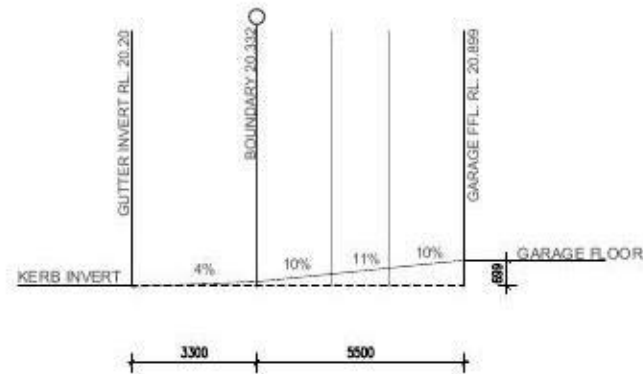


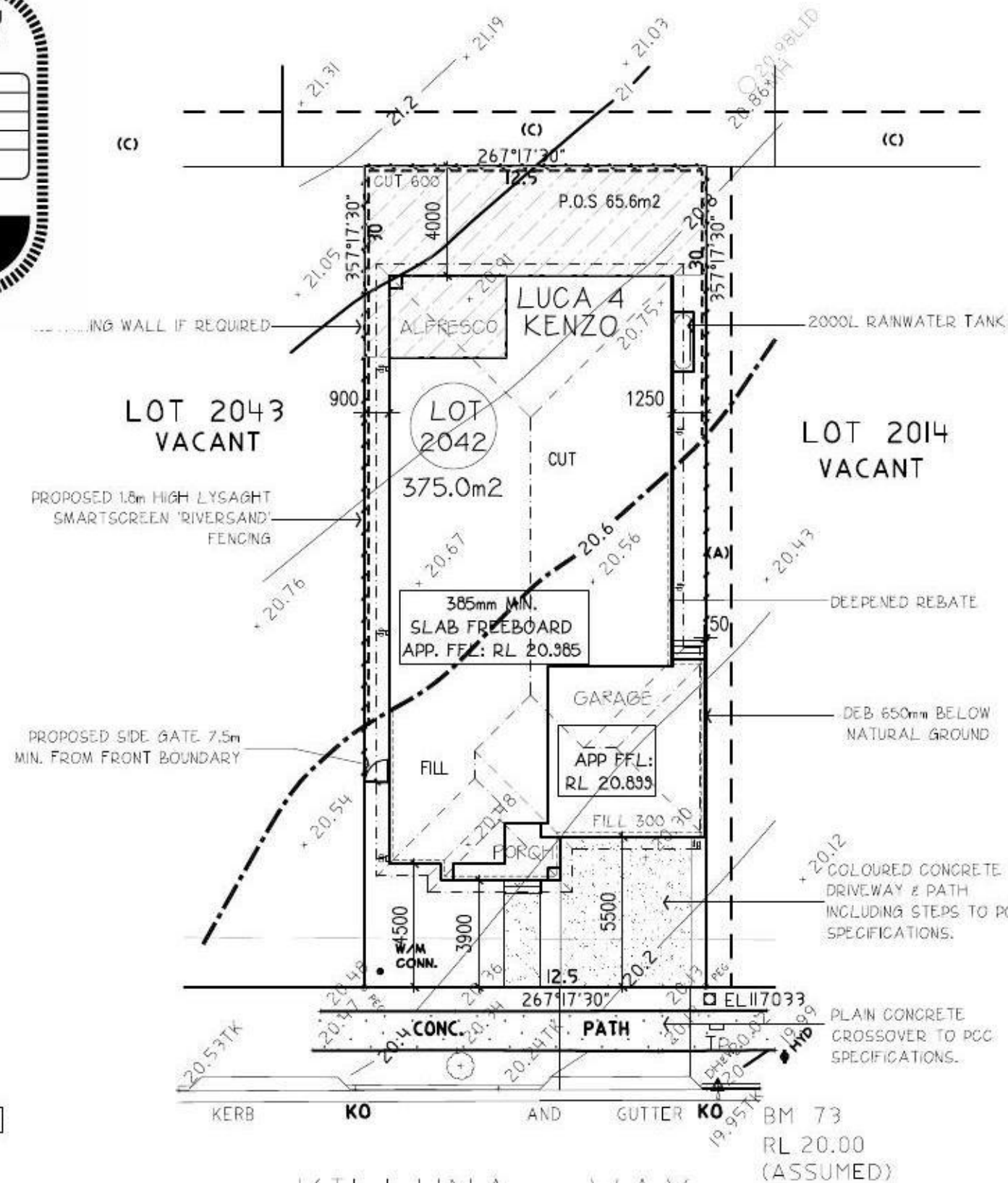
(A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE  
 (C) EASEMENT TO DRAIN WATER 2 WIDE

VEHICLE CROSSOVER IS TO BE PLAIN CONCRETE TO COUNCIL SPECIFICATIONS. 5m WIDE V.C. FOR DOUBLE GARAGE AND 3m WIDE FOR V.C. FOR A SINGLE GARAGE

GARDEN EDGING VISABLE FROM THE STREET IS TO BE CONSTRUCTED OF TEXTURED OR COLOURED MASONRY BRICKS, BLOCKS OR COLOURED CONCRETE, NO TIMBER EDGING IS PERMITTED



NOTE: DRIVEWAY IS DESIGNED IN ACCORDANCE WITH AS 2890.1 - 2004



**CUT & FILL BUILDING AREA TO RL 20.60 APPROX. TO CREATE LEVEL BUILDING PLATFORM FOR WAFFLE POD SLAB**

**CUT - LINE**

NOTE: THIS SITING IS SUBJECT TO THE DEVELOPERS APPROVAL. BUILDER TO OBTAIN PRIOR TO PERMIT APPLICATION.

NOTE: THIS SITING HAS BEEN PREPARED BASED ON THE ADJOINING PROPERTIES/Y BEING VACANT. SHOULD A SIGNIFICANT AMOUNT OF TIME PASS BEFORE THE BUILDING PERMIT IS APPLIED FOR, AN UPDATED SURVEY MAY BE REQUIRED TO CONFIRM THE ADJOINING PROPERTIES/Y STATUS. THE RESCODE REQUIREMENTS MAY NEED TO BE RE-EVALUATED AND MAY CAUSE CHANGES TO THE SITING/HOUSE.

NOTE: THIS SITING HAS BEEN PREPARED BASED ON THE AVAILABLE INFORMATION FROM THE RELEVANT LOCAL COUNCIL AND/OR OTHER AUTHORITIES THAT IS NOT COMPLETE OR HAVE NOT BEEN FINALISED DUE TO THE TITLES NOT YET BEEN RELEASED IN THIS SUBDIVISION. ONCE THIS INFORMATION IS RELEASED IT WILL BE EXAMINED. THIS MAY REVEAL THE REQUIREMENT FOR ADDITIONAL WORKS AND THE SITING MAY CHANGE.

