MATERIALS AND FURNITURE

- DOWELLED EXPANSION JOINT
- CONCRETE PAVEMENT
- PROPOSED TURF
- PROPOSED LOMANDRA PLANTING AREA
- PROPOSED MIXED MASS PLANTING AREA
- 150MM THICK CAST CONCRETE RETAINING WALL
- SANDSTONE LOG
- BOLLARD



No.	Revision	Checked	Approved	Date	Status
E	ISSUED FOR CONSTRUCTION CERTIFICATE	PK	PK	26/09/19	ISSUED FOR CONSTRUCTION CERTIFICATE
D	ISSUED FOR CONSTRUCTION CERTIFICATE	PK	PK	13/09/19	
C	PRELIMINARY TENDER	PK	PK	26/03/19	
B	PRELIMINARY TENDER	PK	PK	11/03/19	
A	PRELIMINARY CONCEPT	PK	PK	23/10/18	



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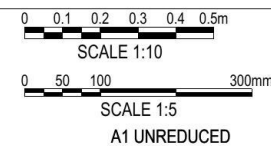
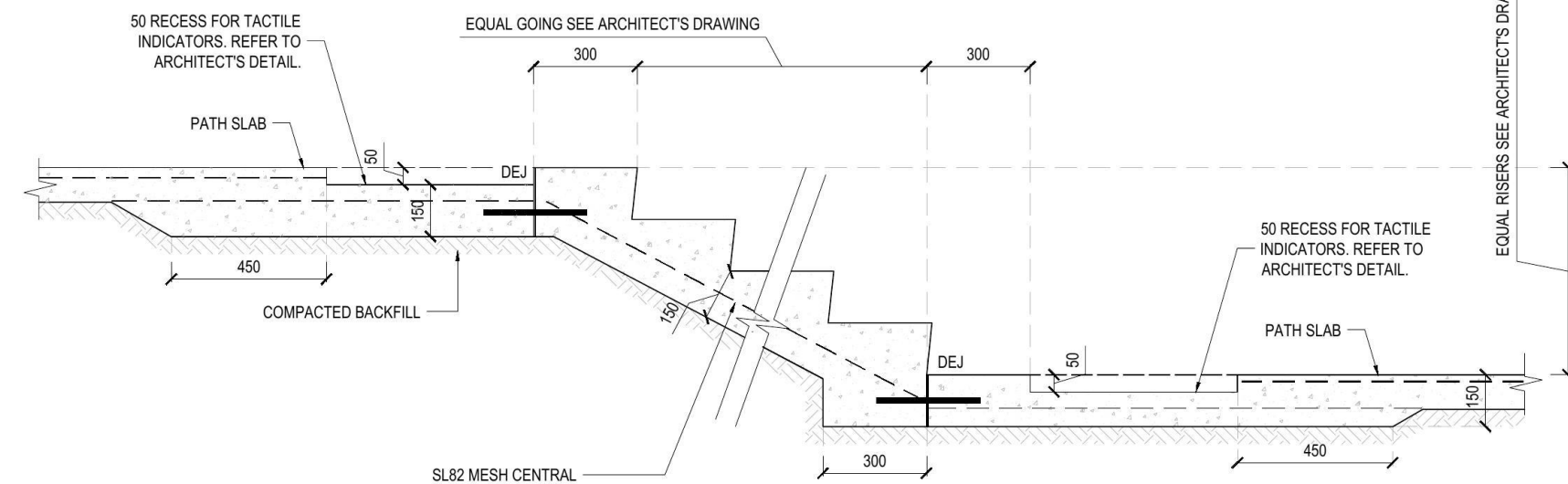
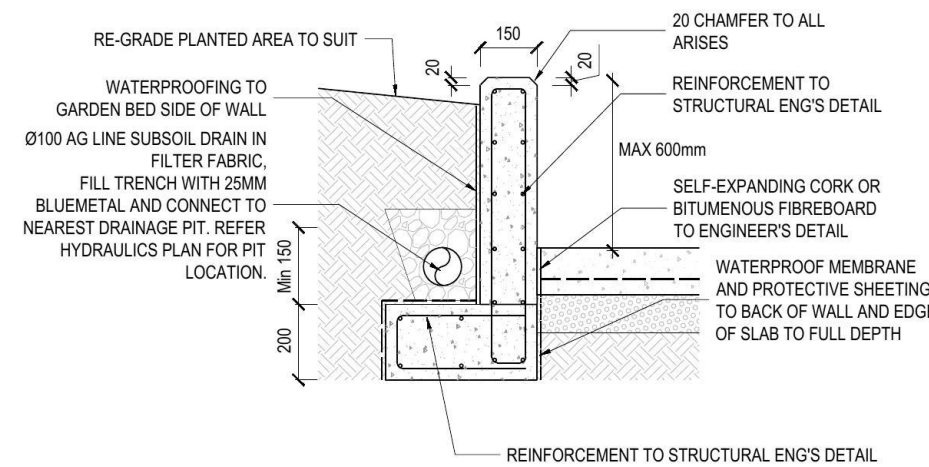
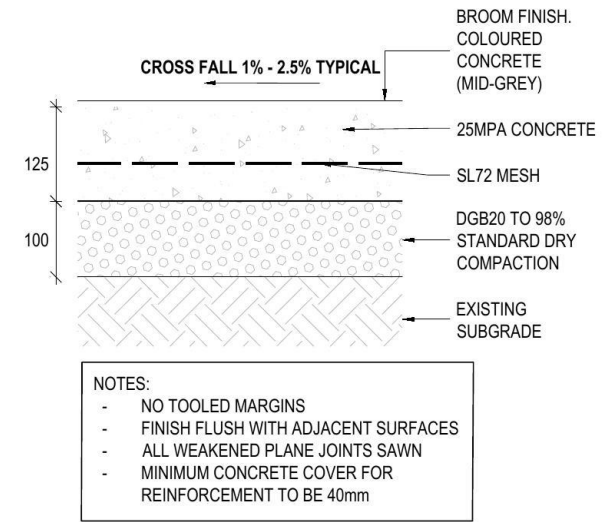
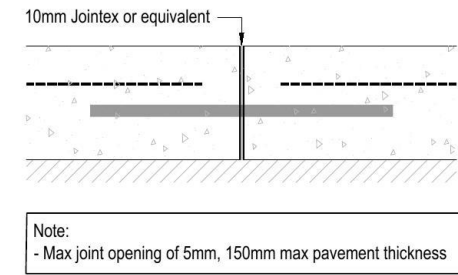
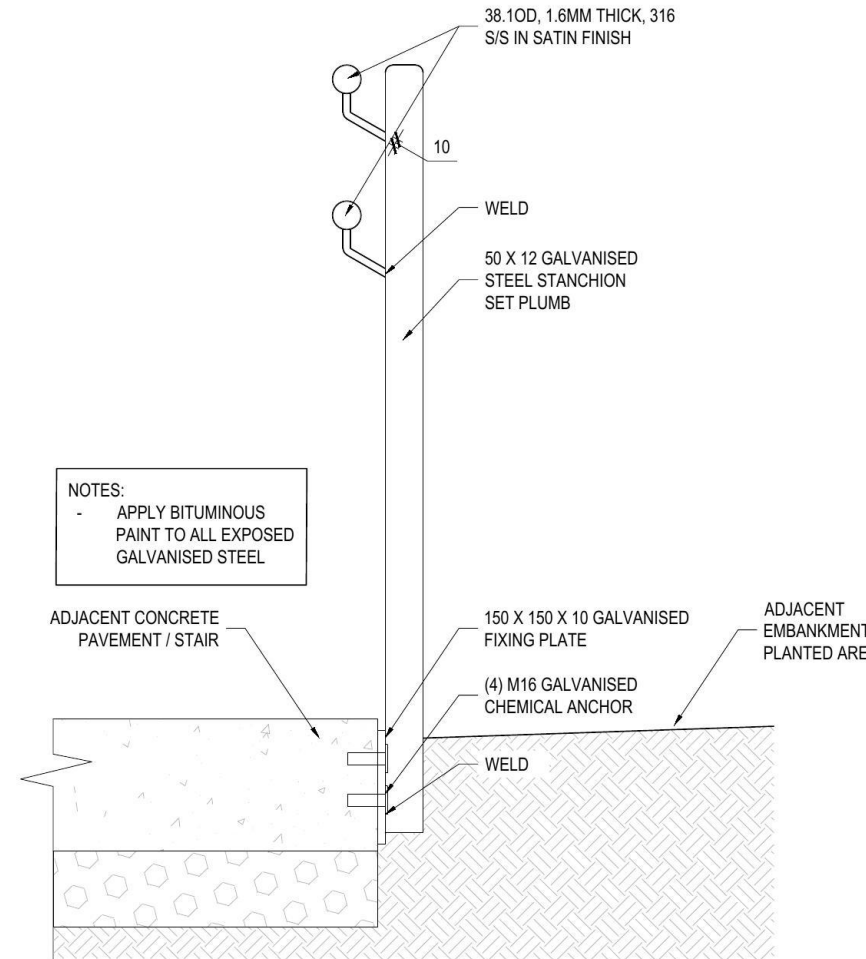
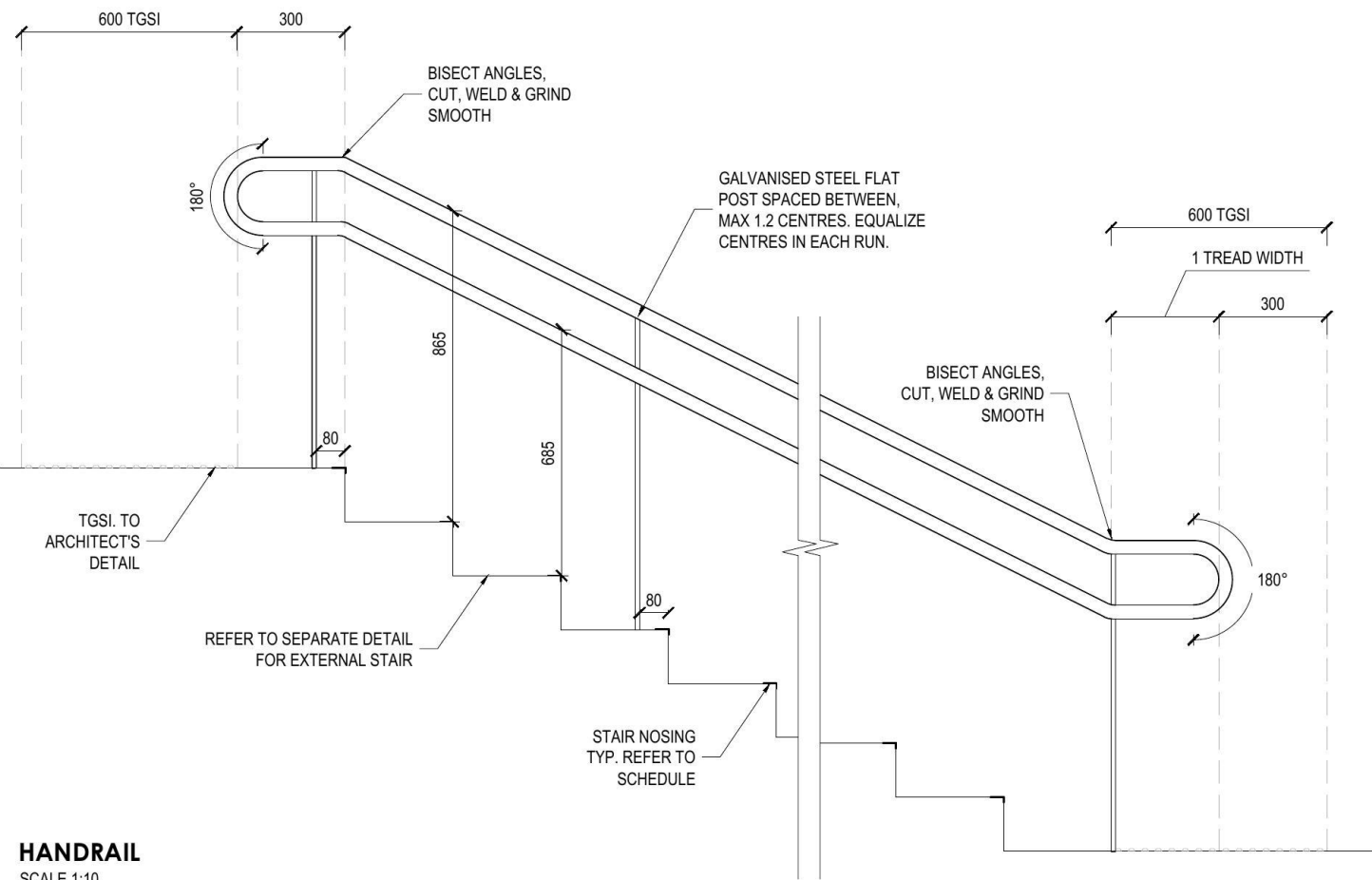
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Client and Job		Title	
Penrith City Council Strauss Road Childcare Centre		LANDSCAPE PLAN	
Drg. No.	2915-LS-001	Size	A1
Rev.	E		



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Client and Job

Title

Drg. No.

