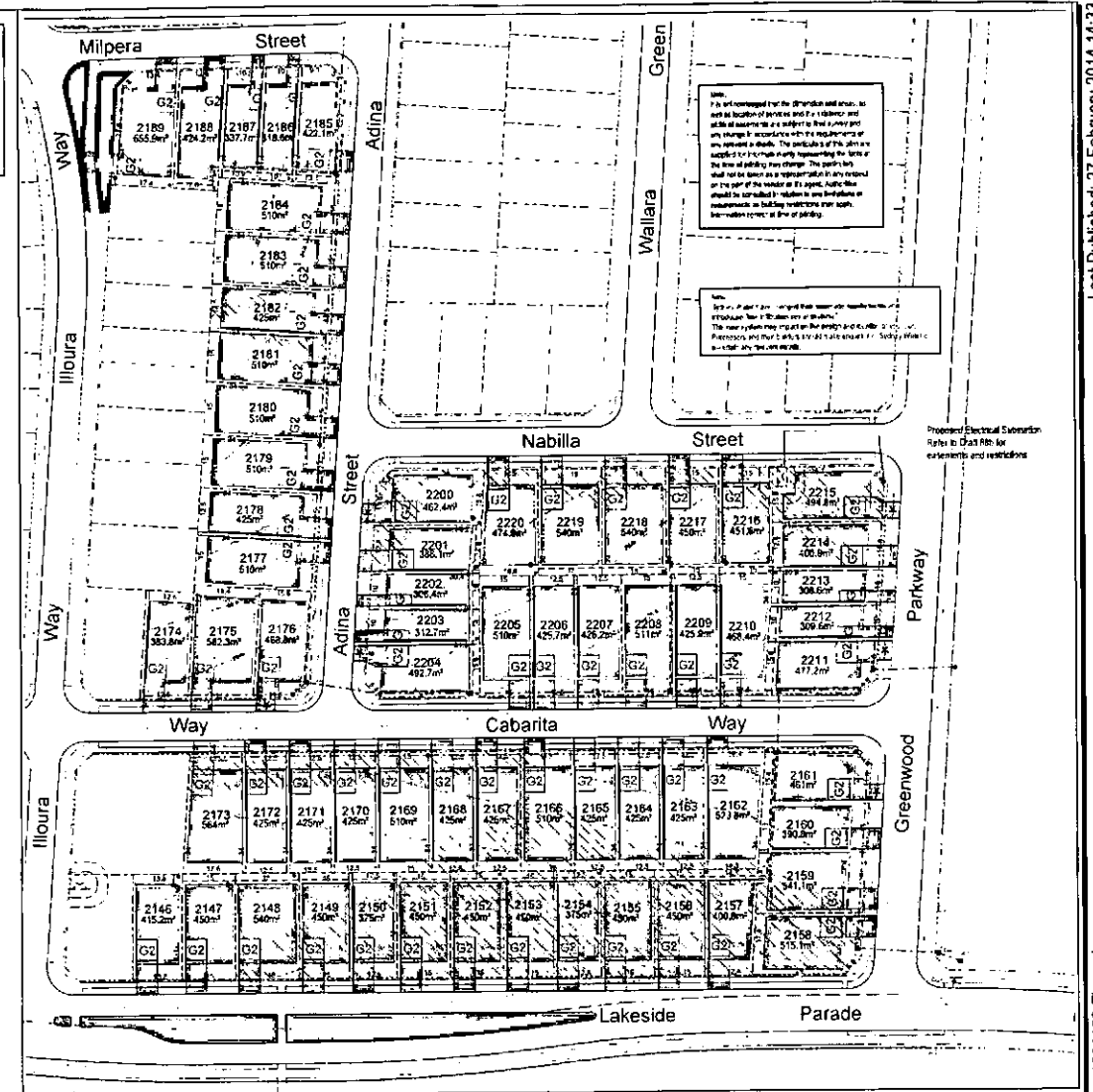


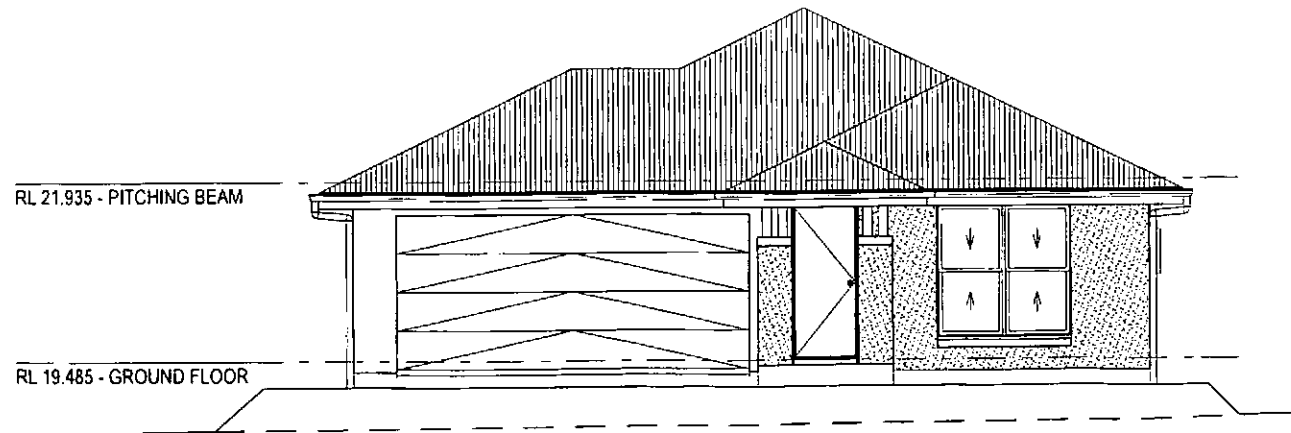
DRAWING SCHEDULE

COVER PAGE / LOCATION MAP	Sheet 1
DATA PAGE	Sheet 2
SITE PLAN	Sheet 3
FLOOR PLAN	Sheet 4
ELEVATIONS / SECTION	Sheet 5
ELEVATIONS	Sheet 6
KITCHEN DETAILS	Sheet 7
BATHROOM DETAILS	Sheet 8
ENSUITE DETAILS	Sheet 9
LAUNDRY DETAILS	Sheet 10
WATER RECYCLING / FLOOR FINISHES	Sheet 11

NOTE: REFER TO 'DATA PAGE (SHEET 2)' OF DRAWING SET FOR ALL RELEVANT BUILDING INFORMATION WITH REGARDS TO:
 - BASIX/ABSA REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL HOUSE SPECIFICATIONS



LOCATION MAP



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:

CDC COMPLIANT: NO
 REASON FOR NON-COMPLIANCE: BUSHFIRE LEVEL UNKNOWN/COUNCIL TO DETERMINE

<p>McDonald Jones YOUR HOME, YOUR DREAM</p>	SPECIFICATION: www.mcdonaldjoneshomes.com.au © 2014	DRAWING 1 PRELIMINARY PLANS (CT1) VP 2013.06.06 2 CONTRACT PLANS MPA 2014.01.23 3 AMEND DRIVEWAY LOCATION CPA 2014.02.27	DRAWN VP 2013.06.06 MPA 2014.01.23 CPA 2014.02.27	CLIENT: H ZHOU ADDRESS: ADINA STREET SUBURB: JORDAN SPRINGS	LOT No: 2184 DP No: 1168992 SECTION No:	HOUSE DESIGN: BRISTOL FACADE: NEVADA SHEET TITLE: COVER PAGE / LOCATION MAP	DESIGN CODE: FACADE CODE: SCALES: 1:1, 1:100, 1:2.05	SHEET No: 1 / 11	DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 601159
		POSTCODE: 2747	COUNCIL: PENRITH	SHEET TITLE: COVER PAGE / LOCATION MAP	SHEET No: 1 / 11	DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 601159			