NOTE: ALL EXISTING STREET TREES AND VERGE PLANTING TO BE PROTECTED DURING CONSTRUCTION

NOTE: ANY RETAINING WALL VISABLE FROM THE STREET OR 300mm HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION

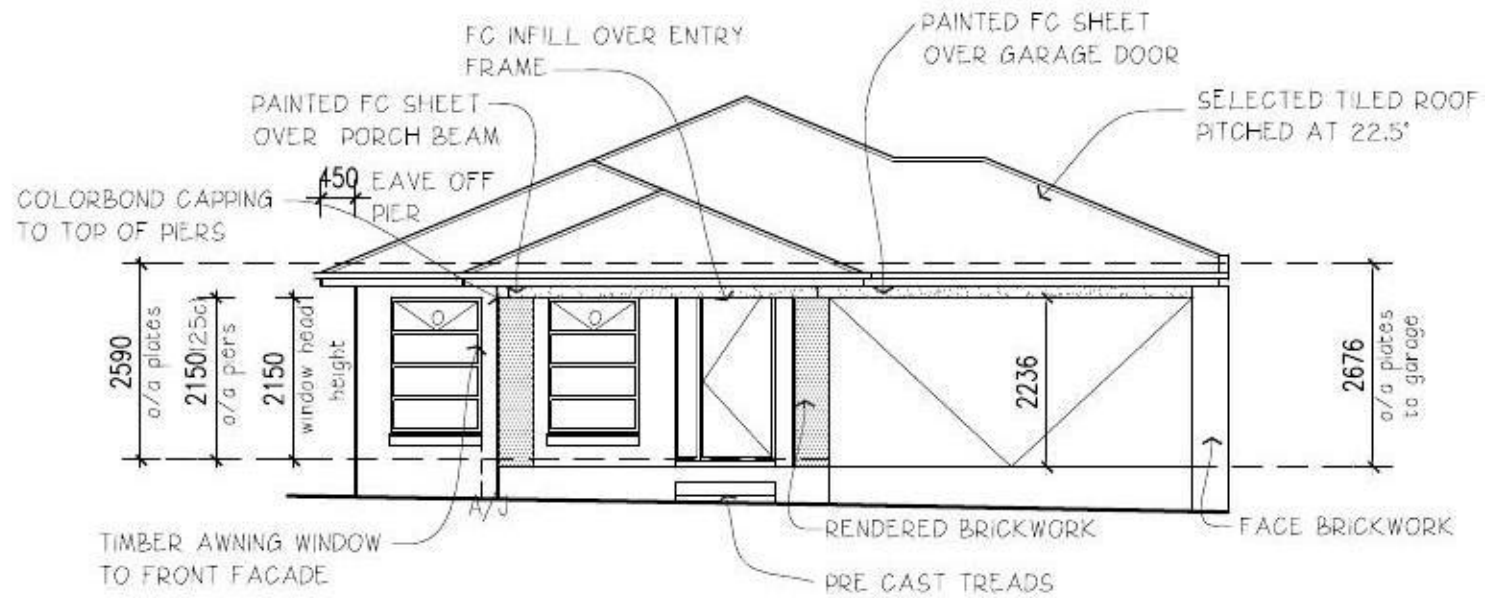
**SITE COVERAGE ANALYSIS**

Roof Area	255.0 sqm	68.0 %
Ground Floor	174.7 sqm	
Garage	36.2 sqm	
Porch	6.4 sqm	
Alfresco	12.9 sqm	
Building	230.2 sqm	61.4 %
Hard Surface	31.6 sqm	8.4 %
Permeable	113.2 sqm	30.2 %
<b>Total Area</b>	<b>375.0 sqm</b>	<b>100.0 %</b>

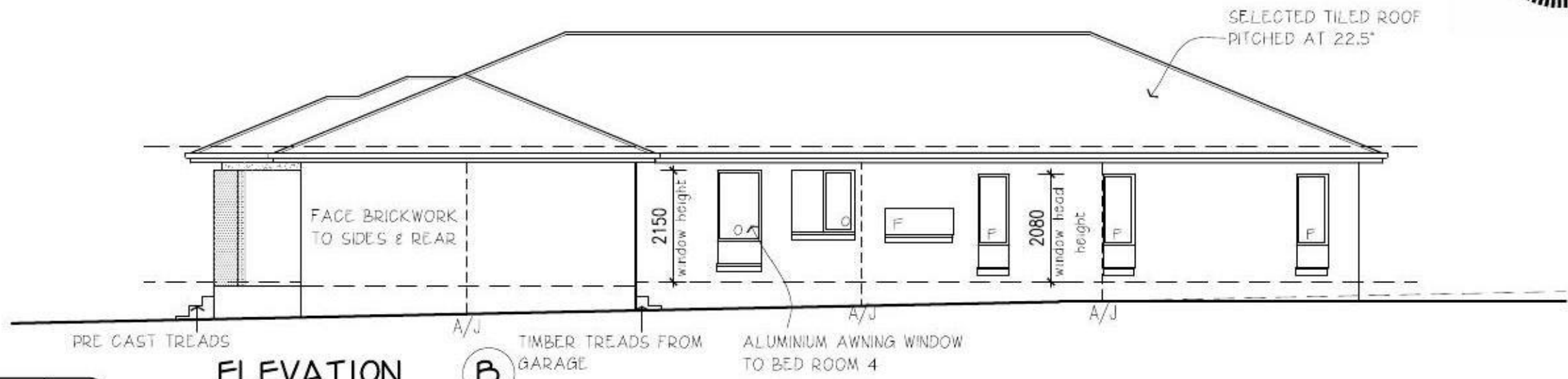
DATE	REVISION	DRAWN
31.7.13	REV A CONTRACT PLANS	JS

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	DRAWN JS CHECKED (CHKBY) SCALE 1:200	D.P 1168989 JOB No. 200222 Date: 31/07/2013			For EDGEWATER HOMES At LOT 2042 KILLUNA WAY JORDAN SPRINGS	PO Box 550 Moorebank NSW 1875 Ph: 9623 7526 Fax: 9673 5560
	KILLUNA WAY					

TABLE OF BASIX COMMITMENTS	
PROJECT ADDRESS: LOT 2042 KILLUNA WAY JORDAN SPRINGS	
CERTIFICATE NO.: 5	
<b>WATER</b>	
- DEVELOPMENT TO BE CONNECTED TO 2,000LT RAINWATER TANK.	
- RAINWATER TANK CONFIGURED TO COLLECT AT LEAST 130m <sup>2</sup> ROOF RUN OFF.	
- TOILETS, WASHING MACHINE AND 1 OUTDOOR TAP TO BE CONNECTED TO THE RAINWATER TANK.	
- 3 STAR SHOWER HEADS, 4 STAR TOILETS, 3 STAR KITCHEN TAPS AND 5 STAR BASIN TAPS.	
<b>THERMAL</b>	
- ROOF INSULATION: NONE.	
- CEILING INSULATION: R2.5	
- WALL INSULATION: R1.5	
- EXTERNAL WALL: BRICK VENEER COLOUR: DARK	
- ROOFING: TILED COLOUR: DARK	
- GLAZING: ALL ALUMINIUM WINDOWS TO BE SINGLE CLEAR GLAZED WITH U VALUE OF 6.57 & SHGC OF 0.74	
- TIMBER WINDOWS TO MASTER SUITE AND REAR FAMILY / DINING STACKER DOORS TO BE SINGLE, CLEAR GLAZED, TIMBER FRAMED WITH A U VALUE OF 5.55 AND SHGC OF 0.73	
<b>ENERGY</b>	
- HOT WATER SYSTEM: GAS INSTANTANEOUS HWS WITH A PERFORMANCE OF 5 STARS OR BETTER.	
- SINGLE PHASE AC UNIT TO 1 LIVING AREA EER 3.0-3.5.	
- KITCHEN: INDIVIDUAL FAN, DUCTED (RANGEHOOD), OPERATION CONTROL, MANUAL SWITCH.	
- BATHROOM (1): INDIVIDUAL FAN, NOT DUCTED, OPERATION CONTROL, MANUAL SWITCH.	
- LAUNDRY: NATURAL VENTILATION.	
- WINDOW AND/OR SKYLIGHT TO KITCHEN FOR NATURAL LIGHTING.	
- WINDOW AND/OR SKYLIGHT TO BATHROOMS (2/TOILET 1) FOR NATURAL LIGHTING.	
- GAS COOKTOP AND ELECTRIC OVEN TO BE INSTALLED IN THE KITCHEN.	
- WELL VENTILATED FRIDGE SPACE.	



ELEVATION (A)