Penrith City Council
Strauss Road Childcare Centre

LANDSCAPE DETAILS

2915-LS-002

Size
A1

Rev
C

Documentation for Strauss Road Childcare Centre

ARCHITECTURAL DRAWING SCHEDULE

DRAWING No.	DESCRIPTION	REV
GE - 001	GENERAL COVERSHEET	B
GE - 002	GENERAL SPECIFICATION	B
GE - 003	GENERAL FINISHES + FIXTURES SCHEDULE	B
	STRAUSS ROAD CHILDCARE CENTRE	
STR - 001	STRAUSS ROAD - SITE PLAN + SCOPE OF WORKS	B
STR - 002	STRAUSS ROAD - EXTERNAL WORKS DEMOLITION	B
STR - 003	STRAUSS ROAD - GROUND FLOOR DEMOLITION	B
STR - 004	STRAUSS ROAD - GROUND FLOOR GENERAL ARRANGEMENT	B
STR - 005	STRAUSS ROAD - EXTERNAL WORKS	B
STR - 006	STRAUSS ROAD - REFLECTED CEILING PLAN	B
STR - 007	STRAUSS ROAD - ROOF PLAN	B
STR - 008	STRAUSS ROAD - EXTERNAL ELEVATIONS	B
LS - 001	STRAUSS ROAD - LANDSCAPE PLAN	D
LS - 002	STRAUSS ROAD - LANDSCAPE DETAILS	B

GENERAL ABBREVIATIONS

CL	Centre Line
COL.	Column
CONC.	Concrete
COS	Check on site
CT	Ceramic Tile
DOCS.	Documentation
ENG.	Engineer
EQ	Equal
EX.	Existing
SPEC.	Specification
SS	Stainless Steel
TAP	Tap



1:50 AT A1
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Title
GENERAL COVER SHEET

Drg. No. 2915 - GE - 001

Size A1
Rev B

No.	Revision - Revise on CAD do not amend by hand	Checked	Approved	Date	M/F/In	Status
B	Issue for Comment	JOS		05/09/19	-	
A	Issue for Comment	JOS		13/08/19	-	

ISSUE FOR CONSTRUCTION CERTIFICATE

General Requirements

Structural: If required, provide structures, installations and components to the AS 1170 series.
 General: The works include development of the design beyond that documented, as required.
 Design by contractor: If the contractor provides design, use only appropriately qualified persons and conform to all statutory requirements.
 Conflict with the documents: If it is believed that a conflict exists between statutory requirements and the documents, notify the contract administrator immediately and provide a recommendation to resolve the conflict.
 Use documents which are the editions, with amendments, current 3 months before the closing date for tenders, except where other editions or amendments are required by statutory authorities.
 The following abbreviations apply:
 - AS: Australian Standard.
 - BCA: National Construction Code Series Volume One: Building Code of Australia Class 2 to 9 Buildings and Volume Two: Building Code of Australia Class 1 and Class 10 Buildings.
 - WHS: Work Health and Safety.
 The following definitions apply:
 - Access for maintenance: Includes access for maintenance, inspection, measurement, operation, adjustment, repair, replacement and other maintenance related tasks.
 - Contract administrator: Has the same meaning as architect or superintendent and is the person appointed by the owner or principal under the contract.
 - Contractor: Has the same meaning as builder and is the person or organisation bound to carry out and complete the work under the contract.
 - Documented: Documented, as documented and similar terms mean contained in the contract documents.
 - Joints:
 . Control joint: An unreinforced joint between or within discrete elements of construction which allows for relative movement of the elements.
 . Expansion joint: A closing control joint with the joint surfaces separated by a compressible filler to allow axial movement due to thermal expansion or contraction with changes in temperature or creep. It may include unbound dowels to assist vertical deflection control.
 - Local (government) authority: A body established for the purposes of local government by or under a law applying in a state or territory.
 - Manufacturer's recommendations: Recommendations, instructions, requirements, specifications (and similar expressions) provided in written or other form by the manufacturer and/or supplier relating to the suitability, use, installation, storage and/or handling of a product.
 - Practical completion or defects free completion: The requirements for these stages of completion are defined in the relevant building contract for the project.
 - Principal: Principal has the same meaning as owner, client and proprietor and is the party to whom the contractor is legally bound to construct the works.
 - Proprietary: Identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number.
 - Provide: Provide and similar expressions mean supply and install and include development of the design beyond that documented.
 - Record drawings: Record drawings has the same meaning as as-installed drawings, as-built drawings and work-as-executed drawings.
 - Required: Required by the contract documents, the local council or statutory authorities.
 - If required: A conditional specification term for work which may be shown in the documents or is a legislative requirement.
 - Tolerance: The permitted difference between the upper limit and the lower limit of dimension, value or quantity.
 - Verification: Provision of evidence or proof that a performance requirement has been met or a default exists.
 General: Layouts of service lines, plant and equipment shown on the drawings are diagrammatic only, except where figured dimensions are provided or calculable.
 Before commencing work:
 - Obtain measurements and other necessary information.
 - Coordinate the design and installation in conjunction with all trades.
 If holes and chases are required in masonry walls, make sure structural integrity of the wall is maintained.

If a warranty is documented, name the principal as warrantee. Register with manufacturers as necessary. Retain copies delivered with components and equipment.
 Before the date for practical completion, clean throughout, including all exterior and interior surfaces except those totally and permanently concealed from view.

Demolition

Requirement: Carry out demolition, as documented.
 Demolition: To AS 2601.
 Evidence of compliance: Before commencing demolition, submit evidence of the following:
 - A permit to demolish has been obtained from the appropriate authority.
 - Certification that each person having access to the construction site has completed a WHS induction training procedure which is site-specific.
 Prepare a Hazardous substances management plan to AS 2601 clause 1.6. Any hazardous materials are to be removed in accordance with AS 2601 clause 1.6.2.
 Submit a work plan before demolition or stripping work.
 Submit the locations and evidence of compliance with the relevant authorities for the disposal of material required to be removed from the site.
 Dilapidation record: Submit a copy of the dilapidation record including photographs as required for each site before commencement of work. The dilapidation record will be used to assess the damage and rectification work arising out of demolition work.
 Give notice so that inspection may be made of the services before disconnection or diversion, contents of building before commencement of demolition and the site after removal of demolished materials.

If an external wall or roof is opened for alterations and additions, provide security against unauthorised entry to the building. Decommission, isolate, demolish and remove from the site all existing redundant equipment including associated components that become redundant as a result of the demolition.
 Clear away temporary supports at completion of demolition and repair any damage arising out of demolition work.

