

Element	Material	Detail
External walls	Hebel Power Panel	Insulation: None Light colour
Internal walls	Plasterboard	
Party walls	Hebel Power Panel	To neighbour, corridors
	Hebel Power Panel	To lift core, firestairs and services
Windows	6mm Single glazed, clear with Aluminium frame for sliding doors, sliding & fixed windows	Total Window System Properties U-value 6.7 & SHGC 0.70
	6mm Single glazed, clear with Aluminium frame for awning windows	Total Window System Properties U-value 6.7 & SHGC 0.57
	Window Operability	Balcony windows: 30% & 45% (i.e. sliding) Bedroom windows: 10% (BCA D2.24) All other non-balcony windows: 0% (i.e. fixed) & 90% (i.e. awning)
	Shading device	Balcony windows: As per plans and elevations Non-balcony windows: As per plans and elevations
Roof	Concrete	Insulation: None Light colour
Ceilings	Plasterboard	Insulation: See Table 3
Floors	Concrete	Insulation: See Table 3 Tiles: Wet areas only Carpet: Living/Dining and Bedrooms
Common corridors naturally ventilated		NO
Recessed downlights assessed		NO

Component	Commitment	
Common Areas and Central Systems	Hot Water System	No Central HWS
	Lifts	All lifts to use Gearless traction with VVVF motor servicing all levels
	Alternative Energy Supply	Not Required
	Ventilation	Car park: Ventilation (supply + exhaust) with a CO monoxide monitor & VSD fan Garbage Rooms: Ventilation (exhaust only) Hallways & lobbies: Ventilation (supply + exhaust), controlled by time clock or BMS
	Lighting	Car park: Fluorescent lighting with time clocks and motion sensors Lift Cars: LED lighting, connected to lift call button Garbage Rooms: Fluorescent lighting with motion sensors All Hallways & lobbies: Compact Fluorescent lighting with motion sensors + time clock
Private Dwellings	Hot Water System	Individual 5 Stars Gas Instantaneous HWS
	Ventilation	Kitchen Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch Bathroom Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch Laundry Exhaust: Individual fan, ducted to roof or façade, with manual on/off switch
	Heating & Cooling	Heating: Living & Beds to have individual 1-phase air-conditioning with 1.5 Stars Rating (New Rating) Cooling: Living & Beds to have individual 1 phase air-conditioning with 1.5 Stars Rating (New Rating) At least 80% of light fittings (including the main light fitting) in all hallways, laundries, bathrooms, kitchen areas and all bedrooms to use Fluorescent or LED lights with dedicated fittings ¹
	Lighting	
	Others	Gas cook top and electric oven in all units

Project Schedule Summary			
Site Area		1,960 m2	
Gross Floor Area		4,313 m2	
FSR		2.2 :1	
Unit Mix			
	1Bed	7 16%	
	1Bed + Study	8 18%	
	2Bed	8 18%	
	2Bed + Study	22 49%	
	3Bed	0 0%	
	3Bed + Study		
	Child Care		
	Total Units	45 100%	
Compliance Summary			
Control	Requirement	Proposed	Complies
Floor Space Ratio (FSR)	2.20 : 1 max	2.04 : 1	✓
Gross Floor Area (GFA)	4,313 m2 max	3,990 m2	✓
Building Height	15 max	15.00 m	✓
Car Parking	68 min.	64	✓
Motorcycle Parking (1/15units)	3 min.	3	✓
Bicycle Parking (1/10units)	5 min.	5	✓
Solar Access	70% min.	32 71%	✓
Cross Ventilation	60% min.	5 62%	✓
Adaptable Units	10% min.	5 11%	✓
Single orientated south facing units	10% max	0 0%	✓
Communal Open Space (ADG)	25% 490.1	524 m2 27%	✓
Communal Open Space (Child Care)		476 m2	✓
Deep Soil (Min. 7% of site area as per ADG)	137 min.	372 m2 19%	✓
Unit Storage (typical)	1Bed 2Bed 3Bed	6 m3 min. 8 m3 min. 10 m3 min.	6 m3 8 m3 10 m3 ✓



Detailed Calculations																
Gross Floor Area	UNIT SCHEDULE										ADG COMPLIANCE					
	1Bed	Adaptable (Gold)	1Bed + Study	Adaptable (Gold)	2Bed	Adaptable (Gold)	2+ Bed + Study	Adaptable (Gold)	3Bed	Adaptable (Gold)	Child Care(m2)	Adaptable	Solar Access	Cross Ventilated	Single Orientated South Facing	Deep Soil Zone
Lower Level	690 m2	2	1				1			359		4	1			372
Upper Level	825 m2	1	2		2		6					6	7			
Level 1	825 m2	1	2		2		6					6	7			
Level 2	825 m2	1	2		2		6					8	7			
Level 3	825 m2	2	1		2		3					8	6			
		7	0	8	0	8	0	22	0	0	0	5	32	28		372
		15			30			0			11%	71%	62%	0%	19%	
Total GFA 3,990 m2																
Total Units 45																

Carparking						
Carparking Factor(AS PER DCP)	1	1	2	1per 10 Children & 1 per staff	1 per 5 units	10%
Unit Type	15	30	0	Child Care	Visitor	Adaptable
Spaces required	45			13.6	9	5
Total Spaces Required 68						
Carparking Spaces provided						
Basement 1	1			14	10 (3 shared)	5
Basement 2	44	4	3			
Total Spaces Provided	45	4	3	14	10	5

Drawing No:	Description
DA-000	DRAWING LIST
DA-001	SITE ANALYSIS
DA-002	SURVEY PLAN
DA-003	STREETSCAPE
DA-004	PHOTOMONTAGE
DA-009	SITE PLAN
DA-010	BASEMENT 02 PLAN
DA-011	BASEMENT 01 PLAN
DA-012	LOWER GROUND
DA-013	UPPER GROUND
DA-014	LEVEL 1 PLAN
DA-015	LEVEL 2 PLAN
DA-016	LEVEL 3 PLAN
DA-017	ROOF
DA-021	SOUTH ELEVATION AND MATERIALS & FINISHES
DA-022	EAST ELEVATION AND MATERIALS & FINISHES
DA-023	WEST ELEVATION AND MATERIALS & FINISHES
DA-024	NORTH ELEVATION MATERIALS & FINISHES
DA-031	SECTION A - G
DA-032	SECTION B - H
DA-033	SECTION D - E
DA-034	SECTION C - F
DA-035	DETAIL SECTIONS
DA-041	ACCESS DRIVEWAY PROFILE
DA-061	SHADOW DIAGRAMS 21ST JUNE
DA-071	ADAPTABLE UNIT LAYOUTS
DA-081	HEIGHT PLANE DIAGRAM
DA-082	SEPP65 COMPLIANCE TABLES AND UNIT SCHEDULE
DA-083	GFA/FSR CALCULATIONS
DA-084	LANDSCAPE & DEEP SOIL AREA CALCULATIONS
DA-085	COMMUNAL OPEN SPACE CALCULATIONS
DA-086	CROSS VENTILATION DIAGRAMS
DA-091	SOLAR ACCESS DIAGRAMS
DA-092	SOLAR ACCESS DIAGRAMS (21ST JUNE 1PM-3PM) & CALCULATION SCHEDULE
DA-093	PERSPECTIVE