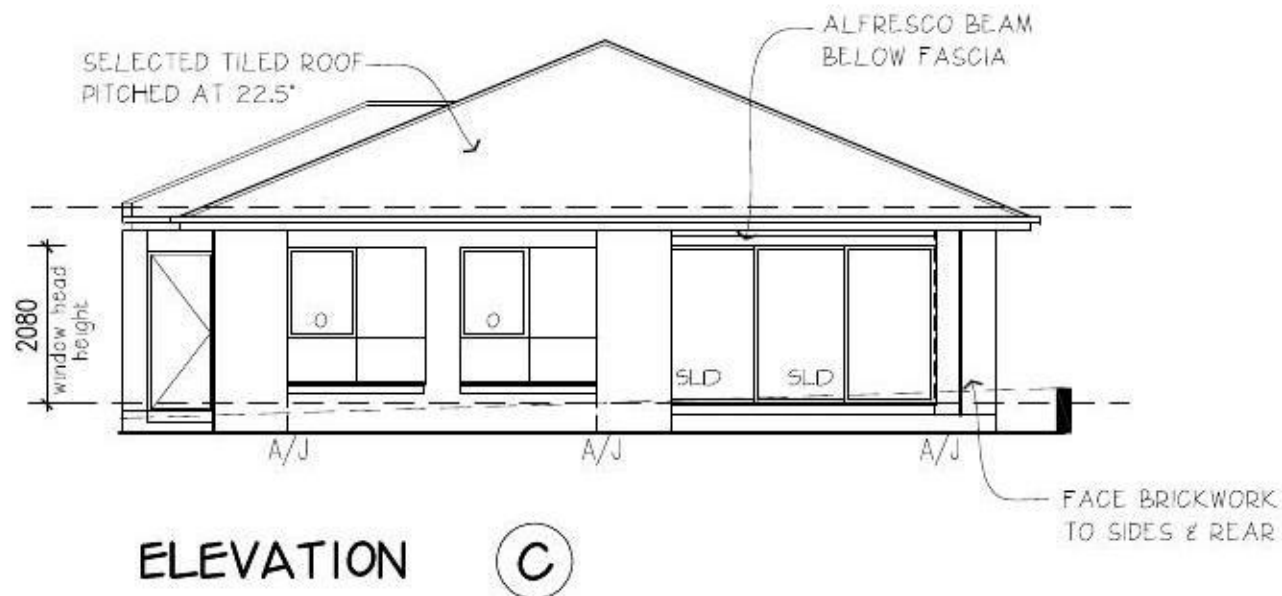


ELEVATION (B)

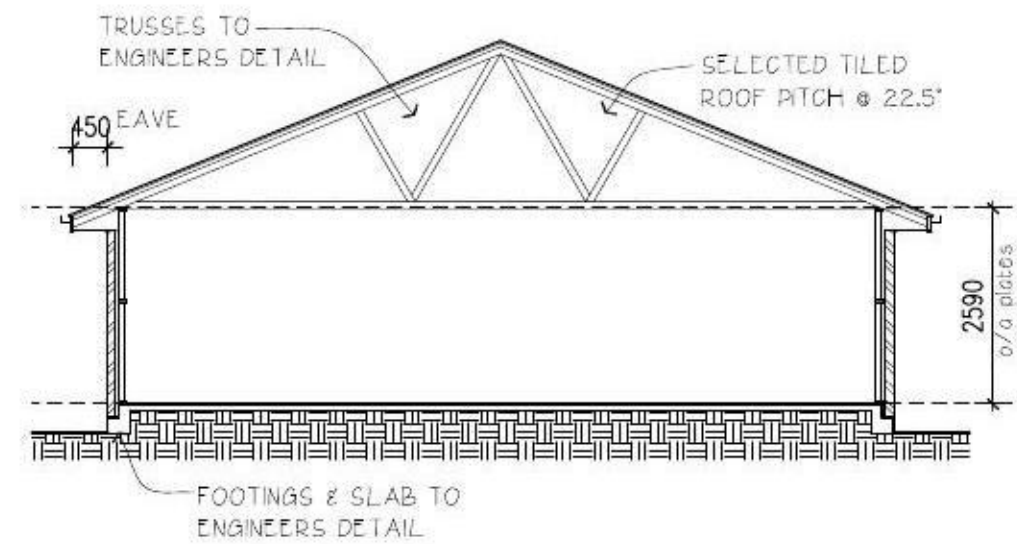


DATE	REVISION	DRAWN
1.8.13	REV A CONTRACT PLANS	JS

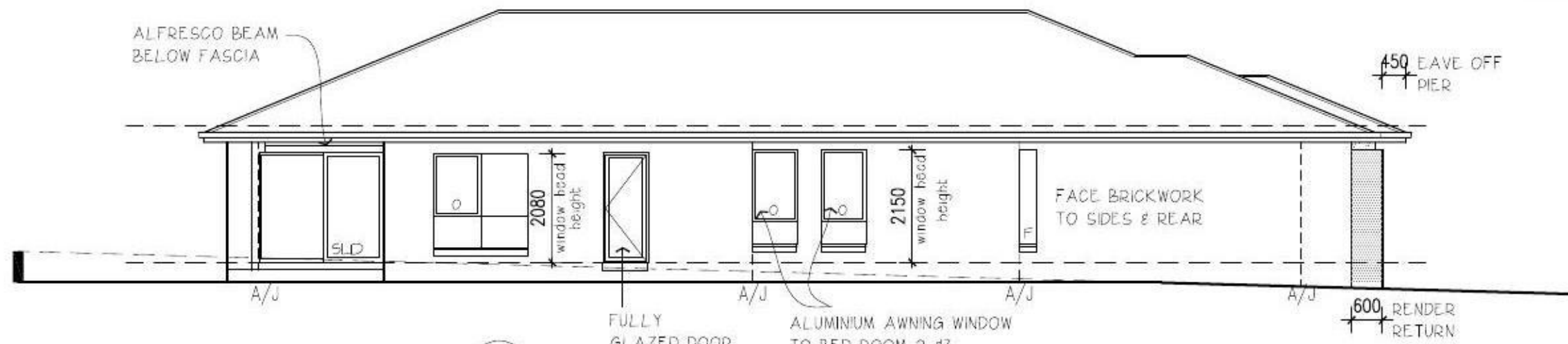
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	DRAWN	JS					For	EDGEWATER HOMES	
	CHECKED	(CHKBY)	JOB No.	200222			At	LOT 2042 KILLUNA WAY JORDAN SPRINGS	
SCALE	1:100	Date:	01/08/2013						



ELEVATION C



TYPICAL\_SECTION



ELEVATION D

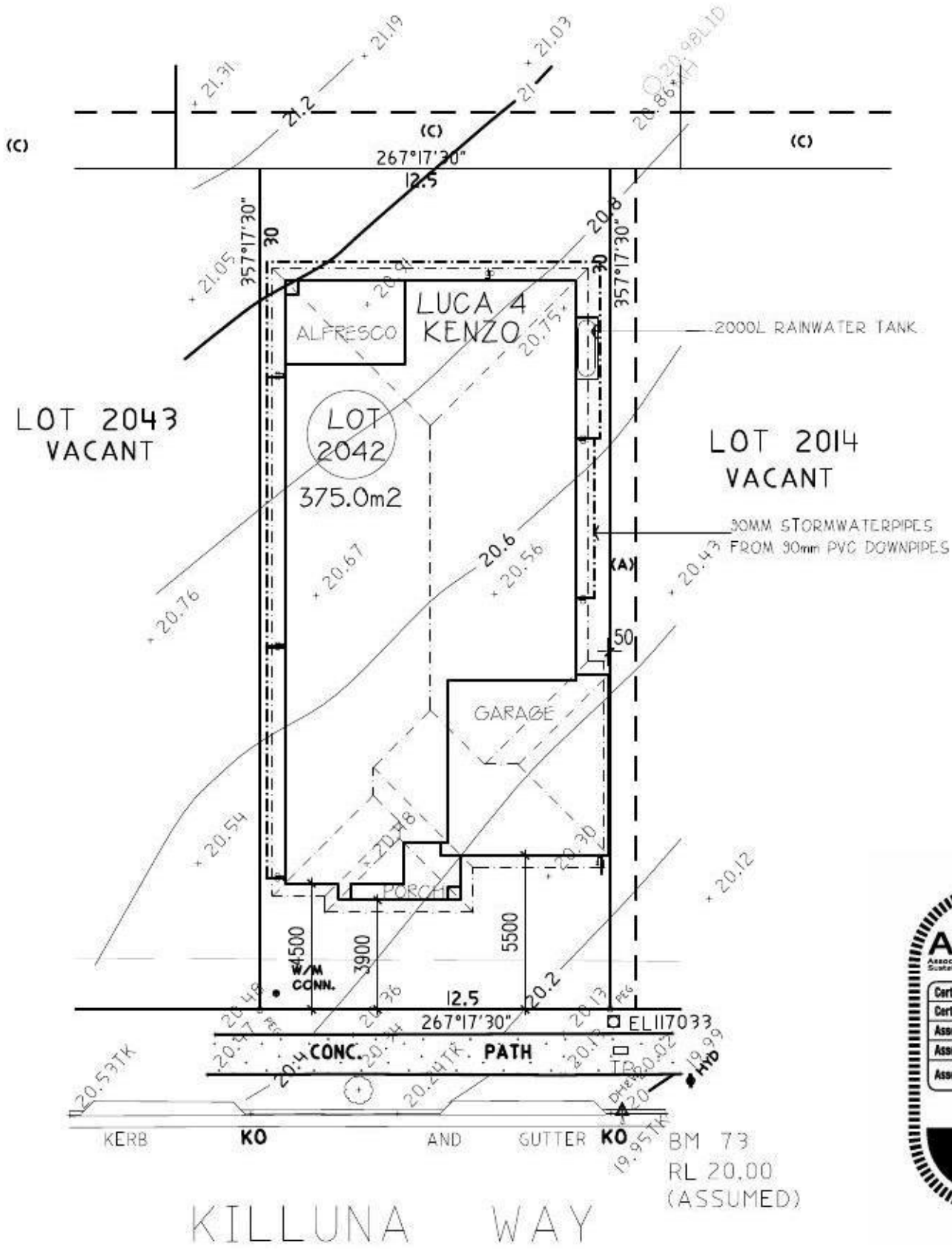
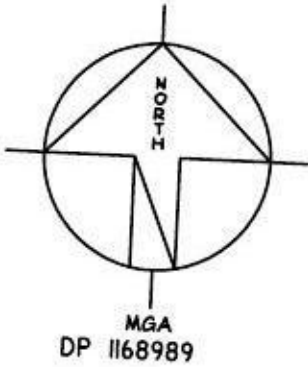
1.8.13	REV A CONTRACT PLANS	JS
DATE	REVISION	DRAWN

