

Statement of Environmental Effects

DEMOLITION OF EXISTING BUILDINGS, REMOVAL OF IDENTIFIED TREES, AND CONSTRUCTION OF A SENIORS LIVING HOUSING DEVELOPMENT WITH 16 DWELLINGS & STRATA SUBDIVISION AT 103-109 LAYCOCK STREET, CRANEBROOK



Prepared by: Think Planners
Document Date: 21 January 2021
Consent Authority: Penrith City Council



QUALITY ASSURANCE

PROJECT: Statement of Environmental Effects –Seniors Living Development
ADDRESS: Lot 23 in DP700376: 103-109 Laycock Street, Cranebrook
COUNCIL: Penrith City Council
AUTHOR: Think Planners Pty Ltd
ARCHITECT: Alvaro

Date	Purpose of Issue	Rev	Reviewed	Authorised
November 2020	Draft Issue	Draft	SK/JW	JW
21 January 2021	Revised DA Lodgement Issue	Final	JW	JW

<i>Integrated Development (under S.4.46 of the EP&A Act). Does the development require approvals under any of the following legislation?</i>	
<i>Fisheries Management Act 1994</i>	<i>No</i>
<i>Heritage Act 1977</i>	<i>No</i>
<i>Mine Subsidence Act 1992</i>	<i>No</i>
<i>Mining Act 1992</i>	<i>No</i>
<i>National Parks and Wildlife Act 1974</i>	<i>No</i>
<i>Petroleum (Onshore) Act 1991</i>	<i>No</i>
<i>Protection of the Environment Operations Act 1997</i>	<i>No</i>
<i>Roads Act 1993</i>	<i>No</i>
<i>Rural Fires Act 1997</i>	<i>No</i>
<i>Water Management Act 2000</i>	<i>No</i>
<i>Concurrence</i>	
<i>SEPP 64- Advertising and Signage</i>	<i>No</i>
<i>SEPP Coastal Management (2018)</i>	<i>No</i>
<i>SEPP (Infrastructure) 2007</i>	<i>No</i>
<i>SEPP (Major Development) 2005</i>	<i>No</i>
<i>SREP (Sydney Harbour Catchment) 2005</i>	<i>No</i>



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Executive Summary

The Proposal

This Statement of Environmental Effects has been prepared in support of a Development Application for the removal of identified trees, demolition of all existing structures in-order to construct a 'Seniors Housing' development comprising of 16 units and car parking spaces for 37 vehicles at 103-109 Laycock Street, Cranebrook. The proposal incorporates strata subdivision on completion.

A total of 16 x 3 bedroom single storey self-care units with a garage per dwelling with a stacked parking space per dwelling and 4 visitor parking bays.

The development is made up of two rows separated by a central driveway which each row comprising of a series of 4 building modules containing a total of 2 dwelling per module. A new double width vehicle crossover and driveway situated towards the central portion of the site provide vehicle access via Laycock Street. Ancillary elements are incorporated into the proposal including associated drainage and landscape works. It is noted that the dwellings are designed to present as 16 detached dwellings with the front two dwellings designed to appear as traditional single storey residential dwelling and the remaining dwelling designed to be located behind the front two dwellings in-order to maintain the low density character along Laycock Street.

The Prior Refused Application & The Design Response

It is noted that a prior DA was submitted and refused by the Local Planning Panel on the 26th of February 2020. That prior DA was for a total of 22 dwellings on the site, and involved substantial tree removal and bulk earthworks to establish the development. The tree removal, extent of earthworks and finished levels, and number of dwellings were all reasons that the Panel formed a view that the proposal was an overdevelopment of the site.

The Panel also outlined that a significant redesign was needed to minimise earthworks, maximise tree retention, improve amenity, and adopt a more suitable scale and density. The proponent has done substantial work to address these concerns noting the following key changes to the scheme.

- **Number of Dwellings & Design**
 - Has been reduced from 22 to 16, a reduction by 8 dwellings which equates to a 36% reduction in yield.
 - The dwelling footprints and heights are reduced- with the dwellings now proposed as single storey forms- rather than the prior 2 storey forms.
 - The central run of buildings have been entirely deleted.
 - The setbacks to the front, side and rear have been increased and separation between buildings substantially increased.

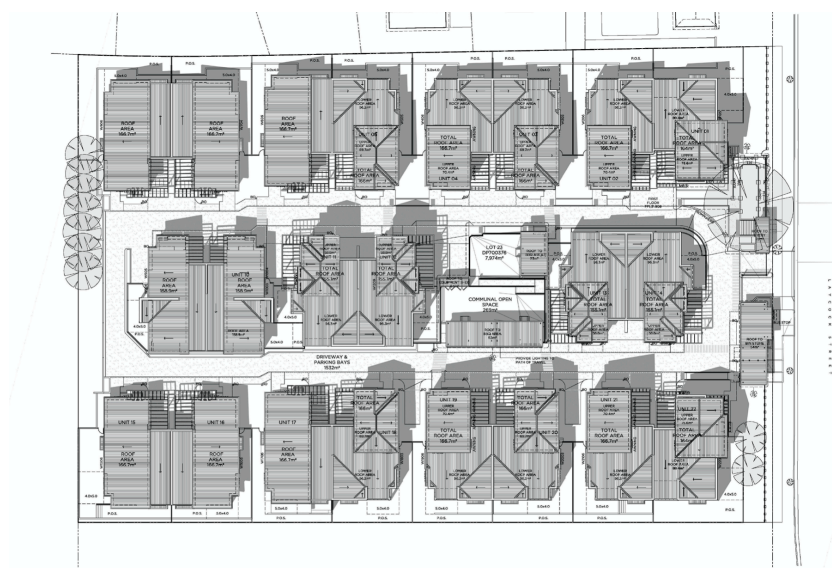
- **Tree Removal:**

- The prior DA removed 84 of the 98 trees and this scheme, retaining only 14 trees. This proposal proposes to remove 39 trees, retaining 59 trees. In numerical terms the prior scheme removed 85% of trees on the site and this scheme only removes 39% trees and are those that are unavoidable owing to the building footprint. There are a substantial number of new plantings that offset this removal.

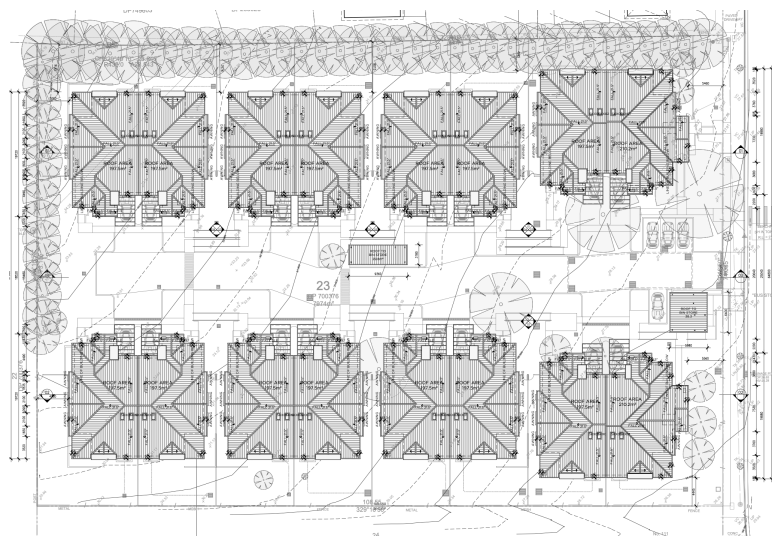
- **Earthworks & Retaining Walls**

- Has been substantially reduced through the deletion of the middle row of dwellings, and the adoption of pairs of dwellings that enables a more balanced approach to cut and fill and a stepped response to the built form.

The clearest example of the much more response design is a comparison of the refused application and this revised scheme- noting the single storey nature also reduces the density and bulk and scale. It also becomes apparent on the substantial tree retention now proposed.



Seniors Housing: 103-109 Laycock Street, Cranebrook



The Site

Located within close proximity to Cranebrook Village Shopping Centre, the development site resides on the northern side of Laycock Street, approximately 75m west from the intersection of Laycock Street and Camelot Drive, Cranebrook.

The development site is within close proximity to a local high school, place of public worship, child care facilities, public reserves/sports grounds and a large industrial precinct.

Local bus services that provide direct connections with CityRail services including Penrith Train Station is located opposite the development site which will also provides access to and from Penrith CBD, which has a full range of services and facilities inclusive of shops, commercial services, community facilities, general and specialist medical practitioner. The bus stop along the site's frontage provides services to Cranebrook Village via Jordan Springs (Route 783). Refer to attached Access Report for detail.

The site itself can be best described as a large mid-block land parcel with a frontage of 74.385m to Laycock Street, a site depth of 108.55m resulting in a site area of 7,974m². The allotment has a slope from north down to south of approximately 13%. As such, the proposal has been designed to follow the natural contours of the site to minimise excessive cut and fill.

At present an older style single storey dwelling resides within the development site which is largely cleared of native vegetation with only scattered Eucalyptus, herbaceous weeds and some native groundcovers residing. A Flora and Fauna Assessment Report that accompanies this application has found that the proposal is unlikely to have significant effect on threatened species, endangered populations, ecological communities, or their habitats

The subject site is zoned R2 Low Density Residential under the Penrith Local Environmental Plan 2010 noting '*Seniors Housing*' are prohibited within the R2 Zone. However, the current application is pursuant to the State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004. The development has also been designed to align with the Local Environmental Plan 2010 and the provisions of Penrith Development Control Plan 2014.