Metalwork - Fabricated

Provide metal fixtures, as documented.
 Submit shop drawings to a scale that best describes the detail. Submit names and contact details of proposed suppliers and installers.
 Provide non-galvanic corrosion fasteners.
 Fixing to stainless steel: Provide appropriate stainless steel materials only.
 Fabricate and pre-assemble items in the workshop wherever practicable.
 affected joint surfaces.

Ceramic Tiling

Provide tiling systems to walls, floors and other substrates as documented.
 - Set out with joints accurately aligned in both directions and wall tiling joints level and plumb.
 - Direct all water flowing from supply points to drainage outlets without leakage to the substrate or adjacent areas.
 Slip resistance classification: To AS 4586.
 Submit labelled samples of tiles illustrating the range of variation in colour and finish.
 Sample panels: Prepare a sample panel of each type of tiling system as follows:
 Cement based proprietary grout: Mix with water. Fine sand may be added as a filler in wider joints.
 Provide Epoxy grout to kitchen.
 Cutting: Cut tiles neatly to fit around fixtures and fittings and at margins where necessary. Drill holes without damaging tile faces. Cut recesses for fittings such as soap holders. Rub edges smooth without chipping.
 Laying: Return tiles into sills, reveals and openings. Butt up to returns, frames, fittings, and other finishes. Strike and point up beds where exposed. Remove tile spacers before grouting.
 Set out tiles to give uniform joint widths.
 Set out tiles from the centre of the floor or wall to be tiled.
 Grade floor tiling to even and correct falls to floor wastes and elsewhere as required. Make level junctions with walls. Where falls are not required, lay level.
 Fall, general: 1:100 minimum.
 Maintain finished floor level across changes of floor finish including carpet.
 Resilient Finishes
 Provide resilient floor finishes to substrates, as documented.
 Slip resistance classification: To AS 4586.
 Submit manufacturer's published use, care and maintenance requirements for each type of finish.
 Submit labelled 450mm x 450mm labelled samples of resilient finishes illustrating the range of colour, pattern or texture of the product.
 Submit the manufacturer and installer's warranty of the material, workmanship and application.
 Critical radiant flux: To BCA Spec C1.10 tested to AS ISO 9239.1.
 Adhesives to be to the resilient finishes manufacturer's recommendations.
 Use specialist installers recommended by the material manufacturers.
 Set out sheets to give the minimum number of joints. Run sheet joints parallel with the long sides of floor areas.
 Maintain finished floor level across changes of floor finish including carpet.
 After fixing, groove the seams using a grooving tool and weld the joints with matching filler rod, using a hot air welding gun. When the weld rod has cooled, trim off flush.
 Provide purpose-made matching moulded accessories for nosings, coves, skirtings, edge cover strips and finishes at junctions, margins, and angles, if available.
 Provide edge cover strips at junctions with different floor finishes and to exposed edges.
 Carry the flooring material up over a profiled coving section to form the skirting and mitre and weld all joints. Make sure the radius of the coving section conforms to the floor finish manufacturer's recommendations for sheeting material and thickness.

Painting

Provide coating systems to substrates, as documented.
 Store materials not in use in tightly covered containers in well-ventilated areas with temperatures maintained at the manufacturer's recommendations.
 Paint types: To AS/NZS 2311.
 Before painting, clean the area and protect it from dust contamination. Use drop sheets and masking agents to protect surfaces, including finished surfaces and adjacent finishes, during painting.
 Fixtures and furniture: Remove door furniture, switch plates, light fittings and other fixtures before painting.
 Prepare substrates to receive the painting systems to the paint manufacturer's recommendations.
 Fill cracks and holes with fillers, sealants, putties or grouting cements as appropriate for the finishing system and substrate, and sand smooth.
 If the paint application is by spraying, use conventional or airless equipment which conforms to the following:
 - Satisfactorily atomises paint being applied.
 - Does not require paint to be thinned beyond the maximum amount recommended by the manufacturer.
 - Does not introduce oil, water or other contaminants into the applied paint.
 Maintain door leaf in the open position during drying. Do not allow door hardware or accessories to damage the door finish during the drying process.
 Remove masking and protection coverings before paint has dried.
 On completion of painting, remove splatters by washing, scraping or other methods which do not scratch or damage adjacent finished surfaces.
 Repair, replace or refinish any damage, including works of other trades. Touch up new damaged decorative paintwork or misses only with the paint batch used in the original application.
 Except where one or two coat systems are documented, each paint system consists of at least 3 coats.

Investigations

Prior to commencement of work onsite, investigate the existing stormwater and sewage networks through the use of cameras and leak detection equipment.
 Provide a detailed condition report to the client for results and recommendations for potential remediation works.

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B	Issue for Comment	JOS		05/09/19	-
A	Issue for Comment	JOS		13/08/19	-

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Client and Job		Penrith City Council Strauss Road Childcare Centre	
Title		GENERAL SPECIFICATION NOTES	
Drg. No.	2915 - GE - 002	Size	A1
Rev			B

FINISHES + FIXTURES SCHEDULE

FLOORS

CT. FLOOR SURFACE – CERAMIC TILES OUTDOOR

Description	Ceramic Tile
Size	300x600 mm
Colour	TBC BY CLIENT
Setout	As shown on drawings
Grout	Cement based Grout – Black
Note	Provide colour match caulking to all corners Ensure correct slip rating in accordance with Australian Standard. Slip rating certificate to be submitted to PCC manager prior to ordering
Waterproofing	ARDEX WPM 001 one part acrylic modified fibre reinforced membrane installed in accordance with manufacturer's recommendations

CONC. CONCRETE STAIRS AND PATHWAYS

Description	Reinforced concrete slab
Thickness	Refer landscape documentation
Finish	Plain w/Coving Finish + Paint finish
Note	Ensure correct slip rating in accordance with Australian Standard

PAINTING SCHEDULES

WALLS CFC – NEW EXTERNAL CLADDING

System	Pre-painted by supplier
Colour	Dulux – Colorbond Monument
Notes	Pre-finished by supplier using manufacturer's coating system

WALLS EXISTING CLADDING

1 st coat	Dulux Wash & Wear Plus Low Sheen.
2 nd coat	Dulux Wash & Wear Plus Low Sheen.
Preparation	In accordance with manufacturer's printed specifications
Colour	Dulux – Colorbond Shale Grey

CONCRETE OUTDOOR PATHWAYS - CLEAR COAT

System	CCS Streetscape penetrating silane-siloxane sealer.
Preparation	In accordance with manufacturer's printed specifications
Colour	Clear

