

# 44 - 50 TENCH AVE JAMISONTOWN

## DEVELOPMENT APPLICATION

### ORANGE FIELDS - CAFE

- 00 COVER PAGE
- 01 EXISTING SITE PLAN
- 02 MASTER SITE PLAN
- 03 PROPOSED HOUSE DINING
- 04 PROPOSED PAVILIONS & KITCHEN
- 05 PROPOSED CO-OP PAVILION & SEATING PODS
- 06 PROPOSED PLAYGROUND
- 07 PROPOSED PARKING
- 08 PROPOSED LIVESTOCK ENCLOSURE
  
- 11 ROOF PLAN
  
- 21 ELEVATIONS PAGE 1
- 22 ELEVATIONS PAGE 2
- 23 ELEVATIONS PAGE 3
- 24 ELEVATIONS PAGE 4
- 25 ELEVATIONS PAGE 5
- 26 ELEVATIONS PAGE 6
- 27 ELEVATIONS PAGE 7
- 28 ELEVATIONS PAGE 8
- 29 ELEVATIONS PAGE 9
  
- 81 ARCHITECTURAL VISUALISATIONS
  
- 91 PROPOSED ARCHITECTURAL FINISHES



1 LOCATION PLAN  
SCALE 1:1750 @ A2



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PROJECT

ORANGE FIELDS

CLIENT MKT CAFE PTY LTD

ADDRESS 44-50 TENCH AVE  
JAMISONTOWN NSW











DRAWING NAME COVER PAGE

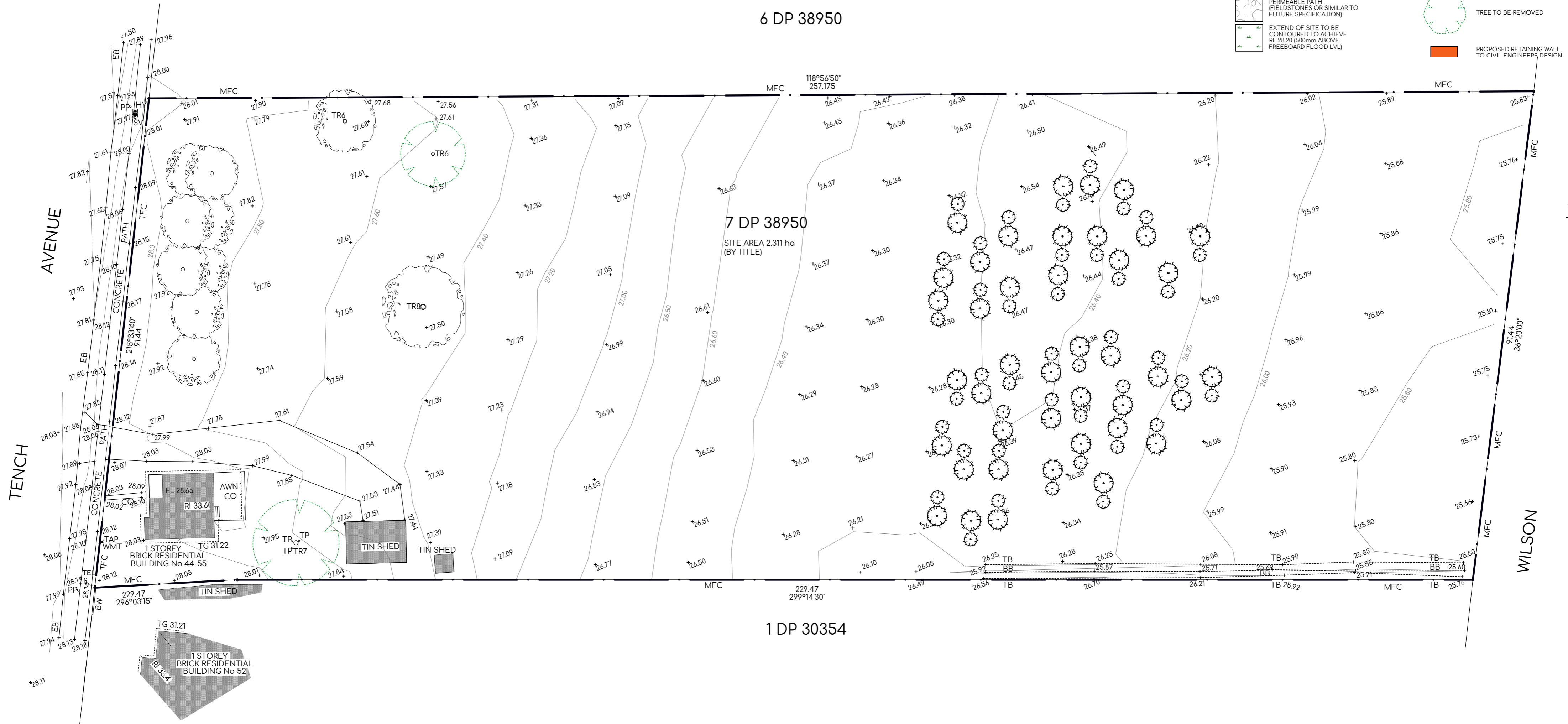
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DATE 27.09.19 DRAWN MW

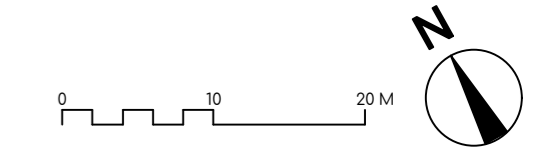
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LEGEND OF FINISHES

-  SEMI PERMEABLE GROUND COVERING (TO FUTURE SPECIFICATION)
-  ACCESSIBLE PAVED PATHWAY & PARKING (TO FUTURE SPECIFICATION)
-  COMPRESSED GRAVEL / ROAD BASE DRIVEWAY (TO FUTURE SPECIFICATION)
-  PERMEABLE PATH (FIELDSTONES OR SIMILAR TO FUTURE SPECIFICATION)
-  EXTEND OF SITE TO BE CONTOURED TO ACHIEVE RL 28.20 (500mm ABOVE FREEBOARD FLOOD LVL)
-  TREE TO BE RETAINED
-  ORANGE TREE LOCATION
-  RUSTIC LANDSCAPING (FEATHER GRASS OR SIMILAR TO FUTURE SPECIFICATION)
-  TREE TO BE REMOVED
-  PROPOSED RETAINING WALL TO CIVIL ENGINEERS DESIGN



1 SURVEY SITE PLAN  
SCALE 1:500 @ A2



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PROJECT  
**ORANGE FIELDS**

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DRAWING NAME	EXISTING SITE PLAN

SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>01</b>	ISSUE	<b>E</b>



**ACCESSIBLE CAR PARKING PAVEMENT SLOPE AND SURFACE - AS 2890.6 (2009), SECTION 2.3**  
 PARKING SPACES FOR PEOPLE WITH DISABILITIES AND RELATED WALKING AND WHEELCHAIR UNLOADING AREAS SHALL COMPREHEND A FIRM PLANE SURFACE WITH A FIRM NOT EXCEEDING 1 IN 40 (1.43 DEGREES APPROXIMATELY OR 2.5% GRADE) IN ANY DIRECTION (1 IN 33 (1.73 DEGREES) IF THE SURFACE IS A BITUMINOUS SEAL AND THE PARKING SPACE IS OUT OF DOORS). THESE AREAS SHALL HAVE A SLIP-RESISTANT SURFACE.











**SURFACE ABUTTING WALKWAY - AS 1428.1 (2009), CLAUSE 10.2**  
 THE FLOOR OR GROUND ABUTTING THE SIDES OF A WALKWAY SHALL PROVIDE A FIRM AND LEVEL SURFACE OF A DIFFERENT MATERIAL TO THAT OF THE WALKWAY, FOLLOW THE GRADE OF THE WALKWAY AND EXTEND HORIZONTALLY FOR A MINIMUM OF 600MM UNLESS ONE OF THE FOLLOWING IS PROVIDED:  
 - A KERB, OR  
 - A KERB RAIL AND HANDRAIL, OR  
 - A WALL NOT LESS THAN 450MM IN HEIGHT.

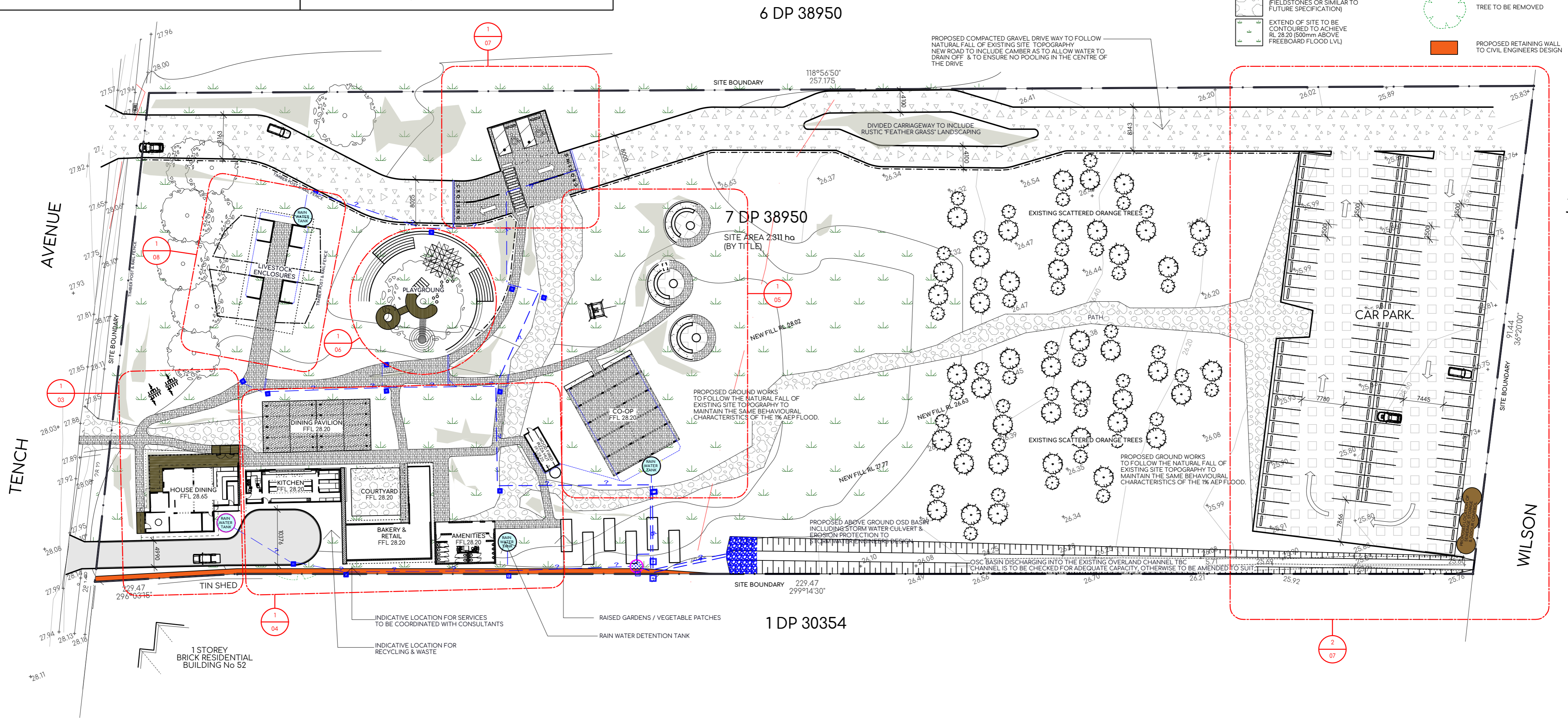
**KERB RAMPS - AS 1428.1 (2009), CLAUSE 10.7**  
 KERB RAMPS AT ROAD/PATH JUNCTION SHALL BE ALIGNED IN THE DIRECTION OF TRAVEL TO MEET THE REQUIREMENTS OF WITH AS 1428.1(2009), CLAUSE 10.7 AND FIGURES 23/24.  
 DURING SUBSEQUENT DETAILED DESIGN DEVELOPMENT STAGES PROVIDE A SURVEY SHOWING PROPOSED RLS FOR KERB RAMP

**WALKWAYS - AS 1428.1 (2009), CLAUSE 10**  
 WALKWAYS, RAMPS AND LANDINGS THAT ARE PROVIDED ON A CONTINUOUS ACCESSIBLE PATH OF TRAVEL SHALL MEET THE REQUIREMENTS OF AS 1428.1 (2009), CLAUSE 10.  
 ENSURE THE FINAL DESIGN COMPLIES WITH ALL ELEMENTS OF AS 1428.1 (2009), CLAUSE 10 INCLUDING BUT NOT LIMITED TO:  
 - WALKWAY GRADIENTS OF 1 IN 33, LANDINGS PROVIDED AT INTERVALS NO GREATER THAN 25M;  
 - WALKWAY GRADIENTS OF 1 IN 20, LANDINGS PROVIDED AT INTERVALS NO GREATER THAN 15M;  
 - WALKWAY GRADIENTS BETWEEN 1 IN 20 AND 1 IN 33, LANDINGS PROVIDED AT INTERVALS THAT SHALL BE OBTAINED BY LINEAR INTERPOLATION, FOR WALKWAYS SHALLOWER THAN 1 IN 33, NO LANDING ARE REQUIRED.