The broader locality has over time has undergone a transition from semi-rural to residential with the subject area subdivided for low density residential development with a cluster of 6 large land parcel remaining including the development site. The current application proposes a rare opportunity to undertake redevelopment of one the last few remaining large land parcel within the subject area to not only increase the stock of seniors housing within Penrith but to provide a built form more in-line with the existing low density character within the established residential estate.

Having regard to the benefits of the proposal and taking into account the absence of adverse environmental, social or economic impacts, and that the proposal represents an appropriate use of well-located land, the application is submitted to Council for assessment. Think Planners Pty Ltd recommends the approval of the application, subject to necessary, relevant and appropriate conditions of consent.

Site and Locality

LEGAL DESCRIPTION

The subject site is legally described as Lot 23 in DP700376, but is more commonly known as 103-109 Laycock Street, Cranebrook.

SUBJECT SITE

Located within close proximity to Cranebrook Village Shopping Centre, the development site resides on the northern side of Laycock Street, approximately 75m west from the intersection of Laycock Street and Camelot Drive, Cranebrook.

The site itself can be best described as a large mid-block land parcel with a frontage of 74.385m to Laycock Street, a site depth of 108.55m resulting in a site area of 7,974m². The allotment has a slope from north down to south of approximately 13%. As such, the proposal has been designed to follow the natural contours of the site to minimise excessive cut and fill.

The subject site currently accommodates an older style single storey residential dwelling with associated structures. The photograph below provides context of the subject site.

Photograph 1: Shows site and exiting trees viewed from Laycock St looking north-westwards



The site bounds the last few remaining semi-rural land parcels to its northern and western boundaries and more traditional low density residential dwellings on modest lots to its eastern boundary with Laycock Street separating the site from public reserve to the south.

The aerial photograph below illustrates the site, and its relationships to adjoining properties.



Figure 1: Aerial Map Extract of the Subject Site (Source: Six Map)

BUILT FORM ANALYSIS

The broader locality has over time has undergone a transition from semi-rural to residential with the subject area subdivided for low density residential development with a cluster of 6 large land parcel remaining including the development site. The current application proposes a rare opportunity to undertake redevelopment of one the last few remaining large land parcel within the subject area to not only increase the stock of seniors housing within Penrith but to provide a built form more in-line with the existing low density character within the established residential estate.

The aerial extract overleaf gives context to the site noting development on Laycock Street has lost any sense of a rural transition lots given Waterside has redeveloped entirely.



Figure 2: Aerial Map Extract of the Subject Area (Source: Six Map)

SUBJECT AREA

As illustrated by an aerial map extract overleaf, the development site is within close proximity to a local high school, place of public worship, child care facilities, public reserves/sports grounds and a large industrial precinct.

The site is also within proximity to local bus services that are scheduled to provide direct connections with CityRail services and the bus services provides access to Penrith and associated railway station.

It is noted a bus stop (Route 783) is provided along the site's frontage to Laycock Street with services to Cranebrook Village via Jordan Springs and a second bus stop situated on the other side of Laycock Street provides access to and from Penrith CBD, which provide a full range of services and facilities inclusive of shops, commercial services, community facilities, general and specialist medical practitioner. Refer to attached Access Report for detail.

Seniors Housing: 103-109 Laycock Street, Cranebrook



Figure 3: Aerial Map Extract of the Broader Locality (Source: Google Maps)

ZONING

As evident via the zoning map extract overleaf, the subject site is zoned R2 – Low Density Housing as per the Penrith Local Environmental Plan 2010.

‘Seniors Housing’ are prohibited within the R2 Zone. However, the current application is pursuant to the State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004.

The development has also been designed to align with the Local Environmental Plan 2010 and the provisions of Penrith Development Control Plan 2014.

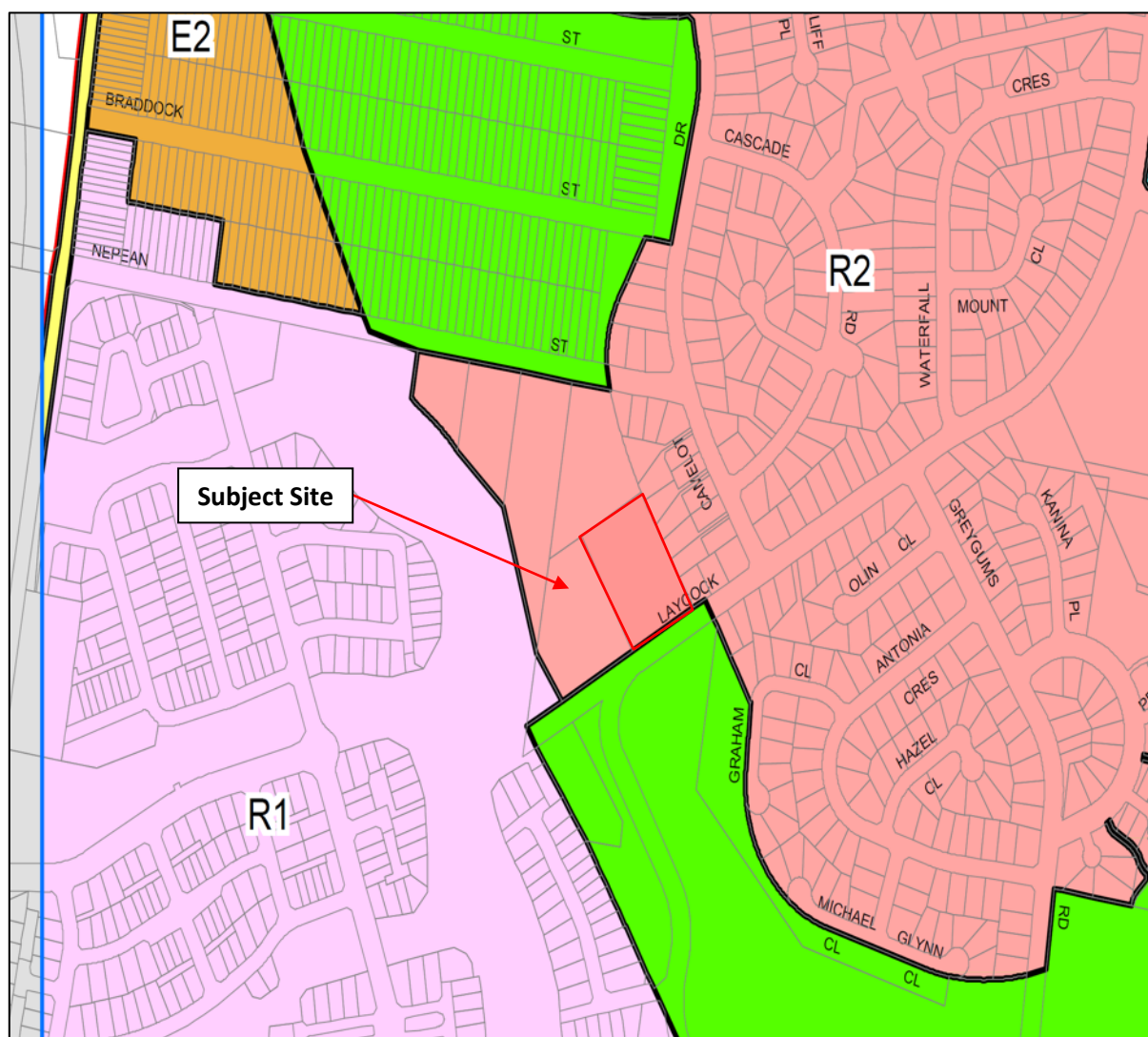


Figure 4: LEP Zoning Map Sheet LZN_012 (Source: Penrith LEP 2010)

The current application proposes a rare opportunity to undertake redevelopment of one the last few remaining large land parcel within the subject area to not only increase the stock of seniors housing within Penrith but to provide a built form more in-line with the existing low density character within the established residential estate.

Photographs are provided in the following page that give context to the locality and also the relationship of the development site with adjoining developments.

Photograph 2: Shows the existing streetscape along Laycock St looking eastwards



Photograph 3: Shows the existing streetscape along Laycock St looking westwards



Photograph 4: Shows an existing reserve as viewed from the development site looking southwards



Heritage

The development site is not identified as a heritage item; is not located within a heritage conservation area however there are local heritage items within the broader locality as illustrated by Council’s heritage extract map below.

