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Access Review Report for 103-109 Laycock Street, Cranebrook, NSW

Prepared by

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1. Introduction

Loka Consulting Engineers Pty Ltd has been engaged by Alvaro Architects to carry out an Access assessment for the proposed seniors housing development at 103-109 Laycock Street, Cranebrook, NSW.

The proposed development is bounded by

- 101 Laycock St, 15, 21, 23, 29, 31 Camelot Dr on the East,
- 111 Laycock St on the West,
- 22 Nepean St on the North, and
- Laycock St on the South.

An Access assessment report has been based on the following drawings prepared by Alvaro Architects.

No	Title	Drawing No.	Revision	Date
1	Site Plan	102	02	14.07.2021
2	Site Sections & driveway section	301	01	02.07.2021
3	Typical Floor Plans – Units 01 & 16	701	02	14.07.2021
4	Typical Sections and Elevations – Units 01 & 16	702	01	02.07.2021
5	Typical Floor Plans – Units 02-15	703	02	14.07.2021
6	Typical Sections and Elevations – Units 02-15	704	01	02.07.2021

2. Objectives

The report attempts to provide an accessibility review of the subject development to ascertain that the development is consistent with access requirements for a proposed residential housing development, compliant with the SEPP 2004 & the Disability Discrimination Act 1992.

3. Assessment Criteria

The assessment based on the following legislation, planning instruments and standards pertaining to access for seniors, subsequently the report will refer to the – “State of environmental planning policy (housing for seniors or people with a disability) 2004 (SEPP)” – a standard reference.

For those instances of “Deemed to Satisfy (DTS) non-compliance”, a detailed analysis and commentary is provided, where items are nominated as ‘Compliance Achievable’ it is considered that the existing plans are capable of achieving compliance subject to implementation of the requirements in the construction phase of the development.

4. Proposed Development Summary

- The proposed development will facilitate the construction of a seniors housing development within a site area of approximately 7974m².
- The development consists of 16 units of 1-storey townhouses.
- The total number of car parking spaces is 32 which includes one single garage of 3.8m width for accessible parking for each unit, 1 carport for each unit and 3 visitor spaces.
- a pedestrian crossing is proposed in front of the development to connect the development to the existing footpath & bus stop on the opposite side of the street.
- The development proposed one vehicular entrance and two accessible pedestrian entrances from Laycock St with suitable gradients and cross falls.

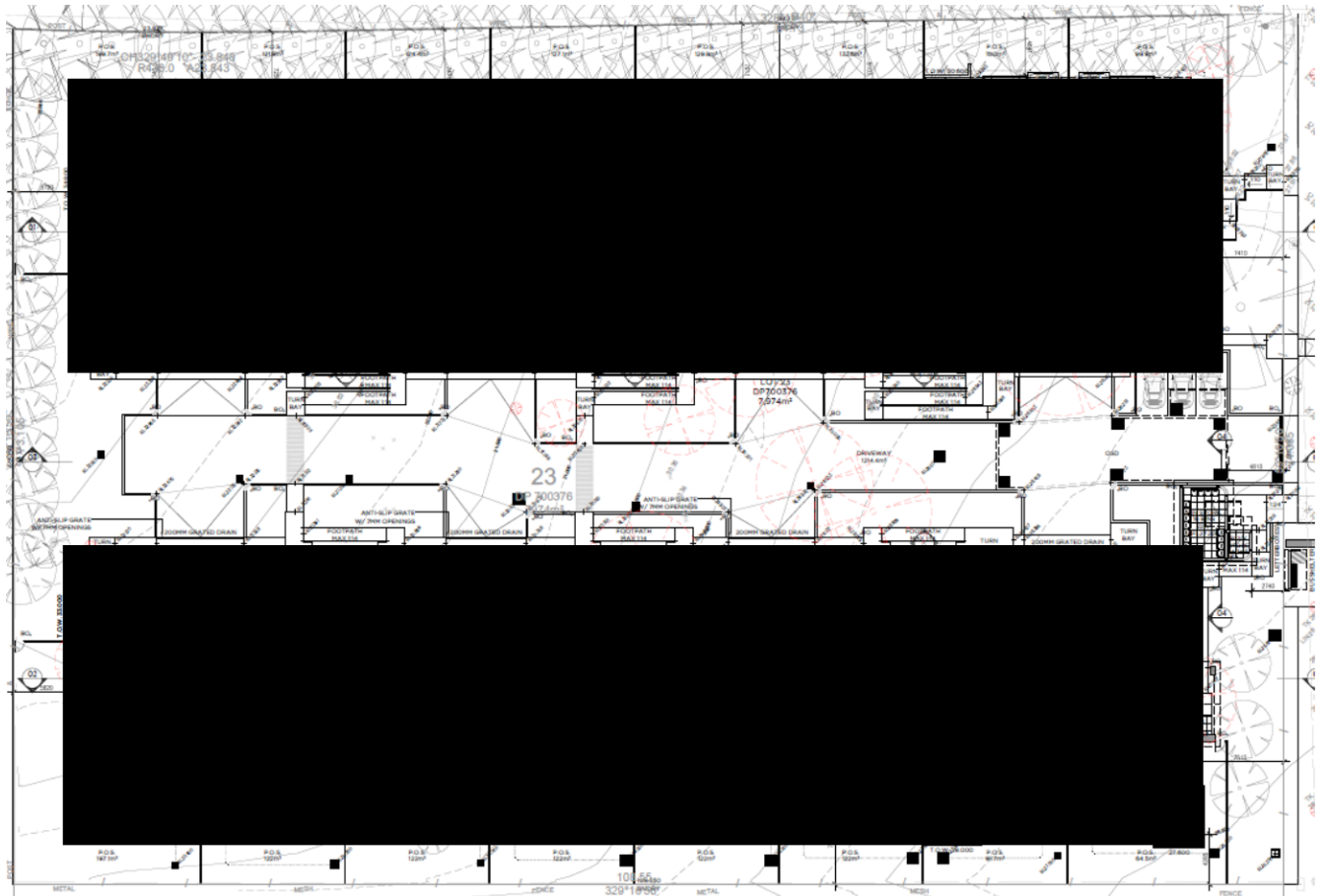


Figure 1: Site Ground Floor

4.1 Building Details

This report is for a proposed New Building, the development being a building with classification as detailed below:

- Class 7a – car parking- garages
- Class 3 – seniors housing

5. Development external adjoining

The proposed development has been designed to reflect the requirements of the SEPP. This development contains self-contained dwellings. Therefore, the requirements of SEPP Clause 26: Location and Access to Facilities and Clause 38: Accessibility are relevant.

5.1 Location and access to facilities – SEPP Clause 26

A SEPP development must offer access to services such as shops, banks, retail services, commercial services, recreational facilities, community facilities and doctors. These facilities are to be located within 400m of the site via an access-way that provides an accessible path of travel

For development within the Sydney Statistical Division, these services must be located at a distance no greater than 400m from the site or access to a public transport network. There are 2 bus stops located right in front of the subject site. One is to be constructed at the existing bus stop and boarding pad located directly opposite the development site on (the southern side of) Laycock Street, to service residents and their visitors waiting for buses to Penrith Station and shops. While The other is to be constructed at the existing bus stop and boarding pad located immediately fronting the development on (the northern side of) Laycock Street, to service residents and their visitors waiting to catch buses to Jordan Springs Shopping Centre in the opposite direction. therefore, complies with this requirement (refer to traffic report issued by this office for details).

Refer to the proximity to amenities map from Google Maps shown below in Figure 2.

Refer to the location of Bus Stops from Google maps shown below in Figure 3.

Refer to the Bus Stop Timetable from Transport NSW shown below in Figure 4 and Figure 5.

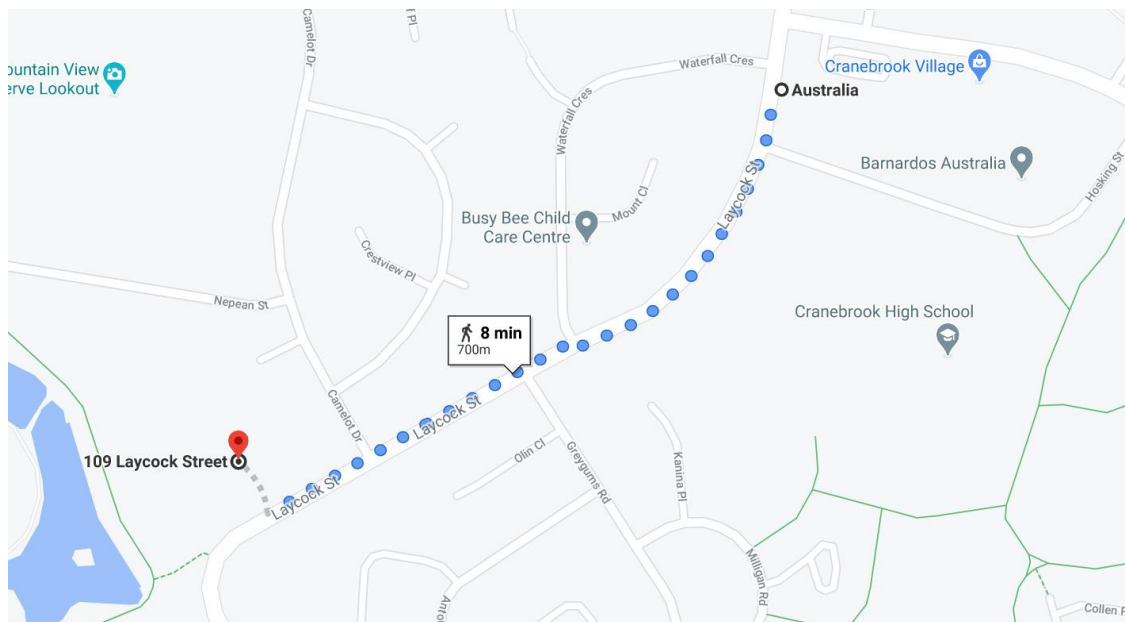


Figure 2 – Proximity to amenities map (700m distance from site to shops)