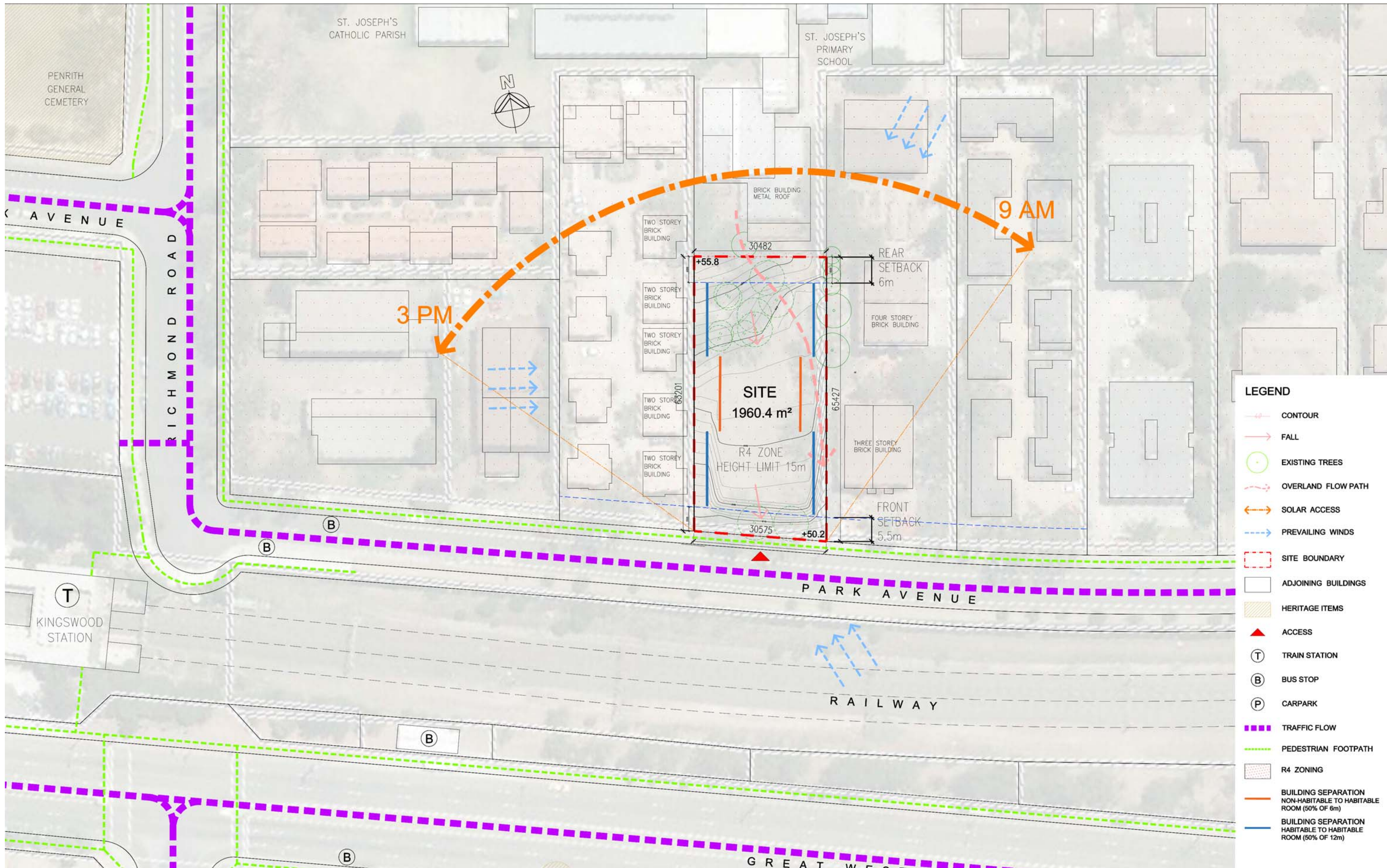
Common Areas and Central Systems	
Area of indigenous or low water species	Please refer to Appendix B
Rainwater collection	Minimum 5,000L rainwater tank Roof collection area – minimum 100 m ² Rainwater to be used for common & private landscape irrigation
Fixtures for Common Areas	4-star (Water Rating) toilets 5-star (Water Rating) taps
Fire sprinkler system	Fire sprinkler test water to be contained in a closed system
Private Dwellings	
Fixtures for apartments	3-star (Water Rating) showerheads with a flow rate > 6.0L/min & ≤ 7.5L/min 4-star (Water Rating) toilets 5-star (Water Rating) kitchen taps 5-star (Water Rating) bathroom taps 4-star (Water Rating) dishwashers

No.	Rev	Drawing Name	Rev Description	Date	App'd
E	GENERAL REVISION - REDESIGN			070518	CH
D	GENERAL REVISION - REDESIGN			240518	CH
C	GENERAL REVISION - REDESIGN			080318	CH
B	GENERAL REVISION			30/01/17	CH
A	DEVELOPMENT APP. STEPHEN BOWERS			FEB 2017	-

URBAN LINK
 Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
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 Phone Number: +61 29745 2014

Project
KINGSWOOD
MIXED USE MULTI RESIDENTIAL
 71 PARK AVENUE
 KINGSWOODNSW2747AUSTRALIA

Project Number	17-090
Status	DEVELOPMENT APPLICATION
Nominated Architects:	Ziad Boumelhem Reg no 8008 Youssef El Khawaja Reg no 8933 Nicholas Toubia Reg no 9336



LEGEND

- CONTOUR
- FALL
- EXISTING TREES
- OVERLAND FLOW PATH
- SOLAR ACCESS
- PREVAILING WINDS
- SITE BOUNDARY
- ADJOINING BUILDINGS
- HERITAGE ITEMS
- ▲ ACCESS
- Ⓣ TRAIN STATION
- Ⓟ BUS STOP
- Ⓟ CARPARK
- TRAFFIC FLOW
- PEDESTRIAN FOOTPATH
- R4 ZONING
- BUILDING SEPARATION NON-HABITABLE TO HABITABLE ROOM (50% OF 6m)
- BUILDING SEPARATION HABITABLE TO HABITABLE ROOM (50% OF 12m)

E	GENERAL REVISION - URDP	070518	CH
D	GENERAL REVISION - REDESIGN	240518	CH
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 Drawing Title

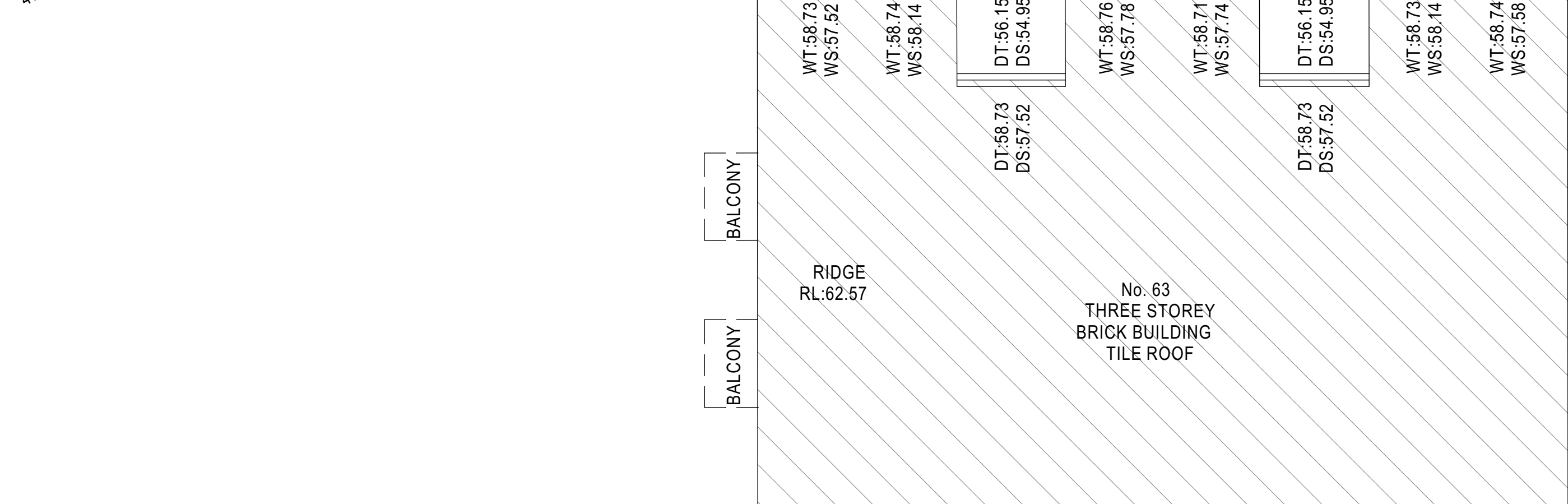
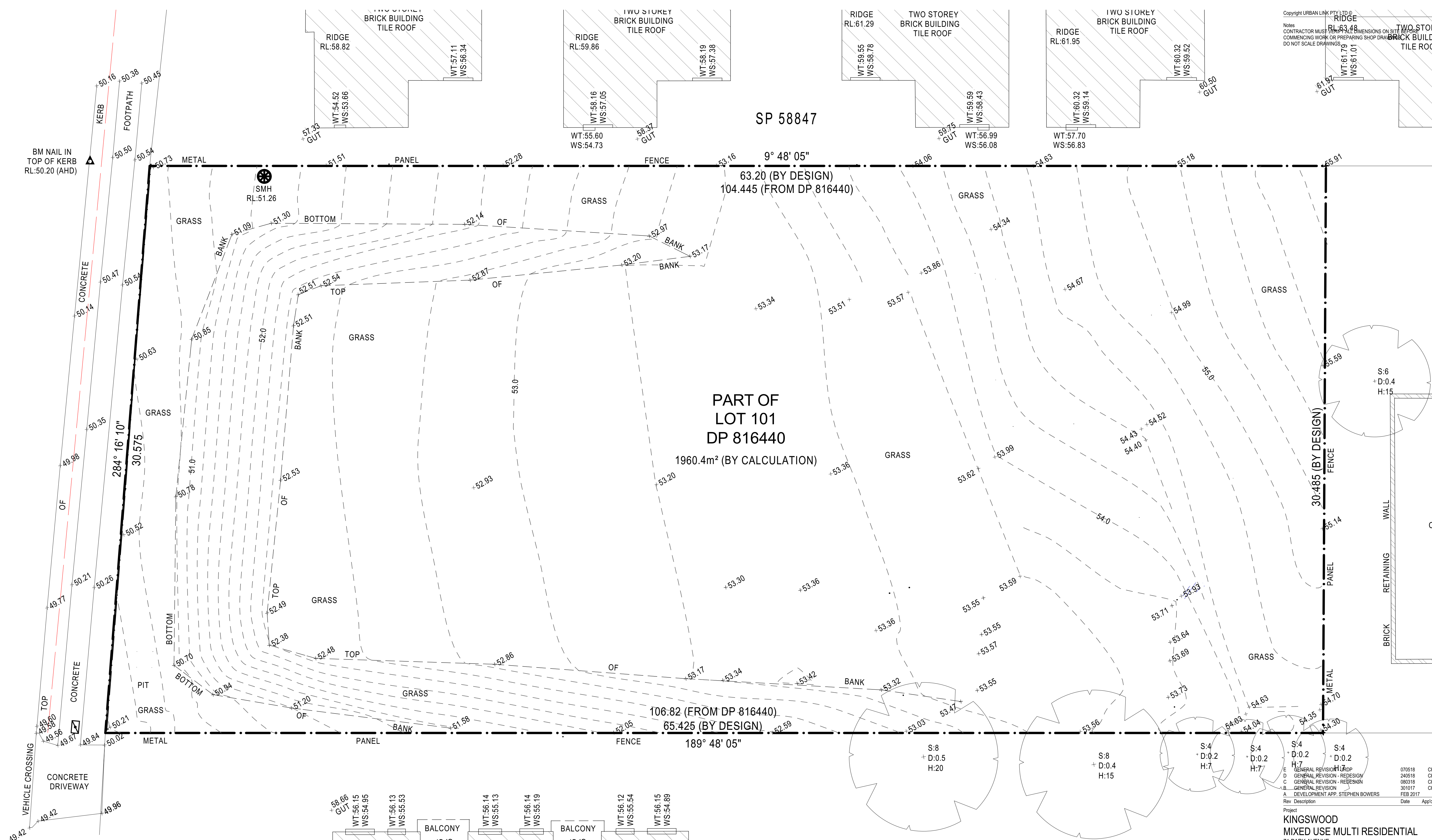
SITE ANALYSIS