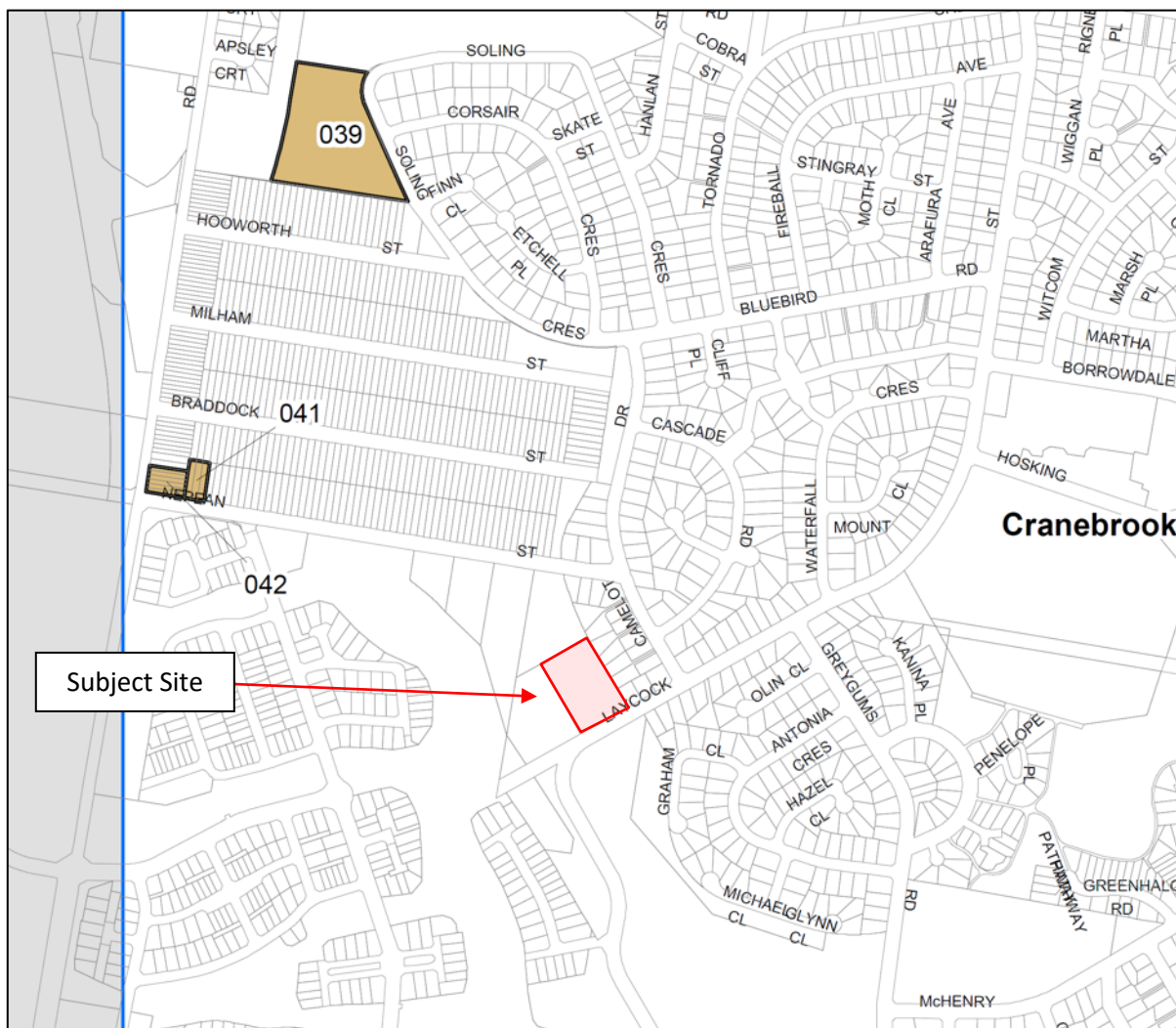


Figure 5: Heritage Map Sheet HER_012 (Source: Penrith LEP 2010)

The local heritage items are separated from the development site and sufficiently buffered by existing development and therefore the proposal will have no impact on the heritage curtilage of local heritage items. As such, the subject site will not be subject to any heritage restrictions nor does the requirement to undertake any further heritage investigation.

Bush Fire

Bushfire Map Extract below indicates that the development site is not identified as being affected by bushfire.



Figure 6: Bushfire Map Extract (Source: Penrith Council)



Description of Proposal

This Statement of Environmental Effects has been prepared in support of a Development Application for the removal of identified trees, demolition of all existing structures in-order to construct a 'Seniors Housing' development comprising of 16 units and car parking spaces for 37 vehicles at 103-109 Laycock Street, Cranebrook. A total of 16 x 3 bedroom single storey self-care units with a garage per dwelling with a stacked parking space per dwelling and 4 visitor parking bays.

The proposal incorporates strata subdivision on completion.

The Design Response

The development is made up of two rows separated by a central driveway which each row comprising of a series of 4 building modules containing a total of 2 dwelling per module. A new double width vehicle crossover and driveway situated towards the central portion of the site provide vehicle access via Laycock Street. Ancillary elements are incorporated into the proposal including associated drainage and landscape works. It is noted that the dwellings are designed to present as 16 detached dwellings with the front two dwellings designed to appear as traditional single storey residential dwelling and the remaining dwelling designed to be located behind the front two dwellings in-order to maintain the low density character along Laycock Street.

Tree Removal

The prior DA removed 84 of the 98 trees and this scheme, retaining only 14 trees. This proposal proposes to remove 39 trees, retaining 59 trees. In numerical terms the prior scheme removed 85% of trees on the site and this scheme only removes 39% trees and are those that are unavoidable owing to the building footprint. There are a substantial number of new plantings that offset this removal.

The key aspects of the proposal area as follows:

Key Controls

The key controls are as follows:

- Height: 7.084m (8m)
- FSR: 0.26:1 (0.50:1)
- Landscaping: 43% (30%)
- Deep soil: 38% (15%)

Dwelling Mix

- 16 x 3-bedroom dwellings

Seniors Housing

The proposed Seniors Living housing development has been designed as a row of 4 blocks comprising of 2 dwelling per block that separated by a central driveway or a total of 8 blocks. The proposal has been designed in order to maximise streetscape presentation and to respond to the allotment orientation to maximise solar access to courtyards and living areas. In addition the size of the site can accommodate the large seniors living in a manner that will permit the development to provide a good contextual fit with the nearby low density residential development that features a predominantly older style single storey residential dwellings.

Ancillary elements are incorporated into the proposal including the construction of associated drainage and landscape works. It is noted that the dwellings are designed to present as 16 detached dwellings with the front two dwellings designed to appear as traditional single storey residential dwelling in-order to maintain the low density character along Laycock Street.

Parking

A total of 16 x single storey self-care units with a garage per dwelling and a stacked parking space per dwelling and 4 visitor parking bays. A new double width vehicle crossover and driveway situated towards the central portion of the site provide vehicle access via Laycock Street.

Unit Configuration

A summary of the dwelling configuration is provided below:

Unit	Bedroom	Ground Floor Area	Garage	Roof Area	POS
Unit 01	3	129.2m ²	23.3m ²	210.2m ²	96.6m ²
Unit 02	3	127.1m ²	23.3m ²	197.5m ²	100.1m ²
Unit 03	3	127.1m ²	23.3m ²	197.5m ²	132.5m ²
Unit 04	3	127.1m ²	23.3m ²	197.5m ²	129.8m ²
Unit 05	3	127.1m ²	23.3m ²	197.5m ²	127.1m ²
Unit 06	3	127.1m ²	23.3m ²	197.5m ²	124.4m ²
Unit 07	3	127.1m ²	23.3m ²	197.5m ²	121.9m ²
Unit 08	3	127.1m ²	23.3m ²	197.5m ²	199.7m ²
Unit 09	3	127.1m ²	23.3m ²	197.5m ²	197.1m ²
Unit 10	3	127.1m ²	23.3m ²	197.5m ²	122.0m ²
Unit 11	3	127.1m ²	23.3m ²	197.5m ²	122.0m ²
Unit 12	3	127.1m ²	23.3m ²	197.5m ²	122.0m ²
Unit 13	3	127.1m ²	23.3m ²	197.5m ²	122.0m ²
Unit 14	3	127.1m ²	23.3m ²	197.5m ²	122.0m ²
Unit 15	3	127.1m ²	23.3m ²	197.5m ²	91.7m ²
Unit 16	3	129.2m ²	23.3m ²	210.2m ²	85.8m ²

A brief description of the various aspects of the development is provided below.

Level	Inclusions
Ground Floor:	<p>Access:</p> <p>New double width vehicle crossover and driveway situated towards the central portion of the site via Laycock Street.</p>
	<p>Parking:</p> <p>A single garage is provided per dwelling with a stacked parking arrangement in-front resulting in a total 2 car parking spaces per dwelling.</p> <p>The development also provides 4 open visitor parking bays on-site.</p>
	<p>Seniors Living Units:</p> <ul style="list-style-type: none"> - The ground floor accommodates both the active and passive areas, with each dwelling provided with a foyer, kitchen area, family room, living area, bathroom and laundry room. - The ground floor also includes a front porch, rain water tank with alfresco and courtyard that is generally accessed from living areas per dwelling. - The ground floor also includes a front porch, courtyard that is generally accessed from living areas and stairwell to the upper level.
	<p>43% or 3,428.82m² of landscaped area and 38% or 3,030.12m² of the site is to be provided as deep soil zones.</p>
	<p>Waste:</p> <p>Enclosed bin store and bulk waste rooms and a second waste store room.</p>



Seniors Housing: 103-109 Laycock Street, Cranebrook

Ancillary Aspects

The development proposal also incorporates drainage measures and associated landscape works as detailed on the submitted landscape plan and hydraulic plans.

Alvaro Architects Pty Ltd have prepared the relevant architectural plans for the proposal, and the design of the proposed development incorporates contemporary architectural aesthetics, whilst being compatible within a residential context.

The Prior Refused Application

It is noted that a prior DA was submitted and refused by the Local Planning Panel on the 26th of February 2020. That prior DA was for a total of 22 dwellings on the site, and involved substantial tree removal and bulk earthworks to establish the development. The tree removal, extent of earthworks and finished levels, and number of dwellings were all reasons that the Panel formed a view that the proposal was an overdevelopment of the site.

The Panel also outlined that a significant redesign was needed to minimise earthworks, maximise tree retention, improve amenity, and adopt a more suitable scale and density. The proponent has done substantial work to address these concerns noting the following key changes to the scheme.

- **Number of Dwellings & Design**
 - Has been reduced from 22 to 16, a reduction by 8 dwellings which equates to a 36% reduction in yield.
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 - The central run of buildings have been entirely deleted.
 - The setbacks to the front, side and rear have been increased and separation between buildings substantially increased.