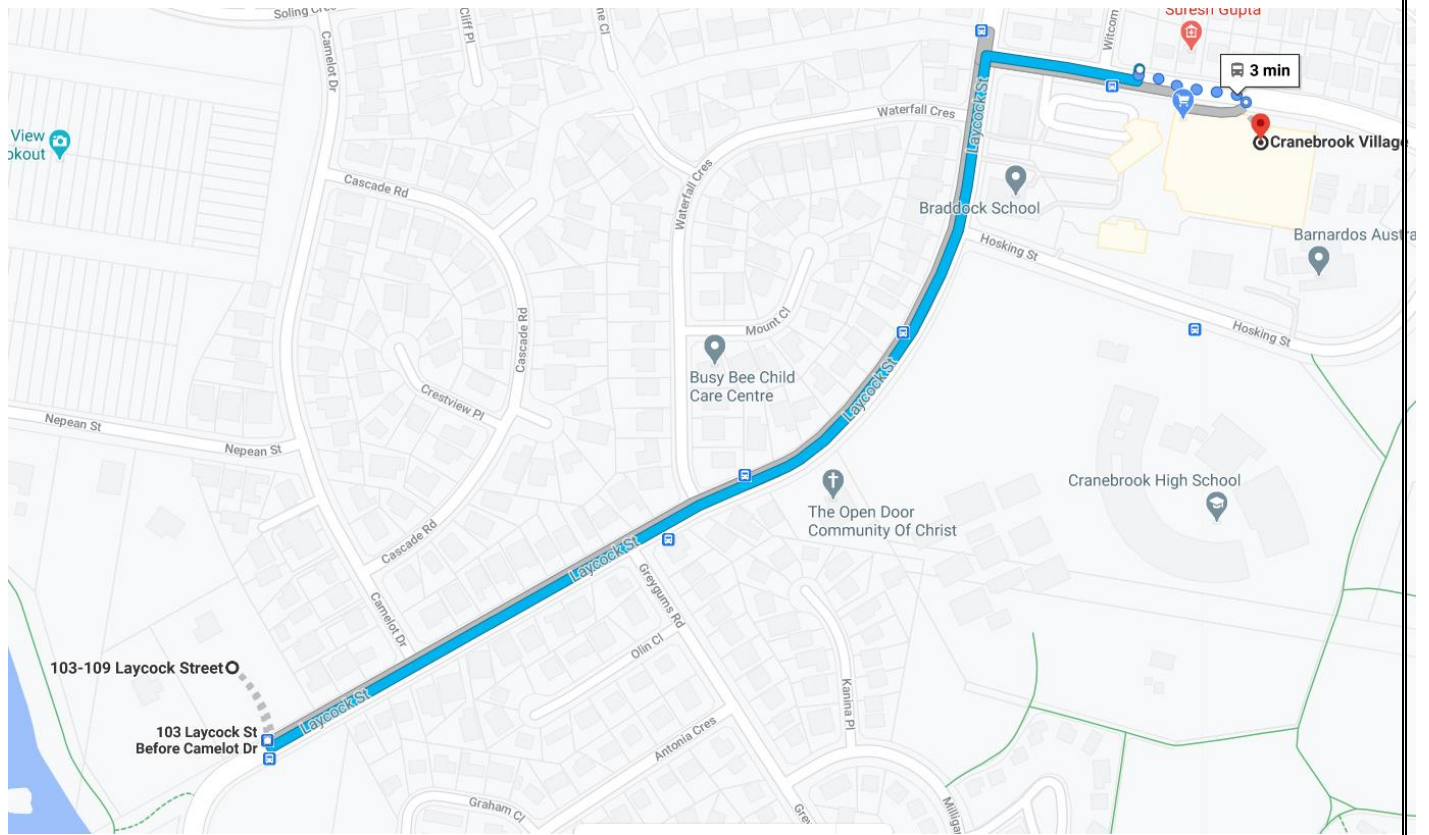


Figure 3 – Bus Stop Locations from site to shops

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Penrith to Jordan Springs

B

Valid from: 20 July 2020

Creation date: 14 Sept 2020

NOTE: Information is correct on date of download.

Monday to Friday

	♿	♿	♿	♿	♿	♿	♿	♿	♿
Penrith Station	06:03	06:30	06:58	07:29	07:59	08:30	09:08	10:08	11:08
Castlereagh Rd after Lugard St, Penrith	06:07	06:35	07:03	07:34	08:04	08:35	09:13	10:13	11:13
Lakeview Dr After Oystercatcher Pl, Cranebrook	06:09	06:37	07:06	07:37	08:07	08:38	09:16	10:16	11:16
Borrowdale Way opp Cranebrook Village Shopping Centre, Cranebrook	06:13	06:41	07:10	07:41	08:11	08:42	09:20	10:20	11:20
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	06:17	06:45	07:14	07:45	08:15	08:46	09:24	10:24	11:24
Greenwood Pkwy opp Nabilla St, Jordan Springs	06:24	06:52	07:21	07:52	08:22	08:53	09:31	10:31	11:33

Monday to Friday

	♿	♿	♿	♿	♿	♿	♿	♿	♿
Penrith Station	12:08	13:08	14:08	15:08	15:51	16:21	16:51	17:18	17:43
Castlereagh Rd after Lugard St, Penrith	12:13	13:13	14:13	15:13	15:56	16:26	16:56	17:23	17:48
Lakeview Dr After Oystercatcher Pl, Cranebrook	12:16	13:16	14:16	15:16	15:59	16:29	16:59	17:26	17:51
Borrowdale Way opp Cranebrook Village Shopping Centre, Cranebrook	12:20	13:20	14:20	15:22	16:04	16:34	17:03	17:30	17:55
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	12:24	13:24	14:24	15:28	16:10	16:39	17:08	17:35	18:00
Greenwood Pkwy opp Nabilla St, Jordan Springs	12:33	13:33	14:33	15:39	16:20	16:48	17:17	17:44	18:09

Monday to Friday

	♿	♿	♿	♿	♿
Penrith Station	18:07	18:37	19:08	19:37	20:37
Castlereagh Rd after Lugard St, Penrith	18:12	18:42	19:13	19:41	20:41
Lakeview Dr After Oystercatcher Pl, Cranebrook	18:15	18:45	19:16	19:44	20:44
Borrowdale Way opp Cranebrook Village Shopping Centre, Cranebrook	18:19	18:49	19:19	19:47	20:47
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	18:24	18:54	19:24	19:52	20:52
Greenwood Pkwy opp Nabilla St, Jordan Springs	18:32	19:02	19:31	19:58	20:58

Saturday

	♿	♿	♿	♿	♿	♿	♿	♿	♿
Penrith Station	08:42	09:42	10:42	11:42	12:42	13:42	14:42	15:42	16:42
Castlereagh Rd after Lugard St, Penrith	08:47	09:47	10:47	11:47	12:47	13:47	14:47	15:47	16:47
Lakeview Dr After Oystercatcher Pl, Cranebrook	08:49	09:49	10:49	11:49	12:49	13:49	14:49	15:49	16:49
Borrowdale Way opp Cranebrook Village Shopping Centre, Cranebrook	08:53	09:53	10:53	11:53	12:53	13:53	14:53	15:53	16:53
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	08:57	09:57	10:57	11:57	12:57	13:57	14:57	15:57	16:57
Greenwood Pkwy opp Nabilla St, Jordan Springs	09:04	10:04	11:04	12:04	13:04	14:04	15:04	16:04	17:04

Saturday

	♿
Penrith Station	17:42
Castlereagh Rd after Lugard St, Penrith	17:47
Lakeview Dr After Oystercatcher Pl, Cranebrook	17:49
Borrowdale Way opp Cranebrook Village Shopping Centre, Cranebrook	17:53
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	17:57
Greenwood Pkwy opp Nabilla St, Jordan Springs	18:04

Sunday & Public Holidays

	♿	♿	♿	♿	♿	♿	♿	♿	♿
Penrith Station	09:09	10:09	11:09	12:09	13:09	14:09	15:09	16:09	17:09
Castlereagh Rd after Lugard St, Penrith	09:14	10:14	11:14	12:14	13:14	14:14	15:14	16:14	17:14
Lakeview Dr After Oystercatcher Pl, Cranebrook	09:16	10:16	11:16	12:16	13:16	14:16	15:16	16:16	17:16
Borrowdale Way opp Cranebrook Village Shopping Centre, Cranebrook	09:20	10:20	11:20	12:20	13:20	14:20	15:20	16:20	17:19
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	09:24	10:24	11:24	12:24	13:24	14:24	15:24	16:24	17:23
Greenwood Pkwy opp Nabilla St, Jordan Springs	09:31	10:31	11:31	12:31	13:31	14:31	15:31	16:31	17:30

Figure 4 – Bus Stop Timetable (From Site to Shops)

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Jordan Springs to Penrith



Monday to Friday	♿	♿	♿	♿	♿	♿	♿	♿	♿
Greenwood Pkwy after Nabilla St, Jordan Springs	05:27	05:56	06:26	06:54	07:23	07:54	08:24	08:55	09:33
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	05:31	06:00	06:30	06:58	07:27	07:58	08:28	08:59	09:37
Cranebrook Village Shopping Centre, Borrowdale Way, Cranebrook	05:35	06:04	06:35	07:05	07:35	08:06	08:36	09:07	09:44
Lakeview Dr Before Wedgebill Pl, Cranebrook	05:39	06:08	06:40	07:10	07:40	08:11	08:41	09:12	09:49
Castlereagh Rd opp Lugard St, Penrith	05:43	06:12	06:45	07:15	07:45	08:16	08:46	09:17	09:53
Penrith Station	05:49	06:18	06:52	07:22	07:52	08:23	08:53	09:24	09:59
Monday to Friday	♿	♿	♿	♿	♿	♿	♿	♿	♿
Greenwood Pkwy after Nabilla St, Jordan Springs	10:33	11:35	12:35	13:35	14:35	15:43	16:24	16:51	17:19
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	10:37	11:39	12:39	13:39	14:39	15:49	16:30	16:55	17:23
Cranebrook Village Shopping Centre, Borrowdale Way, Cranebrook	10:44	11:45	12:45	13:45	14:45	15:53	16:34	17:00	17:28
Lakeview Dr Before Wedgebill Pl, Cranebrook	10:49	11:49	12:49	13:49	14:49	15:57	16:38	17:04	17:32
Castlereagh Rd opp Lugard St, Penrith	10:53	11:53	12:53	13:53	14:53	16:01	16:42	17:09	17:37
Penrith Station	10:59	11:59	12:59	13:59	14:59	16:07	16:48	17:17	17:44
Monday to Friday	♿	♿	♿	♿	♿	♿	♿	♿	♿
Greenwood Pkwy after Nabilla St, Jordan Springs	17:46	18:11	18:34	19:04	19:34				
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	17:51	18:15	18:38	19:08	19:38				
Cranebrook Village Shopping Centre, Borrowdale Way, Cranebrook	17:55	18:20	18:42	19:12	19:42				
Lakeview Dr Before Wedgebill Pl, Cranebrook	17:59	18:24	18:46	19:16	19:45				
Castlereagh Rd opp Lugard St, Penrith	18:04	18:29	18:49	19:19	19:48				
Penrith Station	18:11	18:36	18:55	19:25	19:54				
Saturday	♿	♿	♿	♿	♿	♿	♿	♿	♿
Greenwood Pkwy after Nabilla St, Jordan Springs	08:08	09:06	10:06	11:06	12:06	13:06	14:06	15:06	16:06
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	08:11	09:10	10:10	11:10	12:10	13:10	14:10	15:10	16:10
Cranebrook Village Shopping Centre, Borrowdale Way, Cranebrook	08:17	09:17	10:17	11:17	12:17	13:17	14:17	15:17	16:17
Lakeview Dr Before Wedgebill Pl, Cranebrook	08:21	09:21	10:21	11:21	12:21	13:21	14:21	15:21	16:21
Castlereagh Rd opp Lugard St, Penrith	08:25	09:25	10:25	11:25	12:25	13:25	14:25	15:25	16:25
Penrith Station	08:32	09:32	10:32	11:32	12:32	13:32	14:32	15:32	16:32
Saturday	♿	♿	♿	♿	♿	♿	♿	♿	♿
Greenwood Pkwy after Nabilla St, Jordan Springs	17:06								
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	17:10								
Cranebrook Village Shopping Centre, Borrowdale Way, Cranebrook	17:17								
Lakeview Dr Before Wedgebill Pl, Cranebrook	17:21								
Castlereagh Rd opp Lugard St, Penrith	17:25								
Penrith Station	17:32								
Sunday & Public Holidays	♿	♿	♿	♿	♿	♿	♿	♿	♿
Greenwood Pkwy after Nabilla St, Jordan Springs	08:35	09:33	10:33	11:33	12:33	13:33	14:33	15:33	16:33
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	08:39	09:37	10:37	11:37	12:37	13:37	14:37	15:37	16:37
Cranebrook Village Shopping Centre, Borrowdale Way, Cranebrook	08:45	09:44	10:44	11:44	12:44	13:44	14:44	15:44	16:44
Lakeview Dr Before Wedgebill Pl, Cranebrook	08:48	09:47	10:47	11:47	12:47	13:47	14:47	15:47	16:47
Castlereagh Rd opp Lugard St, Penrith	08:51	09:51	10:51	11:51	12:51	13:51	14:51	15:51	16:51
Penrith Station	08:58	09:58	10:58	11:58	12:58	13:58	14:58	15:58	16:58