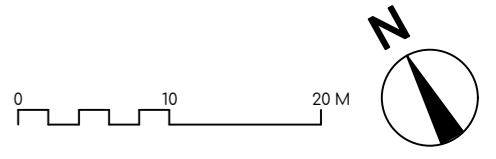
**GENERAL - EXTERNAL LINKAGES**  
 ENSURE A CONTINUOUS ACCESSIBLE PATH OF TRAVEL HAS BEEN PROVIDED TO ALL BUILDINGS REQUIRED TO BE ACCESSIBLE FROM:  
 - THE MAIN POINTS OF PEDESTRIAN ENTRY AT THE ALLOTMENT BOUNDARY AND  
 - FROM ANOTHER ACCESSIBLE BUILDING CONNECTED BY A PEDESTRIAN LINK, AND  
 - FROM ANY REQUIRED ACCESSIBLE CAR PARKING SPACE ON THE ALLOTMENT. (BCA CLAUSE D3.2)  
 DURING SUBSEQUENT DETAILED DESIGN DEVELOPMENT STAGES PROVIDE A SURVEY SHOWING PROPOSED RLS FOR ALL EXTERNAL LINKAGES WITHIN THE SITE BOUNDARY FOR A COMPREHENSIVE ASSESSMENT/DETAILED COORDINATION TO COMPLY WITH BCA D3.2

**LEGEND OF FINISHES**

-  SEMI PERMEABLE GROUND COVERING (TO FUTURE SPECIFICATION)
-  ACCESSIBLE PAVED PATHWAY & PARKING (TO FUTURE SPECIFICATION)
-  COMPRESSED GRAVEL / ROAD BASE DRIVEWAY (TO FUTURE SPECIFICATION)
-  PERMEABLE PATH (FIELDSTONES OR SIMILAR TO FUTURE SPECIFICATION)
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-  RUSTIC LANDSCAPING (FEATHER GRASS OR SIMILAR TO FUTURE SPECIFICATION)
-  TREE TO BE REMOVED
-  PROPOSED RETAINING WALL TO CIVIL ENGINEERS DESIGN



**1 SITE PLAN**  
 SCALE 1:500 @ A2



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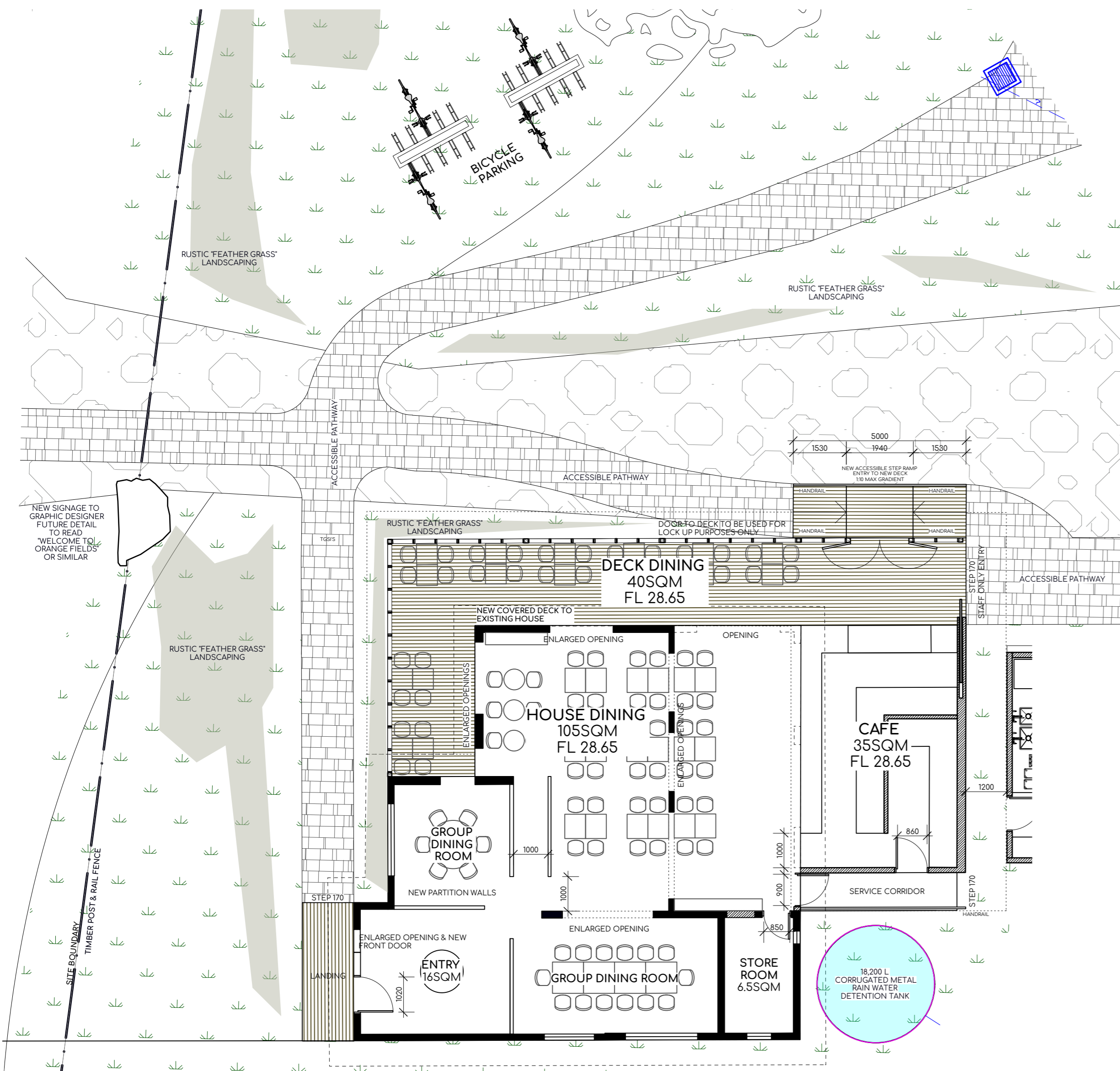
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**ORANGE FIELDS**

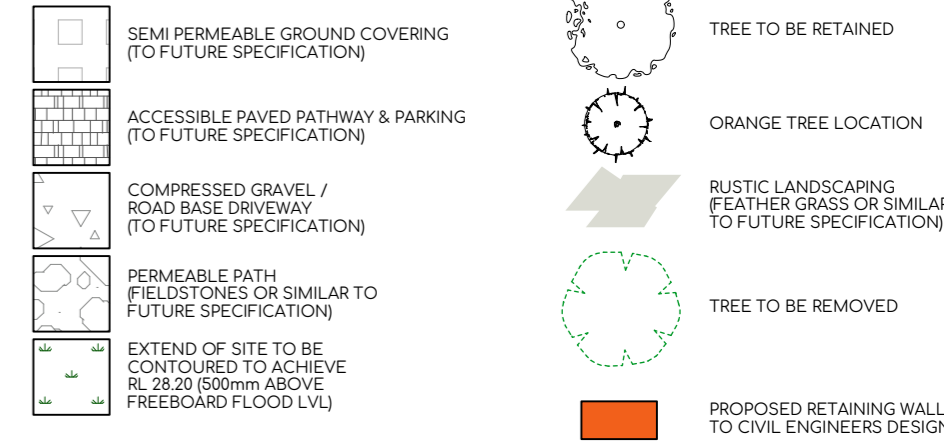
CLIENT	MKT CAFE PTY LTD
ADDRESS	44-50 TENCH AVE JAMISONTOWN NSW
DRAWING NAME	PROPOSED SITE PLAN

SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>02</b>	ISSUE	<b>E</b>





**LEGEND OF FINISHES**



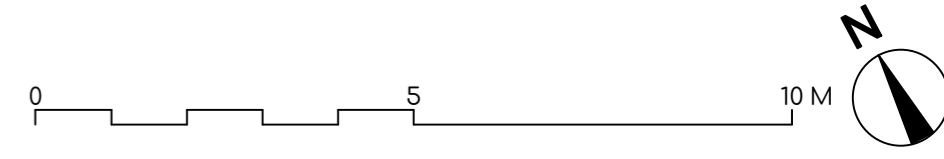
**STEP RAMPS - AS 1428.1 (2009), CLAUSE 10.6**  
 STEP RAMP SHALL MEET THE REQUIREMENTS OF AS1428.1 (2009), CLAUSE 10.6 INCLUDING:  
 - MAXIMUM RISE OF 190MM;  
 - A LENGTH NOT GREATER THAN 1900MM;  
 - A GRADIENT NOT STEEPER THAN 1:10;  
 - MINIMUM 1000MM UNOBSTRUCTED WIDTH;

**ACCESS TO BUILDINGS - D3.2 BCA(2019) (B)**  
 IN A BUILDING REQUIRED TO BE ACCESSIBLE, AN ACCESSWAY MUST BE PROVIDED THROUGH THE PRINCIPAL PEDESTRIAN ENTRANCE, AND (I) THROUGH NOT LESS THAN 50% OF ALL PEDESTRIAN ENTRANCE INCLUDING THE PRINCIPAL PEDESTRIAN ENTRANCE

DURING SUBSEQUENT DETAILED DESIGN DEVELOPMENT STAGES PROVIDE A SURVEY SHOWING PROPOSED RLS FOR ALL EXTERNAL LINKAGES WITHIN THE SITE BOUNDARY FOR A COMPREHENSIVE ASSESSMENT/DETAILED COORDINATION TO COMPLY WITH BCA D3.2

ALL CURVED PATHWAYS ARE REQUIRED TO BE MINIMUM 1500MM WIDE

**1** DETAIL PLAN  
 SCALE 1:100 @ A2



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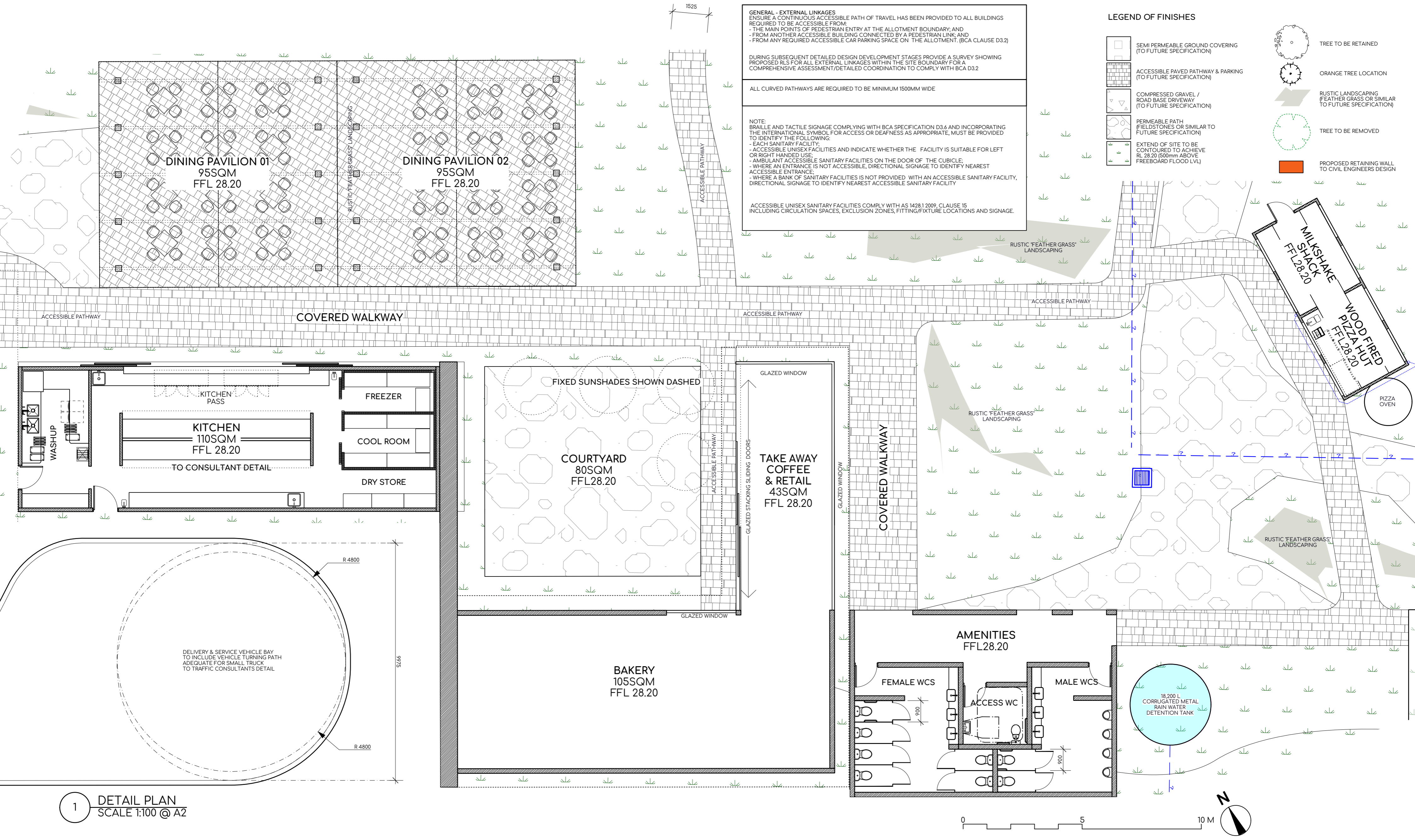
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**ORANGE FIELDS**

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DRAWING NAME	DETAIL PLAN HOUSE & T/A CANTEN

SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>03</b>	ISSUE	<b>E</b>





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 PROJECT  
**ORANGE FIELDS**

CLIENT: MKT CAFE PTY LTD  
 ADDRESS: 44-50 TENCH AVE JAMISONTOWN NSW  
 DRAWING NAME: DETAIL PLAN KITCHEN, PAVILIONS & AMENITIES