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	DRAWN	JS						For	EDGEWATER HOMES	
	CHECKED	(CHKBY)	JOB No. 200222					At	LOT 2042 KILLUNA WAY JORDAN SPRINGS	
SCALE	1:100	Date: 01/08/2013								

NOTE: STORMWATER DRAINAGE IS TO BE MINIMUM 600mm CLEAR FROM EDGE OF SLAB

STORMWATER DISPOSAL TO STREET

STORMWATER - LINE



31.7.13	REV A CONTRACT PLANS	JS
DATE	REVISION	DRAWN

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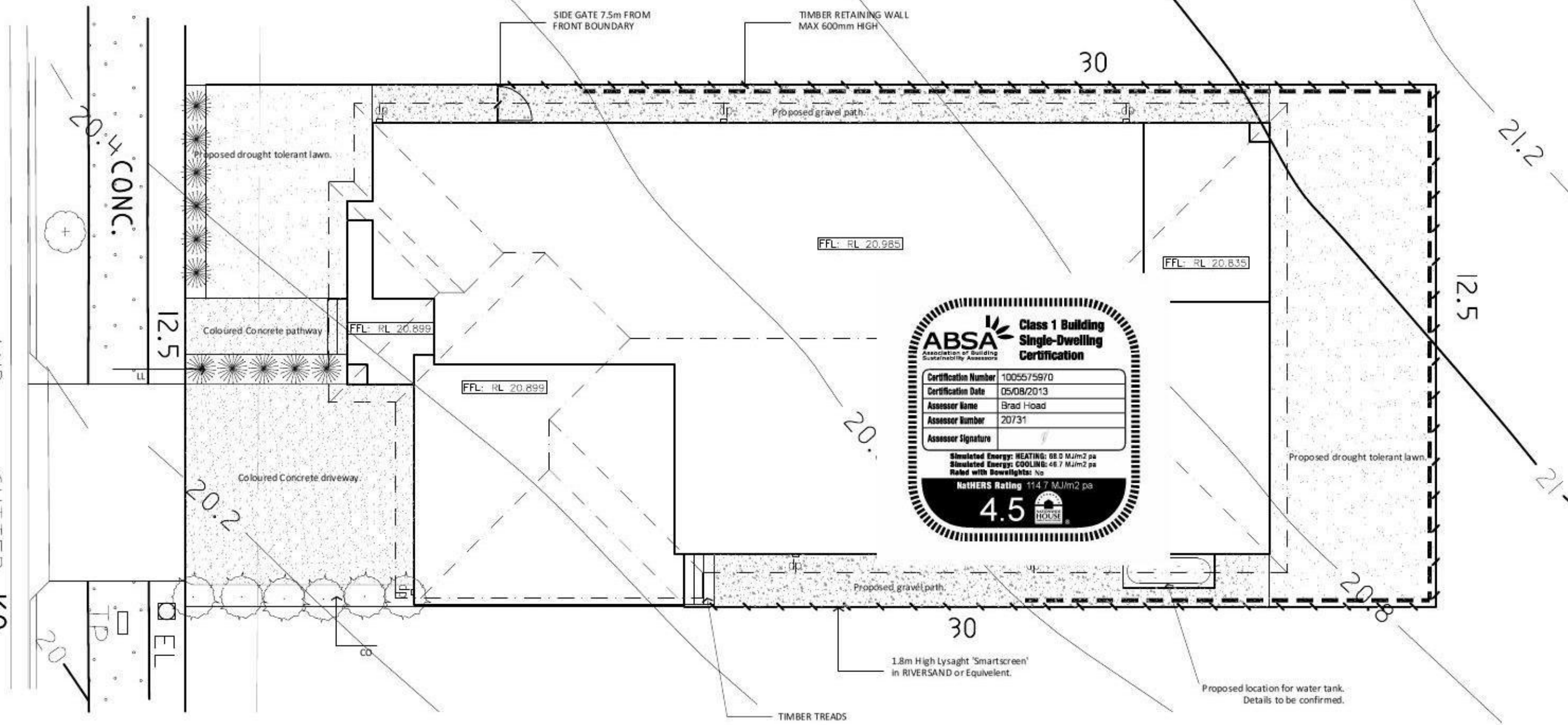
<b>STORMWATER</b>	
DRAWN JS	D.P 1168989
CHECKED (CHKBY)	JOB No. 200222
SCALE 1:200	Date: 31/07/2013

HAND	RH	SHT	1A	Luca 4	Kenzo
For	EDGEWATER HOMES				
At	LOT 2042 KILLUNA WAY JORDAN SPRINGS				

**EDGEWATER HOMES**  
 PO Box 550 Moorebank NSW 1875  
 Ph: 9623 7526 Fax: 9673 5560

KILLUNA WAY

AND GUTTER KO



GARDEN EDGING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OF TEXTURED OR COLOURED MASONRY BRICKS, BLOCKS OR COLOURED CONCRETE, NO TIMBER EDGING IS PERMITTED

NOTE: ANY RETAINING WALL VISIBLE FROM THE STREET OR 900mm HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION

# Please note the following:

Coloured concrete driveway & path including steps to P.C.C specs, vehicle crossover in plain concrete to P.C.C spec. If required by edgewater.  
 VEHICLE CROSSOVER IS TO BE PLAIN CONCRETE TO COUNCIL SPECIFICATIONS. 5m WIDE V.C. FOR DOUBLE GARAGE AND 3m WIDE FOR V.C. FOR A SINGLE GARAGE  
 All existing street trees and verge planting are to be protected during construction.

Letterbox to complement the design of the house and in accordance with the fencing design guidelines.