Date of Issue: 14/06/2018 Checked: Approved:

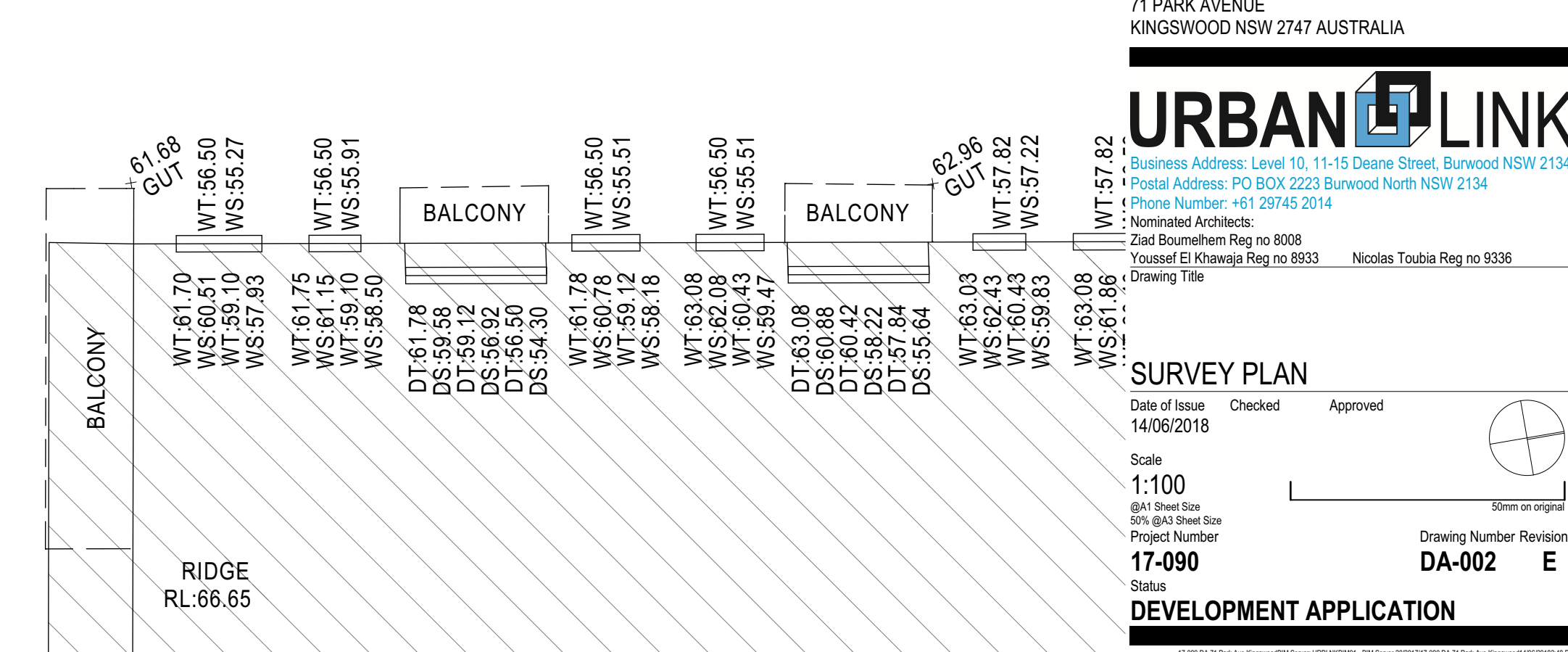
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17-090 Drawing Number Revision: DA-001 E
 Status: DEVELOPMENT APPLICATION

PARK AVENUE



9
 SEC E
 DP 935

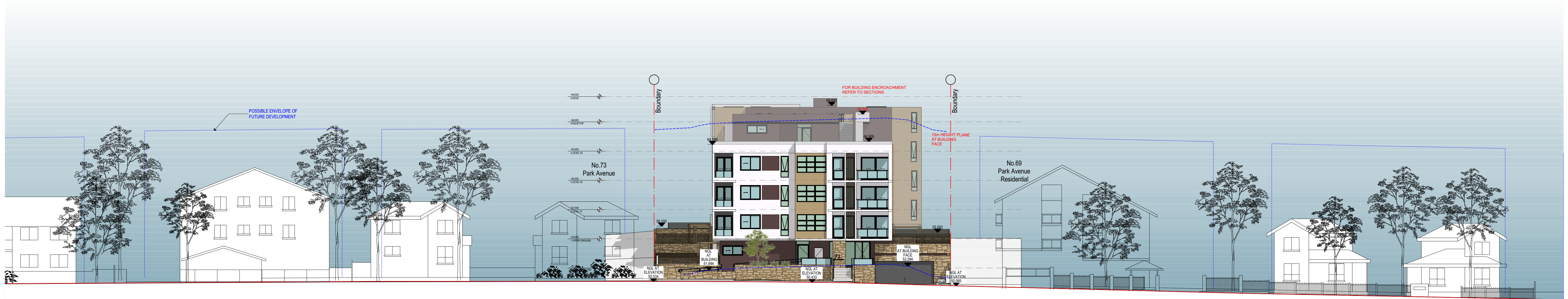


070518	CH
240518	CH
060318	CH
301017	CH
FEB 2017	CH

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 Nicolas Touba Reg no 9336

SURVEY PLAN
 Date of Issue: 14/06/2018
 Checked: [] Approved: []
 Scale: 1:100
 Drawing Number: 17-090
 Revision: DA-002 E
DEVELOPMENT APPLICATION



Rev	Description	Date	App'd
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C	GENERAL REVISION - REDESIGN	060318	CH
B	GENERAL REVISION	30/01/17	CH
A	DEVELOPMENT APP. STEPHEN BOWERS	FEB 2017	-

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 Drawing Title

STREETSCAPE
 Date of Issue 14/06/2018
 Checked Approved
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 Project Number
17-090
 Status
DEVELOPMENT APPLICATION

Drawing Number Revision
DA-003 E



Rev	Description	Date	App'd
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D	GENERAL REVISION - REDESIGN	240518	CH
C	GENERAL REVISION - REDESIGN	060318	CH
B	GENERAL REVISION	30/10/17	CH
A	DEVELOPMENT APP. STEPHEN BOWERS	FEB 2017	-

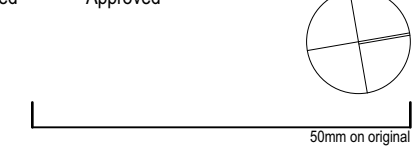
Project
KINGSWOOD
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Drawing Title