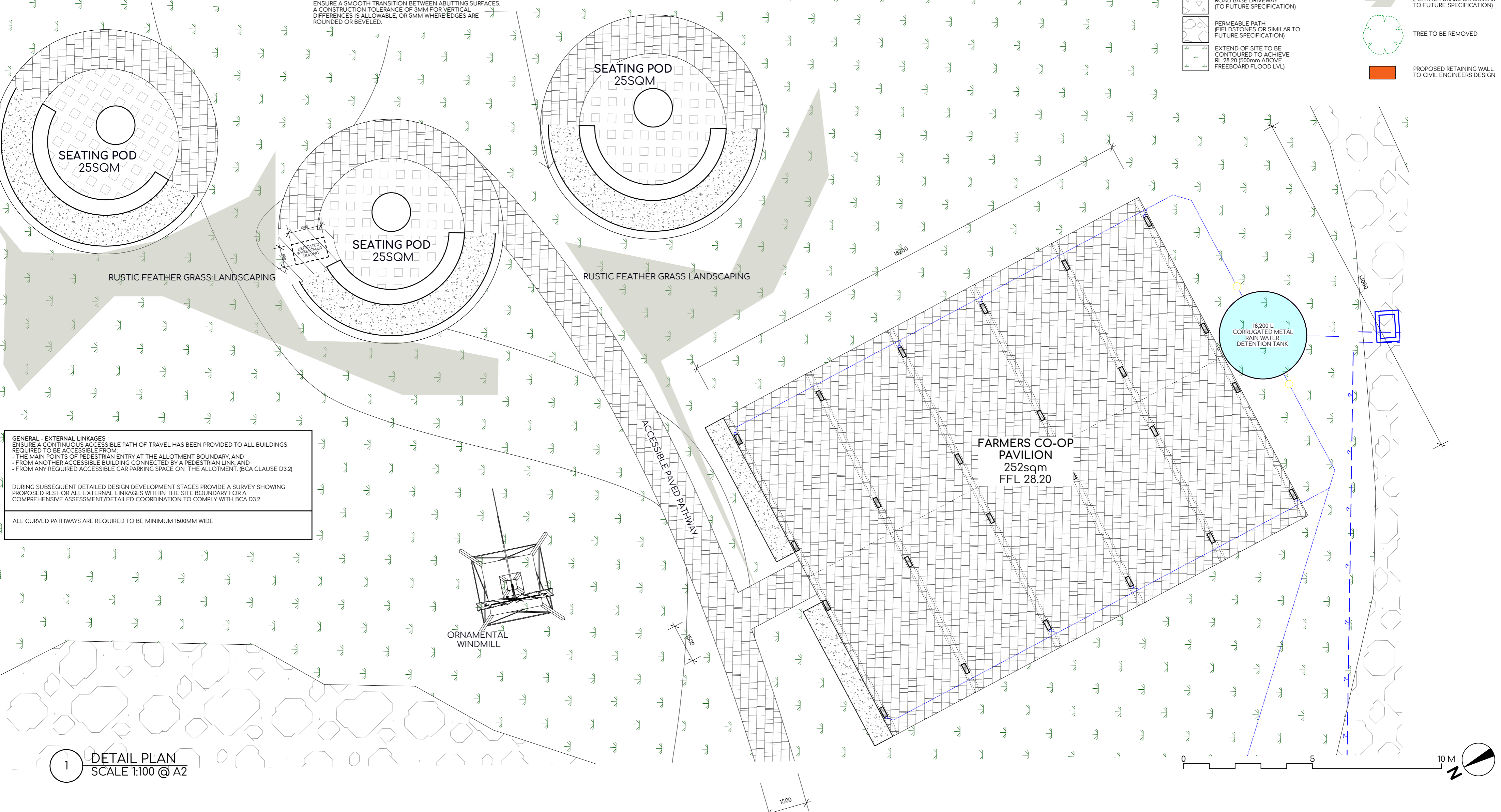
SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>04</b>	ISSUE	<b>E</b>



**LEGEND OF FINISHES**

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-  ACCESSIBLE PAVED PATHWAY & PARKING (TO FUTURE SPECIFICATION)
-  COMPRESSED GRAVEL / ROAD BASE DRIVEWAY (TO FUTURE SPECIFICATION)
-  PERMEABLE PATH (FIELDSTONES OR SIMILAR TO FUTURE SPECIFICATION)
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ENSURE A SMOOTH TRANSITION BETWEEN ABUTTING SURFACES. A CONSTRUCTION TOLERANCE OF 3MM FOR VERTICAL DIFFERENCES IS ALLOWABLE, OR 5MM WHERE EDGES ARE ROUNDED OR BEVELED.



**GENERAL - EXTERNAL LINKAGES**  
 ENSURE A CONTINUOUS ACCESSIBLE PATH OF TRAVEL HAS BEEN PROVIDED TO ALL BUILDINGS REQUIRED TO BE ACCESSIBLE FROM:  
 - THE MAIN POINTS OF PEDESTRIAN ENTRY AT THE ALLOTMENT BOUNDARY; AND  
 - FROM ANOTHER ACCESSIBLE BUILDING CONNECTED BY A PEDESTRIAN LINK; AND  
 - FROM ANY REQUIRED ACCESSIBLE CAR PARKING SPACE ON THE ALLOTMENT. (BCA CLAUSE D3.2)

DURING SUBSEQUENT DETAILED DESIGN DEVELOPMENT STAGES PROVIDE A SURVEY SHOWING PROPOSED RLS FOR ALL EXTERNAL LINKAGES WITHIN THE SITE BOUNDARY FOR A COMPREHENSIVE ASSESSMENT/DETAILED COORDINATION TO COMPLY WITH BCA D3.2

ALL CURVED PATHWAYS ARE REQUIRED TO BE MINIMUM 1500MM WIDE

**1** DETAIL PLAN  
 SCALE 1:100 @ A2



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<p><b>PHILIP CHUN</b>                  ACCESS CONSULTANT                  PHILIP CHUN ACCESSIBILITY                  LUCY ALDERSON - 02 9412 2322                  lucy.alderson@philipchun.com                  Document Set ID: 8968990</p>	<p><b>B</b>                  KITCHEN CONSULTANT                  ROB LECHOWICZ 0423 015 067                  rob_lichowicz@live.com</p>	<p><b>SLR</b>                  EFFLUENT                  SLR CONSULTING                  PETER CUPITT 02 4037 3200                  pcupitt@slrconsulting.com</p>	<p><b>MBR</b>                  STORM WATER CONSULTANT                  MBR CONSULTANTS                  MICHAEL BOU RADA 0459 117 674                  michael@mbrconsulting.com.au</p>	<p><b>SOLID</b>                  KILLINGMATTWOODS.COM                  +61 421 848 462</p>

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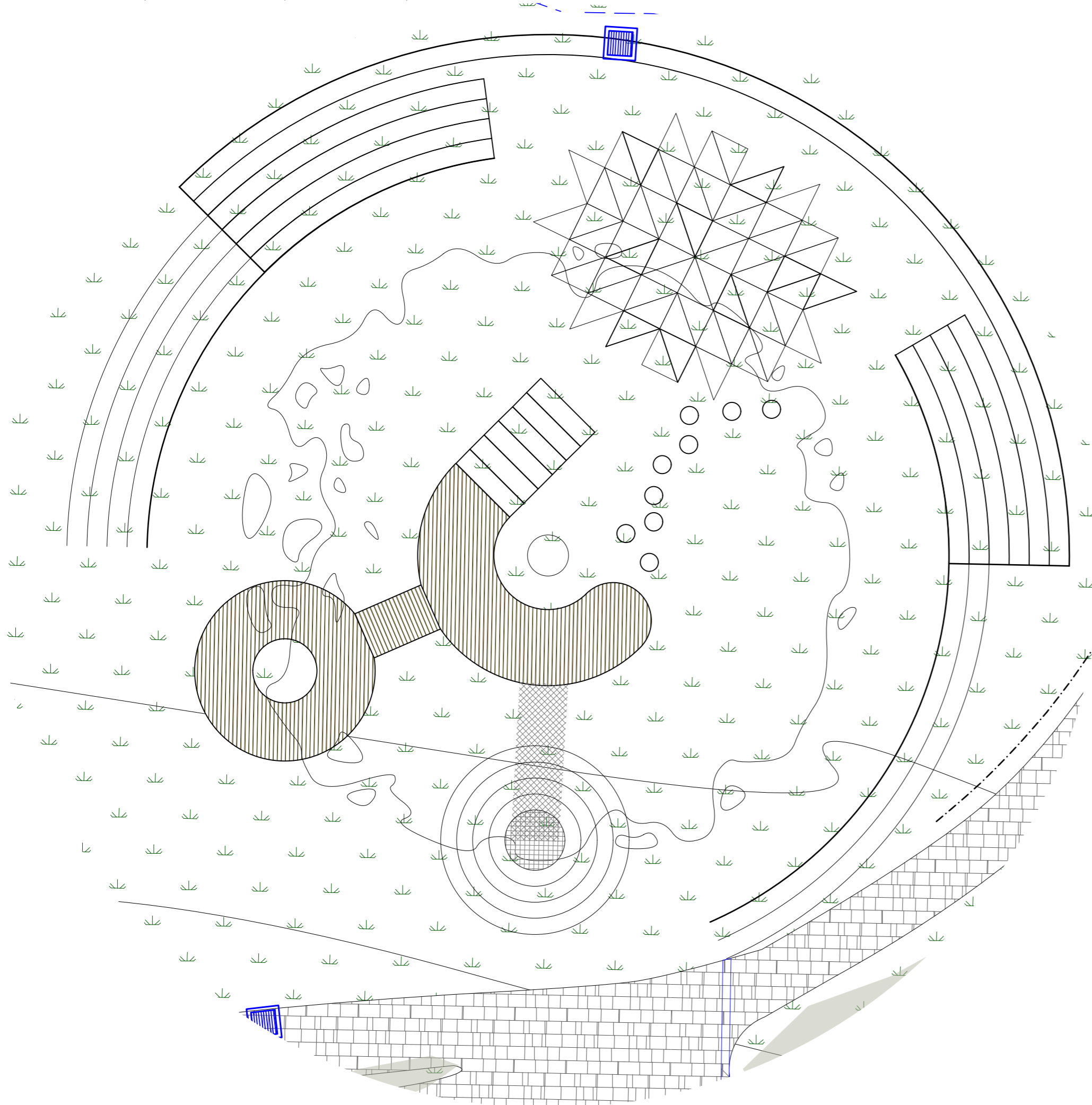
PROJECT  
**ORANGE FIELDS**

CLIENT	MKT CAFE PTY LTD
ADDRESS	44-50 TENCH AVE JAMISONTOWN NSW
DRAWING NAME	DETAIL PLAN BARN & SEATING PODS

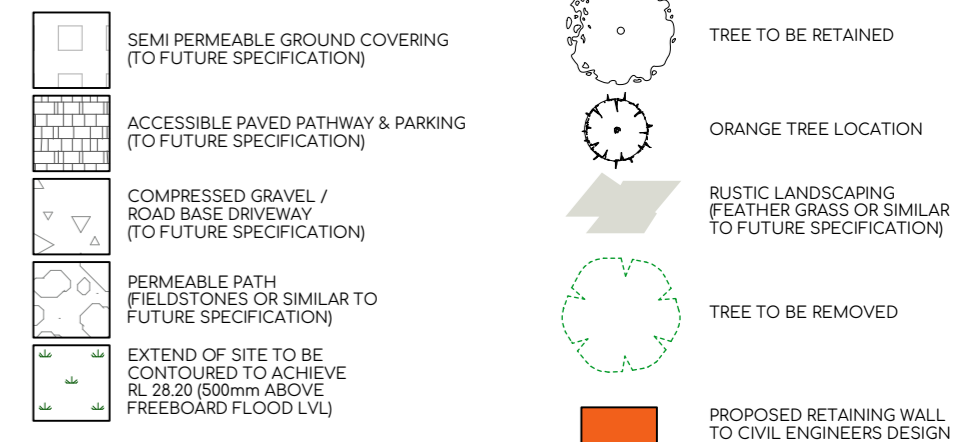
SCALE	SHOWN@A2	JOB NO.	0461
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PLAYGROUND DESIGN TO FUTURE DETAIL  
 TO BE DESIGNED IN ACCORDANCE WITH  
 AS 4685.0:2017, PLAYGROUND EQUIPMENT AND SURFACING  
 PART 0: DEVELOPMENT, INSTALLATION, INSPECTION, MAINTENANCE AND OPERATION



LEGEND OF FINISHES



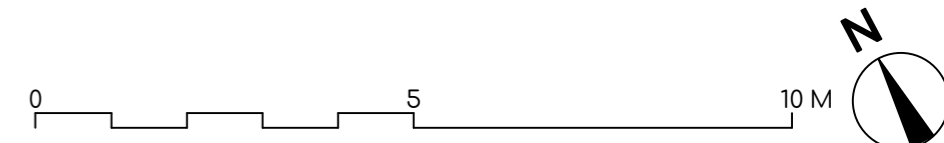
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 CLAUSE 10 INCLUDING BUT NOT LIMITED TO:  
 - WALKWAY GRADIENTS OF 1 IN 33, LANDINGS PROVIDED AT INTERVALS NO GREATER THAN 25M;  
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 - WALKWAY GRADIENTS BETWEEN 1 IN 20 AND 1 IN 33, LANDINGS PROVIDED AT INTERVALS THAT SHALL BE OBTAINED BY LINEAR INTERPOLATION; FOR WALKWAYS SHALLOWER THAN 1 IN 33, NO LANDING ARE REQUIRED.