- **Tree Removal:**
 - The prior DA removed 84 of the 98 trees and this scheme, retaining only 14 trees. This proposal proposes to remove 39 trees, retaining 59 trees. In numerical terms the prior scheme removed 85% of trees on the site and this scheme only removes 39% trees and are those that are unavoidable owing to the building footprint. There are a substantial number of new plantings that offset this removal.

- **Earthworks & Retaining Walls**
 - Has been substantially reduced through the deletion of the middle row of dwellings, and the adoption of pairs of dwellings that enables a more balanced approach to cut and fill and a stepped response to the built form.

The clearest example of the much more response design is a comparison of the refused application and this revised scheme- noting the single storey nature also reduces the density and bulk and scale. It also becomes apparent on the substantial tree retention now proposed.



Seniors Housing: 103-109 Laycock Street, Cranebrook

Planning Controls

STATUTORY CONTROLS

The relevant Statutory Planning Controls include:

- State Environmental Planning Policy BASIX
- State Environmental Planning Policy No. 55 – Contaminated Land
- State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017
- State Environmental Planning Policy (Infrastructure) 2007
- State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004;
- Penrith Local Environmental Plan 2010

POLICY CONTROLS

The applicable policy control documents include:

- Penrith Development Control Plan 2014



Consideration of Planning Controls

The following summarises the relevant planning controls in relation to the proposal and makes comment regarding compliance with these controls.

State Environmental Planning Policy BASIX 2004

A BASIX certificate has been prepared for the development and found that the proposed dwellings comply with the State Government's water and energy reduction targets. It is important to note the provisions of Clause 8 and 9, which provide that any competing provision relating to water and thermal efficiency in other applicable EPI's are of no effect.

State Environmental Planning Policy No. 55 – Contaminated Land

The site has been used for residential use for several decades and therefore contamination risks are low having regard to the use of the site.

A Phase 1 Preliminary Environmental Site Assessment has been undertaken by Envirotech which found that the site can be remediated suitable to the proposed land use.

If any contaminated material or suspected contaminated material is unearthed during the construction process, then actions consistent with the legislative requirements and guideline document will be undertaken.

State Environmental Planning Policy – (Vegetation in Non-Rural Areas) 2017

State Environmental Planning Policy (Vegetation in Non-Rural Areas) was introduced in August 2017. This SEPP seeks to protect the biodiversity values of trees and other vegetation in non-rural areas of the state, and to preserve the amenity of non-rural areas of the State through the appropriate preservation of trees and other vegetation.

The subject site is within a well-established residential area, having historically been used for residential purposes.

The prior DA removed 84 of the 98 trees and this scheme, retaining only 14 trees. This proposal proposes to remove 39 trees, retaining 59 trees. In numerical terms the prior scheme removed 85% of trees on the site and this scheme only removes 39% trees and are those that are unavoidable owing to the building footprint. There are a substantial number of new plantings that offset this removal.

In saying that, the removal of trees to make way for the proposal is considered reasonable as detailed in the flora and fauna assessment prepared that confirms the proposal will have no significant effect on any endangered ecological communities. Finally the tree cover on-site as per the Landscape Plan will be enhanced by planting with advanced specimens/s of appropriate tree species. Extensive landscape embellishment works including landscaping along the sites front, side and rear setbacks will be undertaken as part of the proposal in accordance with the attached Landscape Plan.



Seniors Housing: 103-109 Laycock Street, Cranebrook

The landscape treatment will soften the built form, assist with maintaining privacy and help to integrate the development with the site's context.

State Environmental Planning Policy – Infrastructure 2007

The development site is not located within proximity to a classified road and as a result it is not necessary to consider the provisions of Clause 102 of the SEPP that requires a consent authority to consider the impact of arterial roads on buildings used for residential purposes.

Clause 104 identifies a number of types of development that require concurrence from Roads and Maritime Services where development is identified as 'traffic generating development'. The current proposal is not identified as traffic generating development by schedule 3 of the SEPP.

Clause 45 requires consent authority to consider any development application within 5m of an overhead power line. The current application is within 5m of an overhead powerline and as such referral to Ausgrid is required. Any recommendations resulting from the referral to Ausgrid are requested to be included into the conditions of consent.

State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004

Permissibility

Penrith Local Environmental Plan is the principal planning instrument that applies to the site. Clause 2 (2) of the State Environmental Planning Policy (Housing for Senior or People with a Disability) 2004 (Seniors SEPP) states that local environment planning instruments are set aside where they would prevent the development of housing for seniors or people with a disability that meets the development criteria and standards specified in the SEPP, and is subject to, among other consideration, the following:

- that the development occurs on land which is zoned 'primary for urban purposes', or on land which adjoins land zoned 'primary for urban purposes' where development is permitted for dwelling-houses; and,
- that the land is not subject to any of the environmental constraints listed in Schedule 1 (Environmentally sensitive land) of the SEPP.

It is noted that the subject site adheres to the specific standards under the Seniors Living SEPP as it is zoned for urban purpose, being situated within a R2 low density zone under Penrith Local Environmental Plan 2010 – Urban Land and is not subject to any of the environmental constraints listed in Schedule 1 of the SEPP and as such the Seniors SEPP applies to the subject site.

Relevant Instrument Provisions

The relevant standards prescribed within the Seniors SEPP are addressed in turn.



Clause 26 Location and access to facilities

Local bus services that provide direct connections with CityRail services including Penrith Train Station is located opposite the development site which will also provide access to and from Penrith CBD, which has a full range of services and facilities inclusive of shops, commercial services, community facilities, general and specialist medical practitioner. The bus stop along the site's frontage provides services to Cranebrook Village via Jordan Springs (Route 783). Refer to attached Access Report for detail.

This service exceeds the servicing requirement under the SEPP, is located along the site's frontage to Laycock and the gradient of route to the bus stop is relatively flat and satisfies the gradient requirements of the SEPP.

Clause 29 Site compatibility

Clause 29 (5)(b) states that the proposed development is compatible with the surrounding land uses if it complies with the following criteria:

- i. the natural environment (including known significant environmental values, resources or hazards) and the existing uses and approved uses of land in the vicinity of the proposed development
- iii. the services and infrastructure that are or will be available to meet the demands arising from the proposed development (particularly, retail, community, medical and transport services having regards to the location and access requirements set out in clause 26) and any proposed financial arrangements for infrastructure provision, and
- v. without limiting any other criteria, the impact that the bulk, scale, built form and character of the proposed development is likely to have on the existing uses, approved uses and future uses of land in the vicinity of the development.

The proposal is considered to be compatible with the surrounding land uses, as following:

- Located within an established residential area, there are no known natural environmental consideration affecting the subject site, with neighboring land uses dominated by residential developments.
- Subject site is well serviced by water and sewer and the required utility clearance will be obtained prior to works commencing on site. Furthermore, as stated previously, bus stop that is located next to the subject site ensures that the development complies with the location and access requirements set out in Clause 26 of the Seniors SEPP.
- The proposed seniors living development has been designed as a series of single storey dwellings when viewed from Laycock Street which provides a built form that is appropriate in context to the size of the site and of a form and bulk that is consistent within a low density area and compatible with the existing uses, approved uses and the likely future character of land within the immediate locality. It is noted that the proposal has been designed with the dwellings designed to be located behind the front 2 dwellings which have been designed to appear as modern residential dwellings.



Clause 30 Site analysis

A site analysis was undertaken prior to the design of the proposed development. The information on the Site Analysis Plan provides data about the site and its surrounds and has been taken into account in the design of the development in conjunction with the submitted survey and architectural plans.

As addressed previously the proposal has undergone a number of revisions to best respond to topography, orientation, and to maximise streetscape presentation.

Seniors Living Policy: Urban Design Guidelines for Infill Development (Clause 31)

Clause 31 of the Seniors SEPP requires that the consent authority take into account the Seniors Living Policy: Urban Design Guidelines for Infill Development. The table below details compliance with the policy below.

Criteria	Response	Complies
Site Planning and Design		
Site Analysis	A site analysis was undertaken prior to the design of the proposed development. The information on the site analysis plan provides data about the site and its surrounds and has been taken into account in the design of the development in conjunction with the submitted survey and architectural plans.	Yes
Built Form	<p>The development is made up of two rows separated by a central driveway which each row comprising of a series of 4 building modules containing a total of 2 dwelling per module.</p> <p>The front facing building of each row has been designed to appear as typical single storey dwelling houses, with the remaining buildings located behind set within a landscape setting to ensure compatible with the existing low density built form character along Laycock Street.</p> <p>The development has been designed and sited to maximise solar access as such the development achieves 3 hours of solar access at mid-winter to all 16 dwellings.</p> <p>The application is designed to create different 'zones' with more active areas clustered together and more passive areas also clustered together to maximise acoustic privacy.</p>	Yes

Trees, Landscaping and Deep Soil Zones	<p>The prior DA removed 84 of the 98 trees and this scheme, retaining only 14 trees. This proposal proposes to remove 39 trees, retaining 59 trees. In numerical terms the prior scheme removed 85% of trees on the site and this scheme only removes 39% trees and are those that are unavoidable owing to the building footprint. There are a substantial number of new plantings that offset this removal.</p> <p>The removal of trees to make way for the proposal is considered reasonable as detailed in the flora and fauna assessment prepared that confirms the proposal will have no significant effect on any endangered ecological communities. Finally the tree cover on-site as per the Landscape Plan will be enhanced by planting with advanced specimens/s of appropriate tree species.</p> <p>As such, the development proposes landscape embellishment works that will softening the hard surfaces of the proposed development.</p> <p>Furthermore, the proposal complies with the Seniors SEPP controls for deep soil zoned and landscaping with the proposal providing 38.0% of the site for deep soil zones and 43.0% of landscaped area.</p>	Yes
Parking, Garaging and Vehicular Circulation	<p>Seniors SEPP is required to provide 2 car parking space per – 3 bedroom dwelling.</p> <p>All 16 units are provided with a single garage with a stacked parking arrangements in-front of each garage as such the development is compliant with parking rates under the Senior SEPP.</p>	Yes
Impact on Streetscape		
General	<p>The siting and design of the proposed seniors living development will complement and be consistent with the low density character along the northern side of Laycock Street.</p> <p>The development proposes one storey dwelling development with the dwellings fronting Laycock Street designed to be compatible with the exiting residential built form character.</p> <p>Furthermore, the development is to provide a front setback that is consistent with the established front building setback within the immediate locality.</p>	Yes