PHOTOMONTAGE

Date of Issue Checked Approved
14/06/2018

Scale



@A1 Sheet Size
50% @A3 Sheet Size

Project Number

17-090

Status

DEVELOPMENT APPLICATION

Drawing Number Revision

DA-004 E

PARK AVENUE



Rev	Description	Date	App'd
E	GENERAL REVISION - URDP	07/05/18	CH
D	GENERAL REVISION - REDESIGN	24/05/18	CH
C	GENERAL REVISION - REDESIGN	06/03/18	CH
B	GENERAL REVISION	30/10/17	CH
A	DEVELOPMENT APP. STEPHEN BOWERS	FEB 2017	CH

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 Drawing Title

SITE PLAN
 Date of Issue: 14/06/2018
 Checked: [] Approved: []
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 Project Number: 17-090
 Status: **DA - 009 E**
DEVELOPMENT APPLICATION

Notes
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LEGEND	
A	PORTALS: RENDER & PAINT DULUX COLOUR 'PEPLUM QUARTER'
B	POWDERCOATED METAL BATTENS TIMBER FINISH
C	RENDER & PAINT DULUX COLOUR 'TIMELESS GREY'
D	L' ANGLE DULUX POWDERCOAT METAL NEW HAMMERSLEY BROWN
E	CLEAR GLASS BALUSTRADE
F	VERTICAL BALUSTERS DULUX POWDERCOAT BLACK
G	PERGOLA
H	RENDER & PAINT ENTRY FEATURE DULUX COLOUR MURRAY RED
J	ROOF - DULUX POWDERCOAT WOODLAND GREY
K	RENDER & PAINT DULUX COLOUR STEPNEY
L	RENDER & PAINT DULUX COLOUR PEPLUM HALF



Rev	Description	Date	App'd
D	GENERAL REVISION - REDESIGN	24/05/18	CH
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B	GENERAL REVISION	30/10/17	CH
A	DEVELOPMENT APP. STEPHEN BOWERS	FEB 2017	-

Project
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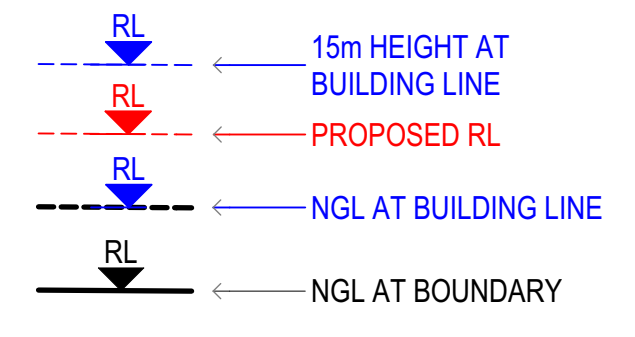
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 Drawing Title

SOUTH ELEVATION AND MATERIALS & FINISHES
 Date of Issue: 14/06/2018
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 Project Number: 17-090
 Drawing Number: DA-021
 Revision: C
 Status: DEVELOPMENT APPLICATION



LEGEND

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J	ROOF - DULUX POWDERCOAT WOODLAND GREY
K	RENDER & PAINT DULUX COLOUR 'STEPNEY'
L	RENDER & PAINT DULUX COLOUR 'PEPLUM HALF'



D	GENERAL REVISION - REDESIGN	240518	CH
C	GENERAL REVISION - REDESIGN	060318	CH
B	GENERAL REVISION	30/01/17	CH
A	DEVELOPMENT APP. STEPHEN BOWERS	FEB 2017	-
Rev.	Description	Date	App'd

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EAST ELEVATION AND MATERIALS & FINISHES
 Date of Issue 14/06/2018 Checked Approved
 Scale 1:100
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 50% @A3 Sheet Size
 Project Number 17-090
 Status **DEVELOPMENT APPLICATION**
 Drawing Number Revision DA - 022 C



Rev	Description	Date	App'd
D	GENERAL REVISION - REDESIGN	24/05/18	CH
C	GENERAL REVISION - REDESIGN	06/03/18	CH
B	GENERAL REVISION	30/10/17	CH
A	DEVELOPMENT APP. STEPHEN BOWERS	FEB 2017	-

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WEST ELEVATION AND MATERIALS & FINISHES
 Date of Issue 14/06/2018 Checked Approved
 Scale 1:100
 (A1 Sheet Size)
 50% @ A3 Sheet Size
 Project Number 17-090
 Status **DEVELOPMENT APPLICATION**
 Drawing Number Revision DA - 023 C

Notes
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LEGEND

A	PORTALS: RENDER & PAINT DULUX COLOUR 'PEPLUM QUARTER'	
B	POWDERCOATED METAL BATTENS TIMBER FINISH	
C	RENDER & PAINT DULUX COLOUR 'TIMELESS GREY'	
D	'L' ANGLE DULUX POWDERCOAT METAL NEW HAMMERSLEY BROWN	
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G	PERGOLA	
H	RENDER & PAINT ENTRY FEATURE DULUX COLOUR 'MURRAY RED'	
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K	RENDER & PAINT DULUX COLOUR 'STEPNEY'	
L	RENDER & PAINT DULUX COLOUR 'PEPLUM HALF'	

D	GENERAL REVISION - REDESIGN	240518	CH
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Project
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NORTH ELEVATION MATERIALS & FINISHES