Figure 5– Bus Stop Timetable (From Shops to Site)

5.2 Accessibility – SEPP Clause 38

A SEPP development should have obvious and safe pedestrian links from the site that provide access to public transport services or local facilities. A development should provide attractive, yet safe, environments for pedestrian and motorists with convenient access and parking for residents and visitors.

The proposed development meets the intent of safe pedestrian link by direct accessible path to public pedestrian footpath on Laycock St via proposed pedestrian crossing.

The proposed development meets the intent of convenient access and parking for residents and visitors by providing car parking spaces for residents and visitor with an accessible path of travel to all units.

6. Standards concerning accessibility and usability Requirements

“SEPP SCHEDULE 3 – Standards concerning accessibility and usability for self-contained dwellings”

The dwellings within the proposed development have been considered against SEPP-Housing for seniors and People with Disabilities (SEPP); Part 1: Self-contained dwellings - standards concerning access and usability (Clauses 1 – 21) is applicable in this instance.

There are 16 dwellings arrangement, each is provided with a garage with 3.8m width for disabled parking. Extra 4 visitor car parking spaces are provided in this site.

6.1 Wheelchair access – SEPP Schedule 3 Clause 2 (1, 2)

According to SEPP (Housing for seniors or People with a Disability) 2004, Part 1 Cl. 2(1):
If the whole of the site has a gradient of less than 1:10, 100% of the dwellings must have wheelchair access by a continuous accessible path of travel (within the meaning of AS 1428.1) to an adjoining public road.

The whole development is provided with continuous path of travel from the 2 main entrances on Laycock St, comprising mostly of max 1:14 footpaths and a 1:10 steep ramp leading up to the entrance of each dwelling.

6.2 Development Internal Road access – SEPP Schedule 3 Clause 2 (3)

All the dwellings that meet the requirements of sub-clause (1) must have wheelchair access by a continuous accessible path of travel (*within the meaning of AS 1428*) to an adjoining public road.

The site provides an accessible path of travel between the internal pathway and the units via walk ways.

6.3 Common areas – SEPP Schedule 3 Clause 2 (4)

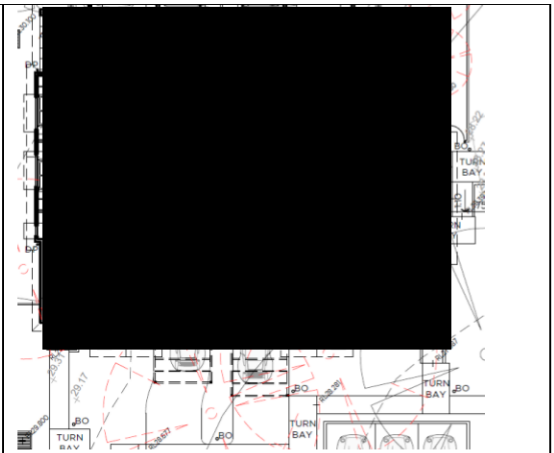
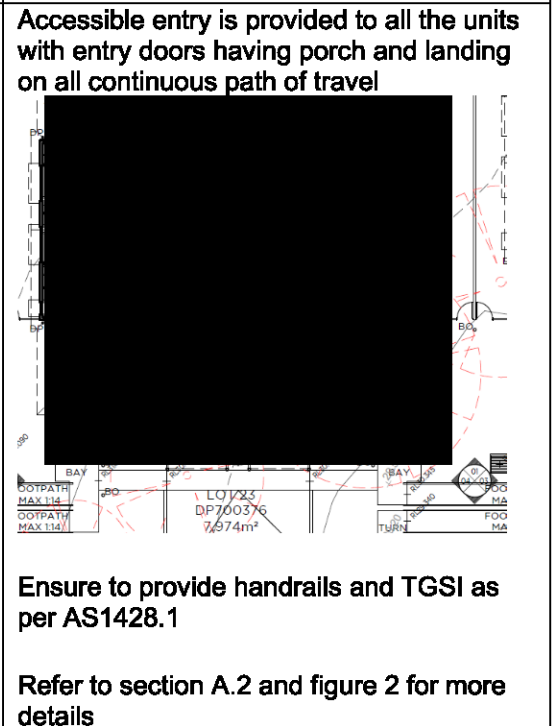
Access must be provided so that a person using a wheelchair can use common areas and common facilities associated with the development. The following common areas are provided within the development:

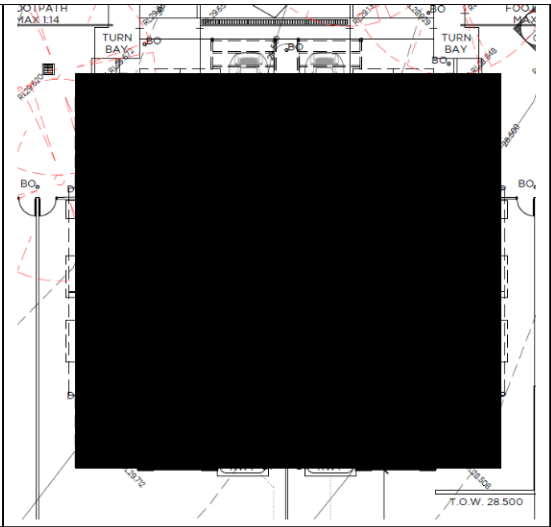
- Bin store at the Laycock street entry

6.4 Seniors Living Requirements

The following assessment summarises the compliance status of the design documentation and requirements referenced to SEPP standard

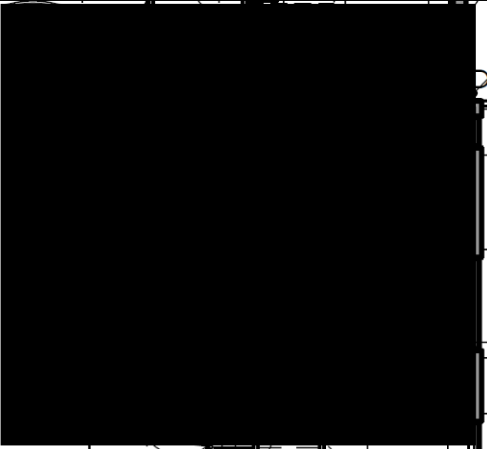
Item	Architecture drawings	Compliance	Comments/ Recommendation
Security	Pathway lighting is to be designed and located to avoid glare for pedestrians and adjacent dwellings. Lighting to be minimum 20 lux at ground level.	Compliance is achievable Details to be verified at CC stage.	Please ensure the dwellings lighting to be minimum 20 lux.
Letterboxes in Estate developments	Letter boxes to be on hard standing area connected to accessible pathway (within the meaning of AS 1428.1). Must be lockable. Must be located together in one or more central locations adjacent to the street entry or, in the case of self-contained dwellings. Give consideration to locating letterboxes within common reach ranges of 700-1200mm above the adjacent ground surface, per AS1428.2 (1992).	Complies Details to be verified at CC stage.	Please ensure the letterbox on hard standing area connected to accessible pathway with a lock for the privacy/ security purposes and within common reach ranges of 700 -1200mm above ground surface
Private Car Accommodation	Car parking space or garage as per AS2890.6. 5% of total number must be designed to enable width to be increased to 3800mm. Any garage must have a power-operated door, or there must be a power point and an area for motor or control rods to enable a	Complies Details to be verified at CC stage.	All the units are provided with single garages of 6.1m x 3.8m Please ensure the garage door to be power-operated.