	<p>The development is to also undertake landscaping embellishment works that will positively contribute to the cohesiveness and visual appreciation of the streetscape.</p> <p>This will ensure that the proposal will achieve a harmonious fit with the existing streetscape character of the subject area.</p>	
Built form	<p>The visual bulk of the development is reduced by the proposal being limited to 1 storey in form and incorporating physical articulation of the built form and a mixed palette of building materials and finishes. Materials and finishes used are consistent with that existing in the area while being contemporary in character. The range of materials significantly contributes to the articulation of the building and reducing the overall bulk and mass of the building.</p> <p>The facades are well articulated with a mixture of vertical and horizontal features including windows, projected walls.</p>	Yes
Trees, Landscaping and Deep Soil Zones	See previous discussion.	Yes
Residential amenity	<p>The proposal incorporates design elements and landscaping that clearly distinguishes between the public and private domain. Clear entry points are proposed, that are easily read by resident, visitors and passer by alike.</p> <p>The fencing is consistent with that existing within the subject area and is appropriate when considering CPTED principles and will not permit easy concealment of intruders.</p>	Yes
Parking, Garaging and Vehicular Circulation	<p>Driveway entries does not exceed 25% of the site frontage.</p> <p>Impact of the driveway is minimised with the use of landscape embellishment works along the driveway edges with open visitor parking bays recessed from the front boundary to minimise its impact to the streetscape.</p>	Yes
Impact on Neighbors		
Built Form	The siting and orientation of dwellings within the subject site have been undertaken to protect the privacy of adjoining properties.	Yes



Seniors Housing: 103-109 Laycock Street, Cranebrook

	<p>The proposal is to reduce the visual bulk of the roof form by breaking down the roof into smaller elements. See site plans for detail.</p> <p>The length of unrelieved walls along side or rear setbacks marginally exceeds 8m however the stepped upper level serves to relieve the bulk and scale and provide a degree of articulation.</p> <p>Furthermore, the proposal complies with minimum side setback controls with all side setbacks exceed 1.2m.</p>	
Trees, Landscaping and Deep Soil Zones	Where appropriate, vegetation, mature planting and fencing is to be utilised to provide a buffer between the proposed senior living development and adjoining neighboring properties. See attached landscaping plan for detail.	Yes
Residential Amenity	<p>Appropriate setback and building separation is provided to adjoining residential properties along the site's eastern boundary to protect sun access and ventilation to living areas and private open space of neighbouring dwellings.</p> <p>The subject site has been designed with the dwellings having a northern orientation and as such the proposal achieves appropriate solar access to the proposed units during mid-winter.</p> <p>Development designed to minimise overlooking neighboring private open space, with fencing to provide appropriate buffer between the outdoor</p> <p>Landscaping and fencing will ensure that private open space areas are adequately screened from neighboring properties.</p> <p>Furthermore, living rooms and private open space areas of neighboring dwellings will maintain a minimum 3 hours direct sunlight at mid-winter.</p> <p>Where appropriate, side setbacks are to be landscaped.</p>	Yes
Parking, Garaging and Vehicular Circulation	Where appropriate, trees are to be planted alongside fences to screen noise and reduce visual impacts. It is noted that Impact of the driveway is minimised with	Yes

	<p>the use of landscape embellishment works along the driveway edges embellishment works are proposed.</p> <p>Refer to attached Arborist and Landscaping Reports for detail.</p>	
Internal Site Amenity		
Built Form	<p>Each dwelling has been orientated to maximise solar access to living areas and private open spaces. Building articulation, building separation, roof form, architectural elements and the use of vegetation, fencing buffer spaces are utilised to established curtilages for individual dwelling in-order to provide each dwelling with a sense of individual space and identity.</p> <p>Clear entry points are proposed for each dwelling, that are easily read and identified by resident, visitor and passer by alike from the street or internal driveway.</p> <p>It is considered that the proposal does not impact on amenity or the streetscape of the area but is in context with development and street presentation of surrounding development.</p> <p>Furthermore, where appropriate, dwelling entries are oriented to not look directly into other dwellings on site.</p>	Yes
Parking, Garaging and Vehicular Circulation	<p>Where appropriate, habitable rooms are located away from driveways, parking areas and pedestrian pathways. It is noted that planting and separation is utilised to achieve adequate privacy between habitable rooms and service accessway.</p> <p>Planting is utilised to break up hard surfaces.</p> <p>Garages are incorporated into the proposed dwellings and are affectively screened from other dwellings on-site.</p>	Yes
Residential Amenity	<p>The proposed development incorporates an active façade that will permit casual surveillance of Laycock Street as well as the driveway areas.</p> <p>The proposal incorporates open space and landscaped areas that will contribute to activity and natural surveillance of the area.</p>	Yes

	<p>The proposed landscaping and fencing is appropriate when considering CPTED principles and will not permit easy concealment of intruders.</p> <p>The proposal incorporates built elements and landscaping that clearly distinguishes between the public and private domain. Clear entry points are proposed, that are easily read by resident, visitor and passer by alike.</p> <p>It is considered that the proposal does not impact on amenity or the streetscape of the area but is in context with development and street presentation of surrounding development.</p> <p>All materials and finishes are appropriate. The proposed development is appropriate and provides measures, built elements, landscaping and design features that are consistent with CPTED principles</p> <p>Furthermore, fencing and landscaping is used to provide adequate screening from adjoining properties and between dwellings.</p>	
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Clause 33-39 Design principles

The proposal has appropriately addressed the design principles contained within Part 3, Division 2 of the SEPP, as demonstrated below.

Neighborhood amenity and streetscape (Clause 33)

The proposal is to make a positive contribution to the streetscape, neighborhood character and the amenity of surrounding environment, as illustrated below:

- The proposal is consistent with the low density built form character of the subject area by proposing low scale 1 storey residential development, with the proposal complying with the maximum FSR (SEPP) and maximum height control under the Penrith Local Environmental Plan 2010. The proposal will also be compatible with the existing and future character of the locality and will contribute towards enhancing the existing streetscape by providing a front building setback that is consistent with the prescribed front setback via the Penrith LEP 2010 and landscape embellishment works that will positively contribute to the cohesiveness and visual appreciation of the streetscape.
- The subject site is not identified as a heritage item and is not located within close vicinity to any heritage items. Not applicable.
- It is considered that the proposal responds well to the individual context of its site and surrounds and positively contributes to the visual appreciation and cohesiveness

of the streetscape. The development proposes a one storey built form at the street frontage that is consistent with the one and two storey character of the subject area.

- Setback provided is appropriate.
- Landscaping embellishment works proposed at the front of the site will enhance the appearance of the site, with existing trees within the front setback to be retained where appropriate. It is noted that the development proposes the removal identified trees to facilitate the development to occur within the subject site, however the removal of identified trees is to be offset by new landscaping, as per the attached landscaping plan. See attached Arborist report and Landscape Plan for detail

Visual and acoustic privacy (Clause 34)

The proposal provides for appropriate levels of visual privacy through a combination of building separation and setbacks, provision of landscaping and fencing, offset windows and limited the built form to one storey.

Furthermore, the application is designed to create different 'zones' with more active areas clustered together and more passive areas also clustered together to maximise acoustic privacy. It is noted that the proposed units have been designed in accordance with the requirements of the Building Code of Australia for sound and impact transmission so that acceptable noise levels between units are achieved. See attached acoustic report for detail.

Solar access and design for climate (Clause 35)

The siting and design of the 16 units have been undertaken to maximise solar access with the majority of the active areas including living rooms and private open space having a north-eastern orientation, with all 16 units receiving 3 hours of solar access at mid-winter and all 16 units having natural cross ventilation.

Furthermore, the use of setbacks and design elements will contribute towards reducing the potential for overshadowing of neighboring properties. See attached shadow diagrams for detail.

Stormwater (Clause 36)

Where appropriate impervious surfaces are to be minimised to reduce the impact from stormwater. Site stormwater is to be drained as shown on the submitted stormwater drainage plans and incorporated on-site detention, with stormwater to be discharged to the existing street network in Laycock Street.

Crime prevention (Clause 37)

The proposed development incorporates an active façade that will permit casual surveillance of Laycock Street, as well as the driveway areas and open space at the rear of the site. The proposal incorporates open space and landscaping areas that will contribute to activity and natural surveillance of the area. The proposed landscaping and fencing is appropriate when considering CPTED principles and will not permit easy concealment of intruders. The proposal incorporates built elements and landscaping that clearly distinguishes between the public and private domain.

Clear entry points are proposed, that are easily read by residents, visitors and passer by alike. It is considered that the proposal does not impact on the amenity or the streetscape of the area but is in context with development and street presentation of surrounding development. All materials and finishes are appropriate.

The proposed development is appropriate and provides measures, built elements, landscaping and design features that are consistent with CPTED principles.