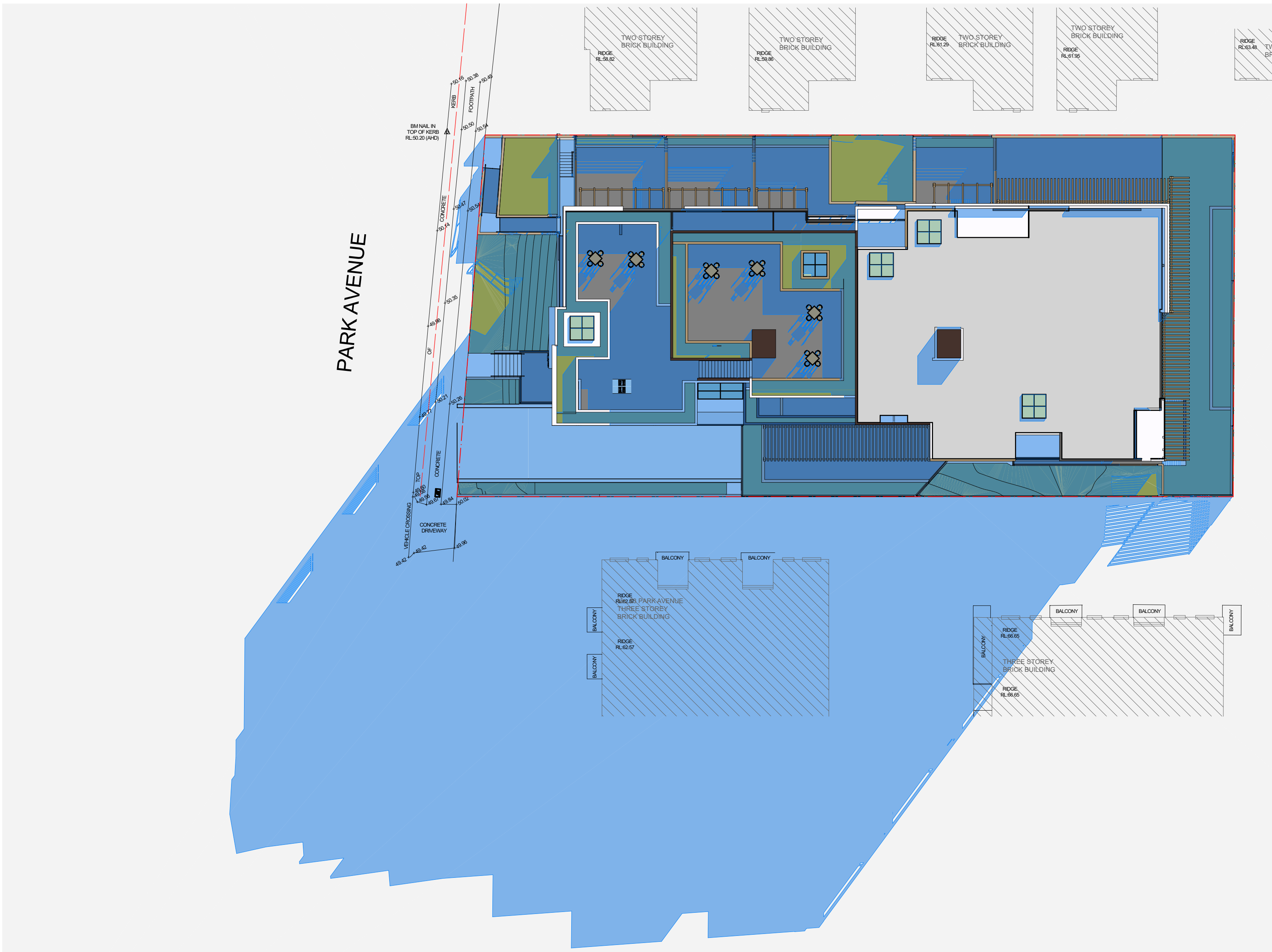
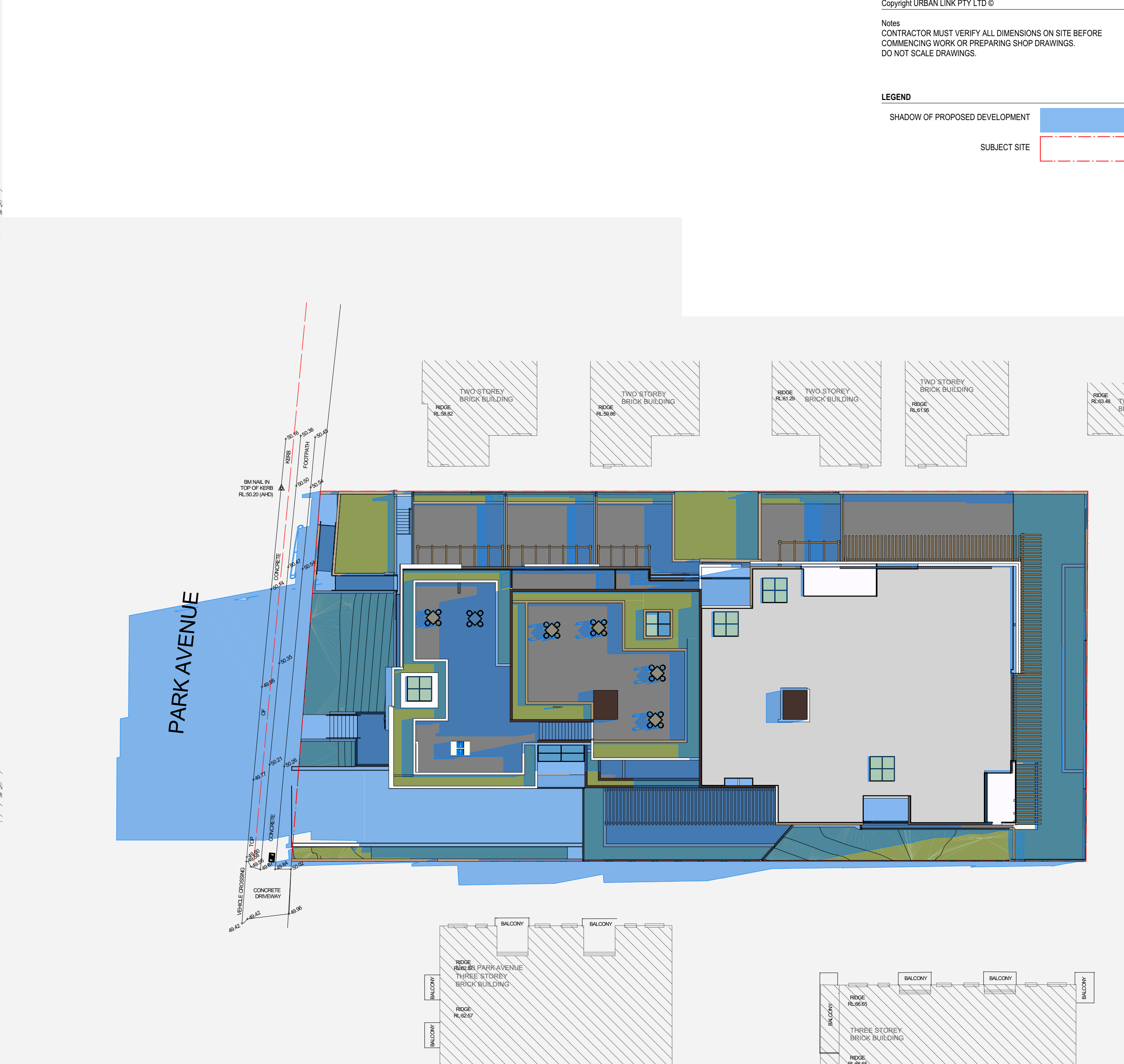
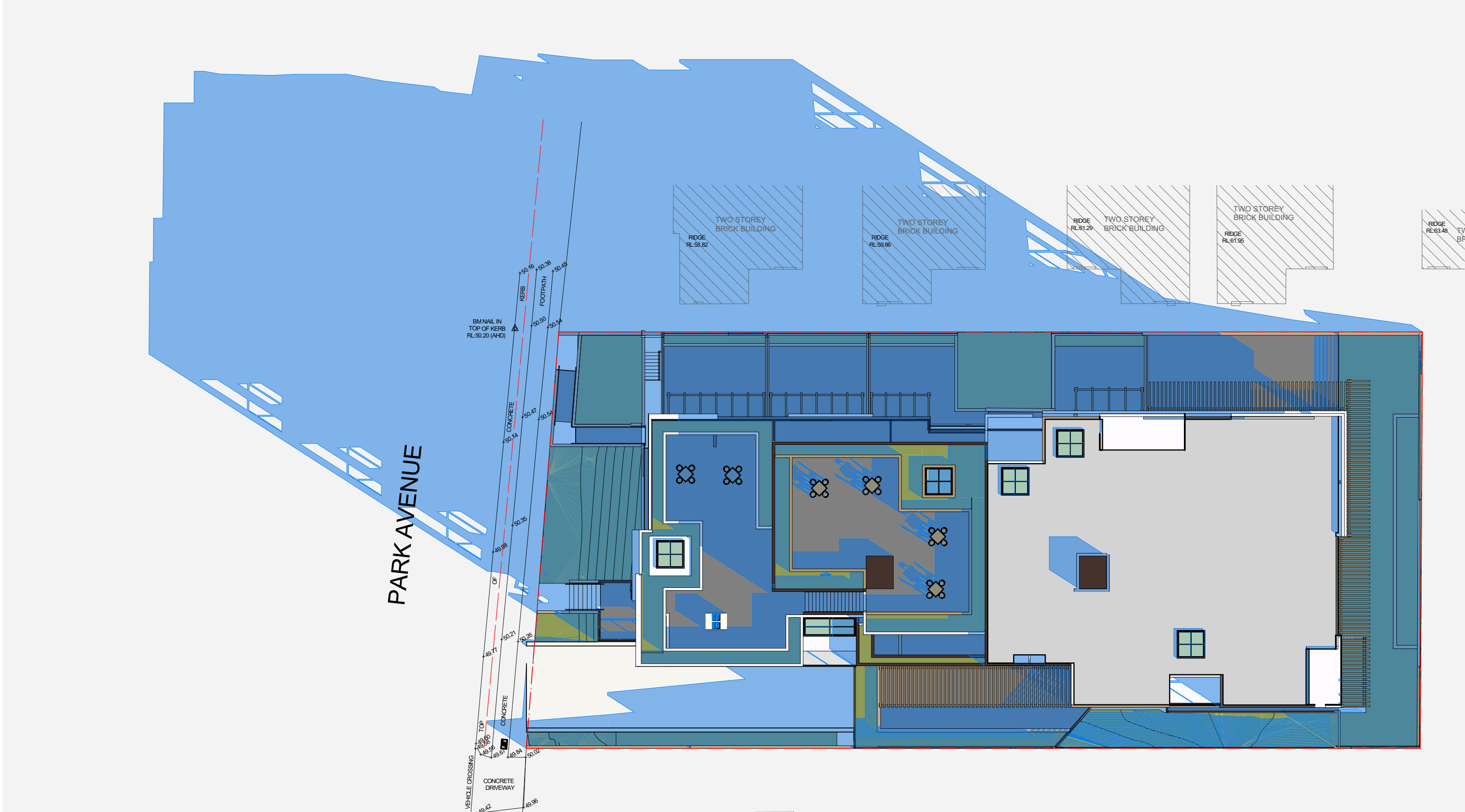
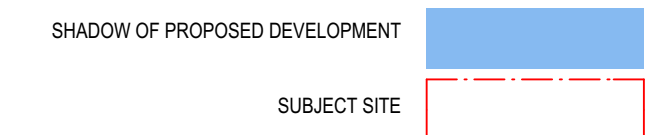
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 Project Number: 17-090
 Status: **DEVELOPMENT APPLICATION**