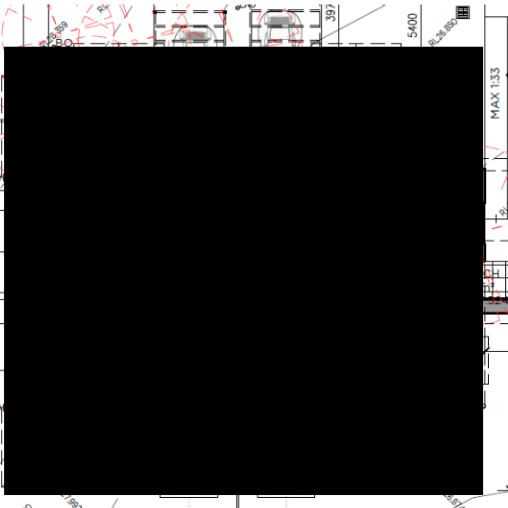
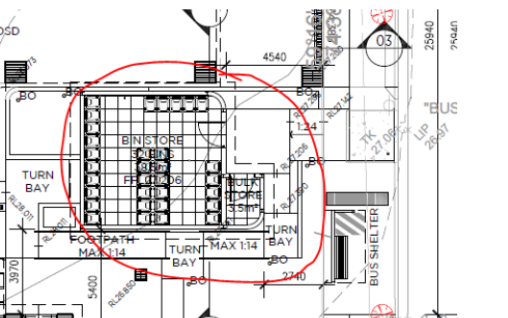
	power-operated door to be installed later.		
Accessible Entry	<p>Every entry (whether a front entry or not) to a dwelling, not being an entry for employees, must comply with clauses 4.3.1 and 4.3.2 of AS 4299.</p>	<p>Complies</p> <p>Details to be verified at CC stage.</p>	<p>Accessible entry is provided to all the units with entry doors having porch and landing on all continuous path of travel</p>  <p>Ensure to provide handrails and TGSi as per AS1428.1</p> <p>Refer to section A.2 and figure 2 for more details</p>
General Interior	<p>Internal doors to comply with AS 1428.1 (<i>min opening width 850mm</i>).</p> <p>Internal corridors min. unobstructed width of 1000 mm.</p> <p>Circulation space at approaches to internal doorways must comply with AS 1428.1.</p>	<p>Compliance is achievable</p> <p>Details to be verified at CC stage.</p>	<p>Please ensure all the internal doors clear width opening is 850mm complying with AS1428.</p> <p>Corridors are 1045mm</p> <p>All the door circulation spaces are complying</p>
Living & Dining room	<p>Provision for circulation space of min. 2250 mm dia. as per AS 4299 clause 4.7.1.</p> <p>Telephone adjacent to general power outlet GPO.</p>	<p>Compliance is achievable</p>	<p>Please ensure telephone adjacent to the GPO and the illumination level min. 300 lux.</p>

	<p>Potential illumination level min. 300 lux.</p>	<p>Details to be verified at CC stage.</p>	
<p>Kitchen</p>	<p>Minimum width 2.7 m (1550 mm clear between benches) as per AS 4299 clause 4.5.2.</p> <p>Provision for circulation at doors to comply with AS 1428.1.</p> <p>Provision for benches planned to include at least one work surface of 800 mm length that comply with clause 4.5.5 (a).</p> <p>"D" pull cupboard handles are located towards the top of below-bench cupboards & towards the bottom of overhead cupboards.</p> <p>Oven as per AS 4299 clause 4.5.7.</p> <p>Tap set capstan or lever handles or lever mixer as per AS4299 clause 4.5.6 and located within 300 mm of front of sink.</p> <p>Cooktops to include isolating switch side controls with raised cross bars as per AS 4299.</p> <p>GPOs to comply with AS 1428.1. At least one double GPO within 300 mm of front of work surface.</p>	<p>Compliance is achievable</p> <p>Details to be verified at CC stage.</p>	<p>Please ensure:</p> <ul style="list-style-type: none"> • Oven and Tap set capstan or lever handles or lever mixer as per AS4299. • The Cooktops to include isolating switch side controls with raised cross bars as per AS 4299. • The "D" pull cupboard handles are located towards the top of below-bench cupboards & towards the bottom of overhead cupboards. • The GPOs comply with AS 1248.1 and to be easily accessible. • At least one double GPO within 300 mm of front of work surface. <p>Refer to Section A.1 with figure 1 for more details</p>

	GPO for refrigerator to be easily accessible when the refrigerator is in its operating position.		
Bedroom	At least one bedroom of area sufficient to accommodate queen size bed, wardrobe, and circulation space requirements of AS 1428.1.	Compliance is achievable Details to be verified at CC stage.	Please ensure 2 double GPO on the wall where the head of the bed; and one at least opposite to this wall, telephone outlet adjacent to GPO; and the illumination level min. 300 lux. All the units have at least 1 bedroom accessible
	Provision for circulation space of min. 1200mm wide at the foot of the bed and 1000mm wide beside the bed.		
	2 double GPO on the wall where the head of the bed; and one at least opposite to this wall.		
	Telephone outlet adjacent to general power outlet GPO or the next to the side closet.		
	Potential illumination level min. 300 lux		
Bathroom	Must comply AS 1428.1 for circulation space for sanitary facilities	Complies Details to be verified at CC stage.	Please ensure: <ul style="list-style-type: none"> • The washbasin, the soap holder and taps comply with AS 1428.1. • The shower screen can easily be removed to facilitate future accessibility. • The shower of flexible hose of min. length 1500mm; folding seat, grabrails and shower head supports grabrails specified as AS1428.1. • The fixture and fittings specified as per SEPP standards. • Shower recess - no hob. Minimum size 1160x1100mm. • Double GPO beside mirror as per SEPP. • A wall cabinet that is sufficiently illuminated to be able to read the labels of items stored in it.
	Circulation spaces overlapping must follow 1428.1 sub-clause 15.6 and figure 50.		
	A slip-resistant floor surface,		
	Soap holder and taps to comply with 1428.1 sub-clauses 15.5.7, 15.5.8 and figure 48.		
	A washbasin with plumbing that would allow, either immediately or in the future, clearances that comply with AS 1428.1		
	Opening shower screens must maintains required circulation space of 1600mmX2350mm.		

	<p>As per 1428.1 sub-clause (1) (c) does not prevent the installation of a shower screen that can easily be removed to facilitate future accessibility</p> <p>Shower recess - no hob. Minimum size 1160x1100mm to comply with AS 1428.1. Sub-clause 15.5.2 and Figures 47 and 48.</p> <p>Shower head shall have flexible hose of minimum length of 1500mm and comply with 1428.1 sub-clause 15.5.6</p> <p>Folding seat to comply with 1428.1 sub-clause 15.5.9</p> <p>Grabrails and showerhead supports grabrails must specified as per 1428.1 clause 17.</p> <p>Fixture and fittings to follow 1428.1 sub-clause 15.4.</p> <p>Double GPO beside mirror as per SEPP</p> <p>A wall cabinet that is sufficiently illuminated to be able to read the labels of items stored in it.</p> <p>Dwelling must have at least one toilet on the ground (or main) floor</p>		
Toilet	<p>Slip resistant floor surface. (Vitreous tiles or similar).</p> <p>Water taps shall comply with AS 1428.1</p> <p>Location of WC pan at correct distance from fixed walls as per AS 1428.1</p> <p>Provision for grab rail zone as per AS 1428.1.</p> <p>The toilet seat, backrest, flushing control, toilet paper dispenser and grabrails shall comply with AS 4299</p>	<p>Complies</p> <p>Details to be verified at CC stage.</p>	<p>Please ensure</p> <ul style="list-style-type: none"> • Water taps comply with AS 1428.1. • Floor has slip-resistant surface; • The toilet sanitary facilities comply with AS4299 • The grabrail zone follow AS 1428.1. • Location of WC pan at correct distance from fixed walls. • The WC grabrails are safely fixed as per AS1429.1.

	<p>The circulation space to be revised as per 1428.1 sub-clause 15.2.8.1 and figure 43</p> <p><i>Provision of visitable toilet or accessible toilet – “being a toilet with a space of minimum 1250mm x 900mm in front of the WC pan”.</i></p> <p>Balconies and external paved areas must have slip-resistant surfaces.</p>		
Surface finishes	Balconies and external paved areas must have slip-resistant surfaces.	<p>Compliance is achievable</p> <p>Details to be verified at CC stage.</p>	Please ensure that balconies and external paved area are Slip resistant floor surface.
Door hardware	Door handles and hardware for all doors (including entry doors and other external doors) must be provided in accordance with AS 4299.	<p>Compliance is achievable</p> <p>Details to be verified at CC stage.</p>	Please ensure the Door handles and hardware (including entry doors and other external doors) must be provided in accordance with AS 4299.
Ancillary items	Switches and power points must be provided in accordance with AS 4299.	<p>Compliance is achievable</p> <p>Details to be verified at CC stage.</p>	Please ensure the Switches and power points GPO must be provided in accordance with AS 4299.
Access to kitchen, main bedroom, bathroom and toilet	In a multi-storey building containing separate self-contained dwellings on different storeys, lift access must be provided to dwellings above the ground level of the building by way of a lift complying with clause E3.6 of the Building Code of Australia	NA	The development is a one storey unit.
Lifts in multi-storey buildings	Circulation at doors to comply with AS 1428.1	NA	
Laundry	<p>A circulation space at door approaches that complies with AS 1428.1</p> <p>Clear space in front of appliances of at least 1300mm.</p>	<p>Compliance is achievable</p>	Please ensure that the provision for installing appliances; slip-resistant floor surface with clear waste water outlet must

	<p>Provision for the installation of an automatic washing machine and clothes dryer.</p> <p>An accessible path of travel to any clothesline provided in relation to the dwelling.</p>	<p>Details to be verified at CC stage.</p>	<p>be provided. In addition to an accessible path of travel to clothes line</p> 
<p>Storage for linen</p>	<p>A self-contained dwelling must be provided with a linen storage in accordance with clause 4.11.5 of AS 4299</p> <p><i>It should be at least 600mm wide that have adjustable shelving</i></p>	<p>Compliance is achievable</p> <p>Details to be verified at CC stage.</p>	<p>Please ensure the provision of linen storage in accordance with clause 4.11.5 of AS 4299 of adjustable shelves of min. 600mm wide.</p>
<p>Garbage</p>	<p>A garbage storage area must be provided in an accessible location.</p>	<p>Complies</p> <p>Details to be verified at CC stage.</p>	<p>Bin store room is located at the entry from Laycock street</p> 

Appendix A - References

The below figures are taken from AS1428.1 and AS 4299 for references, for broader knowledge, more clarification and to support the “comments/recommendations” part of the table in Section 6.4 of the report.