1 DETAIL PLAN  
 SCALE 1:100 @ A2



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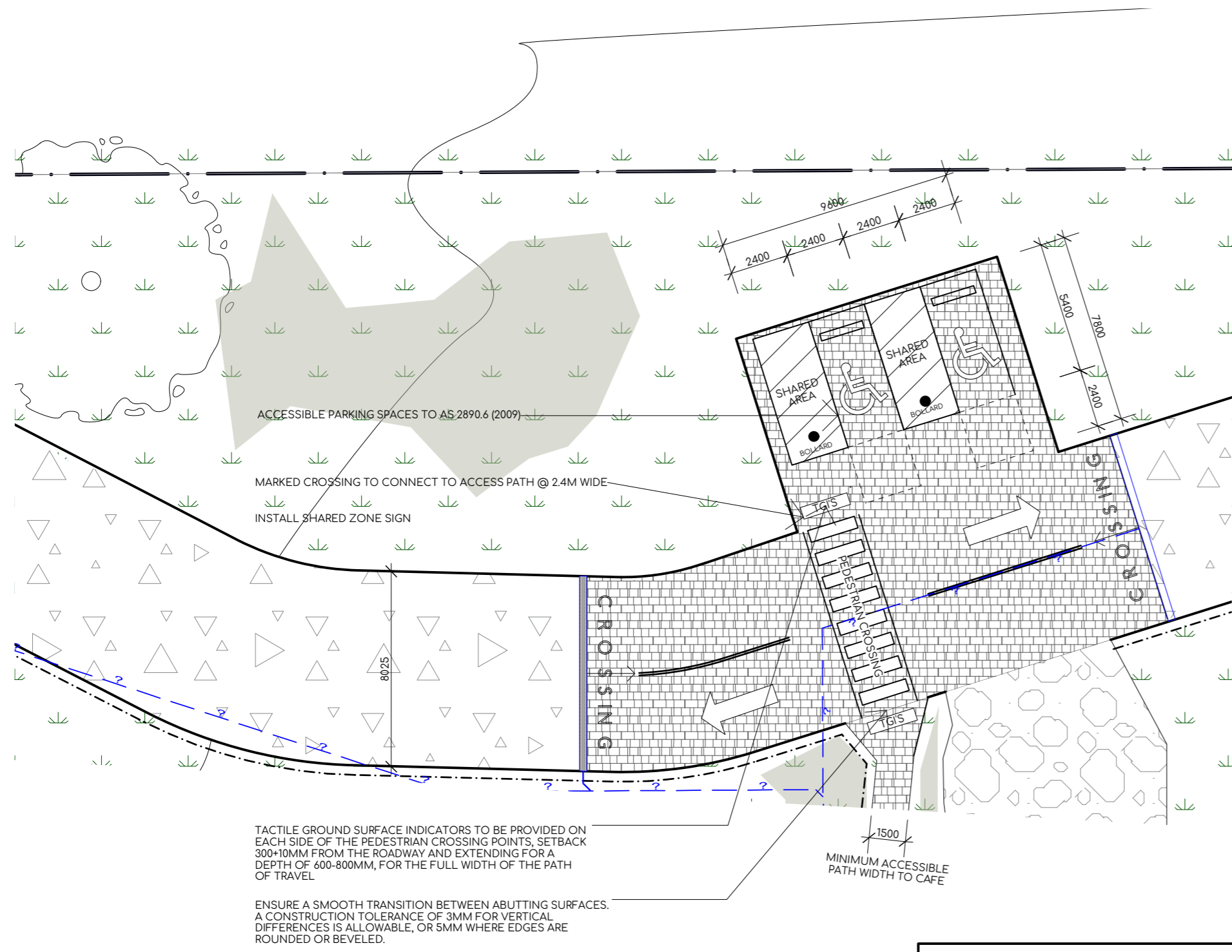
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DRAWING NAME	DETAIL PLAN PLAYGROUND

SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	06	ISSUE	E



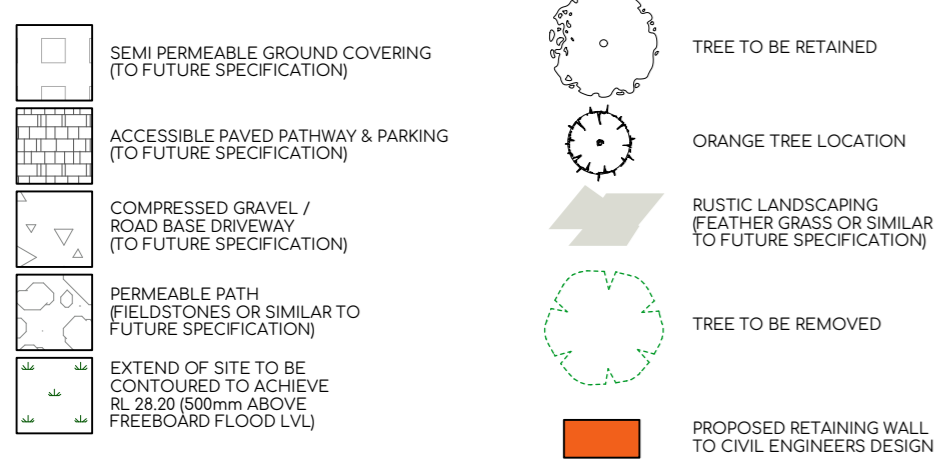


1 DETAIL PLAN  
SCALE 1:200 @ A2

TOTAL CAR SPACES - 109  
ACCESSIBLE CAR SPACES - 2  
STANDARD CAR SPACES - 107

**PARKING METHODOLOGY**  
1 SPACE PER STAFF MEMBER = 20 SPACES  
PLUS 1 SPACE FOR EVERY 6M2 OF SEATING AREA - TOTAL 410 = 69 SPACES  
(HOUSE DINING 105SQM  
DECK DINING 40SQM  
PAVILION DINING 190SQM  
SEATING PODS 75SQM)

LEGEND OF FINISHES



ACCESSIBLE CAR PARKING TO AS 2890.6 (2009) & FINAL DESIGN TO INCLUDE BUT NOT LIMITED TO:

- MINIMUM DIMENSIONS OF DEDICATED AND SHARED AREA;
- PAVEMENT SLOPE AND SURFACE;
- KERB RAMPS WHERE REQUIRED;
- BOLLARD INSTALLATION;
- HEAD ROOM;
- SPACE IDENTIFICATION;
- SPACE DELINEATION.

BOLLARD BE A HEIGHT OF 1300MM TO ENSURE REVERSING DRIVERS CAN SEE THE BOLLARD ABOVE THE REAR OF THEIR VEHICLE (AS 2890.6 (2009), CLAUSE 2.2.1(D)). BOLLARD FINISH WITH A LUMINANCE CONTRAST OF MINIMUM 30% AGAINST THE BACKGROUND SURFACE TO WHICH IT IS VIEWED (I.E. CAR PARK FLOOR SURFACE).

ACCESSIBLE CAR PARKING SPACE DELINEATION - AS 2890.6 (2009), SECTION 3.2

PAVEMENT MARKINGS SPECIFIED SHALL BE YELLOW AND SHALL HAVE A SLIP RESISTANT SURFACE. RAISED PAVEMENT MARKERS SHALL NOT BE USED FOR SPACE DELINEATION.

PAVEMENT MARKINGS SHALL BE PROVIDED AS FOLLOWS:

(A) DEDICATED PARKING SPACES SHALL BE OUTLINED WITH UNBROKEN LINES 80-100MM WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATION BY A KERB, BARRIER OR WALL;

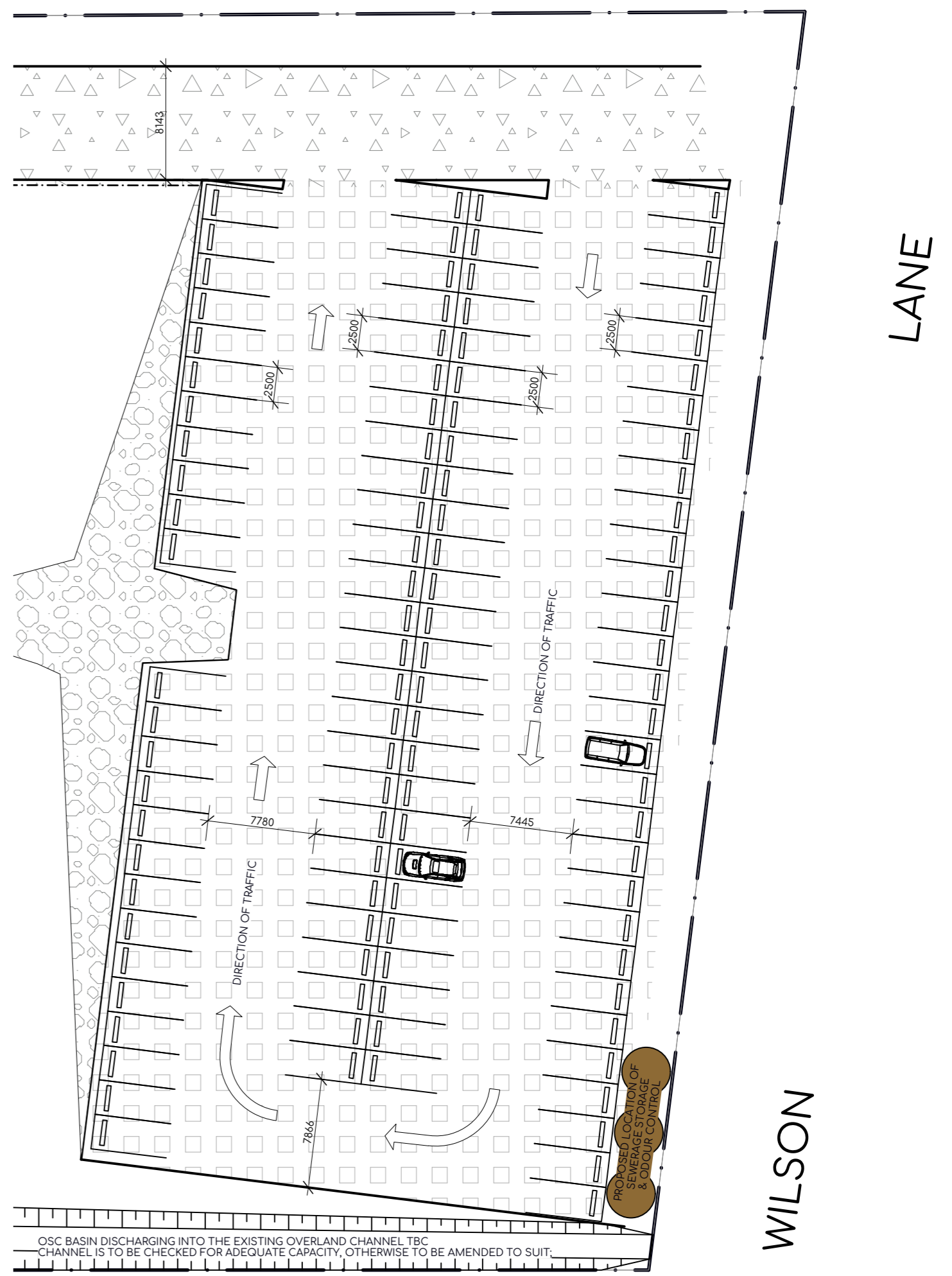
(B) SHARED AREAS SHALL BE MARKED AS FOLLOWS:

(i) WALKWAYS WITHIN OR PARTLY WITHIN A SHARED AREA SHALL BE MARKED WITH UNBROKEN LONGITUDINAL LINES ON BOTH SIDES OF THE WALKWAY EXCEPTING ANY SIDE DELINEATION BY KERB, BARRIER OR WALL;

(ii) OTHER VACANT NON-TRAFFICKED AREAS, WHICH MAY BE INTENTIONALLY OR UNINTENTIONALLY OBSTRUCTED (E.G. BY UNINTENDED PARKING), SHALL BE OUTLINED WITH UNBROKEN LINES 80-100MM WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATION BY A KERB, BARRIER OR WALL, AND MARKED WITH DIAGONAL STRIPES 150-200MM WIDE WITH PAGES OF 200MM-300MM BETWEEN STRIPES. THE STRIPES SHALL BE AT AN ANGLE OF 45 +/- 10 DEGREES TO THE SIDE OF THE SPACE.

(iii) NO SHARED AREA MARKINGS SHALL BE PLACED IN TRAFFICKED AREAS.

KERB RAMPS - AS 1428.1 (2009), CLAUSE 10.7  
KERB RAMPS AT ROAD/PATH JUNCTION SHALL BE ALIGNED IN THE DIRECTION OF TRAVEL TO MEET THE REQUIREMENTS OF WITH AS 1428.1(2009), CLAUSE 10.7 AND FIGURES 23/24.  
DURING SUBSEQUENT DETAILED DESIGN DEVELOPMENT STAGES PROVIDE A SURVEY SHOWING PROPOSED RLS FOR KERB RAMP



107 CAR, CAR PARK TO BE CHECKED IF COMPLIANT WITH GRADES 7 EXISTING SITE TOPOGRAPHY AMENDED TO SUIT AS PER ADVICE FORM STORM WATER & TRAFFIC CONSULTANT

2 DETAIL PLAN  
SCALE 1:350 @ A2

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DRAWING NAME	DETAIL PLAN PARKING

SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	07	ISSUE	E

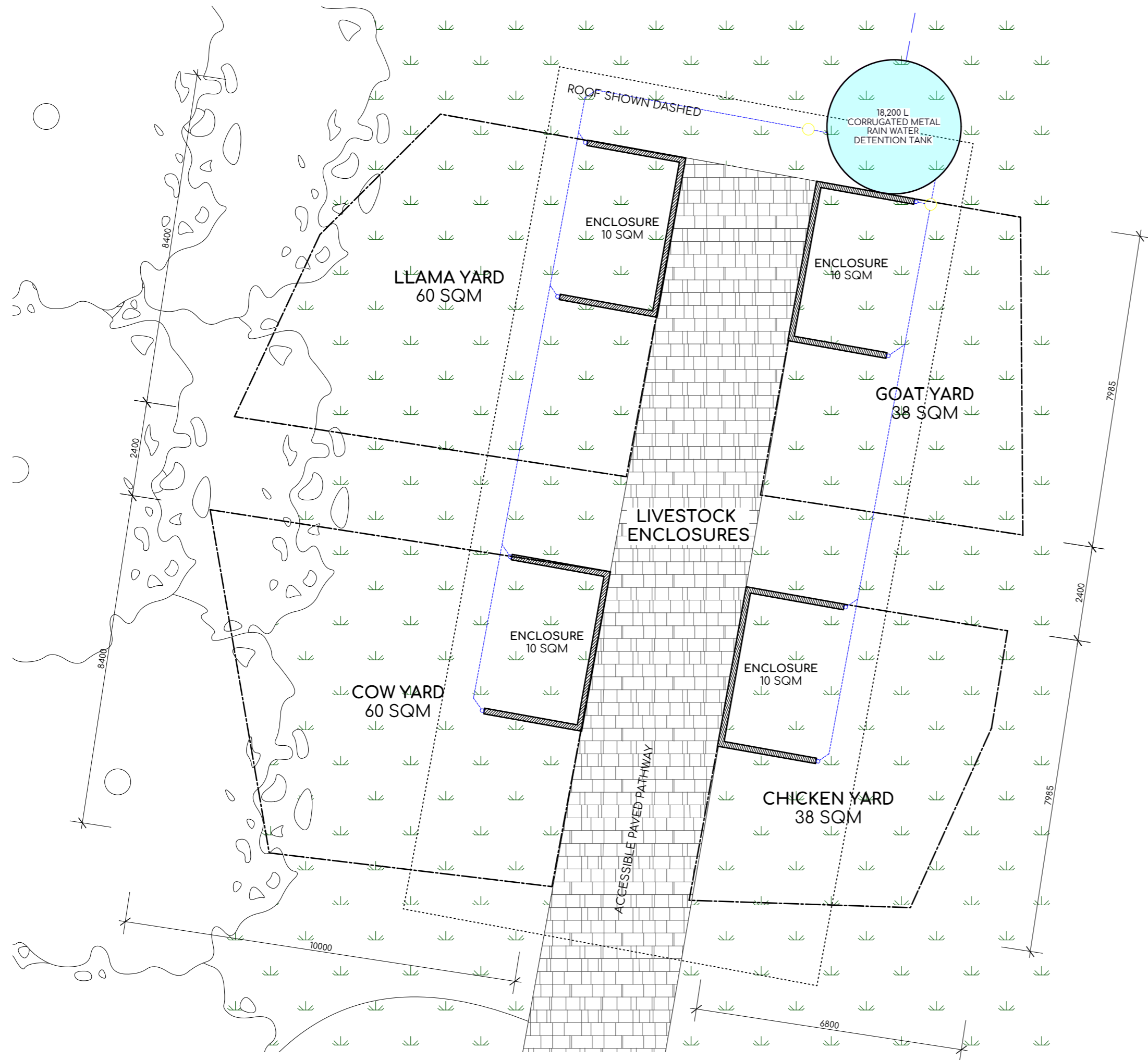


LEGEND OF FINISHES

-  SEMI PERMEABLE GROUND COVERING (TO FUTURE SPECIFICATION)
-  ACCESSIBLE PAVED PATHWAY & PARKING (TO FUTURE SPECIFICATION)
-  COMPRESSED GRAVEL / ROAD BASE DRIVEWAY (TO FUTURE SPECIFICATION)
-  PERMEABLE PATH (FIELDSTONES OR SIMILAR TO FUTURE SPECIFICATION)
-  EXTEND OF SITE TO BE CONTOURED TO ACHIEVE RL 28.20 (500mm ABOVE FREEBOARD FLOOD LVL)
-  TREE TO BE RETAINED
-  ORANGE TREE LOCATION
-  RUSTIC LANDSCAPING (FEATHER GRASS OR SIMILAR TO FUTURE SPECIFICATION)
-  TREE TO BE REMOVED
-  PROPOSED RETAINING WALL TO CIVIL ENGINEERS DESIGN

GENERAL - EXTERNAL LINKAGES  
 ENSURE A CONTINUOUS ACCESSIBLE PATH OF TRAVEL HAS BEEN PROVIDED TO ALL BUILDINGS REQUIRED TO BE ACCESSIBLE FROM:  
 - THE MAIN POINTS OF PEDESTRIAN ENTRY AT THE ALLOTMENT BOUNDARY; AND  
 - FROM ANOTHER ACCESSIBLE BUILDING CONNECTED BY A PEDESTRIAN LINK; AND  
 - FROM ANY REQUIRED ACCESSIBLE CAR PARKING SPACE ON THE ALLOTMENT. (BCA CLAUSE D3.2)

DURING SUBSEQUENT DETAILED DESIGN DEVELOPMENT STAGES PROVIDE A SURVEY SHOWING PROPOSED RLS FOR ALL EXTERNAL LINKAGES WITHIN THE SITE BOUNDARY FOR A COMPREHENSIVE ASSESSMENT/DETAILED COORDINATION TO COMPLY WITH BCA D3.2



1 DETAIL PLAN  
 SCALE 1:100 @ A2



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









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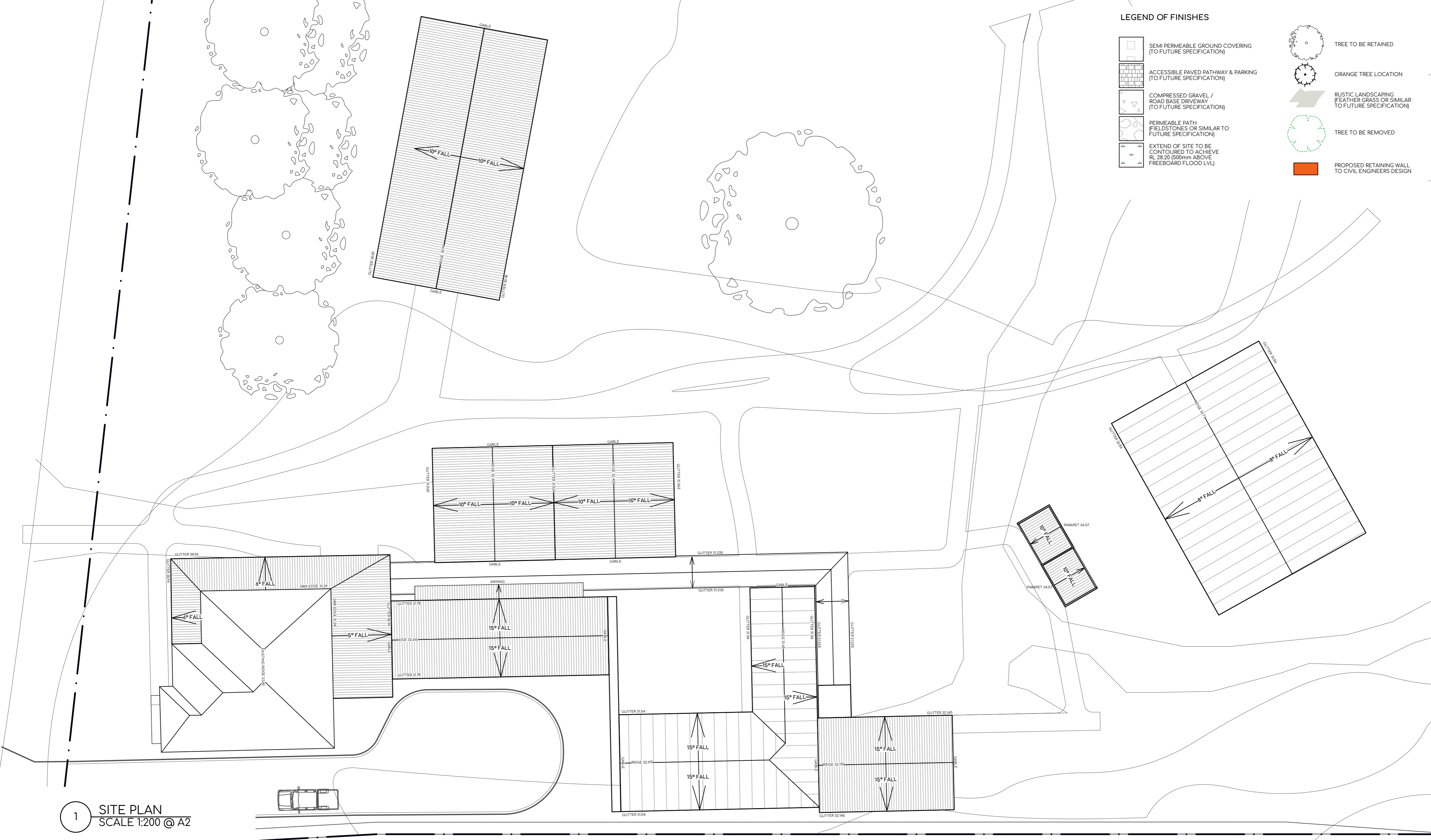
PROJECT  
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CLIENT	MKT CAFE PTY LTD
ADDRESS	44-50 TENCH AVE JAMISONTOWN NSW
DRAWING NAME	LIVESTOCK ENCLOSURES

SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>08</b>	ISSUE	<b>E</b>

LEGEND OF FINISHES

-  SEMI PERMEABLE GROUND COVERING (TO FUTURE SPECIFICATION)
-  ACCESSIBLE PAVED PATHWAY & PARKING (TO FUTURE SPECIFICATION)
-  COMPRESSED GRAVEL / ROAD BASE DRIVEWAY (TO FUTURE SPECIFICATION)
-  PERMEABLE PATH (FIELDSTONES OR SIMILAR TO FUTURE SPECIFICATION)
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-  RUSTIC LANDSCAPING (FEATHER GRASS OR SIMILAR TO FUTURE SPECIFICATION)
-  TREE TO BE REMOVED
-  PROPOSED RETAINING WALL TO CIVIL ENGINEERS DESIGN



1 SITE PLAN  
SCALE 1:200 @ A2

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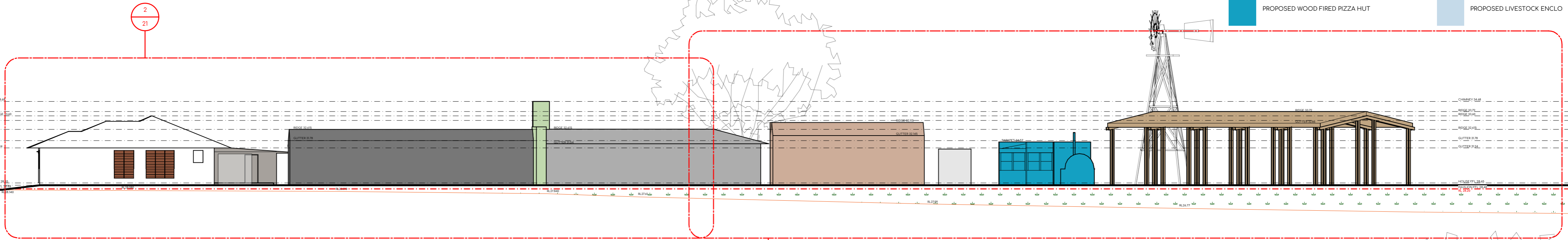
CLIENT	MKT CAFE PTY LTD
ADDRESS	44-50 TENCH AVE JAMISONTOWN NSW
DRAWING NAME	PROPOSED ROOF PLAN

SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>11</b>	ISSUE	<b>E</b>



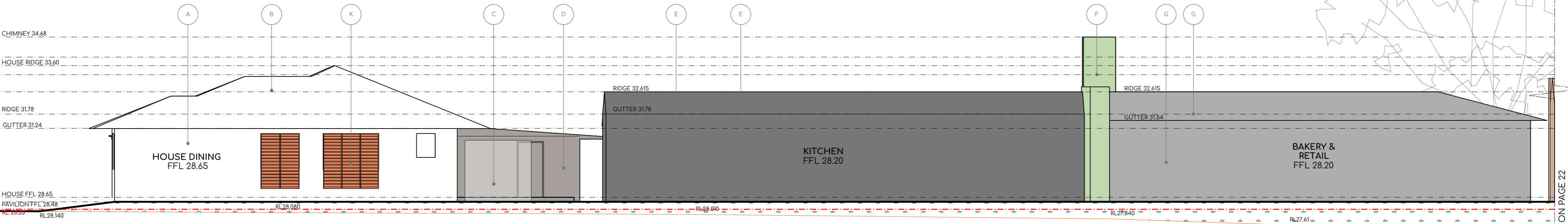
**BUILDING KEY**

- NEW AMENITIES
- EXISTING 'TIN SHED'
- PROPOSED BRICK WALL INCLUDING 'CHIMNEYS'
- PROPOSED COVERED DECK
- PROPOSED WOOD FIRED PIZZA HUT
- PROPOSED COVERED DINING PAVILIONS
- PROPOSED COVERED WALKWAY
- ADDITIONS TO EXISTING HOUSE
- PROPOSED CO-OP PAVILION
- PROPOSED LIVESTOCK ENCL



1  
22

**1** DETAIL ELEVATION  
SCALE 1:200 @ A2



CONTINUED ON PAGE 22

**2** DETAIL ELEVATION  
SCALE 1:100 @ A2

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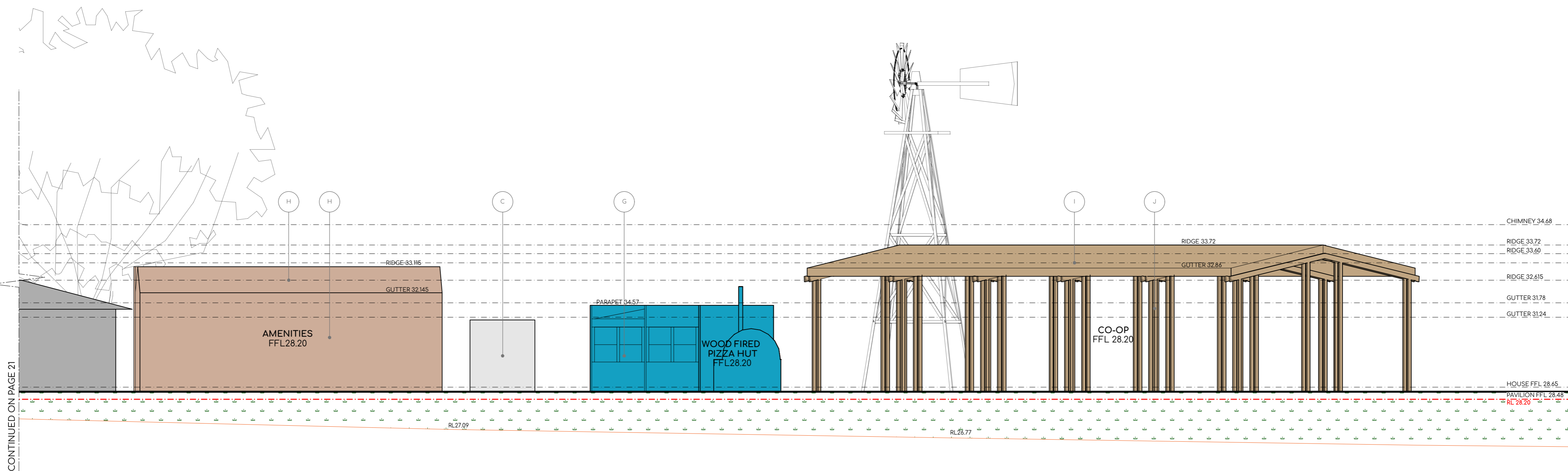
CLIENT	MKT CAFE PTY LTD
ADDRESS	44-50 TENCH AVE JAMISONTOWN NSW
DRAWING NAME	PROPOSED ELEVATIONS PAGE 1

SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>21</b>	ISSUE	<b>E</b>



**BUILDING KEY**

	NEW AMENITIES		PROPOSED COVERED DINING PAVILIONS
	EXISTING 'TIN SHED'		PROPOSED COVERED WALKWAY
	PROPOSED BRICK WALL INCLUDING 'CHIMNEYS'		ADDITIONS TO EXISTING HOUSE
	PROPOSED COVERED DECK		PROPOSED CO-OP PAVILION
	PROPOSED WOOD FIRED PIZZA HUT		PROPOSED LIVESTOCK ENCL



CONTINUED ON PAGE 21

**1** DETAIL ELEVATION  
SCALE 1:100 @ A2

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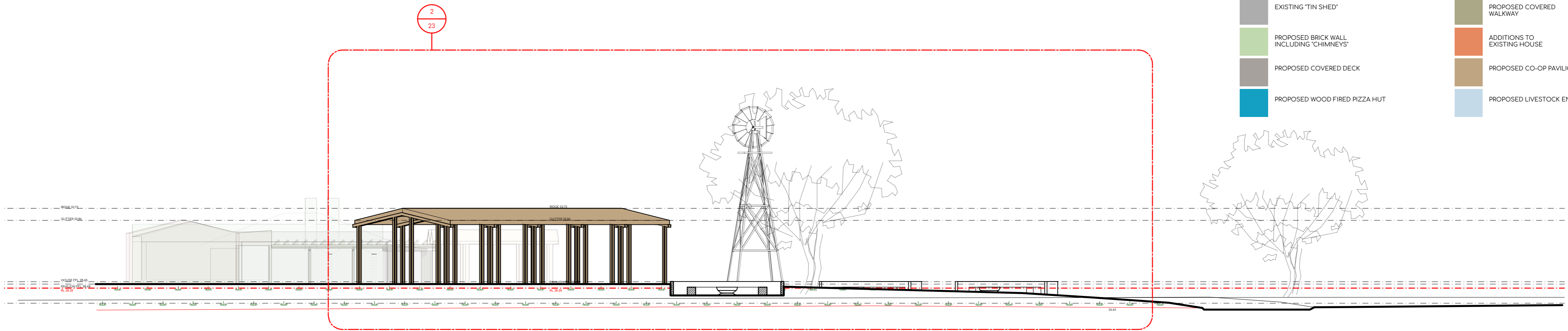
CLIENT	MKT CAFE PTY LTD
ADDRESS	44-50 TENCH AVE JAMISONTOWN NSW
DRAWING NAME	PROPOSED ELEVATIONS PAGE 2

SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>22</b>	ISSUE	<b>E</b>

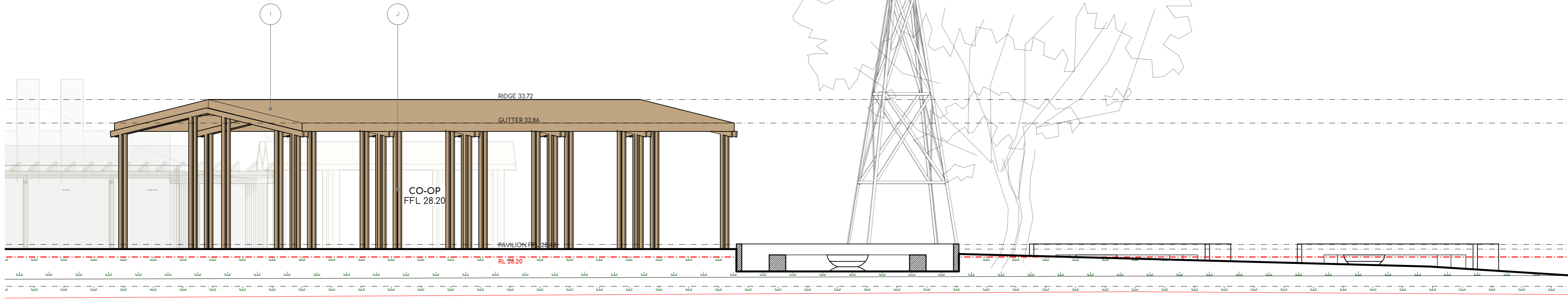


**BUILDING KEY**

- NEW AMENITIES
- EXISTING 'TIN SHED'
- PROPOSED BRICK WALL INCLUDING 'CHIMNEYS'
- PROPOSED COVERED DECK
- PROPOSED WOOD FIRED PIZZA HUT
- PROPOSED COVERED DINING PAVILIONS
- PROPOSED COVERED WALKWAY
- ADDITIONS TO EXISTING HOUSE
- PROPOSED CO-OP PAVILION
- PROPOSED LIVESTOCK ENCL



**1** DETAIL ELEVATION  
SCALE 1:200 @ A2



**2** DETAIL ELEVATION  
SCALE 1:100 @ A2

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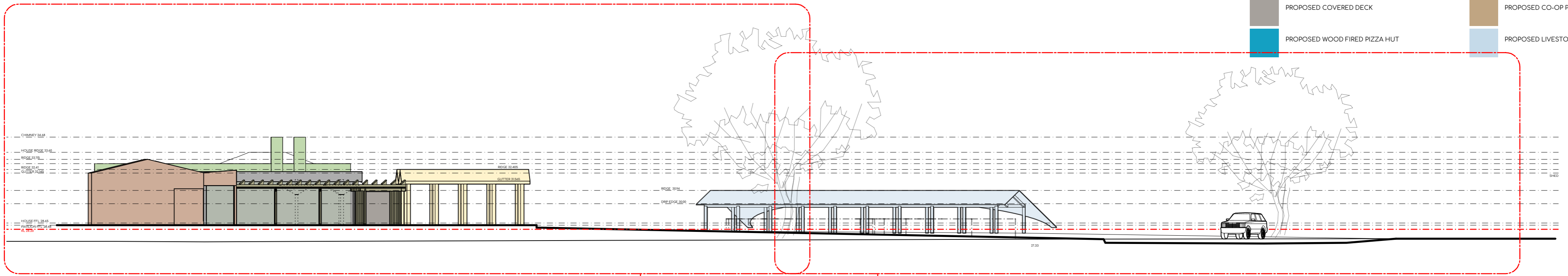
CLIENT	MKT CAFE PTY LTD
ADDRESS	44-50 TENCH AVE JAMISONTOWN NSW
DRAWING NAME	PROPOSED ELEVATIONS PAGE 3

SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>23</b>	ISSUE	<b>E</b>

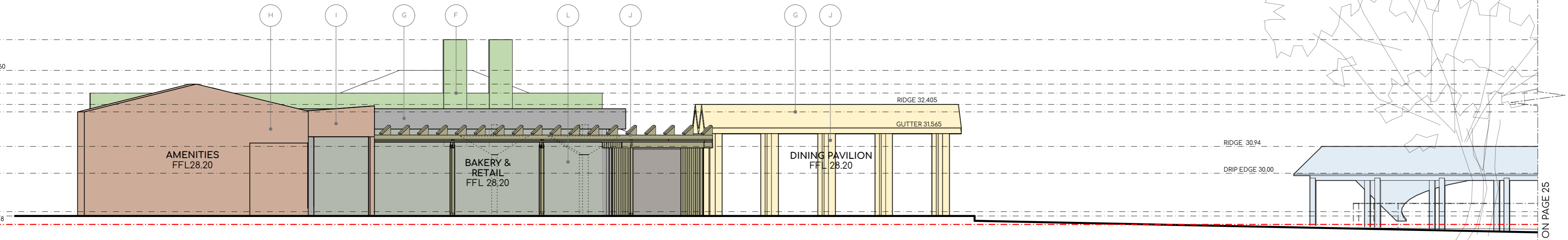


**BUILDING KEY**

- NEW AMENITIES
- EXISTING 'TIN SHED'
- PROPOSED BRICK WALL INCLUDING 'CHIMNEYS'
- PROPOSED COVERED DECK
- PROPOSED WOOD FIRED PIZZA HUT
- PROPOSED COVERED DINING PAVILIONS
- PROPOSED COVERED WALKWAY
- ADDITIONS TO EXISTING HOUSE
- PROPOSED CO-OP PAVILION
- PROPOSED LIVESTOCK ENCL



**1** DETAIL ELEVATION  
SCALE 1:200 @ A2



**2** DETAIL ELEVATION  
SCALE 1:100 @ A2

CONTINUED ON PAGE 25

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DRAWING NAME | PROPOSED ELEVATIONS  
PAGE 4

SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>24</b>	ISSUE	<b>E</b>

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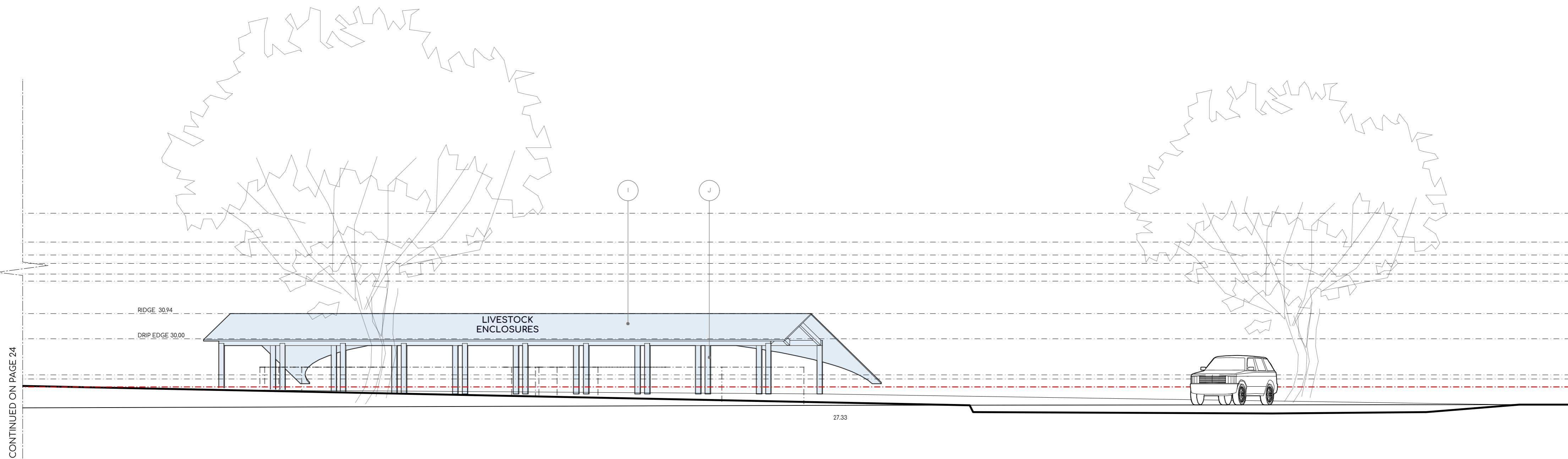
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**BUILDING KEY**

	NEW AMENITIES		PROPOSED COVERED DINING PAVILIONS
	EXISTING 'TIN SHED'		PROPOSED COVERED WALKWAY
	PROPOSED BRICK WALL INCLUDING 'CHIMNEYS'		ADDITIONS TO EXISTING HOUSE
	PROPOSED COVERED DECK		PROPOSED CO-OP PAVILION
	PROPOSED WOOD FIRED PIZZA HUT		PROPOSED LIVESTOCK ENCL



CONTINUED ON PAGE 24

**2** DETAIL ELEVATION  
SCALE 1:100 @ A2

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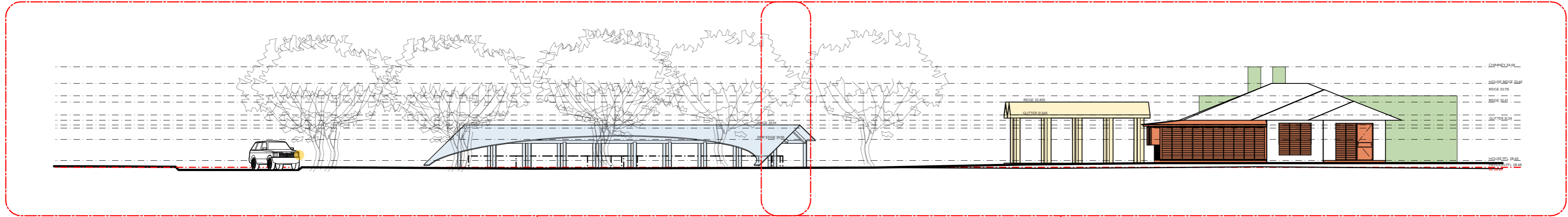
CLIENT	MKT CAFE PTY LTD
ADDRESS	44-50 TENCH AVE JAMISONTOWN NSW
DRAWING NAME	PROPOSED ELEVATIONS PAGE 5

SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>25</b>	ISSUE	<b>E</b>



**BUILDING KEY**

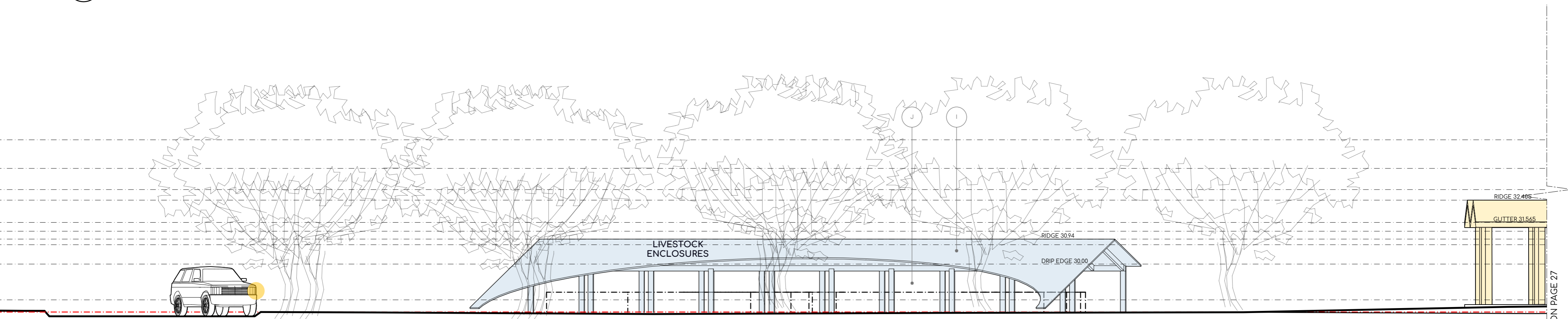
- NEW AMENITIES
- EXISTING 'TIN SHED'
- PROPOSED BRICK WALL INCLUDING 'CHIMNEYS'
- PROPOSED COVERED DECK
- PROPOSED WOOD FIRED PIZZA HUT
- PROPOSED COVERED DINING PAVILIONS
- PROPOSED COVERED WALKWAY
- ADDITIONS TO EXISTING HOUSE
- PROPOSED CO-OP PAVILION
- PROPOSED LIVESTOCK ENCL