Drawing Number/Revision: **DA - 024 C**

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LEGEND



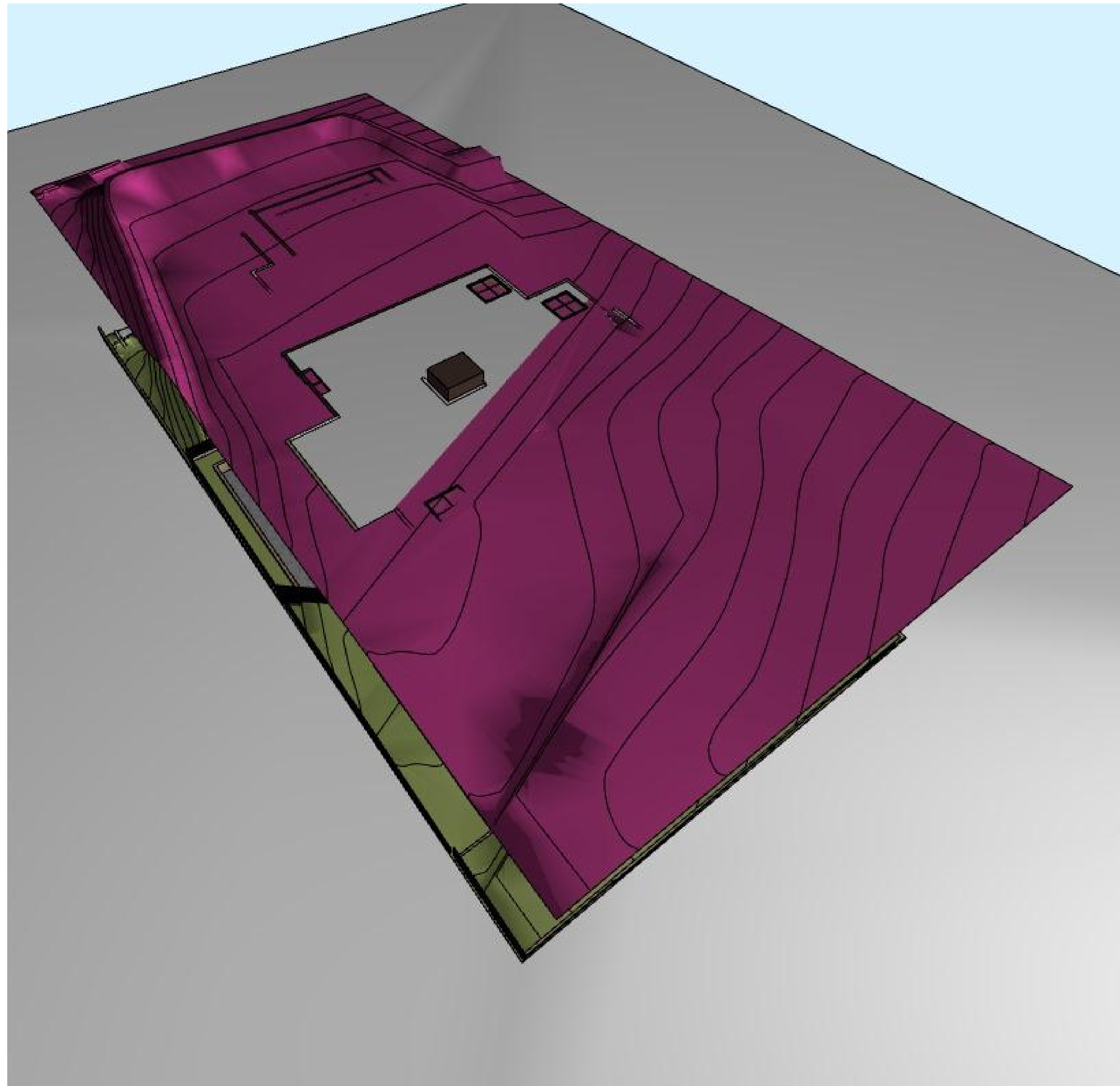
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C	GENERAL REVISION - REDESIGN	060318	CH
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SHADOW DIAGRAMS 21ST JUNE
 Date of Issue 14/06/2018
 Checked Approved
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 (A1 Sheet Size)
 50% @ A3 Sheet Size
 Project Number 17-090
 Status **DEVELOPMENT APPLICATION**

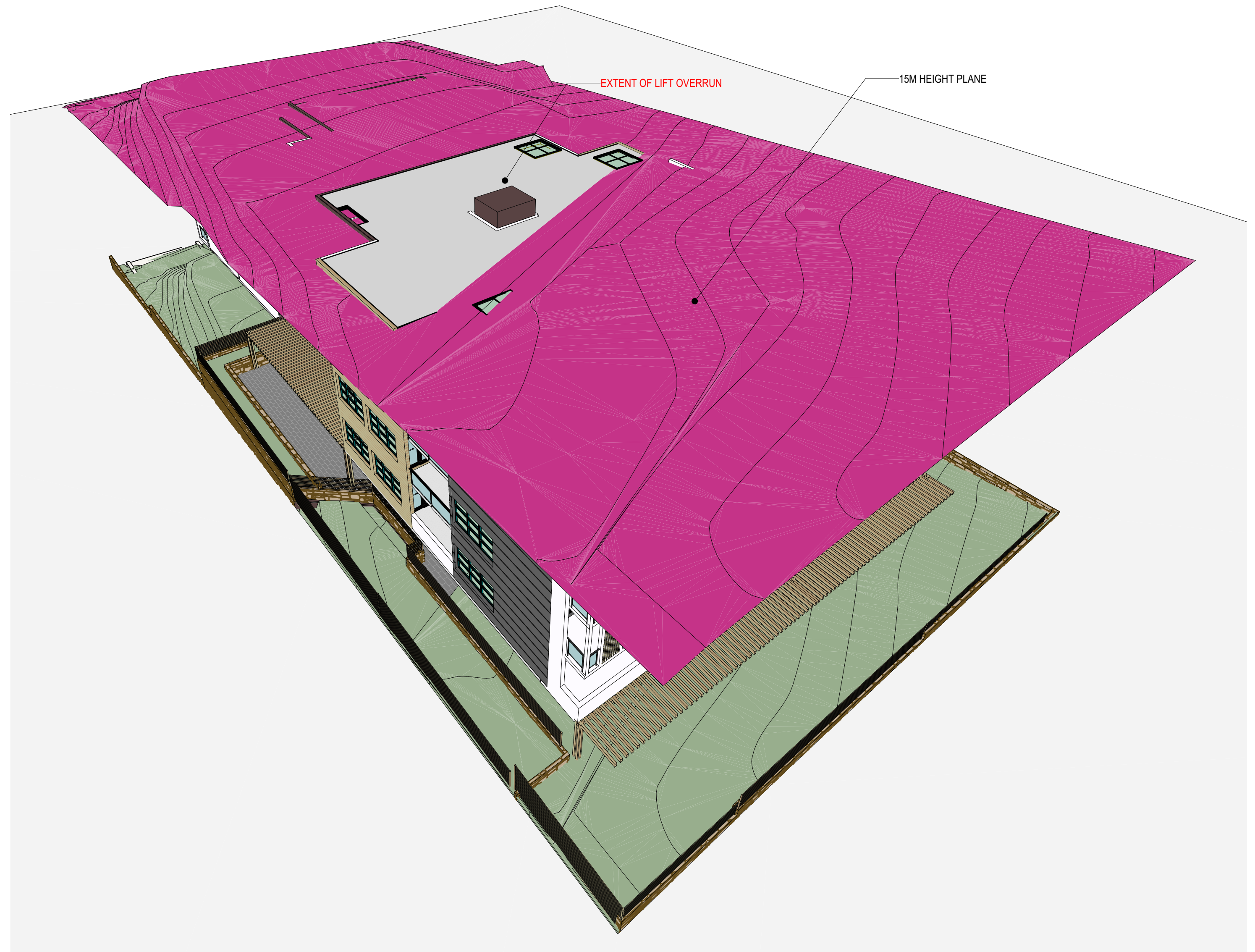
Drawing Number Revision
DA - 061 E



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Generic Perspective

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HEIGHT OF BUILDING MAX.

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D	GENERAL REVISION - REDESIGN	240518	CH
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 Youssef El Khawaja Reg no 8933 Nicolas Touba Reg no 9336
 Drawing Title