CONCRETE OUTDOOR SPACE 01 - COLOUR COAT

System	CCS Colour Master Sealer.
Preparation	In accordance with manufacturer's printed specifications
Colour	TBC BY CLIENT

ROOF FASICA, GUTTERS, DOWNPIPES

System	AcraTex Roof Membrane Satin
Preparation	In accordance with manufacturer's printed specifications
Colour	Dulux – Colorbond Monument

METAL AWNING ROOFS

System	AcraTex Roof Membrane Satin
Preparation	In accordance with manufacturer's printed specifications
Colour	Dulux – Colorbond Windspray

MISC. NEW WINDOW TRIMS

System	Paint: Dulux Aquanamel Semi Gloss. 3 coats. Apply primer, sealer or undercoat to suit substrate in accordance with manufacturer's recommendations.
Preparation	In accordance with manufacturer's printed specifications

Colour	Dulux – Colorbond Shale Grey
Notes	Generally coat all new work with one base coat and two top coats allowing for suitable preparation work and sanding between coats as required. Extend new paintwork into the nearest practical corners/junctions when blending into existing work. Ensure clean up carried out in a suitable location away from stormwater drains.

MISC. EXTERNAL COLUMNS, RAFTERS AND BEAMS

System	Paint: Dulux Aquanamel Semi Gloss. 3 coats. Apply primer, sealer or undercoat to suit substrate in accordance with manufacturer's recommendations.
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Preparation In accordance with manufacturer's printed specifications

Colour	Dulux – Colorbond Shale Grey
Notes	Generally coat all new work with one base coat and two top coats allowing for suitable preparation work and sanding between coats as required. Extend new paintwork into the nearest practical corners/junctions when blending into existing work. Ensure clean up carried out in a suitable location away from stormwater drains.

MISCELLANEOUS ITEMS

MISC. TACTILE GROUND SURFACE INDICATORS – REFER LANDSCAPE DOCS.

Manufacturer	Tactile Systems Australia or EQUAL
Description	300 x 300 x 40mm Concrete Tactile Paver
Finish	Yellow
Fixing	Recessed in concrete. Finished height in accordance with AS1428
Note	Tactile Ground Surface Indicators to achieve 30% luminance contrast to surrounding surfaces. Provide written evidence of luminance contrast prior to ordering product Slip resistance to be 'Class V'

MISC. STAIR NOSINGS – REFER LANDSCAPE DOCS.

Manufacturer	Tactile Systems Australia or EQUAL
Description	78mm with 10mm return Aluminium stair nosing. P5 aluminium oxide tape insert
Finish	Yellow
Fixing	Fixed to concrete stairs. Finished height in accordance with AS1428
Note	To achieve 30% luminance contrast to surrounding surfaces. Provide written evidence of luminance contrast prior to ordering product Slip resistance to be 'P5'

MISC. STAIR HANDRAIL – REFER LANDSCAPE DOCS.

Description	Fabricated Handrail
Size	38.01 OD 1.6mm Thick 316 SS Satin Finish Handrails. Provide SS handrail bracket pin between stanchion and handrail in accordance with AS1428 50 x 12 Galvanised steel stanchions edge fixed to slab.
Material	Galvanised and Stainless Steel
Fixing	Fixed to concrete stairs. Finished height in accordance with AS1428. Refer to drawings
Shop Drawings	Provide Shop Drawings
Note	To comply with NCC and AS1428 Balustrade system to be designed and certified by manufacturer

MISC. BOLLARDS – AS1428 COMPLIANT

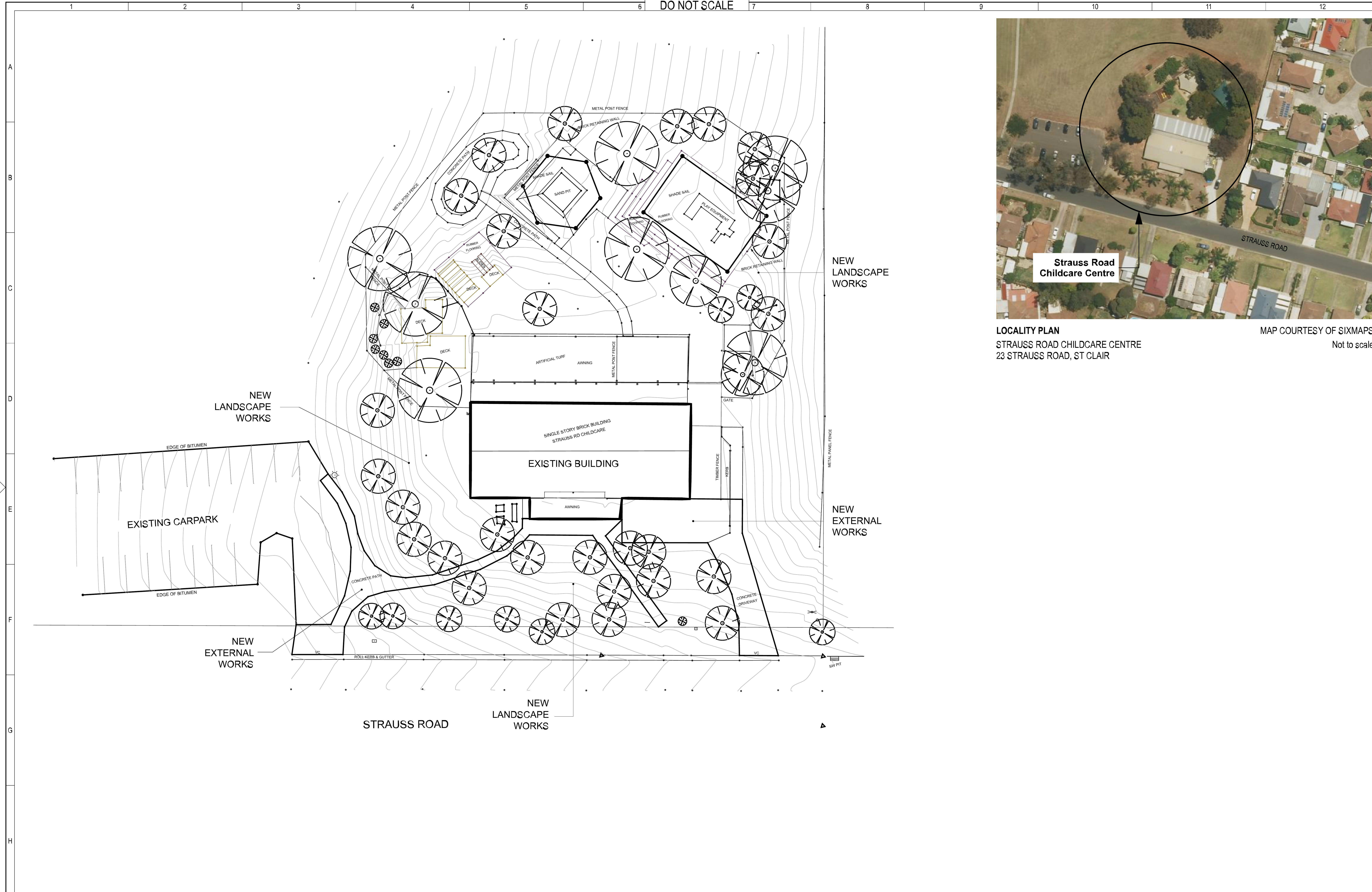
Description	Bollards to DDA Carpark
Notes	Type and specification to be provide by Council