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BASIX REQUIREMENTS

WATER COMMITMENTS

- 3 STAR (> 7.5 BUT <= 9 L/MIN) SHOWER HEADS
- 4 STAR TOILET SUITES
- 4 STAR KITCHEN TAPS
- 4 STAR BATHROOM TAPS

233.94 m² TOTAL ROOF AREA

3000 L WATER TANK(S) MINIMUM CAPACITY
233.94 m² MINIMUM ROOF AREA TO TANK(S)

- RAINWATER TANK(S) TO BE CONNECTED TO:
- AT LEAST ONE OUTDOOR TAP
 - ALL TOILETS
 - WASHING MACHINE

NO RETICULATED WATER SUPPLY

275 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

- HOT WATER SYSTEM**
- GAS CONTINUOUS FLOW - 5 STAR

- HEATING SYSTEM**
- SPLIT SYSTEM AIR CONDITIONING
FAMILY/LIVING, EER 2.5 - 3.0

- COOLING SYSTEM**
- SPLIT SYSTEM AIR CONDITIONING
FAMILY/LIVING, EER 2.5 - 3.0

- VENTILATION (EXHAUST FANS)**
- NO MECHANICAL VENTILATION TO BATHROOMS
 - KITCHEN RANGEHOOD:
INDIVIDUAL FAN - NOT DUCTED, MANUAL SWITCH ON/OFF
 - NO MECHANICAL VENTILATION TO LAUNDRY

- PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER**
- 4 BEDROOMS/STUDY, NON DEDICATED
 - 2 LIVING/DINING AREAS, NON DEDICATED
 - KITCHEN, NON DEDICATED
 - ALL BATHROOMS/TOILETS, NON DEDICATED
 - LAUNDRY, NON DEDICATED
 - ALL HALLWAYS, NON DEDICATED

- NATURAL LIGHTING TO**
- N/A

- ALTERNATIVE ENERGY**
- N/A

- OTHER**
- GAS COOKTOP, ELECTRIC OVEN
 - FIXED OUTDOOR CLOTHESLINE BY OWNER

BASIX CERTIFICATE NUMBER:

-

DATED:

-

BUILDING INFORMATION

GROUND FLOOR CEILING HEIGHT(S): 2400 mm
FRAMES AND TRUSSES: STEEL
ROOF PITCH (U.N.O.): 26°
ELECTRICITY SUPPLY: SINGLE PHASE
GAS SUPPLY: NONE

ROOF MATERIAL: SHEET METAL
ROOF COLOUR: N/A
ROOF INSULATION: R3.0 BATTS
50mm FOIL FACED BLANKET
WHIRLYBIRDS: 1

WALL MATERIAL: BRICK VENEER
WALL COLOUR: N/A
WALL INSULATION: R1.5 BATTS

FLOOR INSULATION: N/A

ENGINEERING & SITE INFORMATION

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS SPECIFICATIONS & DETAILS OVER A 200µm WATERPROOF MEMBRANE ON A BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH B.C.A. & AS 3700

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-1998 OR AS/NZS 4600-2005

DESIGN CRITERIA
WIND RATING: N2

SITE CLASSIFICATION
SITE CLASSIFICATION IS: M


SLAB CLASSIFICATION
SLAB CLASSIFICATION IS: M

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DATE:

 McDonald Jones YOUR HOME, YOUR DREAM	SPECIFICATION:	DRAWING	DRAWN	CLIENT:	LOT No:	HOUSE DESIGN:	DESIGN CODE:	DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE. 601159	
	www.mcdonaldjoneshomes.com.au © 2014	1 PRELIMINARY PLANS (CT1)	VP 2013.06.06	H ZHOU	2184	BRISTOL			
		2 CONTRACT PLANS	MPA 2014.01.23	ADDRESS:	DP No:	NEVADA	FACADE CODE:		
	3 AMEND DRIVEWAY LOCATION	CPA 2014.02.27	ADINA STREET	1168992					
				SUBURB:	POSTCODE:	COUNCIL:	SECTION No:	SHEETS:	SHEET No:
				JORDAN SPRINGS	2747	PENRITH		1:100	2 / 11

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DRAWING	DRAWN
1 PRELIMINARY PLANS (CT1)	VP 2013.06.06
2 CONTRACT PLANS	MPA 2014.01.23
3 AMEND DRIVEWAY LOCATION	CPA 2014.02.27