HEIGHT PLANE DIAGRAM

Date of Issue 14/06/2018 Checked Approved

Scale
 1:2000, 1:83.33

Project Number 17-090 Drawing Number DA-081 Revision E

Status
DEVELOPMENT APPLICATION



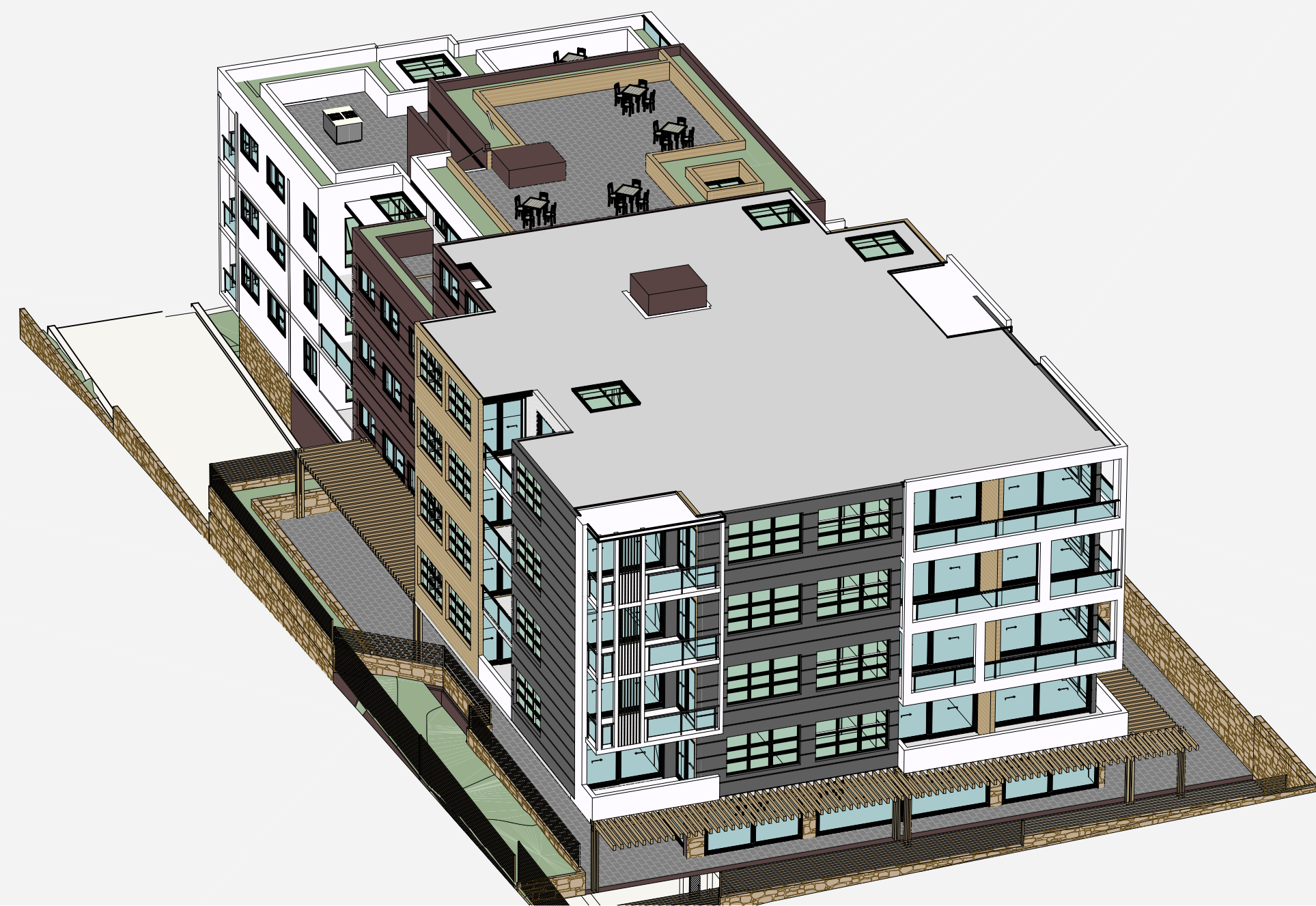
1 VIEW FROM SUN 0800

1:2001



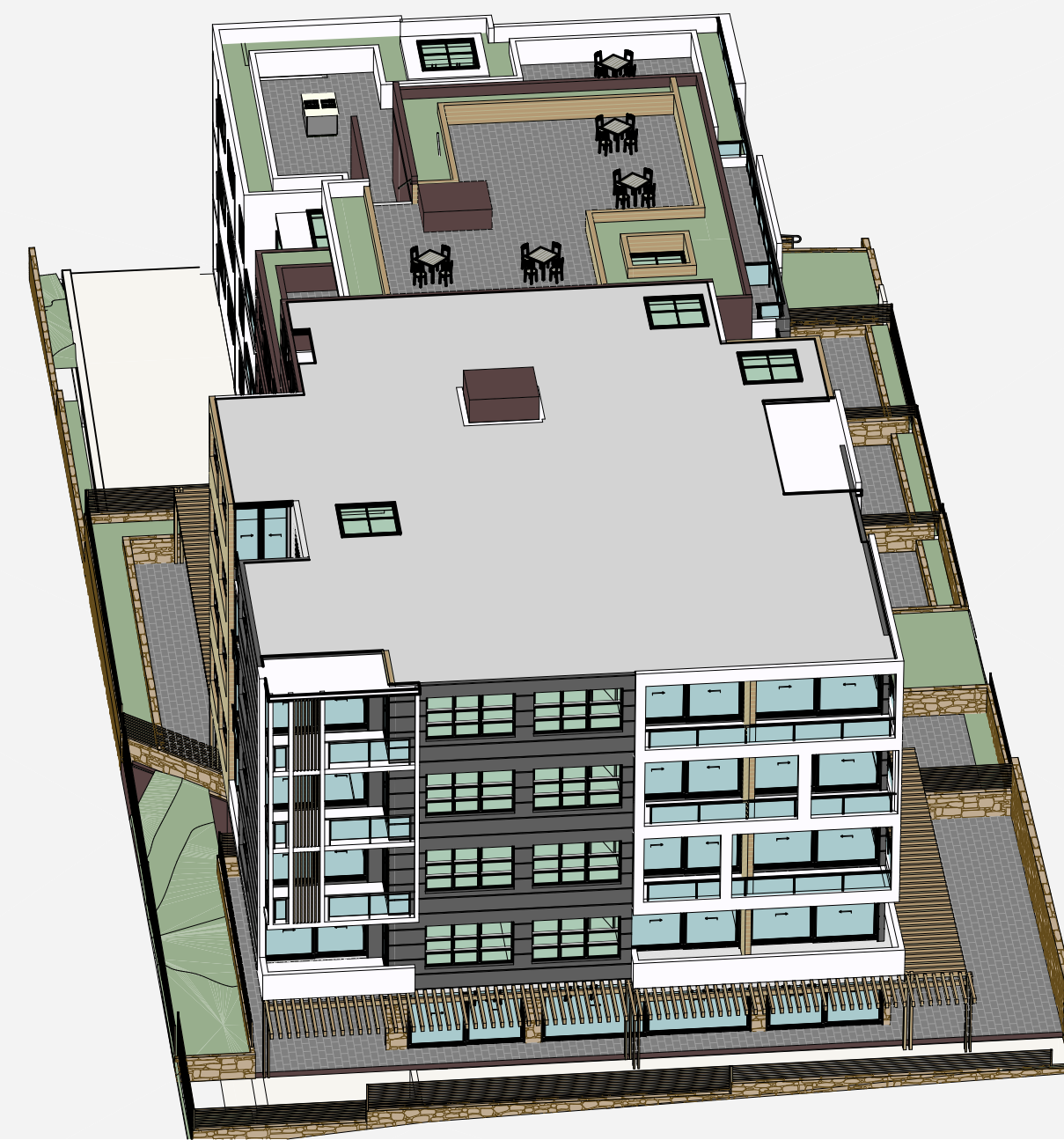
VIEW FROM SUN 0900

1:200



1 VIEW FROM SUN 1000

1:2001



VIEW FROM SUN 1100

1:200

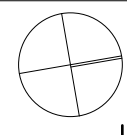
E	GENERAL REVISION - URDP	070518	CH
D	GENERAL REVISION - REDESIGN	240518	CH
C	GENERAL REVISION - REDESIGN	060318	CH
B	GENERAL REVISION	30/10/17	CH
A	DEVELOPMENT APP. STEPHEN BOWERS	FEB 2017	-
Rev.	Description	Date	App'd