2  
26

1  
27

**1** DETAIL ELEVATION  
SCALE 1:200 @ A2



**2** DETAIL ELEVATION  
SCALE 1:100 @ A2

CONTINUED ON PAGE 27

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DRAWING NAME | PROPOSED ELEVATIONS  
PAGE 6

SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>26</b>	ISSUE	<b>E</b>

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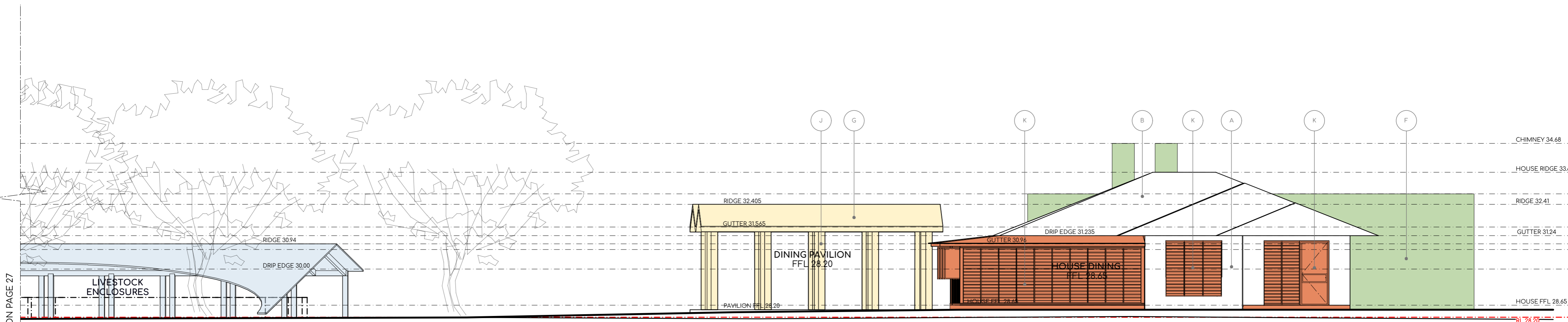
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**BUILDING KEY**

	NEW AMENITIES		PROPOSED COVERED DINING PAVILIONS
	EXISTING 'TIN SHED'		PROPOSED COVERED WALKWAY
	PROPOSED BRICK WALL INCLUDING 'CHIMNEYS'		ADDITIONS TO EXISTING HOUSE
	PROPOSED COVERED DECK		PROPOSED CO-OP PAVILION
	PROPOSED WOOD FIRED PIZZA HUT		PROPOSED LIVESTOCK ENCLLO



CONTINUED ON PAGE 27

**1** DETAIL ELEVATION  
SCALE 1:100 @ A2

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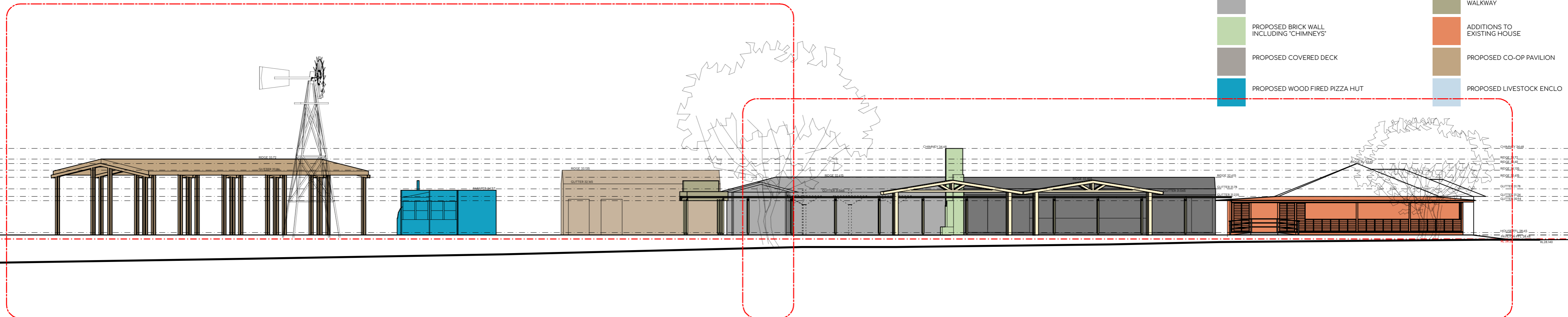
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CLIENT	MKT CAFE PTY LTD
ADDRESS	44-50 TENCH AVE JAMISONTOWN NSW
DRAWING NAME	PROPOSED ELEVATIONS PAGE 7

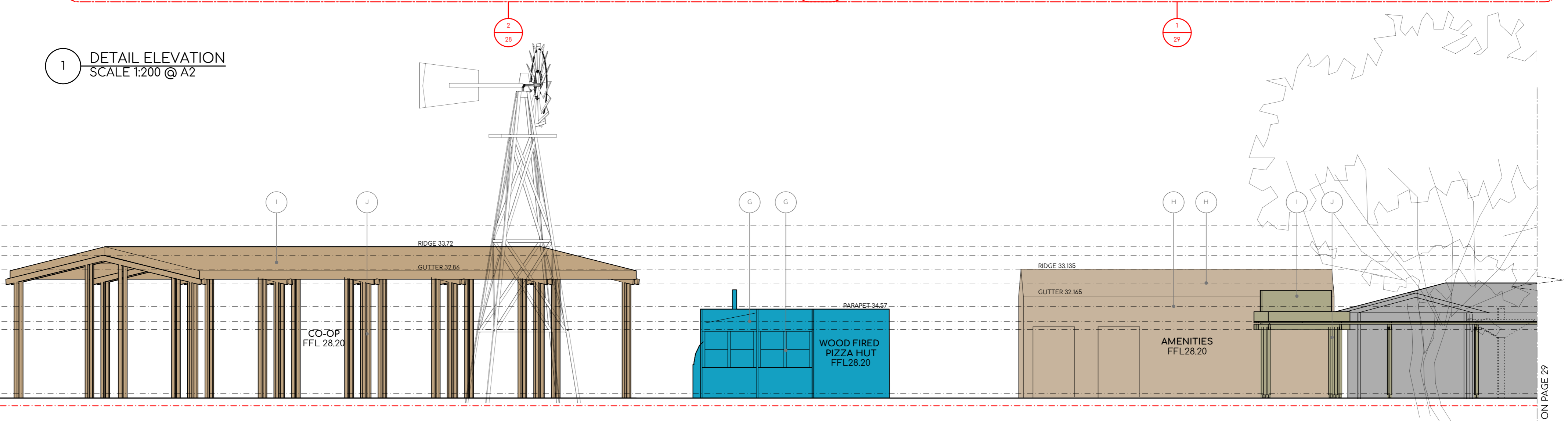
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DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>27</b>	ISSUE	<b>E</b>

**BUILDING KEY**

- NEW AMENITIES
- EXISTING 'TIN SHED'
- PROPOSED BRICK WALL INCLUDING 'CHIMNEYS'
- PROPOSED COVERED DECK
- PROPOSED WOOD FIRED PIZZA HUT
- PROPOSED COVERED DINING PAVILIONS
- PROPOSED COVERED WALKWAY
- ADDITIONS TO EXISTING HOUSE
- PROPOSED CO-OP PAVILION
- PROPOSED LIVESTOCK ENCL



**1** DETAIL ELEVATION  
SCALE 1:200 @ A2



CONTINUED ON PAGE 29

**2** DETAIL ELEVATION  
SCALE 1:100 @ A2

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DRAWING NAME: PROPOSED ELEVATIONS PAGE 8

SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>28</b>	ISSUE	<b>E</b>

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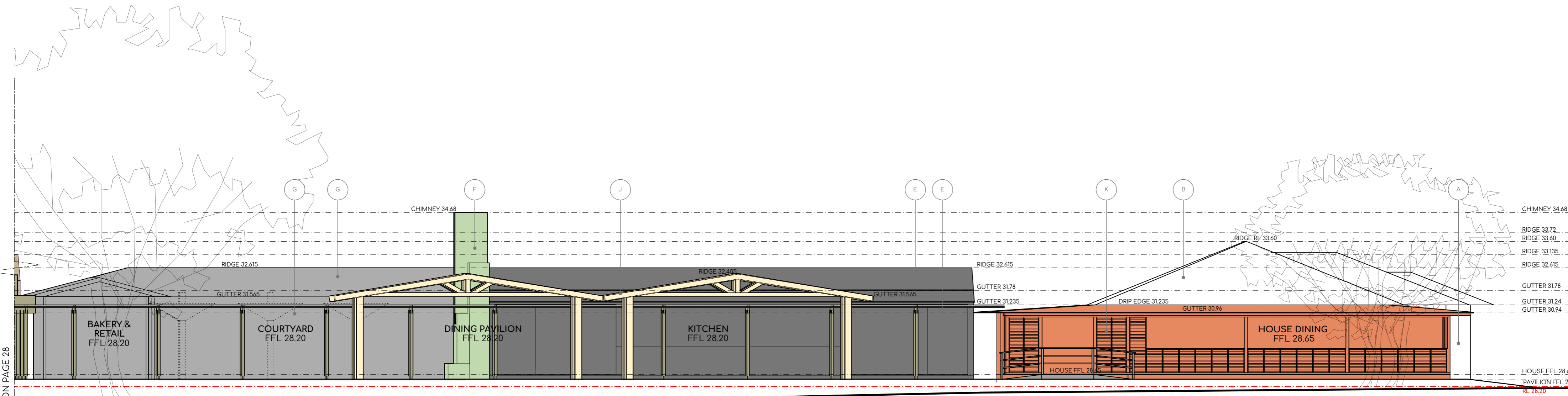
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	PROPOSED COVERED DECK		PROPOSED CO-OP PAVILION
	PROPOSED WOOD FIRED PIZZA HUT		PROPOSED LIVESTOCK ENCL



CONTINUED ON PAGE 28

**1** DETAIL ELEVATION  
SCALE 1:100 @ A2

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DRAWING NAME	PROPOSED ELEVATIONS PAGE 9

SCALE	SHOWN@A2	JOB NO.	0461
DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>29</b>	ISSUE	<b>E</b>





2 FROM TENCH AVE PEDESTRIAN ENTRANCE  
NTS



4 TOWARDS WC'S & RETAIL  
NTS



1 TOWARDS DINING PAVILIONS  
SCALE 1:100 @ A2



3 TOWARDS ANIMAL ENCLOSURES  
NTS

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CLIENT	MKT CAFE PTY LTD
ADDRESS	44-50 TENCH AVE JAMISONTOWN NSW
DRAWING NAME	VISUALISATIONS

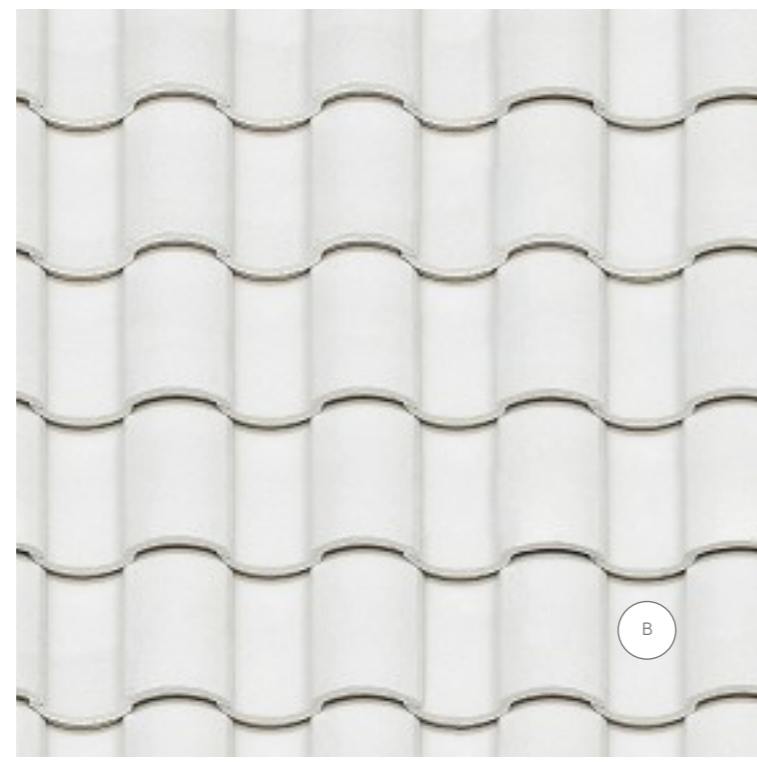
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DATE	27.09.19	DRAWN	MW
DRAWING NO.	<b>81</b>	ISSUE	<b>E</b>