Accessibility (Clause 38)

The proposed development allows for unimpeded pedestrian access to all 16 dwellings via and provides access to a bus stops which provides services to Penrith City Centre and Jordan Sprints and has also designed the proposal so that it provides a safe environment for pedestrian and motorist with convenient access to car parking areas for residents and visitors. It is noted that a footpath may be required to be constructed to connect to the bus stop.

Waste management (Clause 39)

A Waste Management Plan is attached as part of this application. Waste is to be appropriately managed during the demolition and construction stages of the development. Further, appropriate communal waste and recycling facilities are provided in accordance with Council requirements. Refer to waste management plan for detail.

Development standards (Clause 40, 41 and Schedule 3)

Development standards – minimum sizes and building height (Clause 40)

The SEPP contains development standards relating to minimum size, site frontage and building height which must be complied with for all developments. They are summarised within the table below:

Control	Numerical Requirement	Proposed Development	Complies
Site Area	1,000m ²	7,974m ²	Yes
Site Frontage	20m	74.385m	Yes
Maximum Building Height	8m	(a) No part of the building exceeds 8m in height.	Yes
		(b) Dwellings are restricted to 2-storeys in height noting one storey dwellings provided Complies.	Yes

Development standards – self-contained dwellings (Clause 41 & Schedule 3)

Compliance with the key development standards for accessibility set out in Clause 41 and Schedule 3 is summarised within the table below. It is noted that the proposal is compliant with the detail controls including bedroom sizes and the location of power points with full information to be provided at CC stage.

Control	Numerical Requirement	Proposed Development	Complies
Wheelchair Access	100% of ground floor dwelling to have wheelchair access by a continuous accessible path of travel as per AS 1428.1 to an adjoining public road. Access must be provided in accordance within AS 1428.1 so that a person using a wheelchair can use common areas and common facilities associated within the development	(1) 100% of dwellings will be wheelchair accessible, with the site to provide a continuous accessible path to all units from Laycock Street. (2) Not applicable as the side does not have a gradient of more than 1 in 10 (3) Complies.	Yes N/A Yes
Security: Pathway Lighting	Pathway lighting to be designed and located so as to avoid glare for pedestrian and adjacent dwellings, and must provide at least 20 lux at ground level	Complies - Can be conditioned.	Yes
Letterboxes	Letterboxes located on a hard standing area and have wheelchair access and circulation by a continuous path, be lockable and located in a central location adjacent to the street	Complies	Yes
Private Car Accommodation	Car parking spaces must comply with the requirements for parking for people with a disability set out in AS 2890, with 1 car parking space designed to enable the width of the space to be increased to 3.8m. Garages must have power-operated door or there must be a power point and an area for motor or control rods to enable a power-operated door to be installed at a later date.	The proposal provides 16 car parking spaces on site, that meets the requirements of AS2890. All garages are to be electronically operated and this can be conditioned.	Yes

Accessible Entry		Complies	Yes
Interior: General		Complies with full detail to be provided at CC stage.	Yes
Bedroom		Complies with full detail to be provided at CC stage.	Yes
Bathroom		Complies with full detail to be provided at CC stage.	Yes
Toilet	A dwelling must have at least one toilet on the ground floor that complies with the requirements for sanitary facilities of AS 4299	All 16 units provide a toilet on the ground floor that comply with the requirements for sanitary facilities under AS 4299.	Yes
Surface Finishes		Complies with full detail to be provided at CC stage.	Yes
Door Hardware		Complies with full detail to be provided at CC stage.	Yes
Ancillary Items		Switches and power points are provided in accordance with AS 4299.	Yes
Living Room and Dining Room		Complies with full detail to be provided at CC stage.	Yes
Kitchen		Complies with full detail to be provided at CC stage.	Yes
Access to Kitchen, Main Bedroom, Bathroom and Toilet	In a multi-storey self-contained dwelling, the kitchen, main bedroom, bathroom and toilet must be located on the entry level	Kitchen, main bedroom and bathroom are located on the ground floor.	Yes
Lift in Multi-Storey Buildings		The proposal does not propose senior living within a multi-storey building. Not applicable	N/A
Laundry		Complies with full detail to be provided at CC stage.	Yes

Storage for linen		Complies with full detail to be provided at CC stage.	Yes
Garbage	A garbage storage area must be provided in an accessible location.	A communal garbage storage area is provided and is to be situated within an accessible location.	Yes

Standards that cannot be used to refuse development consent (Clause 50)

The SEPP prescribes a number of standards that cannot be used to refuse consent, noting that consent can also be granted even where compliance with the standard is not achieved based on the wording of the Clause. They are summarised within the table below:

Control	Numerical Requirement	Proposed Development	Complies
Building Height	8m or less and limited to 2 storeys	The development proposes of one storey dwellings with no dwelling exceeding 8m in height. Complies.	Yes
Density and Scale	FSR: 0.5:1	Development proposes an FSR of 0.26:1. Complies.	Yes
Landscaped Area	30% of the area of the site to be landscaped (30% x 7,974m ² = 2,392.2m ²)	43% or 3,428.82m ² of the site is to be landscaped. Complies.	Yes
Deep Soil Zone	Minimum 15% of area of site (15% x 7,974m ² = 1,196.1m ²)	38% or 3,030.12m ² of the site is to be provided as deep soil zones. Complies.	Yes
	Minimum two thirds to be preferable located at the rear of site.	Where appropriate, deep soil zones are to be located at the rear of the site.	Yes
	Minimum dimension 3m	Complies	Yes
Solar Access	70% of living areas & main private open space to receive minimum 3 hours sunshine between 9am and 3pm at mid-winter	It is noted that all 16 living rooms receive a minimum of 3 hours direct sunlight between 9am and 3pm mid-winter.	Yes
Private Open Space	Ground level: Minimum 15m ² per dwelling	Proposal provides private open space on the ground floor accessible from the living area with the space being >15m ² with a	Yes

	One area minimum 3m x 3m, accessible from living area	minimum area 3m x 3m provided per dwelling.	
Car Parking	Minimum 0.5 car parking space for each bedroom	<p>The development provides 16 x 3-bedroom units and as such is required to provide 24 car parking spaces.</p> <p>The development provides 32 car parking spaces, with 16 spaces within a single garage with an additional car parking space within in front of each unit plus 4 visitor car parking spaces and as such the proposal is consistent with the car parking requirements under the SEPP.</p>	Yes

Sydney Regional Environmental Plan (SREP) No. 20 Hawkesbury Nepean River

The development incorporates a drainage concept that demonstrates that stormwater can be adequately conveyed to the existing street network. Appropriate erosion and sediment controls can be implemented throughout construction and it is anticipated that conditions of consent will reinforce this. It is noted that the proposal meets the recently adopted WSUD measures required to achieve appropriate water quality for stormwater discharge.

Penrith Local Environmental Plan 2010

As evident via the zoning map extract below, the subject site is zoned R2 – Low Density Housing as per the Penrith Local Environmental Plan 2010.

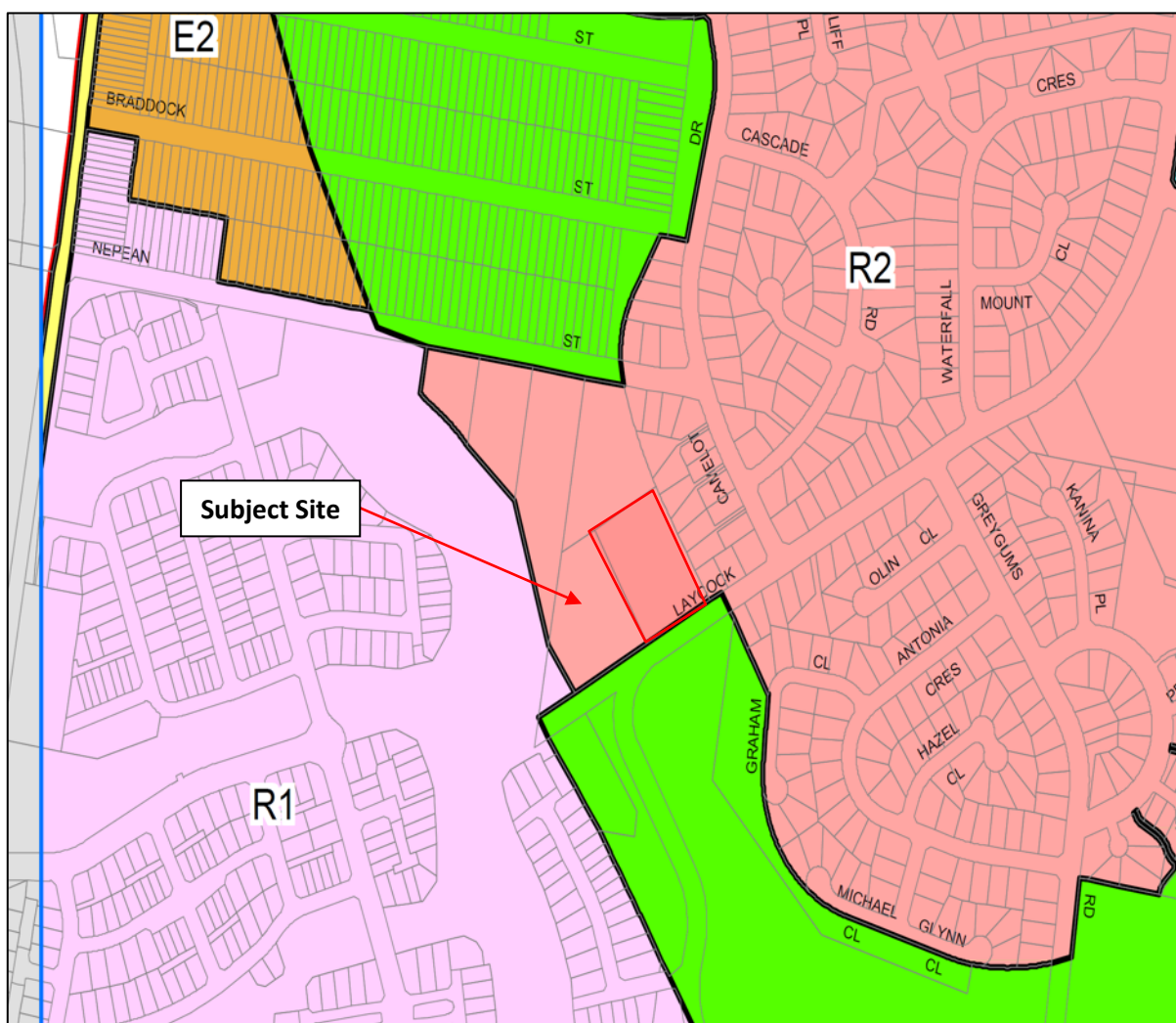


Figure 7: LEP Zoning Map Sheet LZN_012 (Source: Penrith LEP 2010)

Seniors Housing are prohibited within the R2 Zone. However, the current application is pursuant to the State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004.