Section A.1 Kitchen

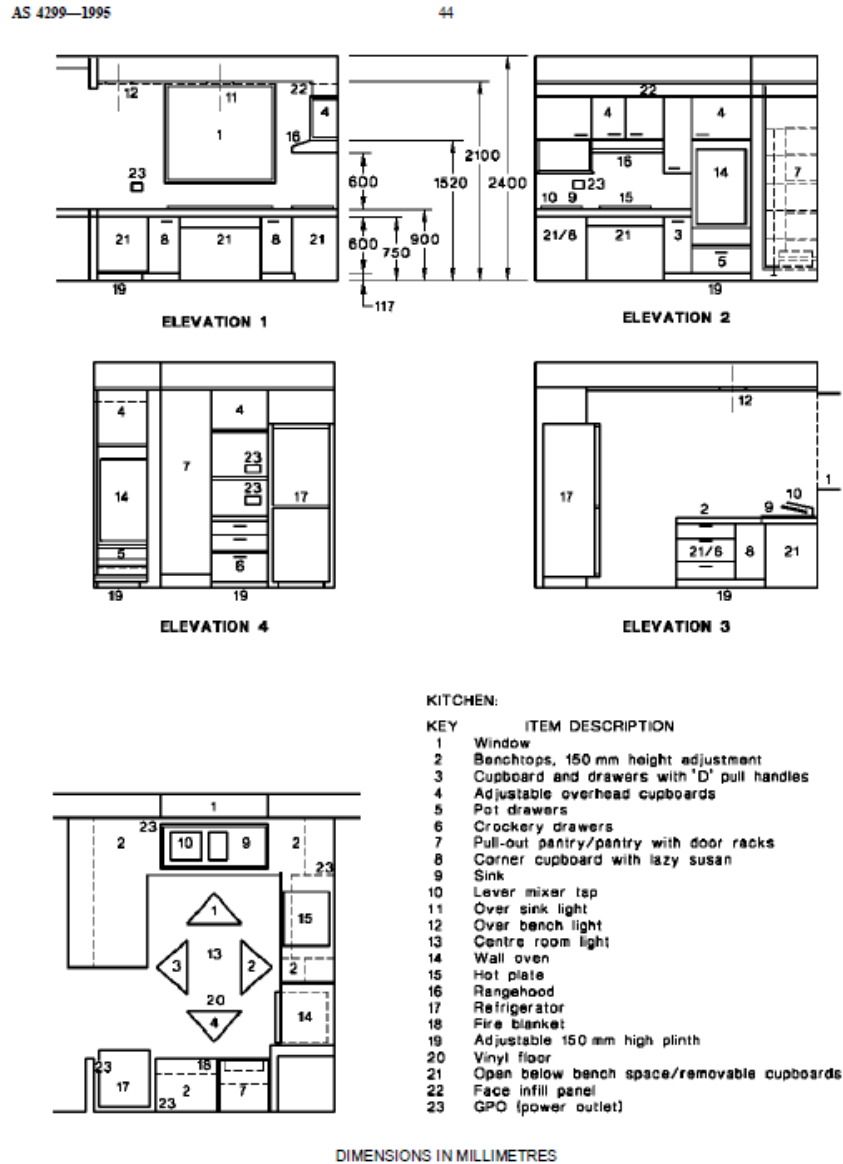


Figure 1: Example of kitchen layout - after adaptation

Section A.2 Stairways

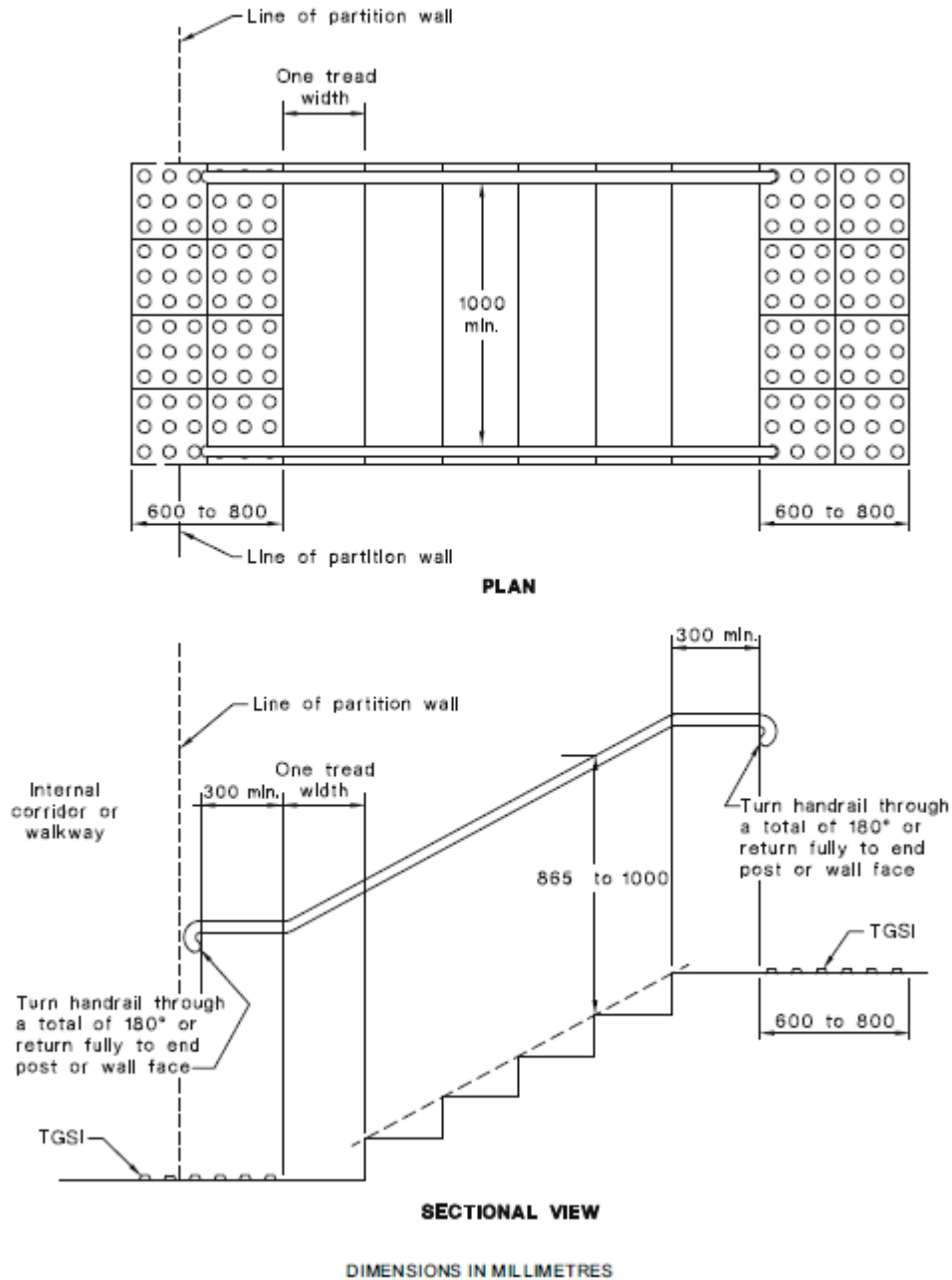


Figure 2: Stairway location and handrail extensions at end of stairway other than at line of boundary

Appendix B – Statement of Expertise

CONSULTANCY PROFILE AND STATEMENT OF EXPERTISE

Loka Consulting Engineers offers a wide range of professional services to provide advice and auditing services for clients in developing new or modifying existing buildings, facilities and services to be accessible to people with disabilities to comply with legislation and regulations. These legislations and regulations include Disability Discrimination Act (DDA), Building Code of Australia (BCA), Australian Standards AS 1428.1, as 1428.4.1, as 2890.6, AS 1735.12 and various local government development plans.

Apart from providing access report, Loka Consulting Engineers also provides below stated services:

- Traffic report, traffic control plan, waste management plan, Dilapidation report
- Stormwater design
- BASIX and NatHERS
- Soil & Water Management and Erosion & Sediment Control Plan, and many more

The access reports prepared by the Loka Consulting Engineers consider issues concerning people with all types of disability including: physical; vision; hearing, intellectual and other cognitive impairments that may affect access for people with the Disability Discrimination Act.

As a Senior Civil Engineer and the Director, Nermein Loka has 18 years of experience in Civil Engineering field and considerable expertise in a wide range of access related projects.

Her qualifications and affiliations are:

- Associate Member of the Association of Consultants in Access Australia
- Member of Institute of Engineers Australia
- Member of the St. Merkorious Charity, which predominantly focuses on feeding the homeless around Sydney.



Associate Member

Association of Consultants in Access Australia, Inc

Certificate of Membership
Associate Member



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Mr Mark Hall
Vice President
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Secretary
Mr Terry Osborn
Treasurer
Ms Lindsay Perry
Committee Members
Ms Cathryn Grant
Mrs Anita Harrop
Mr Francis Larray
Mr Bryce Tulliskay

This is to certify that
Nermein LOKA

Membership Number
550

was admitted as an Associate Class Member of the
Association of Consultants in Access Australia, Inc. on the 7th day of June 2017.
Membership is only valid whilst a current financial member.



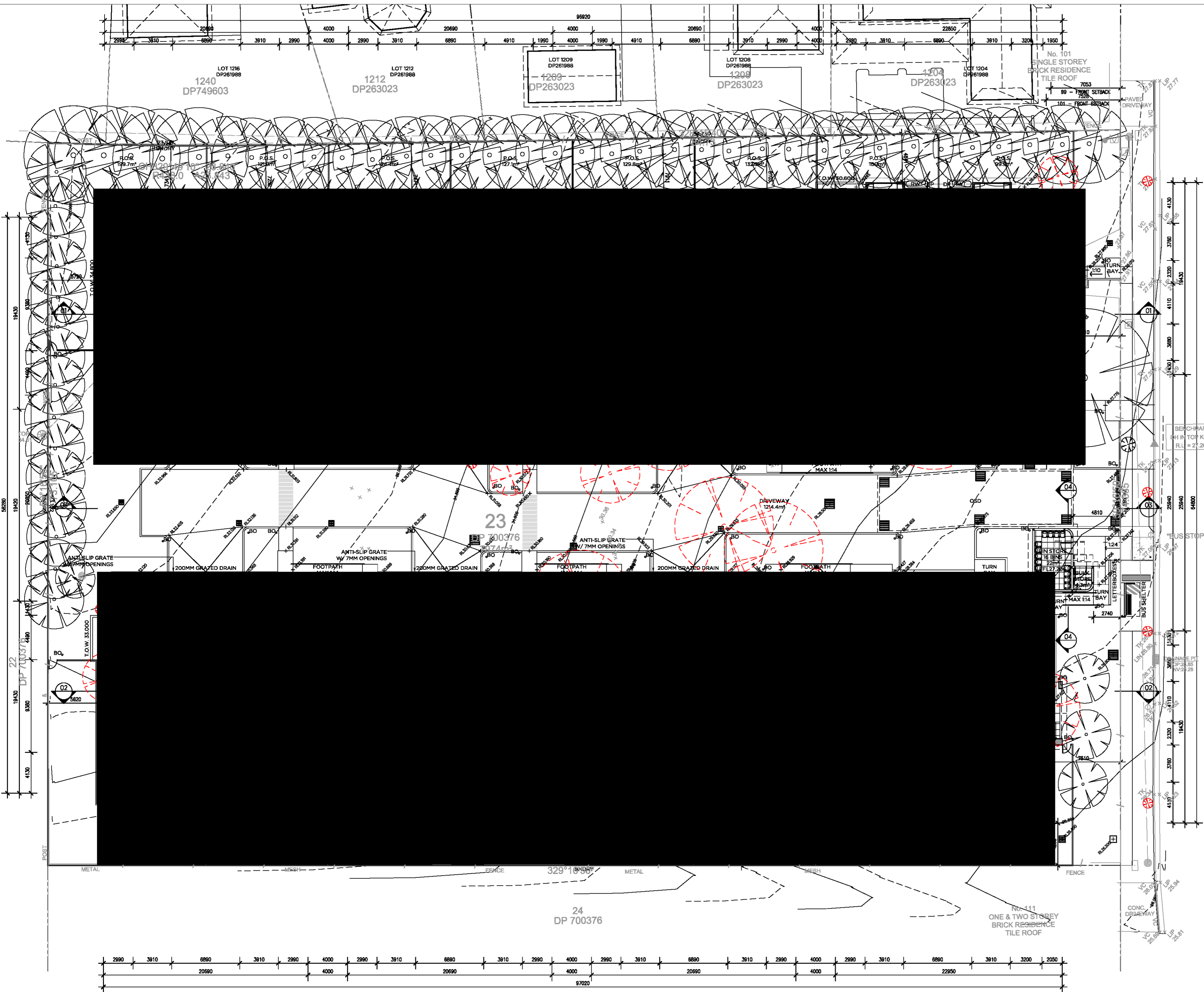
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Geelong Victoria
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asn 45 978 370 029