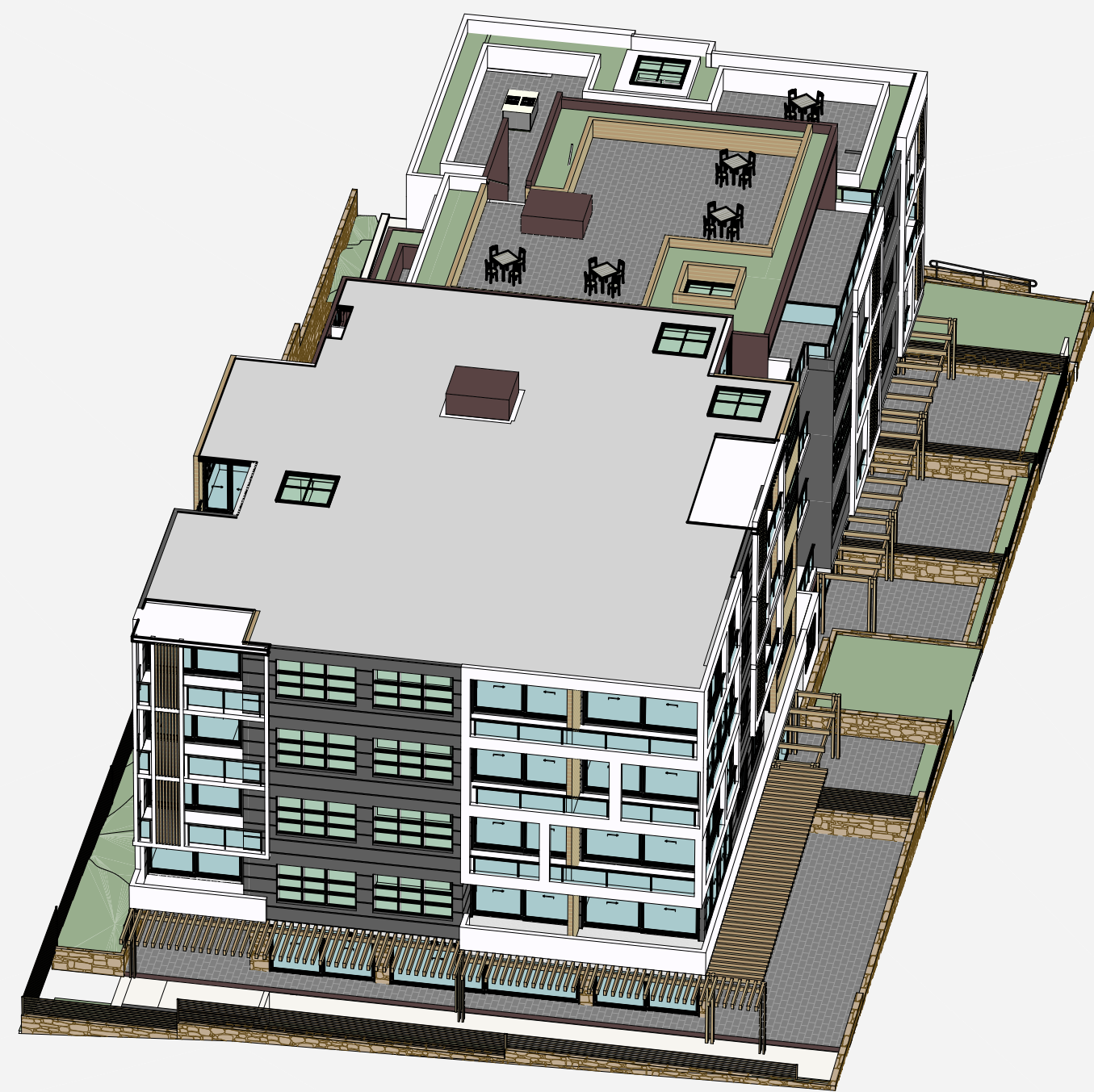
Project
KINGSWOOD
MIXED USE MULTI RESIDENTIAL
 71 PARK AVENUE
 KINGSWOOD NSW 2747 AUSTRALIA

URBAN LINK
 Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
 Postal Address: PO BOX 2223 Burwood North NSW 2134
 Phone Number: +61 29745 2014
 Nominated Architects:
 Ziad Bourneillem Reg no 8008
 Youssef El Khawaja Reg no 8933 Nicolas Touba Reg no 9336
 Drawing Title

SOLAR ACCESS DIAGRAMS
 Date of Issue 14/06/2018 Checked Approved
 Scale 1:200
 (A1 Sheet Size)
 50% @A3 Sheet Size
 Project Number 17-090
 Status **DEVELOPMENT APPLICATION**

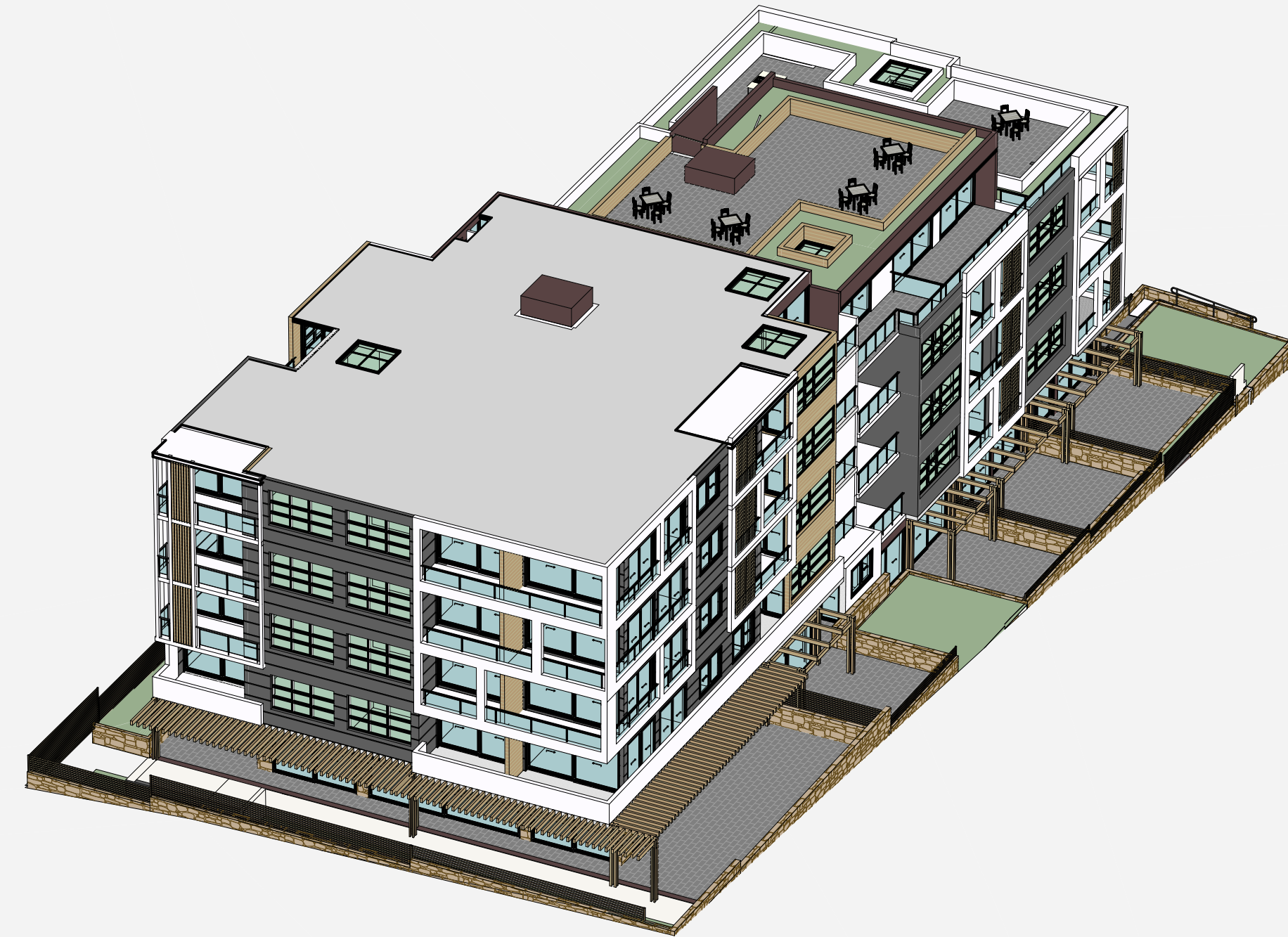
Drawing Number Revision
DA - 091 E





VIEW FROM SUN 1200

1:2001



VIEW FROM SUN 1300

1:200



VIEW FROM SUN 1400

1:2001



VIEW FROM SUN 1500

1:200

Rev	Description	Date	App'd
E	GENERAL REVISION - URDP	070518	CH
D	GENERAL REVISION - REDESIGN	240518	CH
C	GENERAL REVISION - REDESIGN	060318	CH
B	GENERAL REVISION	30/10/17	CH
A	DEVELOPMENT APP. STEPHEN BOWERS	FEB 2017	-

Project
KINGSWOOD
MIXED USE MULTI RESIDENTIAL
 71 PARK AVENUE
 KINGSWOOD NSW 2747 AUSTRALIA

URBAN LINK
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 Nominated Architects:
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 Youssef El Khawaja Reg no 8933 Nicolas Toubia Reg no 9336

Drawing Title
SOLAR ACCESS DIAGRAMS (21ST JUNE 1PM-3PM) & CALCULATION SCHEDULE

Date of Issue 14/06/2018 Checked Approved

Scale
1:200
(A1 Sheet Size)
 50% @A3 Sheet Size
 Project Number

17-090 Drawing Number Revision
DA - 092 E

Status
DEVELOPMENT APPLICATION



Rev	Description	Date	App'd
E	GENERAL REVISION - URDP	07/05/18	CH
D	GENERAL REVISION - REDESIGN	24/05/18	CH
C	GENERAL REVISION - REDESIGN	06/03/18	CH
B	GENERAL REVISION	30/10/17	CH
A	DEVELOPMENT APP. STEPHEN BOWERS	FEB 2017	-

Project
KINGSWOOD
MIXED USE MULTI RESIDENTIAL
71 PARK AVENUE
KINGSWOOD NSW 2747 AUSTRALIA

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Drawing Title

PERSPECTIVE
Date of Issue 14/06/2018
Checked Approved
Scale 50m on original
@A1 Sheet Size
50% @A3 Sheet Size
Project Number
17-090
Status
DEVELOPMENT APPLICATION
Drawing Number Revision
DA - 093 E