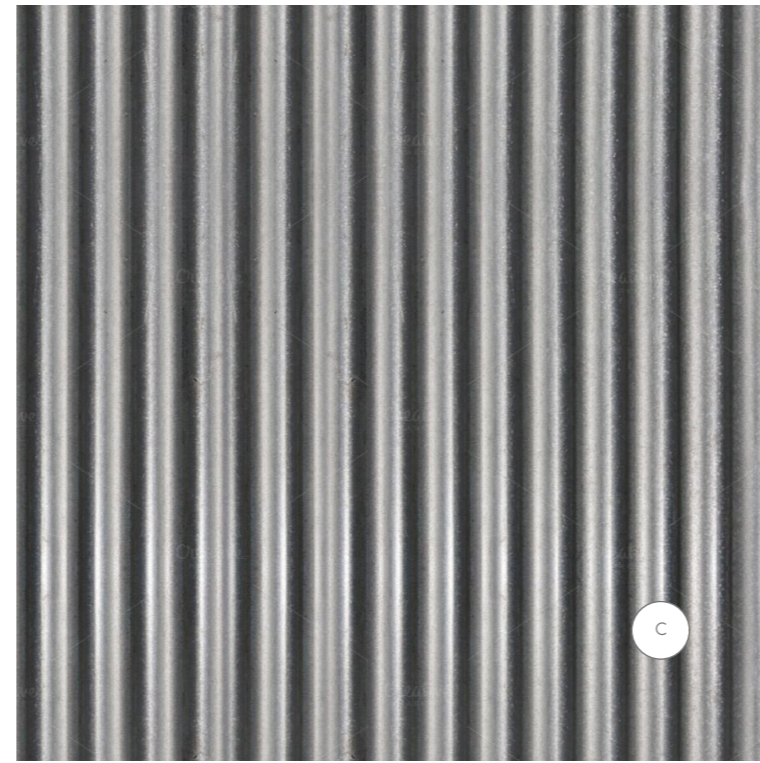
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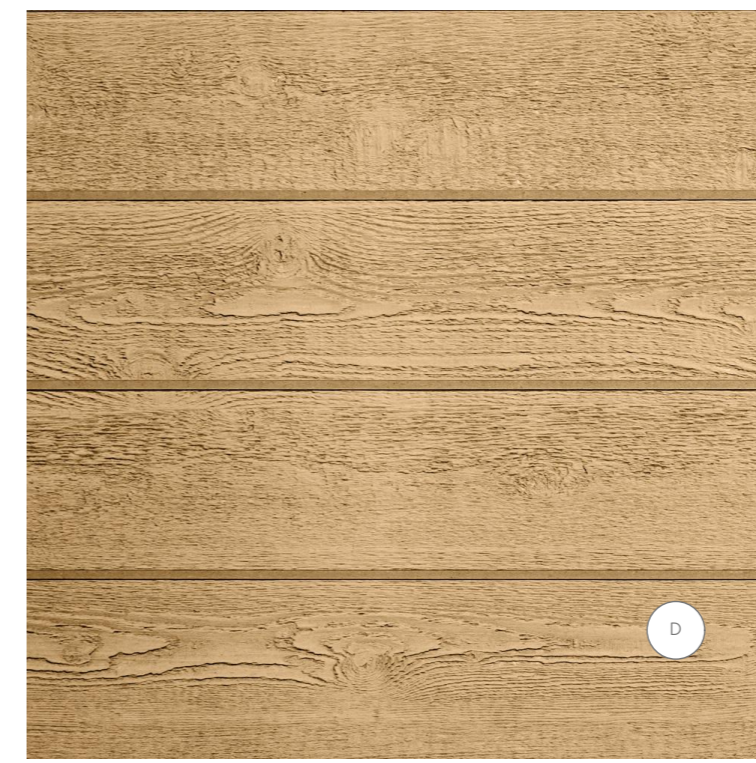
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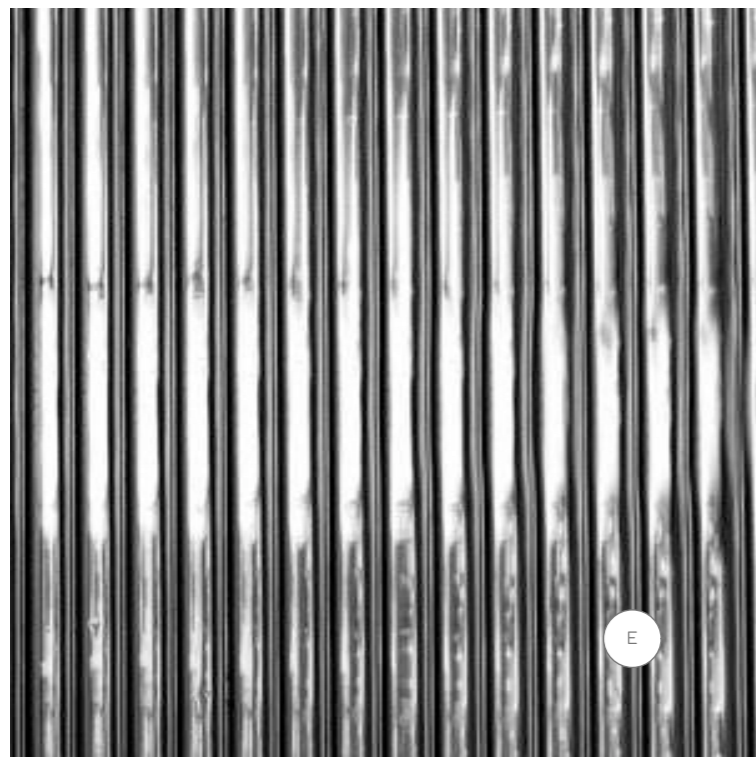
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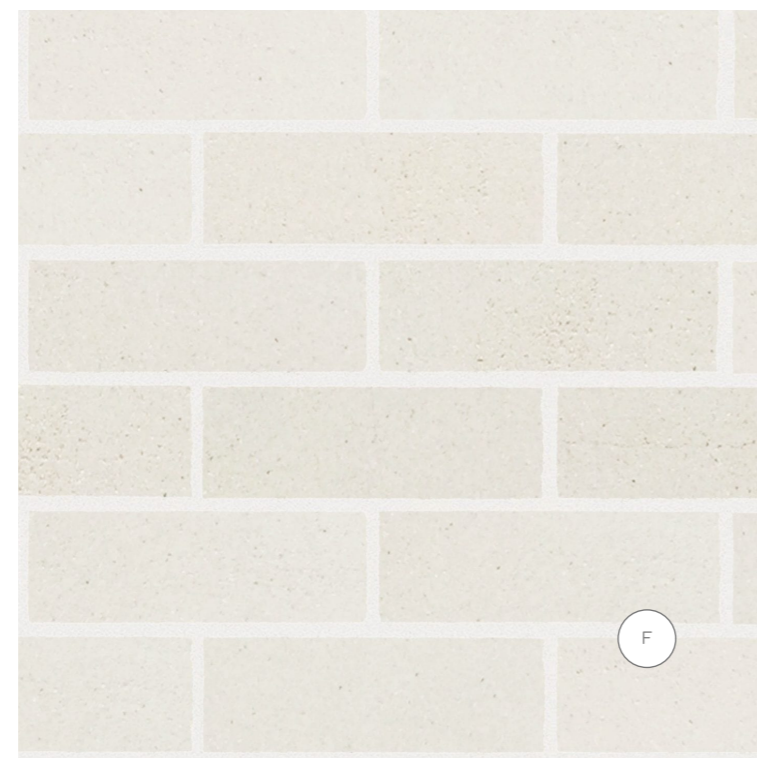
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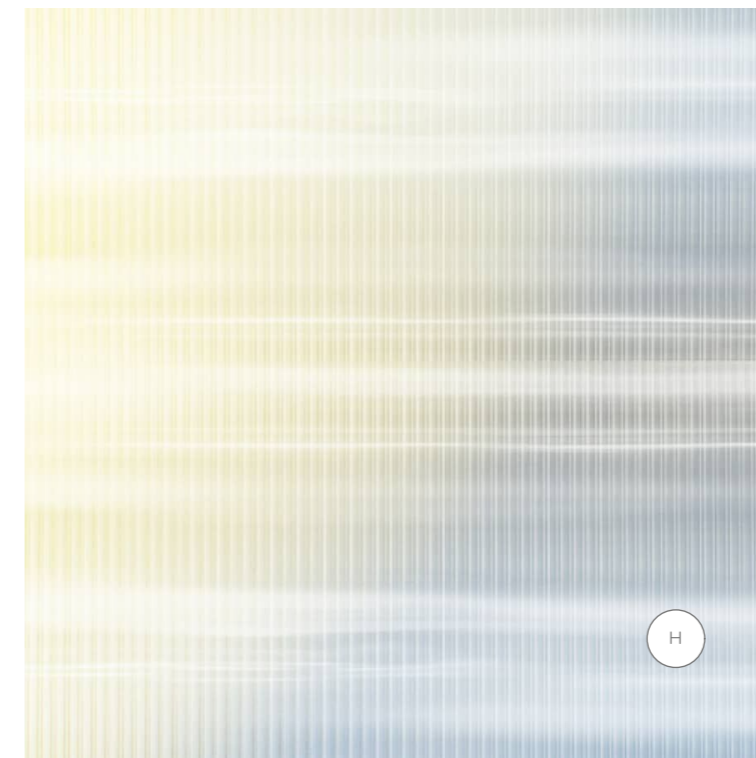
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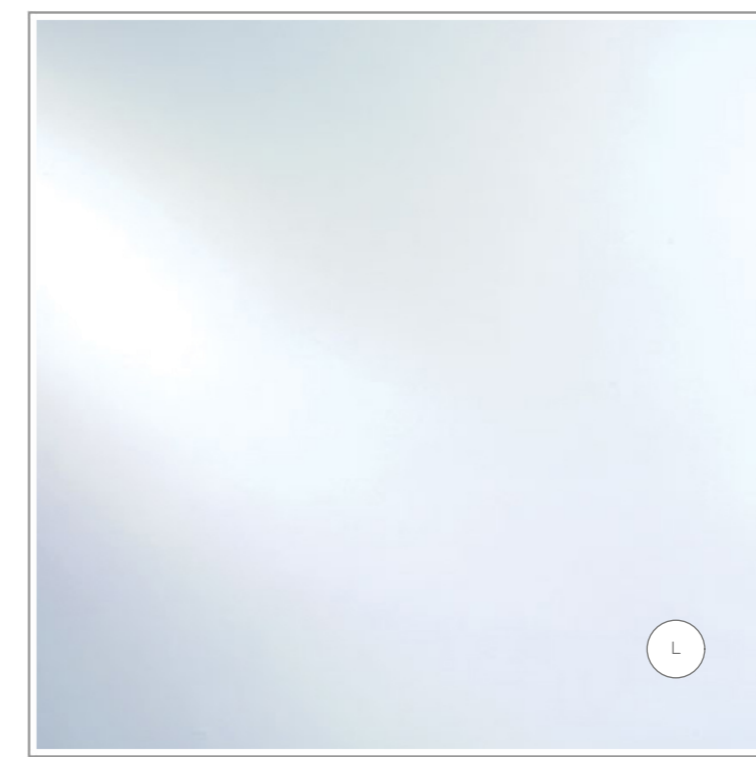
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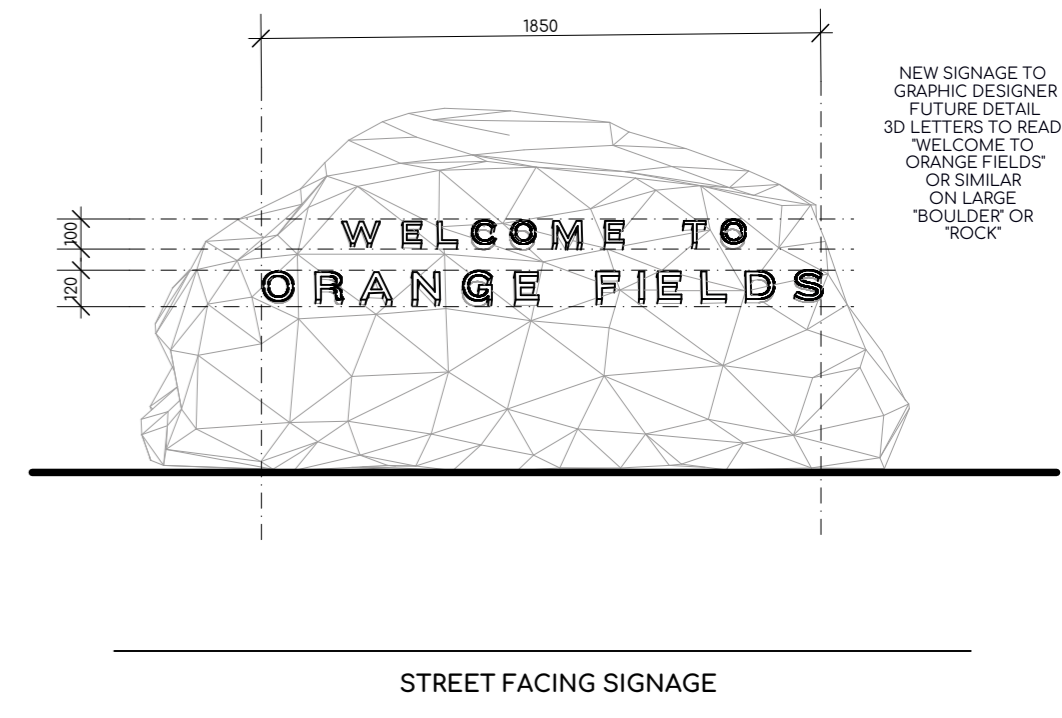


K



L

- A EXISTING BRICKWORK TO BE PAINTED
- B EXISTING ROOF TILES TO BE PAINTED
- C CORRUGATED IRON CLADDING
- D TIMBER CLADDING
- E CORRUGATED IRON CLADDING
- F BOWRAL WHITE BRICKS
- G RECLAIMED CORRUGATED IRON CLADDING
- H POLYCARBONATE CLADDING
- I RECLAIMED CORRUGATED IRON CLADDING
- J RECLAIMED STRUCTURAL TIMBER
- K VIRIDIAN ORANGE GLASS
- L VIRIDIAN CLEAR GLASS



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DRAWING NAME PROPOSED FINISHES

SCALE SHOWN@A2  
DATE 27.09.19  
JOB NO. 0461  
DRAWN MW  
DRAWING NO. 91  
ISSUE E