APPENDIX C

Architectural Plans

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01	02.07.21	ISSUE TO CONSULTANTS FOR REVIEW	EF
02	14.07.21	ISSUE TO CONSULTANTS FOR REVIEW	EF



- NOTES**
BASIX NOTES
- FIXTURES**
ALL SHOWER HEADS 3 STAR (>4.5 BUT <=6L/MIN) TO ALL DWELLINGS
ALL TOILET FLUSHING SYSTEMS 4 STAR TO ALL DWELLINGS
ALL KITCHEN & BATHROOM TAPS 5 STAR TO ALL DWELLINGS
- ALTERNATIVE WATER**
2200L RAIN WATER TANK TO ALL DWELLINGS
COLLECT RUN-OFF FROM AT LEAST 100m² OF ROOF AREA TO ALL DWELLINGS
CONNECT RAIN WATER TANK TO OUTDOOR TAP & LAUNDRY TO ALL DWELLINGS
- HOT WATER**
4 STAR GAS INSTANTANEOUS HOT WATER SYSTEM TO ALL DWELLINGS
- VENTILATION**
BATHROOM, KITCHEN & LAUNDRY VENTILATION INDIVIDUAL FAN DUCTED W/MANUAL SWITCH ON/OFF TO ALL DWELLINGS
- HEATING/COOLING**
3.5 STAR 1-PHASE AIRCONDITIONING 1 STAR TO LIVING AREAS & BEDROOMS TO ALL DWELLINGS
- ARTIFICIAL LIGHTING**
LED/FLOURESCENT LIGHTING TO ALL BEDROOMS/LIVING AREAS/BATHROOMS/HALLWAYS/KITCHENS/LAUNDRIES TO ALL DWELLINGS
- NATURAL LIGHTING**
UNITS 1 & 16: 1 BATHROOM & KITCHEN TO BE NATURALLY LIT
UNIT 2-15: KITCHEN TO BE NATURALLY LIT
- APPLIANCES**
GAS COOKTOP & ELECTRIC OVEN TO ALL DWELLINGS
OUTDOOR CLOTHES DRYING LINE TO ALL DWELLINGS
- COMMON AREAS**
GARBAGE ROOM NATURAL VENTILATION EXHAUST ONLY
GARBAGE ROOM COMPACT FLOURESCENT LIGHTING WITH MANUAL ON/OFF

LEGEND

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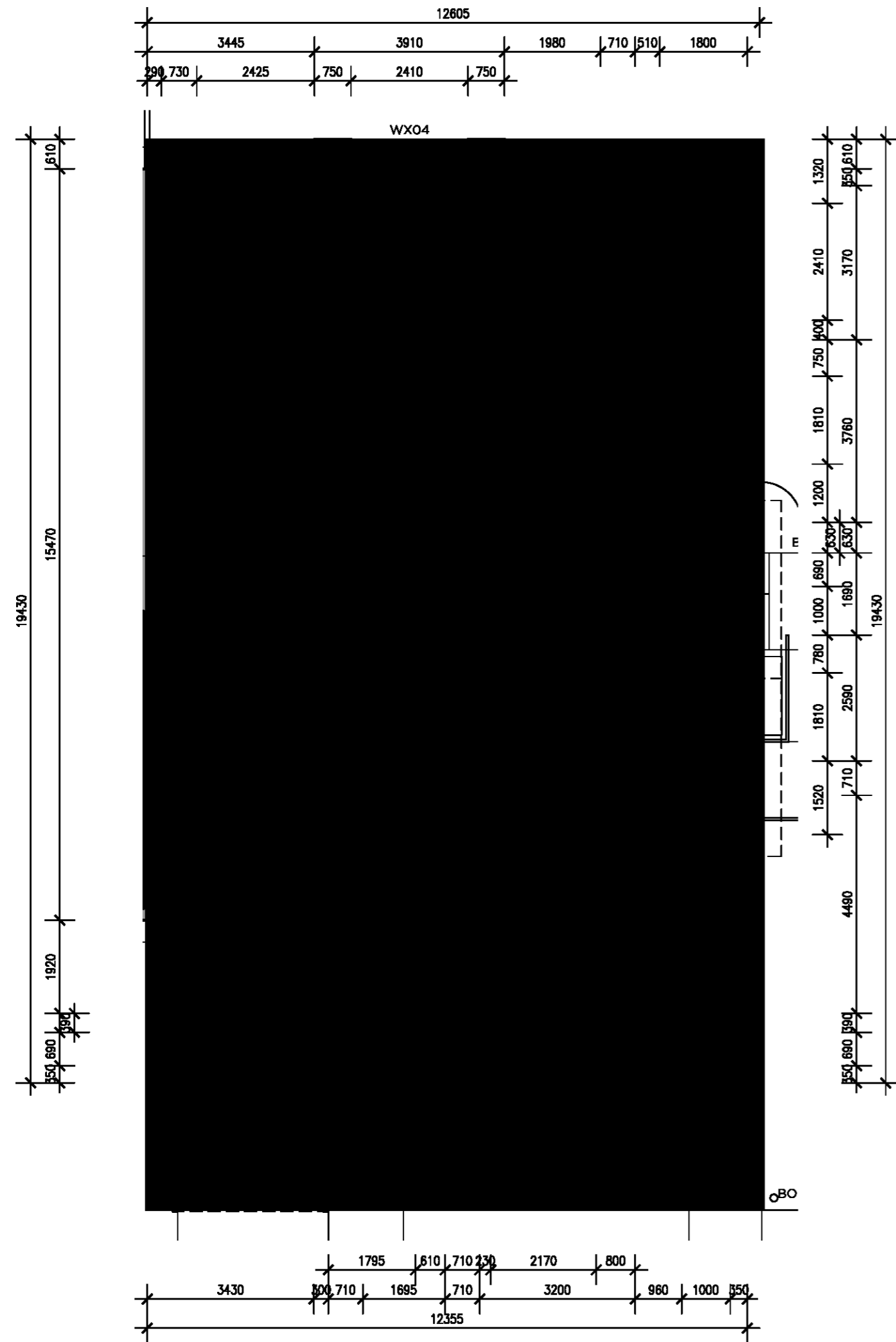
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Cranebrook

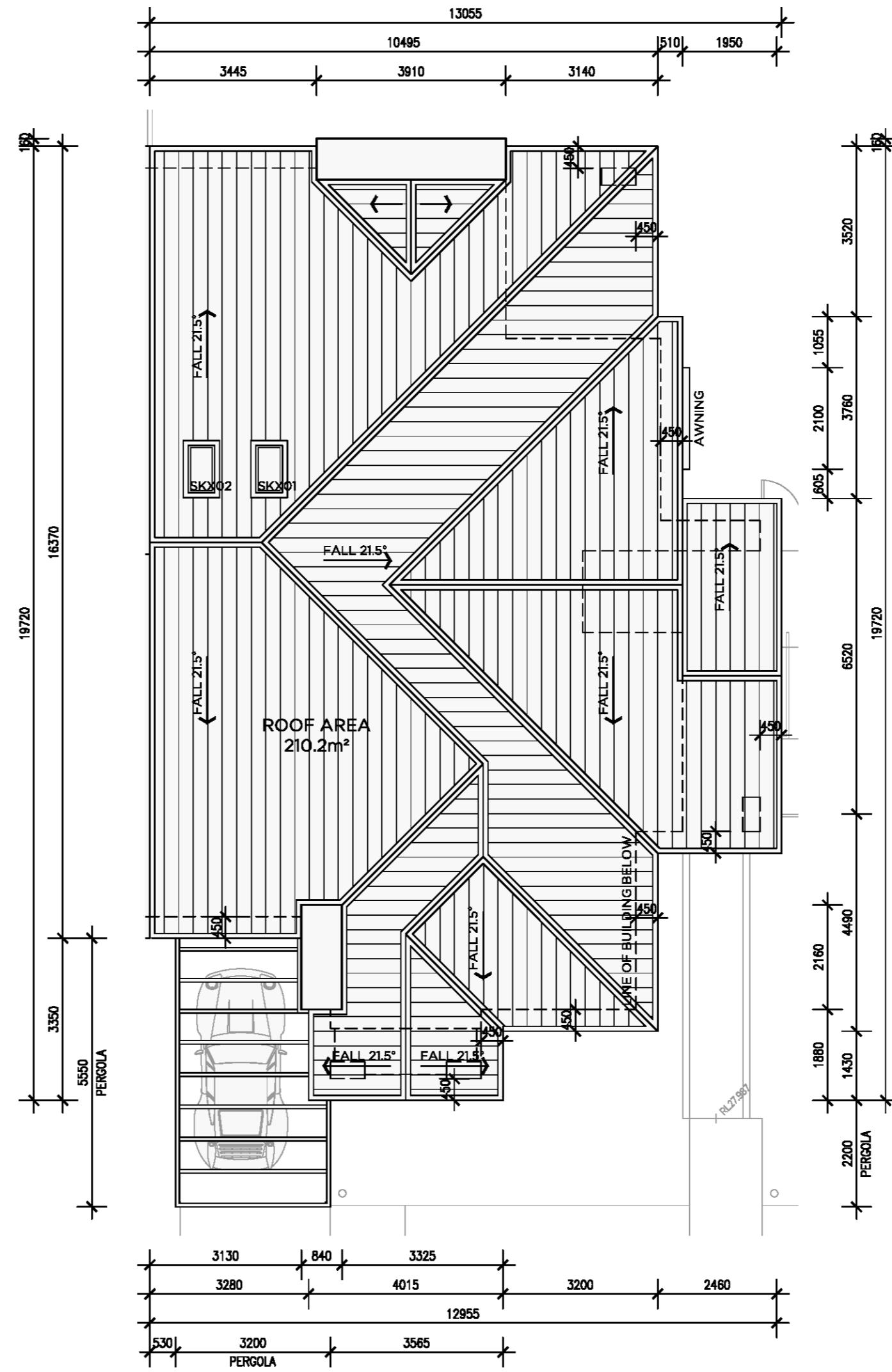
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		102	02