### PLANT SCHEDULE

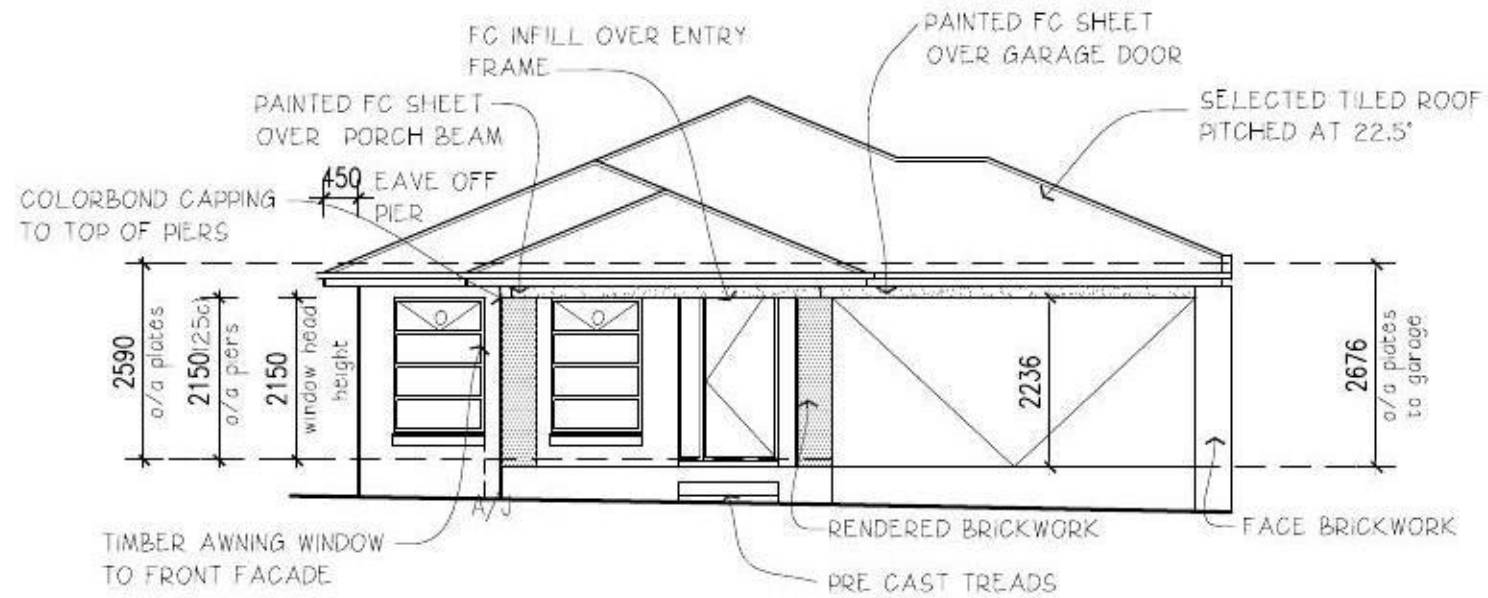
Code	Botanical name	Common Name	Height (mm)	Width (mm)	Quantity	Pot Size @ Planting
CO*	<i>Correa alba</i>	White Correa	1000	1200	5	140mm
EU*	<i>Eucalyptus pauciflora</i> 'Little Snowman'	Little Snowman	6500	4000	2	300mm
LL*	<i>Lomandra longifolia</i> 'Tanika'	Tanika Lomandra	700	700	17	140mm

\* Native plant selection

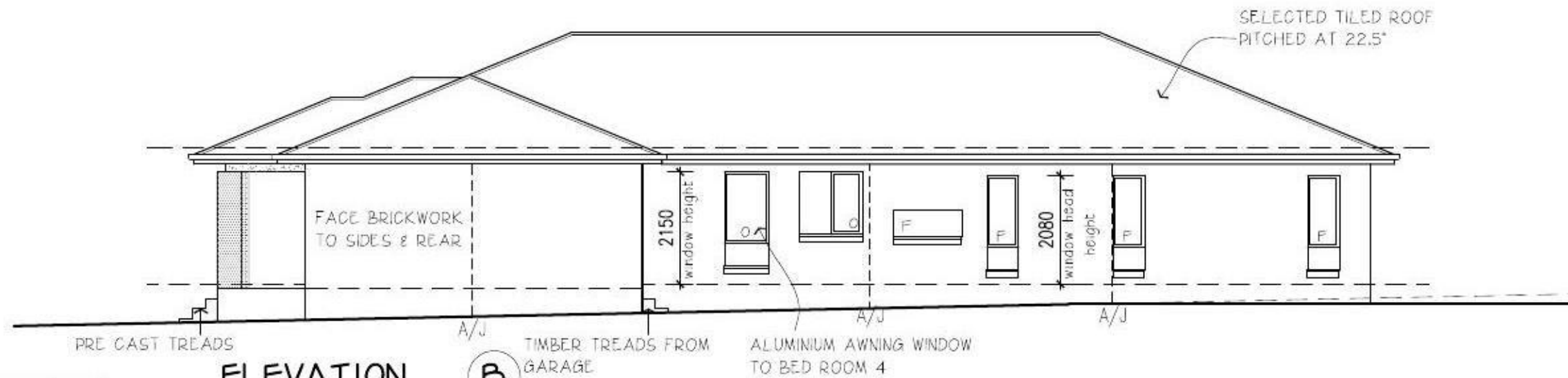
DATE	REVISION	DRAWN
1.8.13	REV A CONTRACT PLANS	JS

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	DRAWN	JS					For			EDGEWATER HOMES
	CHECKED	(CHKBY)		JOB No.	200222	At	LOT 2042 KILLUNA WAY JORDAN SPRINGS			
SCALE	1:100	Date:	01/08/2013							

TABLE OF BASIX COMMITMENTS	
PROJECT ADDRESS: LOT 2042 KILLUNA WAY JORDAN SPRINGS	
CERTIFICATE NO.: 5	
<b>WATER</b>	
- DEVELOPMENT TO BE CONNECTED TO 2,000LT RAINWATER TANK.	
- RAINWATER TANK CONFIGURED TO COLLECT AT LEAST 130m <sup>2</sup> ROOF RUN OFF.	
- TOILETS, WASHING MACHINE AND 1 OUTDOOR TAP TO BE CONNECTED TO THE RAINWATER TANK.	
- 3 STAR SHOWER HEADS, 4 STAR TOILETS, 3 STAR KITCHEN TAPS AND 5 STAR BASIN TAPS.	
<b>THERMAL</b>	
- ROOF INSULATION: NONE.	
- CEILING INSULATION: R2.5	
- WALL INSULATION: R1.5	
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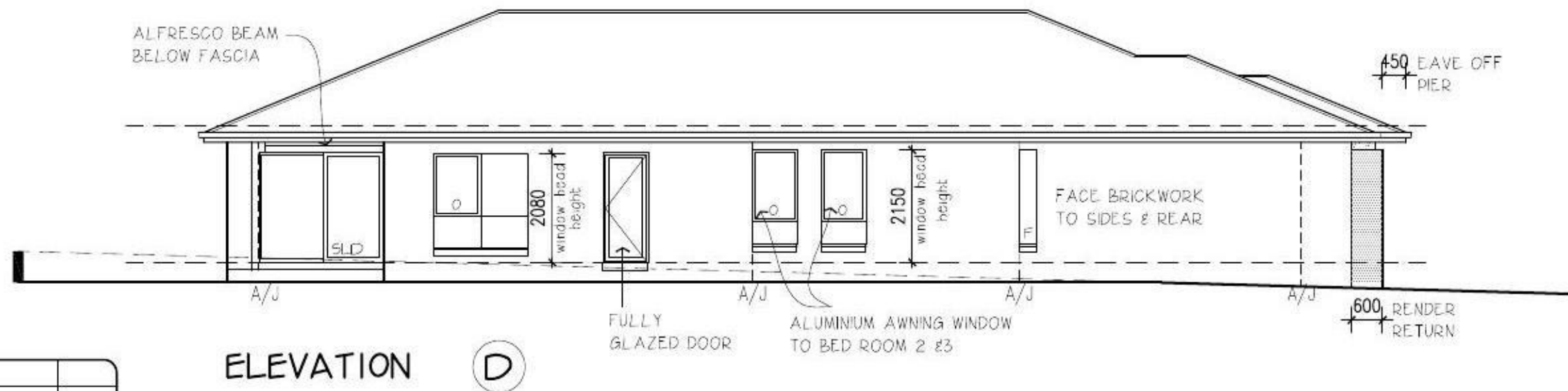
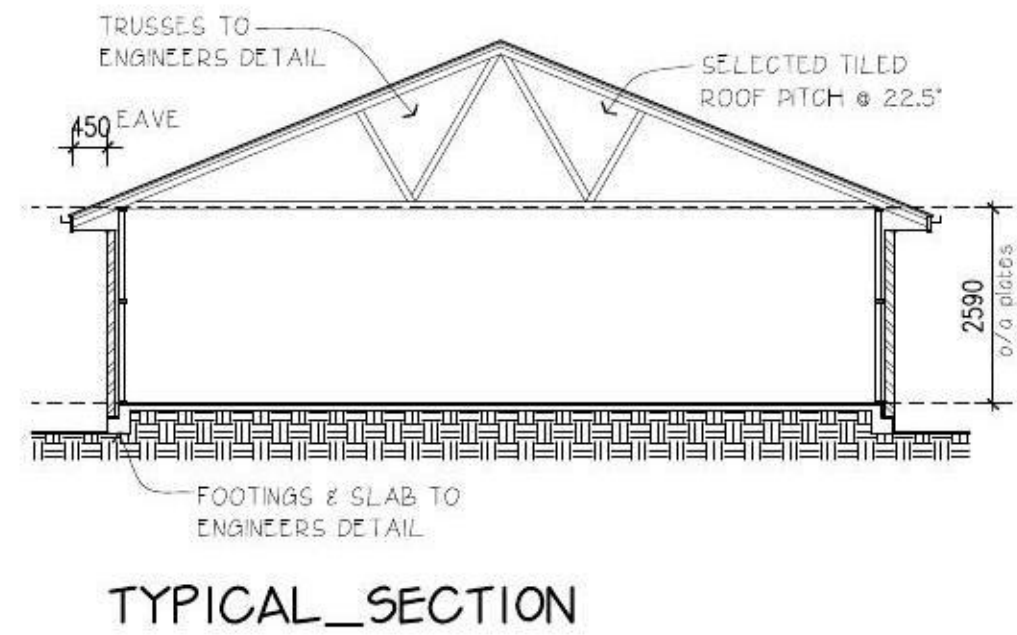
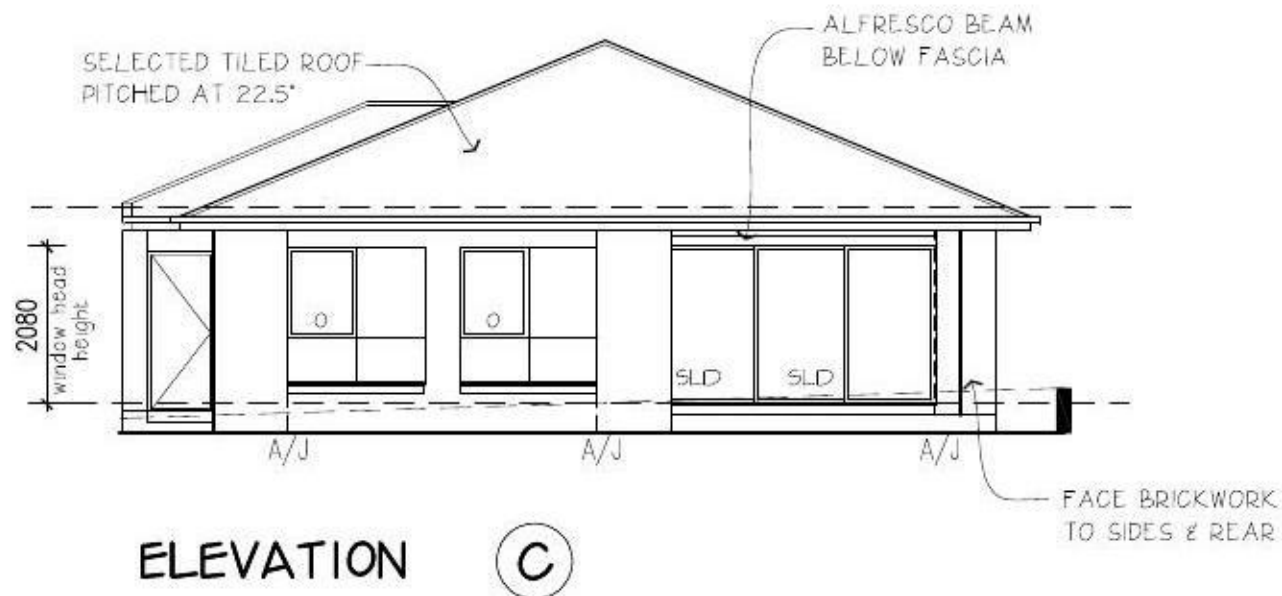
ELEVATION (A)