MISC. 1200H FENCING + GATE – FRONT ENTRY

Manufacturer	Penrith Wrought Iron
Description	Black 1200H fencing to PCC details
Fixing	As per manufacturers details
Colour	To match existing
Notes	Provide pool latch and self closing hinges to AS2820. Gate to provide a min. 1m clear opening

A
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C
D
E
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H

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<p>B Issue for Comment JOS 05/09/19 -</p> <p>A Issue for Comment JOS 13/08/19 -</p>										<p>Title GENERAL FINISHES + FIXTURES SCHEDULE</p>							
<p>Revision - Revise on CAD do not amend by hand</p>				<p>Checked Approved Date M/Fim</p>		<p>ISSUE FOR CONSTRUCTION CERTIFICATE</p>						<p>Drg. No. 2915 - GE - 003</p>		<p>Size A1 Rev B</p>			



LOCALITY PLAN
 STRAUSS ROAD CHILDCARE CENTRE
 23 STRAUSS ROAD, ST CLAIR

MAP COURTESY OF SIXMAPS
 Not to scale

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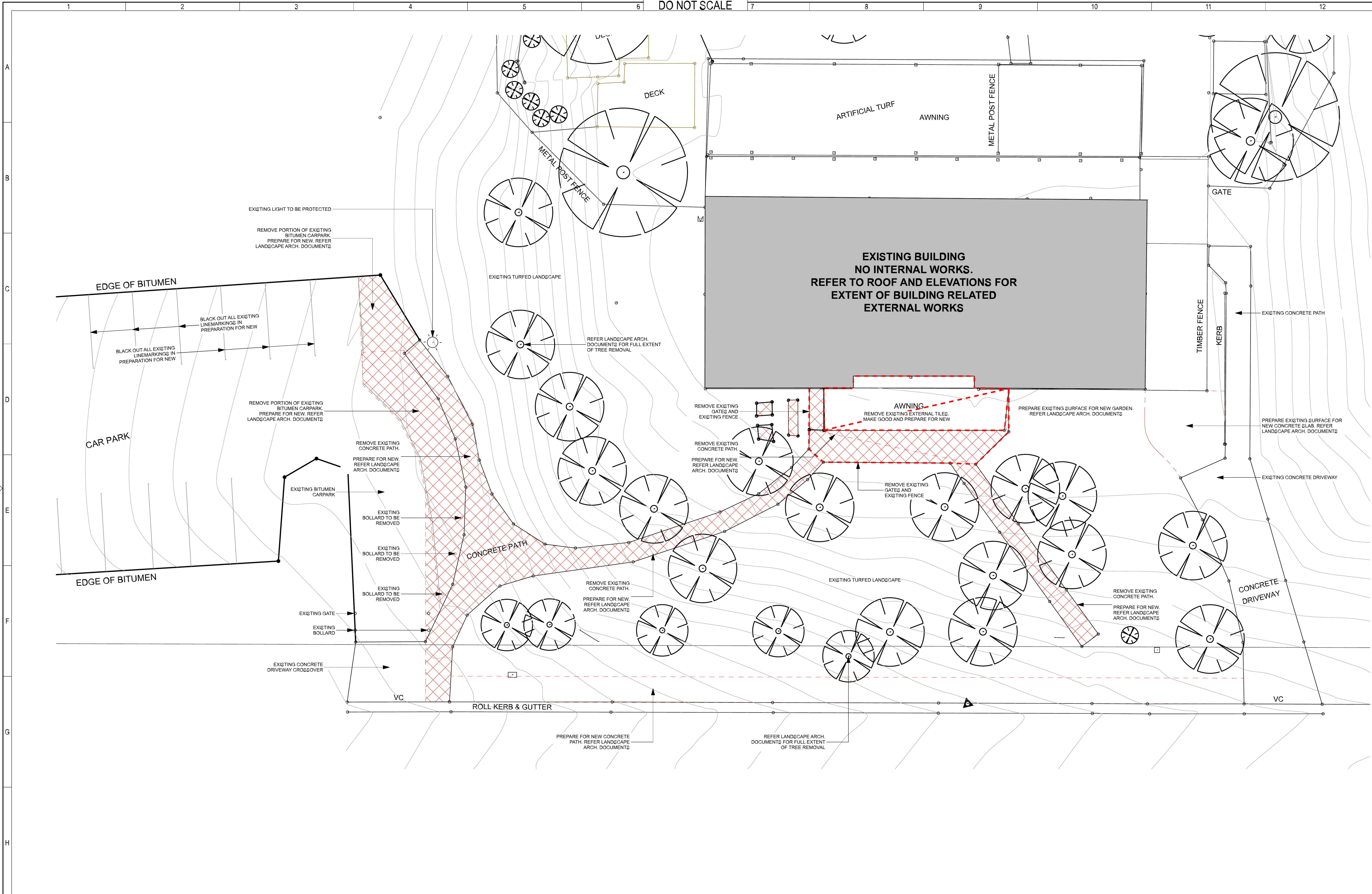
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Client and Job	Penrith City Council Strauss Road Childcare Centre
Title	STRAUSS ROAD - SITE PLAN + SCOPE OF WORKS
Drg. No.	2915 - STR - 001
Size	A1
Rev	B