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TYPICAL GROUND FLOOR PLAN
UNITS 01 & 16



TYPICAL GROUND FLOOR PLAN
UNITS 01 & 16

NOTES
BASIX NOTES

FIXTURES
ALL SHOWER HEADS 3 STAR (>4.5 BUT <=6L/MIN) TO ALL DWELLINGS
ALL TOILET FLUSHING SYSTEMS 4 STAR TO ALL DWELLINGS
ALL KITCHEN & BATHROOM TAPS 5 STAR TO ALL DWELLINGS

ALTERNATIVE WATER
2200L RAIN WATER TANK TO ALL DWELLINGS
COLLECT RUN-OFF FROM AT LEAST 100m² OF ROOF AREA TO ALL DWELLINGS
CONNECT RAIN WATER TANK TO OUTDOOR TAP & LAUNDRY TO ALL DWELLINGS

HOT WATER
4 STAR GAS INSTANTANEOUS HOT WATER SYSTEM TO ALL DWELLINGS

VENTILATION
BATHROOM, KITCHEN & LAUNDRY VENTILATION INDIVIDUAL FAN DUCTED W/MANUAL SWITCH ON/OFF TO ALL DWELLINGS

HEATING/COOLING
3.5 STAR 1-PHASE AIRCONDITIONING 1 STAR TO LIVING AREAS & BEDROOMS TO ALL DWELLINGS

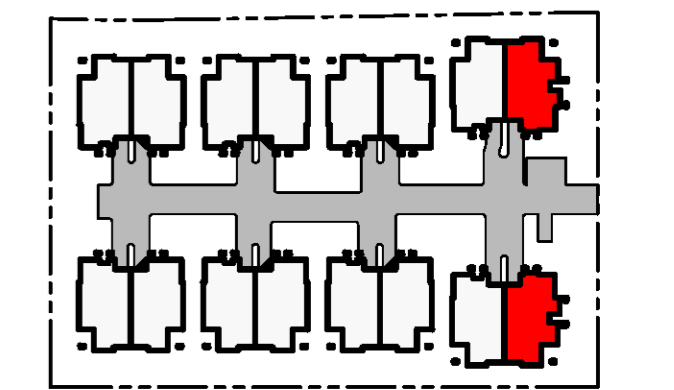
ARTIFICIAL LIGHTING
LED/FLOURESCENT LIGHTING TO ALL BEDROOMS/LIVING AREAS/BATHROOMS/HALLWAYS/KITCHENS/LAUNDRIES TO ALL DWELLINGS

NATURAL LIGHTING
UNITS 1 & 16: 1 BATHROOM & KITCHEN TO BE NATURALLY LIT
UNIT 2-15: KITCHEN TO BE NATURALLY LIT

APPLIANCES
GAS COOKTOP & ELECTRIC OVEN TO ALL DWELLINGS
OUTDOOR CLOTHES DRYING LINE TO ALL DWELLINGS

COMMON AREAS
GARBAGE ROOM NATURAL VENTILATION EXHAUST ONLY
GARBAGE ROOM COMPACT FLOURESCENT LIGHTING WITH MANUAL ON/OFF

LEGEND



DWELLING LEGEND

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Cranebrook

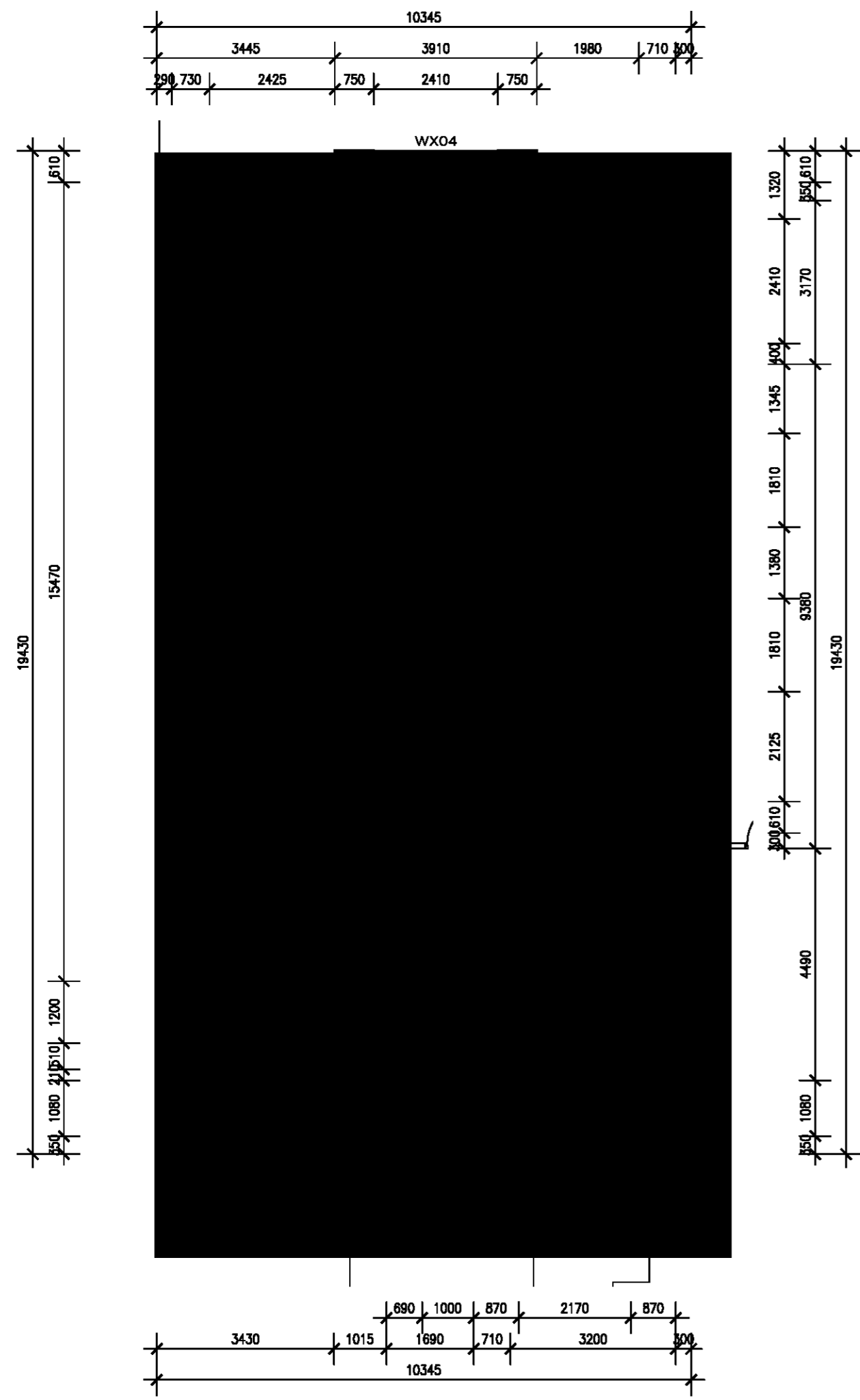
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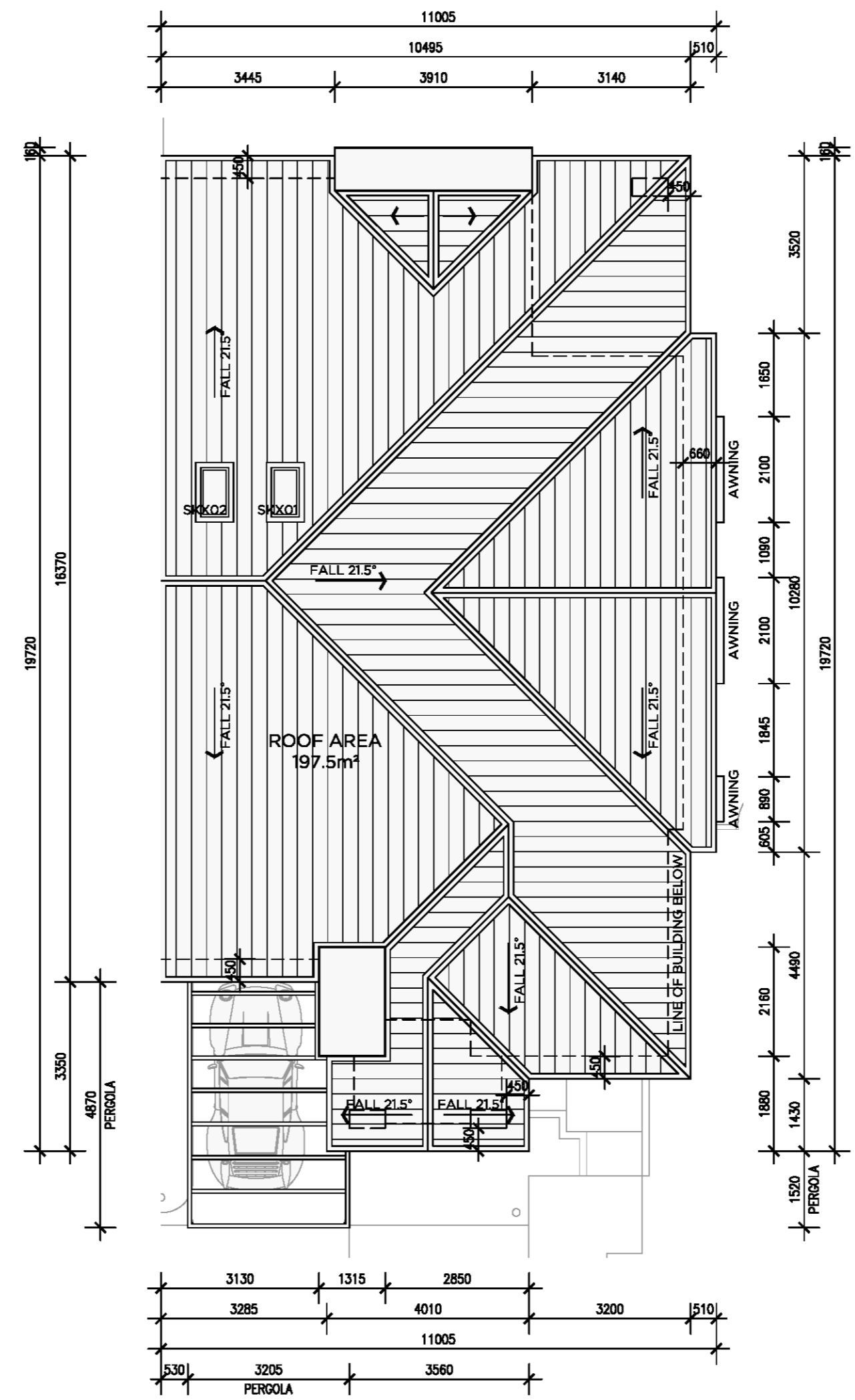
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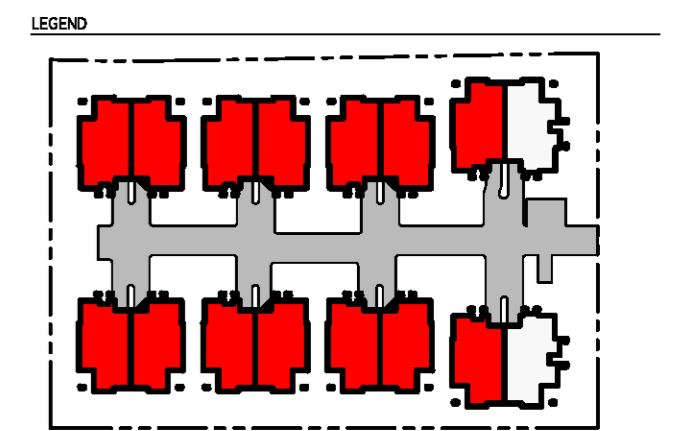