ELEVATION (B)

DATE	REVISION	DRAWN
1.8.13	REV A CONTRACT PLANS	JS

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	DRAWN	JS					For	EDGEWATER HOMES	
	CHECKED	(CHKBY)	JOB No.	200222			At	LOT 2042 KILLUNA WAY JORDAN SPRINGS	
SCALE	1:100	Date:	01/08/2013						



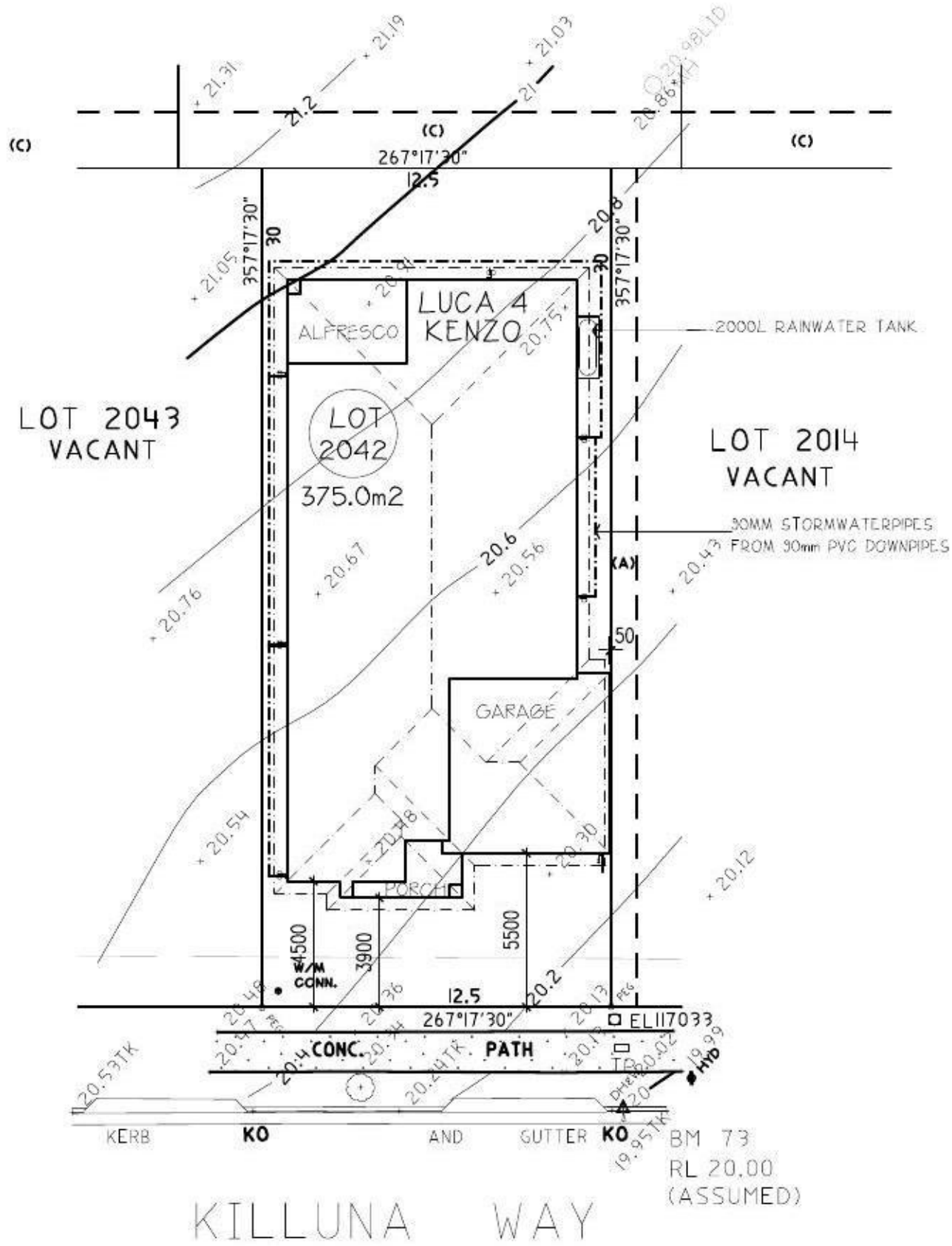
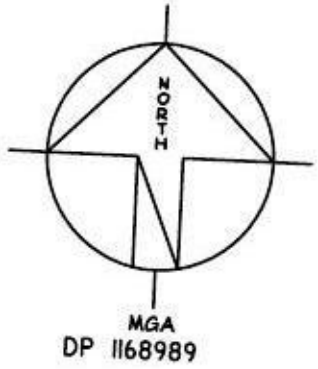
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	DRAWN	JS						For	EDGEWATER HOMES	
	CHECKED	(CHKBY)	JOB No. 200222					At	LOT 2042 KILLUNA WAY JORDAN SPRINGS	
	SCALE	1:100	Date: 01/08/2013							