DO NOT SCALE



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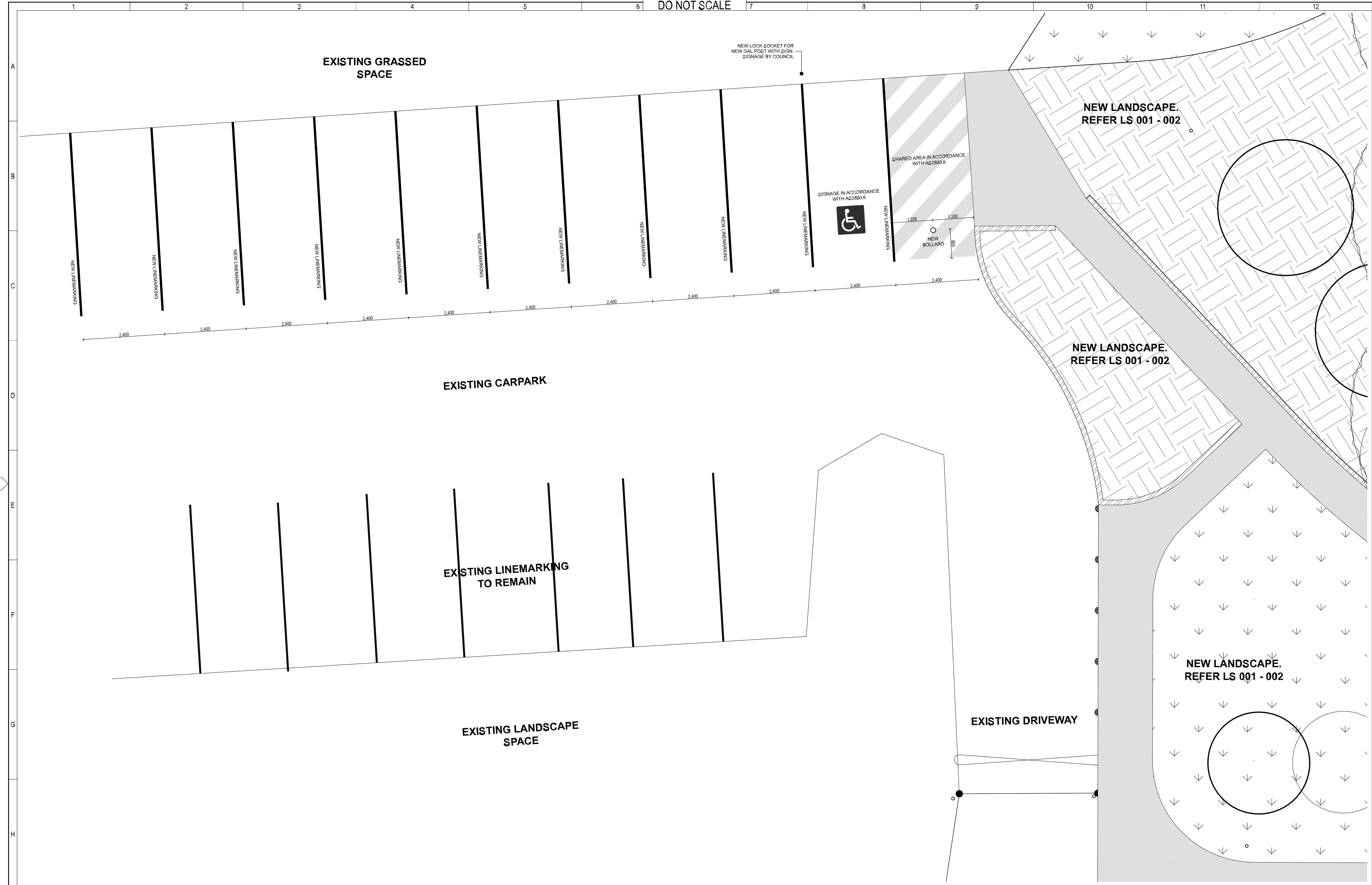
Client and Job
 Penrith City Council
 Strauss Road Childcare Centre

Title
 STRAUSS ROAD - EXTERNAL WORKS DEMOLITION

Drg. No. 2915 - STR - 002

Size A1
 Rev B

DO NOT SCALE



No.	Revision	Checked	Approved	Date	M/F/In	Status
B	Issue for Comment	JOS		05/09/19	-	
A	Issue for Comment	JOS		13/08/19	-	

Scale 0 1 2 1:50

A1 UNREDUCED

1:50 AT A1
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Client and Job
 Penrith City Council
 Strauss Road Childcare Centre