TYPICAL GROUND FLOOR PLAN
UNIT 2-15



TYPICAL ROOF PLAN
UNIT 2-15

- NOTES**
- BASIC NOTES**
- FIXTURES**
- ALL SHOWER HEADS 3 STAR (>4.5 BUT <=6L/MIN) TO ALL DWELLINGS
 - ALL TOILET FLUSHING SYSTEMS 4 STAR TO ALL DWELLINGS
 - ALL KITCHEN & BATHROOM TAPS 5 STAR TO ALL DWELLINGS
- ALTERNATIVE WATER**
- 2200L RAIN WATER TANK TO ALL DWELLINGS
 - COLLECT RUN-OFF FROM AT LEAST 100m² OF ROOF AREA TO ALL DWELLINGS
 - CONNECT RAIN WATER TANK TO OUTDOOR TAP & LAUNDRY TO ALL DWELLINGS
- HOT WATER**
- 4 STAR GAS INSTANTANEOUS HOT WATER SYSTEM TO ALL DWELLINGS
- VENTILATION**
- BATHROOM, KITCHEN & LAUNDRY VENTILATION INDIVIDUAL FAN DUCTED W/MANUAL SWITCH ON/OFF TO ALL DWELLINGS
- HEATING/COOLING**
- 3.5 STAR 1-PHASE AIRCONDITIONING 1 STAR TO LIVING AREAS & BEDROOMS TO ALL DWELLINGS
- ARTIFICIAL LIGHTING**
- LED/FLOURESCENT LIGHTING TO ALL BEDROOMS/LIVING AREAS/BATHROOMS/HALLWAYS/KITCHENS/LAUNDRIES TO ALL DWELLINGS
- NATURAL LIGHTING**
- UNITS 1 & 16: 1 BATHROOM & KITCHEN TO BE NATURALLY LIT
 - UNIT 2-15: KITCHEN TO BE NATURALLY LIT
- APPLIANCES**
- GAS COOKTOP & ELECTRIC OVEN TO ALL DWELLINGS
 - OUTDOOR CLOTHES DRYING LINE TO ALL DWELLINGS
- COMMON AREAS**
- GARBAGE ROOM NATURAL VENTILATION EXHAUST ONLY
 - GARBAGE ROOM COMPACT FLOURESCENT LIGHTING WITH MANUAL ON/OFF



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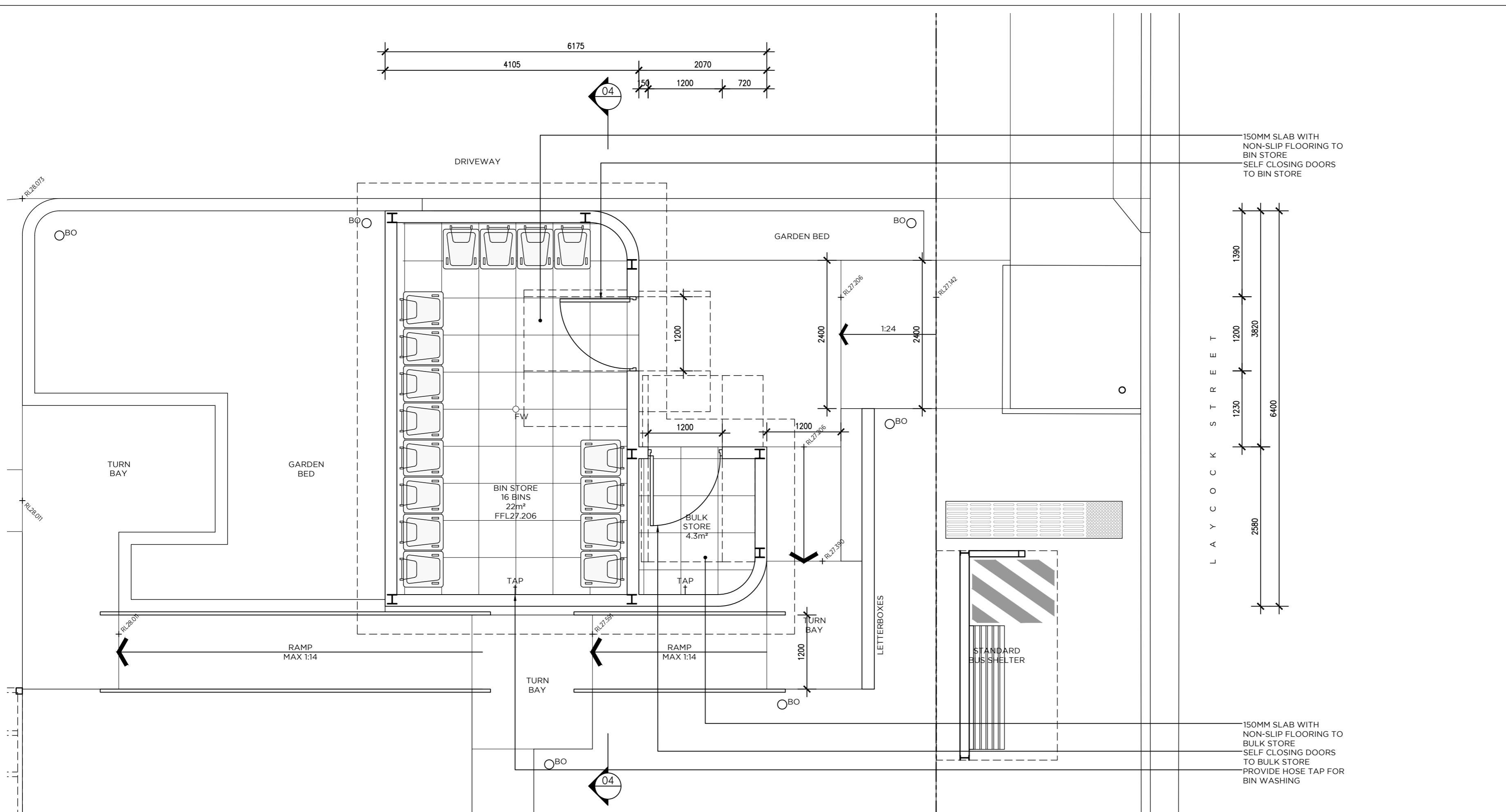
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Cranebrook

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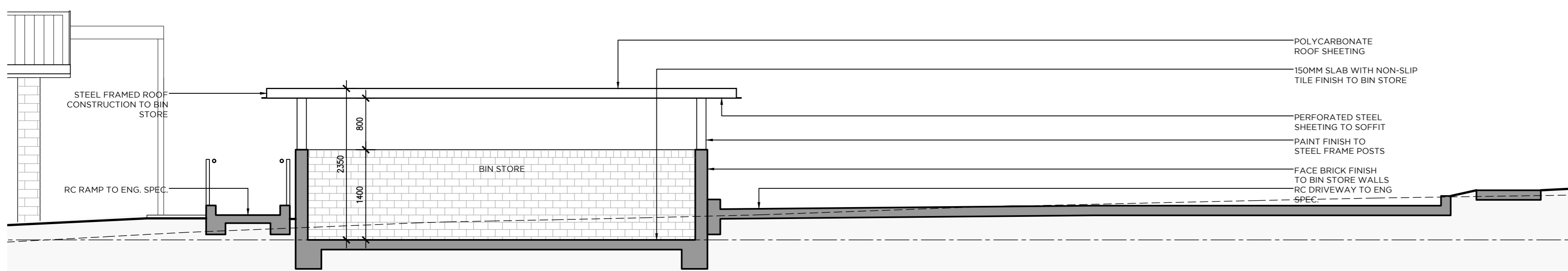


150MM SLAB WITH NON-SLIP FLOORING TO BIN STORE
SELF CLOSING DOORS TO BIN STORE

150MM SLAB WITH NON-SLIP FLOORING TO BULK STORE
SELF CLOSING DOORS TO BULK STORE
PROVIDE HOSE TAP FOR BIN WASHING

- NOTES**
BASIX NOTES
- FIXTURES**
ALL SHOWER HEADS 3 STAR (>4.5 BUT <=6L/MIN) TO ALL DWELLINGS
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- COMMON AREAS**
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GARBAGE ROOM COMPACT FLOURESCENT LIGHTING WITH MANUAL ON/OFF

GROUND FLOOR PLAN
BIN & BULK STORE DETAIL



- POLYCARBONATE ROOF SHEETING
150MM SLAB WITH NON-SLIP TILE FINISH TO BIN STORE
PERFORATED STEEL SHEETING TO SOFFIT
PAINT FINISH TO STEEL FRAME POSTS
FACE BRICK FINISH TO BIN STORE WALLS
RC DRIVEWAY TO ENG. SPEC.

SECTION 04
BIN & BULK STORE DETAIL

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