NOTE: STORMWATER DRAINAGE IS TO BE MINIMUM 600mm CLEAR FROM EDGE OF SLAB

STORMWATER DISPOSAL TO STREET

STORMWATER - LINE



31.7.13	REV A CONTRACT PLANS	JS
DATE	REVISION	DRAWN

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<b>STORMWATER</b>	
DRAWN JS	D.P 1168989
CHECKED (CHKBY)	JOB No. 200222
SCALE 1:200	Date: 31/07/2013

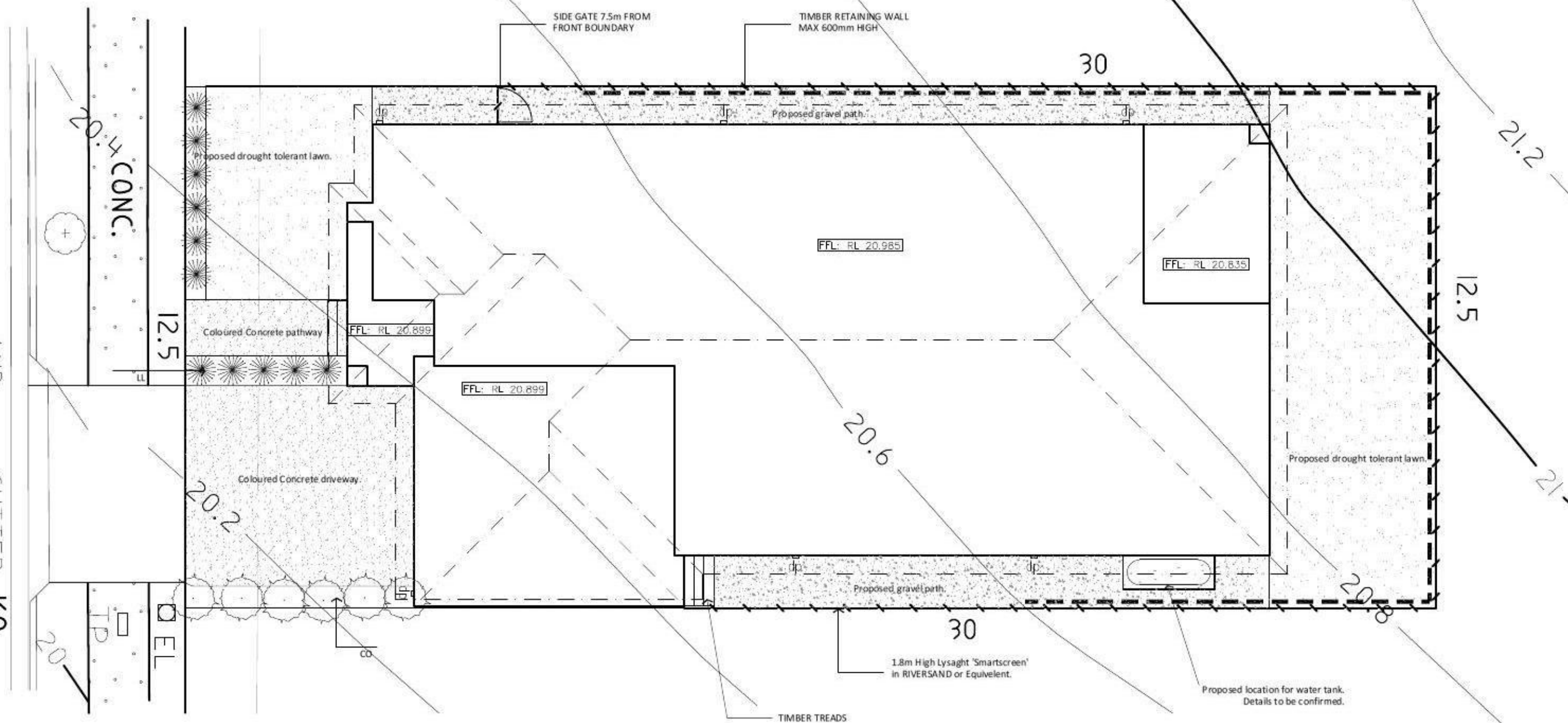
HAND	RH	SHT	1A	Luca 4	Kenzo
				For	EDGEWATER HOMES
				At	LOT 2042 KILLUNA WAY JORDAN SPRINGS

**EDGEWATER HOMES**  
PO Box 550 Moorebank NSW 1875  
Ph: 9623 7526 Fax: 9673 5560



KILLUNA WAY

AND GUTTER KO



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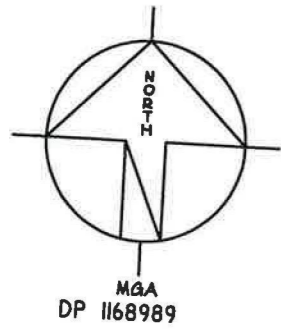
## PLANT SCHEDULE

Code	Botanical name	Common Name	Height (mm)	Width (mm)	Quantity	Pot Size @ Planting
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\* Native plant selection

DATE	REVISION	DRAWN
1.8.13	REV A CONTRACT PLANS	JS

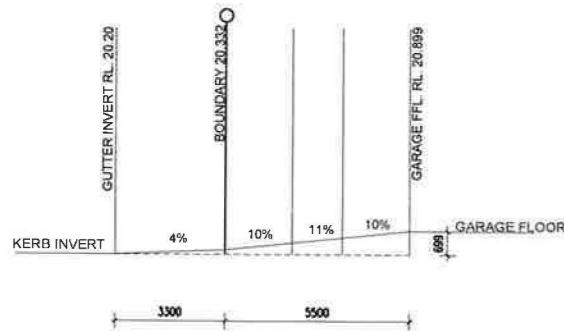
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	DRAWN	JS					For			EDGEWATER HOMES
	CHECKED	(CHKBY)					At			LOT 2042 KILLUNA WAY JORDAN SPRINGS
	SCALE	1:100					Date:	01/08/2013	PO Box 550 Moorebank NSW 1875 Ph: 9623 7526 Fax:9673 5560	



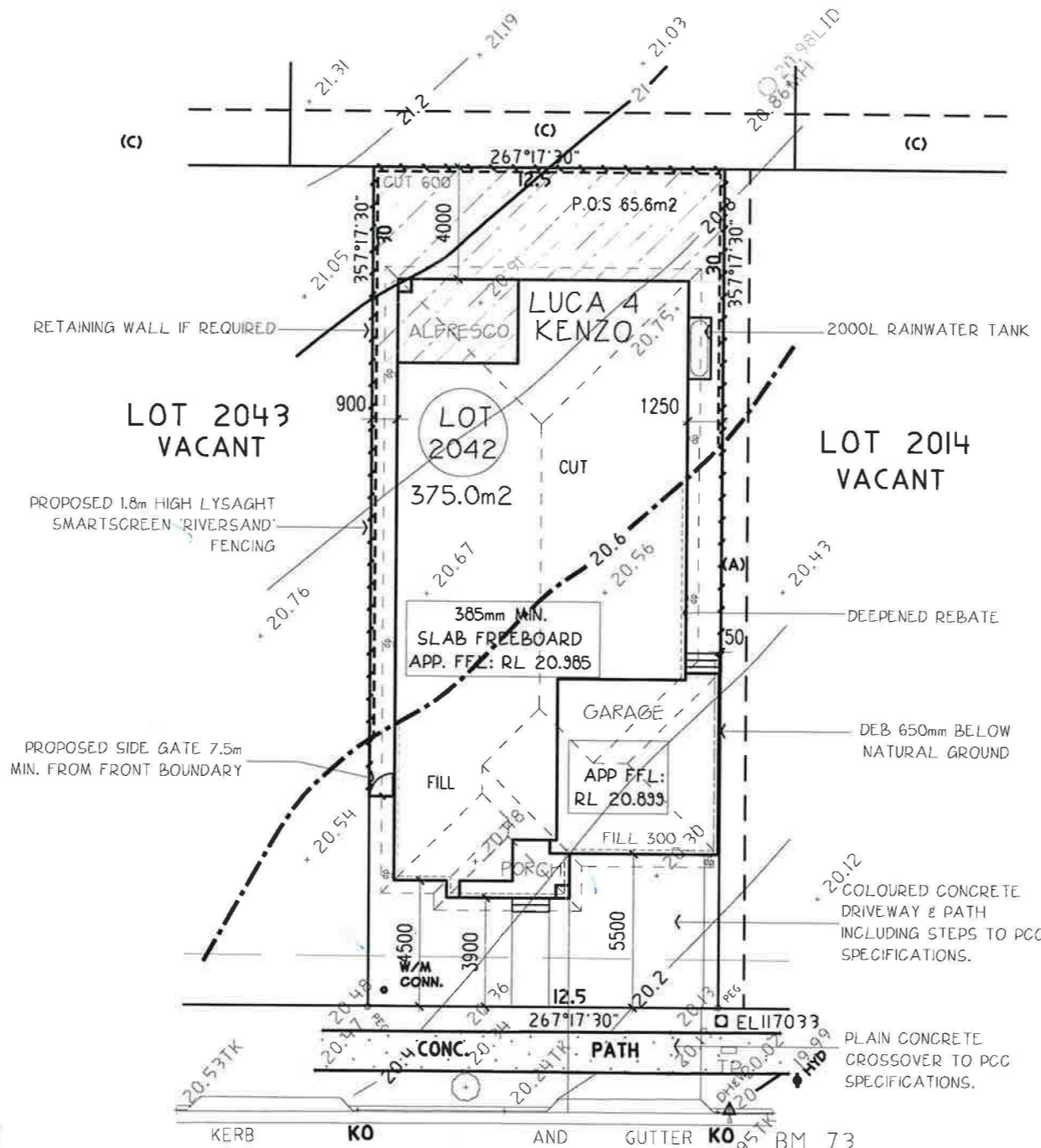
(A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE  
 (C) EASEMENT TO DRAIN WATER 2 WIDE