CLIENT:	H ZHOU
ADDRESS:	ADINA STREET
SUBURB:	JORDAN SPRINGS
POSTCODE:	2747
COUNCIL:	PENRITH
LOT No:	2184
DP No:	1168992
SECTION No:	

HOUSE DESIGN:	BRISTOL
FAÇADE:	NEVADA
SHEET TITLE:	SITE PLAN
DESIGN CODE:	
FAÇADE CODE:	
SCALES:	1:200, 1:100, 1:1
SHEET No:	3 / 11

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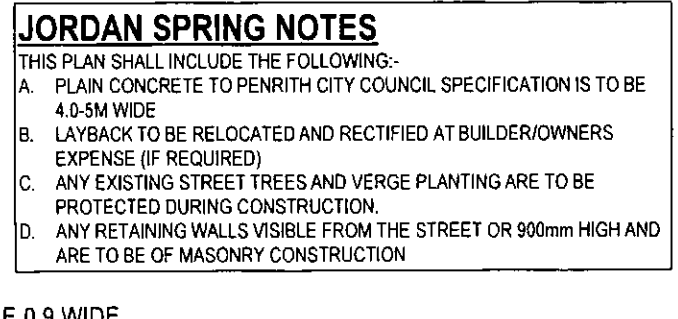
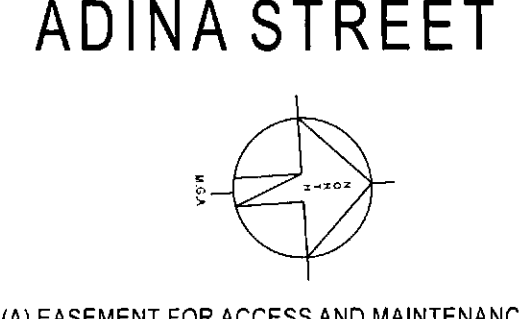
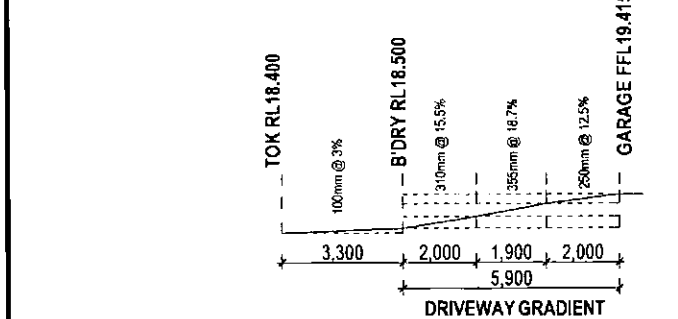
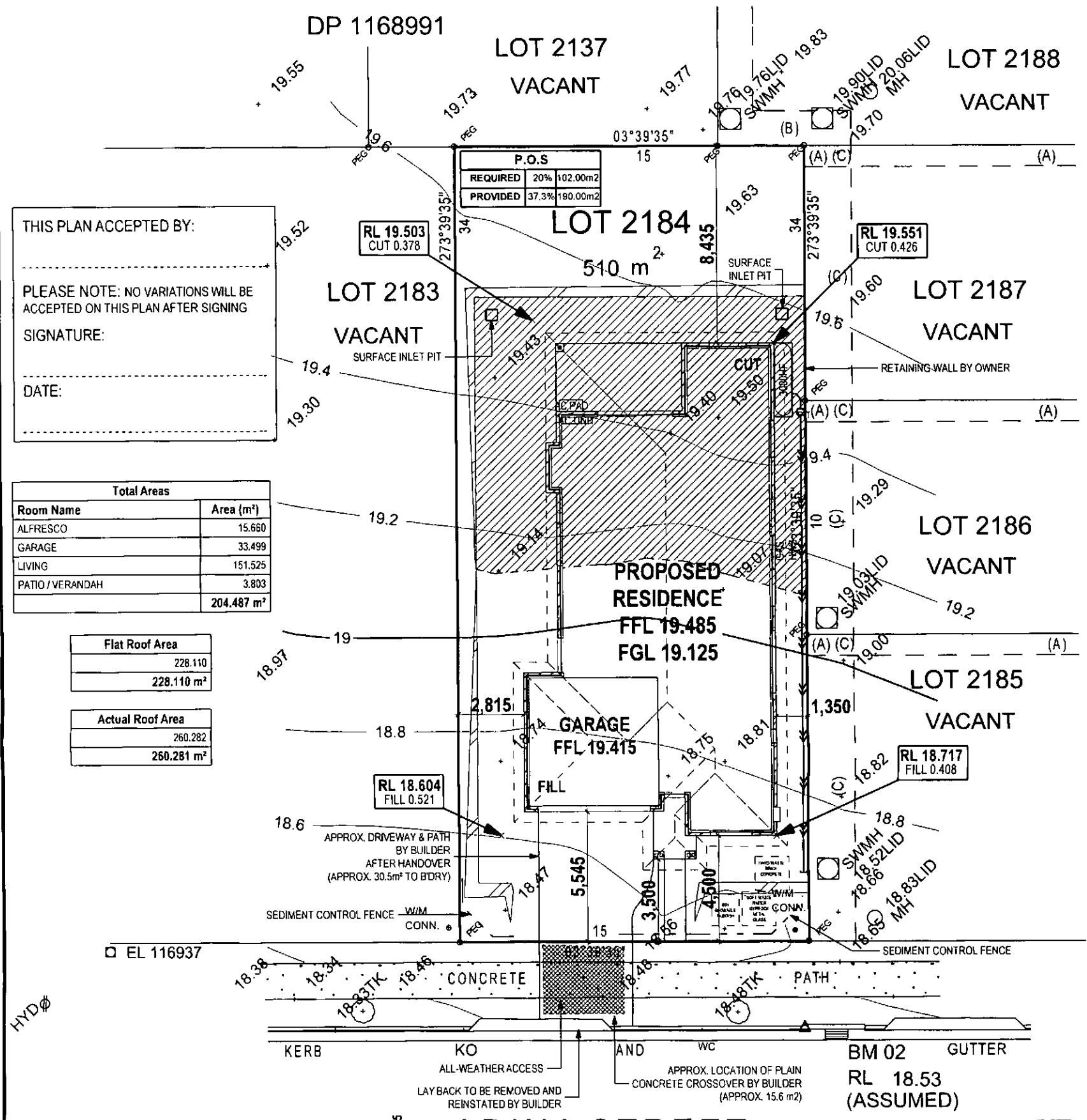
NOTE: STORMWATER LAYOUT IS DIAGRAMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