The proposed development provides a Seniors living development that is in a suitable location and will make available a variety of housing types within the locality and contribute towards increasing the housing stock within the locality. The site is well located and provides access to essential services, public transportation and recreation opportunities.

The table overleaf provides detail on the development standards relevant to the current proposal as well as other relevant LEP provisions- noting that the Seniors Living SEPP prevails over a number of the LEP provisions.

Penrith Local Environmental Plan 2010 - Compliance Table			
Relevant Clause	Control	Comment	Complies
Zoning	R2 – Low Density Residential	<p>The development site is zoned R2 Low Density Residential under the provisions of the Penrith Local Environmental Plan 2010.</p> <p>It is noted that Seniors Living is a prohibited land use within the R2 Zone, however the current proposal is pursuant to the SEPP (Housing for Seniors or People with a Disability) 2004.</p>	Yes- Senior SEPP
Part 2 Permitted or Prohibited Development			
2.3	Zone Objectives and Land Use Table	The proposal is not inconsistent with the zone objectives of the R2- Low Density Residential under the provisions of the Penrith LEP 2010. Seniors Living housing is permissible with consent pursuant to the SEPP.	Yes
2.7	Demolition Requires Consent	The development is seeking consent to demolish all existing structures in-order to accommodate the proposed seniors living development.	Yes
Part 4 Principal Development Standards			
4.1	Minimum Subdivision Lot Size.	The proposal incorporates strata subdivision on completion- however the lot size control does not apply.	N/A
4.3	Height of Buildings - 8m	<p>A maximum building height of 8m is identified for the site under the Penrith Local Environmental Plan 2010 Height of Buildings Map Sheet HOB_012.</p> <p>No part of the building exceed 8m in height in-accordance with height provisions under the LEP. Refer to attached plans for detail.</p>	N/A
4.4	Floor Space Ratio	No FSR control applies to the subject site under the Penrith Local Environmental Plan 2010 Map Sheet 012.	N/A

Part 5 Miscellaneous Provisions			
5.10	Heritage	<p>The development site is not identified as a heritage item; is not located within a heritage conservation area however there are local heritage items within the broader locality.</p> <p>The local heritage items are separated from the development site and sufficiently buffered by existing development and therefore the proposal will have no impact on the heritage curtilage of local heritage items. As such, the subject site will not be subject to any heritage restrictions nor does the requirement to undertake any further heritage investigation</p>	N/A
Part 7 Additional Local Provisions			
7.1	Earthworks	<p>This application seeks Council consent for the excavation of the site as per the attached plans. It is considered that the proposed excavation will have minimal adverse environmental or amenity impact. The proposal results in an appropriate outcome when considering the nature of the development, the unique characteristics of the site and compliance with relevant Council controls.</p> <p>The proposal will not adversely affect or disrupt drainage and flood patterns, flood storage or soil stability in the area. The proposed excavation is consistent with the current and future use of the land and will develop the site into context with its surrounds and in accordance with Councils current and proposed planning strategies.</p> <p>It is considered unlikely due to the location of the site as well as previous development that excavation will lead to the disturbance of relics.</p>	Yes
7.2	Flood planning	The site is not identified as being flood prone. Not applicable.	N/A

7.3	Development on Natural Resources Sensitivity Land	The site is not identified on the Natural Resources Sensitive Map. Not applicable.	N/A
7.4	Sustainable Development	<p>The proposal satisfies the LEP in that:</p> <p><i>(a) conserving energy and reducing carbon dioxide emissions,</i> <i>(b) embodied energy in materials and building processes,</i></p> <p>Proposal incorporates a BASIX certificate relating to energy efficiency.</p> <p><i>(c) building design and orientation,</i> <i>(d) passive solar design and day lighting,</i> <i>(e) natural ventilation,</i></p> <p>All units have a northern orientation and receive good solar access and natural ventilation</p> <p><i>(f) energy efficiency and conservation,</i> <i>(g) water conservation and water reuse,</i></p> <p>Proposal incorporates a BASIX certificate relating to energy/water efficiency.</p> <p><i>(h) waste minimisation and recycling,</i></p> <p>Waste management and recycling can be addressed through waste management plan.</p> <p><i>(i) reduction of vehicle dependence,</i></p> <p>Local bus services that provide direct connections with CityRail services including Penrith Train Station is located opposite the development site which will also provide access to and from Penrith CBD, which has a full range of services and facilities inclusive of shops, commercial services, community facilities, general and specialist medical practitioner.</p> <p>The bus stop along the site's frontage provides services to Cranebrook Village via Jordan Springs (Route 783). Refer to attached Access Report for detail.</p>	Yes

		<p><i>(j) potential for adaptive reuse.</i></p> <p>Given the zoning of the site as R2 there is limited adaptive re-use potential on the site.</p>	
7.5	Protection of Scenic Character and Landscape Values	The site is not identified on the Land with Scenic and Landscape Values Map. Not applicable.	N/A
7.6	Salinity	Due to the nature and location of the site it is not likely to be affected by Saline Soils. Not applicable.	N/A
7.7	Servicing	The development site is well serviced by water and sewer and the required utility clearances will be obtained prior to works commencing on site.	Yes

Penrith Development Control Plan 2014

All relevant Council controls have been identified and considered in the following compliance table, noting that as the proposal is a Seniors Living Development a number of these controls are not strictly relevant to the proposal.

Penrith Development Control Plan 2014 – Compliance Table			
Clause	Controls	Comment	Complies
C1 Site Planning and Design Principles			
1.1	Site Planning	<p><u>1.1.1 Site Analysis</u></p> <p>A Site Analysis has been prepared and is attached as part of this application. The site analysis identifies the relevant considerations required by Council and acknowledges the unique opportunities and constraints of the site that have informed the design of the development proposal.</p>	Yes
		<p><u>1.1.2 Key Areas with Scenic and Landscape Values</u></p> <p>The subject site is not located within the Scenic and Landscape Values Map under the Penrith LEP 2010.</p> <p>Not applicable.</p>	N/A
1.2	Design Principles	<p><u>1.2.2 Built Form – Energy Efficiency and Conservation</u></p> <p>The proposed development has been designed to maximise solar access to all units and designed in a manner that achieves natural ventilation to all 16 dwellings.</p> <p>A BASIX certificate is issued for the development.</p>	Yes
		<p><u>1.2.3 Building Form – Height, Bulk and Scale</u></p> <p>It is considered that the proposal will result in an appropriate outcome on site that responds to the unique characteristics of the site. The site does not have maximum height control that applies for the site under Penrith LEP 2010. In saying that, an appropriate height is provided which fits in with the existing character of the local area.</p>	Yes

		<p>It is noted that the subject area is currently ongoing a transformation with numerous senior living developments being developed within the locality.</p> <p><u>1.2.4 Responding to the Site's Topography and Landform</u> The subject site which has a moderate fall that as such will not impact upon the site's ability to accommodate the proposed Seniors Living housing development.</p> <p><u>1.2.5 Safety and Security (Principles of Crime Prevention through Environmental Design)</u> The proposed development incorporates an active façade that will permit casual surveillance of Laycock Street, as well as driveway and landscaped areas of the proposal.</p> <p>The proposal incorporates open space and landscaped areas that will contribute to activity and natural surveillance of the area.</p> <p>The proposed landscaping and fencing is appropriate when considering CPTED principles and will not permit easy concealment of intruders.</p> <p>The proposed development is appropriate and provides measures, built elements, landscaping and design features that are consistent with CPTED principles.</p> <p>See discussion on CPTED principles within Annexure 1 for detail.</p> <p><u>1.2.6 Maximising Access and Adaptability</u> Proposal has been designed to provide access to and from the site for people with mobility issues.</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p>
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C2 Vegetation Management			
2.1	Preservation of Trees and Vegetation	<p>The prior DA removed 84 of the 98 trees and this scheme, retaining only 14 trees. This proposal proposes to remove 39 trees, retaining 59 trees. In numerical terms the prior scheme removed 85% of trees on the site and this scheme only removes 39% trees and are those that are unavoidable owing to the building footprint. There are a substantial number of new plantings that offset this removal.</p> <p>In saying that, the removal of trees to make way for the proposal is considered reasonable as detailed in the flora and fauna assessment prepared that confirms the proposal will have no significant effect on any endangered ecological communities.</p> <p>Finally the tree cover on-site as per the Landscape Plan will be enhanced by planting with advanced specimens/s of appropriate tree species</p> <p>The site is not identified as being located within the Natural Resources Sensitive Map under Penrith LEP 2010.</p> <p>The proposed landscape treatment seeks to soften the built form and integrate with the development and the site's context as a Seniors Living housing development located within an established residential estate.</p> <p>Landscaping of the site is to be undertaken in accordance with the attached Landscape Plan.</p>	Yes
2.2	Biodiversity Corridors and Areas of Remnant Indigenous Vegetation in Non-Urban Areas	Subject site is not identified as being within a Natural Resource Sensitive Land under Penrith LEP 2010. Not applicable.	N/A
2.3	Bushfire Management	Subject site is not identified as being within a Bushfire Prone Land.	N/A