Title
 STRAUSS ROAD - EXTERNAL WORKS

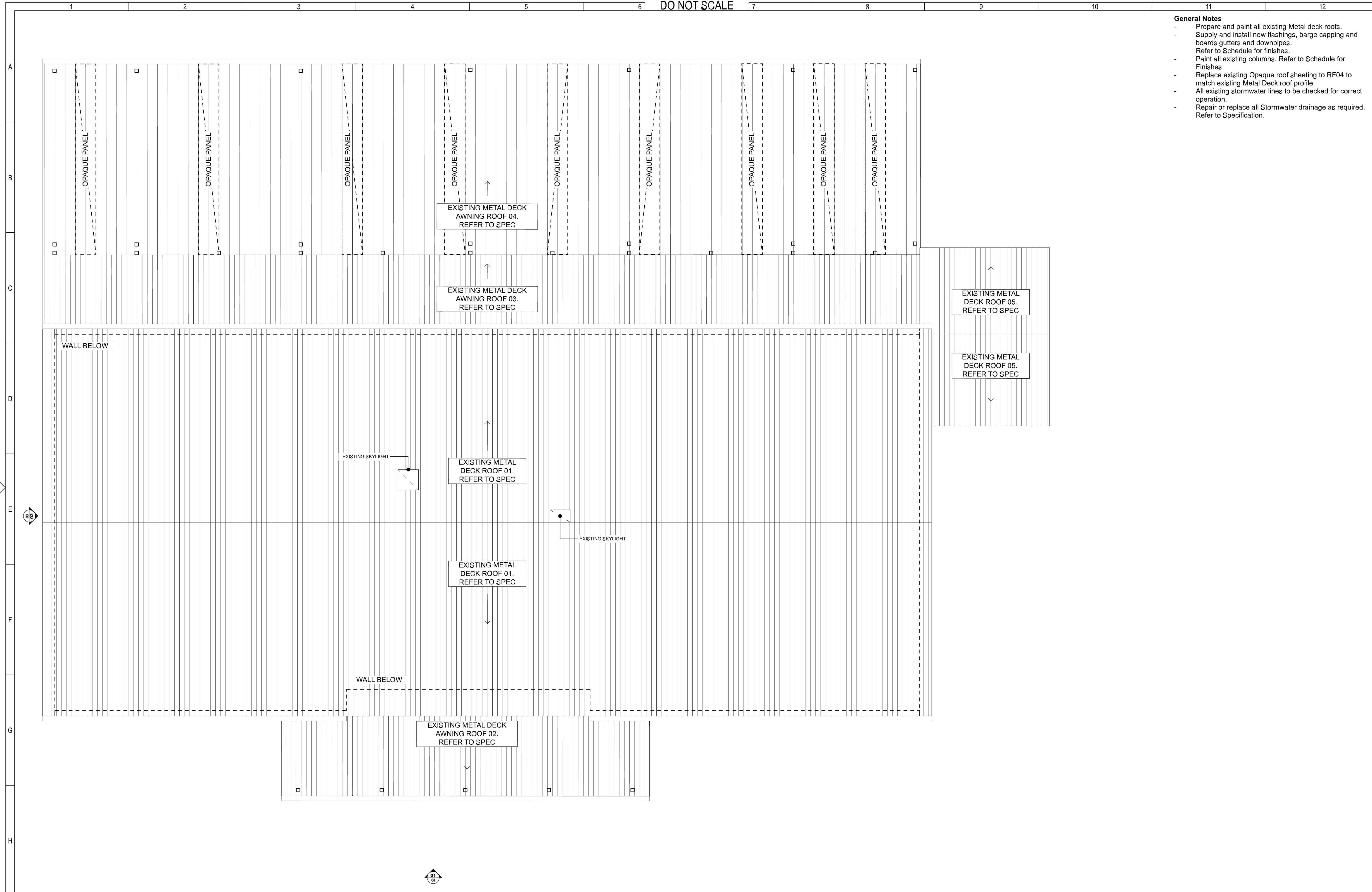
Drg. No. 2915 - STR - 005

Size A1
 Rev B

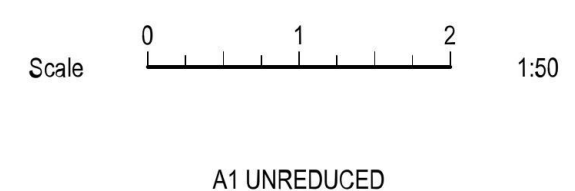
DO NOT SCALE

General Notes

- Prepare and paint all existing Metal deck roofs.
- Supply and install new flashings, barge capping and boards gutters and downpipes. Refer to Schedule for finishes.
- Paint all existing columns. Refer to Schedule for Finishes
- Replace existing Opaque roof sheeting to RF04 to match existing Metal Deck roof profile.
- All existing stormwater lines to be checked for correct operation.
- Repair or replace all Stormwater drainage as required. Refer to Specification.



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B	Issue for Comment	JOS		05/09/19	-	
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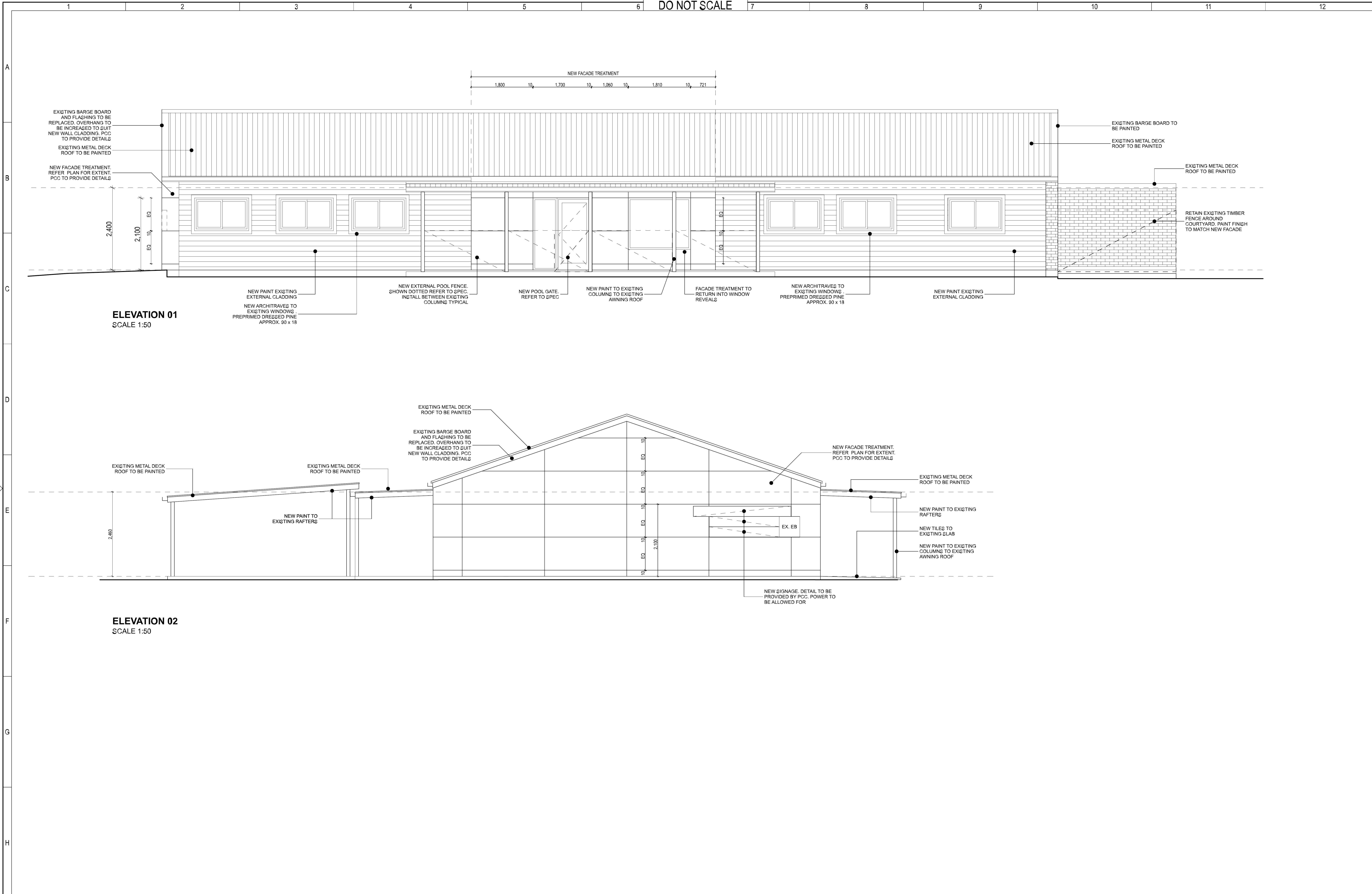
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Client and Job	Penrith City Council Strauss Road Childcare Centre
Title	STRAUSS ROAD - ROOF PLAN
Drg. No.	2915 - STR - 007
Size	A1
Rev	B

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Client and Job	Penrith City Council Strauss Road Childcare Centre
Title	STRAUSS ROAD - EXTERNAL ELEVATIONS
Drg. No.	2915 - STR - 008
Size	A1
Rev	B