WIND CLASSIFICATION	N-2
WITHIN 1 KM. OF BREAKING SALT WATER	
WITHIN 100 M. OF SALT WATER	

NOTE: CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'DPR' ON PLAN. McDONALD JONES HOMES PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

DPR - CHARGED DOWNPIPE DIRECTED TO TANK

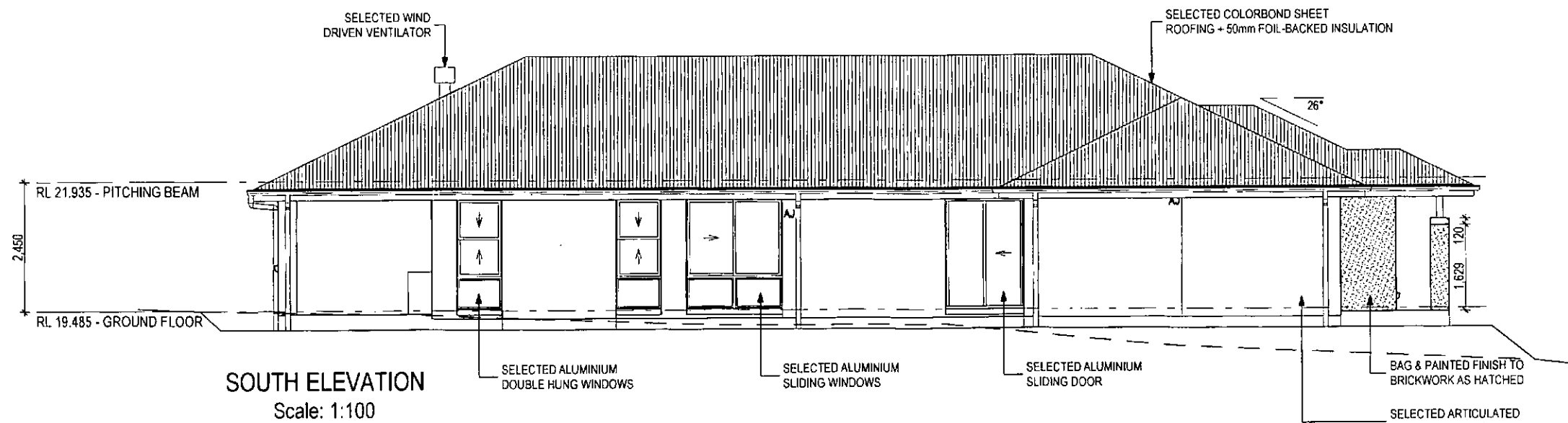
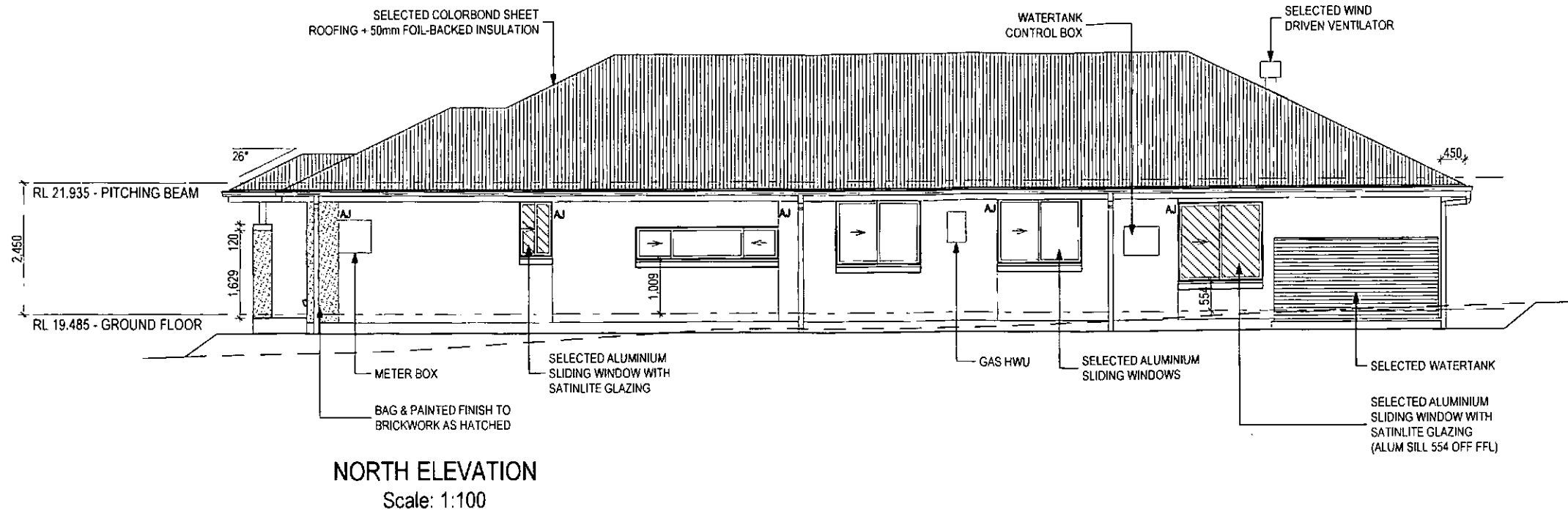
EXCAVATION NOTES
+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS. SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS



JORDAN SPRING NOTES
THIS PLAN SHALL INCLUDE THE FOLLOWING:-
A. PLAIN CONCRETE TO PENRITH CITY COUNCIL SPECIFICATION IS TO BE 4.0-5M WIDE
B. LAYBACK TO BE RELOCATED AND RECTIFIED AT BUILDER/OWNERS EXPENSE (IF REQUIRED)
C. ANY EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.
D. ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900mm HIGH AND ARE TO BE OF MASONRY CONSTRUCTION

(A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
(B) EASEMENT TO DRAIN WATER 1.5 WIDE
(C) EASEMENT TO DRAIN WATER 2 WIDE


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