C3 Water Management			
3.2	Catchment Management and Water Quality	<p>Appropriate management of the site during the demolition and construction phases will contribute towards protecting the water system.</p> <p>A Stormwater Management Plan has been prepared and is attached as part of this application.</p>	Yes
3.3	Watercourses, Wetlands and Riparian Corridors	Subject site is not located within close proximity to a watercourse, wetland or riparian corridor. Not applicable.	N/A
3.4	Groundwater	The proposed development is to be for a Seniors Living housing development. It is therefore considered that the risk of site contamination occurring during construction and future use of the site is low. Not applicable.	N/A
3.5	Flood Planning	The subject site is not identified as being flood prone. Not applicable.	N/A
3.6	Stormwater Management and Drainage	A Stormwater Management Plan has been prepared and is attached as part of this application.	Yes
3.9	Water Sensitive Urban Design	<p>The proposed development incorporates Water Sensitive Urban Design (WSUD) principles that seek to minimise and manage the impact of stormwater on site and within the area.</p> <p>The proposed development appropriately addresses the unique characteristics of the site and will allow for the efficient management of stormwater.</p> <p>See attached Stormwater Management Plan for detail.</p>	Yes
C4 Land Management			
4.1	Site Stability and Earthworks	<p>This application seeks Council consent for the excavation of the site as per the attached plans.</p> <p>It is considered that the proposed excavation, will have minimal adverse environmental or amenity impact.</p>	Yes

		<p>The proposal results in an appropriate outcome when considering the nature of the development, the unique characteristics of the site and compliance with relevant Council controls.</p> <p>The proposal will not adversely affect or disrupt drainage and flood patterns, flood storage or soil stability in the area.</p> <p>The proposed excavation is consistent with the current and future use of the land and will develop the site into context with its surrounds and in accordance with Councils current and proposed planning strategies.</p> <p>It is considered unlikely due to the location of the site as well as previous development that excavation will lead to the disturbance of relics.</p>	
4.3	Erosion and Sedimentation	<p>This application seeks Council consent for the excavation of the site as per the attached plans. It is considered that the proposed excavation, will have minimal adverse environmental or amenity impact.</p> <p>The proposal results in an appropriate outcome when considering the nature of the development, the unique characteristics of the site and compliance with relevant Council controls.</p> <p>An Erosion and Sediment Control Plan is attached as part of this application.</p>	Yes
4.4	Contaminated Lands	<p>The site has been used for residential use for several decades and therefore contamination risks are low having regard to the use of the site.</p> <p>A Phase 1 Preliminary Environmental Site Assessment has been undertaken by envirotech which found that the site can be remediated suitable to the proposed land use.</p>	Yes

		If any contaminated material or suspected material is unearthed during the construction process, then actions consistent with the legislative requirements and guideline documents will be undertaken.	
4.5	Salinity	Due to the nature and location of the site it is not likely to be affected by Saline Soils. Not relevant.	N/A
C5 Waste Management			
		A Waste Management Plan is attached as part of this application. Notwithstanding it is noted that waste is to be appropriately managed during the demolition and construction stages of the development. An enclosed communal bin storage area is provided in the front setback area to meet Council requirements.	Yes
C6 Landscape Design			
		A landscape concept plan accompanies this development application. The concept plan details the landscape embellishment works proposed and it can be seen that these works will substantially improve the streetscape presentation of the site within a low density residential context as well as softening the proposed built form.	Yes
C7 Culture and Heritage			
7.1	European Heritage	The development site is not identified as a heritage item; is not located within a heritage conservation area however there are local heritage items within the broader locality. The local heritage items are separated from the development site and sufficiently buffered by existing development and therefore the proposal will have no impact on the heritage curtilage of local heritage items.	N/A

		As such, the subject site will not be subject to any heritage restrictions nor does the requirement to undertake any further heritage investigation	
7.2	Aboriginal Cultural and Heritage	Not relevant.	N/A
7.3	Significant Trees and Gardens	The subject site does not contain any trees or gardens that is considered to be of cultural, historical, scientific or aesthetic significance. Not relevant.	N/A
C10 Transport, Access and Parking			
10.2	Traffic Management and Safety	<p>It is considered that the vehicular access and exit points are clearly defined and provide for the safe and efficient movement of vehicular traffic on site and entering and exiting the site.</p> <p>The proposed parking area and ancillary driveway will not contribute to the creation of traffic hazards.</p> <p>The proposal provides for the safe and efficient movement of pedestrian and vehicular traffic within the site and both entering and exiting the site.</p> <p>Vehicle and pedestrian routes are clearly indicated and accessible.</p>	Yes
10.3	Key Transport Corridors	The subject site is not located with a key transport corridor. Not relevant.	N/A
10.5	Parking, Access and Driveways Parking Rates 3 or more bed: 2 space Visitor: 1 space for every 5 dwellings	<p>Car parking controls that apply to the development is located within Seniors Living SEPP.</p> <p>Car parking controls that apply to the development is in accordance with the Seniors Living SEPP.</p> <p>Refer to discussion against the Senior SEPP for detail.</p> <p>The DCP requires a total of 3.2 (4) visitor car parking spaces.</p>	Yes



Seniors Housing: 103-109 Laycock Street, Cranebrook

		The development provides a total of 4 visitor car parking space. Complies.	
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Environmental Assessment

(6)(1) Planning Instruments

The planning instruments applying to the subject site and this development proposal are addressed in detail in the previous section of this report. In summary, the subject site is zoned R2 Low Density Residential zone under PLEP 2010 and a seniors living housing development is sought pursuant to SEPP (Housing for Seniors or People with a Disability) 2004.

The development proposal meets the planning principles contained in the SREP – Hawkesbury Nepean River noting the drainage concept provides for an on-site detention system providing discharge directly into the existing storm water network in Laycock Street.

The development proposal meets the intent and performance criteria of the development controls contained in Seniors SEPP with a contemporary development that generally meets the density, height and building design controls and will not result in unreasonable amenity impacts to adjoining properties.

(6)(2) Streetscape & Context

The development includes the use of variety materials including face brick, banded painter render, and colorbond roofing.

The proposal provides direct address to the street and minimizes the dominance of driveways and parking structures.

The external finishes will adopt natural earthy tones compatible with other similar developments within the locality. The landscape concept provides for the planting of a number of trees and shrubs within the front setback areas that will contribute to the landscaped setting of the locality.

(6)(3) Visual and Acoustic Privacy

The proposal will not result in unreasonable visual or acoustic privacy impacts to surrounding properties. The design of the development is a one storey built form. In summary, the proposed dwelling meets the intent and performance criteria relating to privacy within the Seniors SEPP.

(6)(4) Views and Vistas

The proposed dwelling will not restrict significant views or outlook from surrounding properties.

(6)(5) Solar Access and Overshadowing

The development has been designed to ensure that the proposed seniors living housing is appropriate in terms of scale and bulk and will minimise overshadowing of adjoining properties. See attached shadow diagram for detail. Furthermore, the development has been sited and oriented to maximise solar access with all 16 dwellings to receive 3 hours of solar access at mid-winter.

(6)(6) Section 79C Considerations

SEPP Seniors Living 2004 SEPP (BASIX) 2004, SREP No. 20 Hawkesbury Nepean River, Penrith LEP 2010, and Penrith DCP 2014 have been addressed in previous sections of this report pursuant to S.79(c) (1) (a).

With regard to remaining matters for consideration, it is considered that the preceding analysis covers the range of environmental impacts that may be associated with the development proposal. The following comments are made pursuant to S.79C (1) (b) and (c) which cover respectively:

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality; and

(c) the suitability of the site for the development;

- *The development is of a compatible form and scale with other residential development in the locality and aligns with the existing residential character of the area;*
- *The development proposal has been designed to ensure impacts including bulk and scale, overshadowing, privacy and view loss are minimised and residential amenity is retained to the adjoining dwellings;*
- *The development proposal includes landscape works with the planting of a variety of native trees and shrubs contributing to the streetscape and reinforce the landscape setting, nothing that where appropriate existing tree along the sites frontage to Laycock Street is to be retained;*
- *Adequate drainage measures provide for the conveyance of storm-water from the site to the existing street network;*
- *The development proposal represents an efficient use of well-located land that takes advantage of close proximity to existing infrastructure, whilst ensuring that amenity to both occupants and surrounding properties is adequately maintained; and*
- *There are no site constraints that inhibit the development of the site for a seniors living development that have not been addressed in the design of the development.*



Conclusion

Following a review of the relevant planning controls, it is concluded that the proposed development is consistent with the objectives, planning strategies and detailed controls of these planning documents. Consideration has been given to the potential environmental and amenity impacts that are relevant to the proposed development and this report addresses these impacts.

Having regard to the benefits of the proposal and taking into account the absence of adverse environmental, social or economic impacts, the application is submitted to Council for assessment and granting of development consent. Think Planners Pty Ltd recommends the approval of the application, subject to necessary, relevant and appropriate conditions of consent.