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NOTE: DRIVEWAY IS DESIGNED IN ACCORDANCE WITH AS 2890.1 - 2004



**CUT & FILL BUILDING AREA TO RL 20.60 APPROX. TO CREATE LEVEL BUILDING PLATFORM FOR WAFFLE POD SLAB**

**CUT - LINE**

NOTE: THIS SITING IS SUBJECT TO THE DEVELOPERS APPROVAL. BUILDER TO OBTAIN PRIOR TO PERMIT APPLICATION.

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NOTE: ANY RETAINING WALL VISIBLE FROM THE STREET OR 300mm HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION

**SITE COVERAGE ANALYSIS**

Roof Area	255.0 sqm	68.0 %
Ground Floor	174.7 sqm	
Garage	36.2 sqm	
Porch	6.4 sqm	
Alfresco	12.9 sqm	
Building	230.2 sqm	61.4 %
Hard Surface	31.6 sqm	8.4 %
Permeable	113.2 sqm	30.2 %
Total Area	375.0 sqm	100.0 %

31.7.13	REV A CONTRACT PLANS	JS
DATE	REVISION	DRAWN

Reviewed by JORDAN SPRINGS LANDS & SECTION  
 19 AUG 2013  
 SIGNED [Signature]

**SITE PLAN**

DRAWN	JS	D.P	1168989
CHECKED	(CHKBY)	JOB No.	200222
SCALE	1:200	Date:	31/07/2013

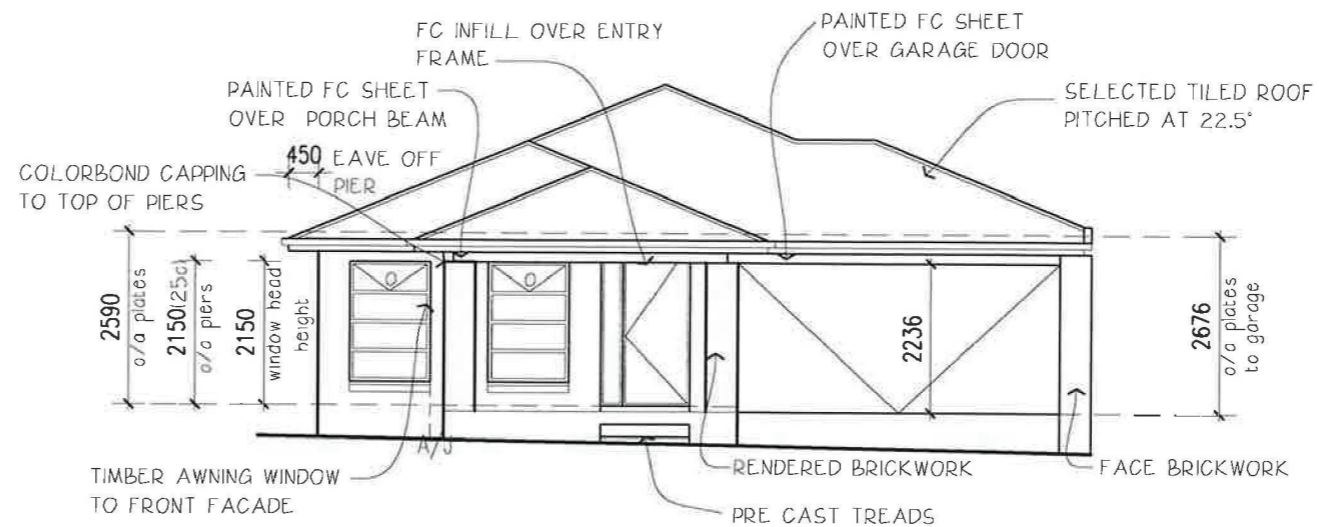
HAND RH SHT 1  
 www.1100.com.au

Luca 4 Kenzo  
 For EDGEWATER HOMES  
 At LOT 2042 KILLUNA WAY JORDAN SPRINGS

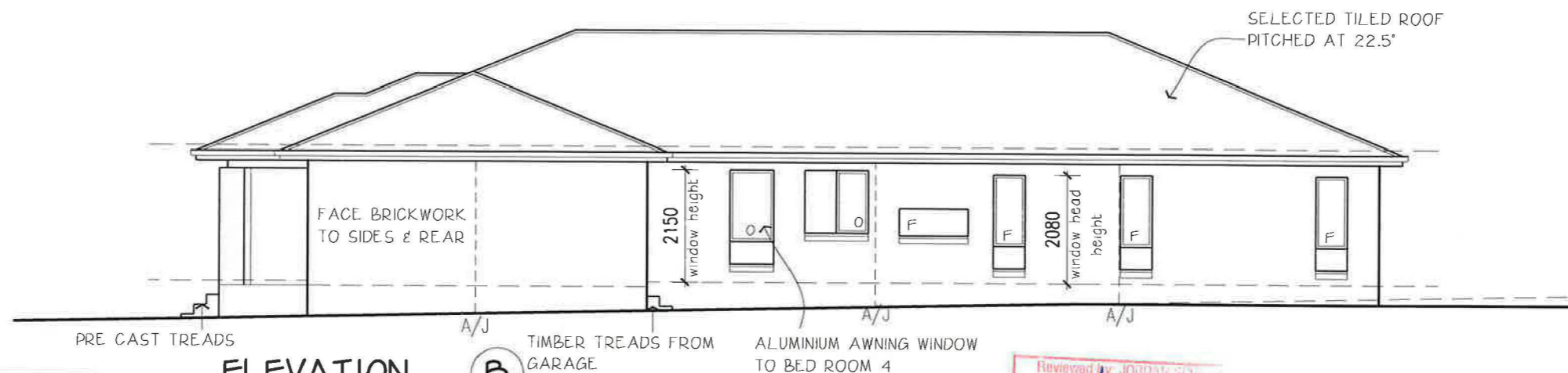
**EDGEWATER HOMES**

PO Box 550 Moorebank NSW 1875  
 Ph: 9623 7526 Fax: 9673 5560

TABLE OF BASIS COMMITMENTS	
PROJECT ADDRESS: LOT 2042 KILLUNA WAY JORDAN SPRINGS	
CERTIFICATE NO.: S	
<b>WATER</b>	
- DEVELOPMENT TO BE CONNECTED TO 2,000LT RAINWATER TANK.	
- RAINWATER TANK CONFIGURED TO COLLECT AT LEAST 190m <sup>2</sup> ROOF RUN OFF.	
- TOILETS, WASHING MACHINE AND 1 OUTDOOR TAP TO BE CONNECTED TO THE RAINWATER TANK.	
- 3 STAR SHOWER HEADS, 4 STAR TOILETS, 3 STAR KITCHEN TAPS AND 5 STAR BASIN TAPS.	
<b>THERMAL</b>	
- ROOF INSULATION: NONE.	
- CEILING INSULATION: R2.5	
- WALL INSULATION: R1.5	
- EXTERNAL WALL: BRICK VENEER COLOUR: DARK	
- ROOFING: TILED COLOUR: DARK	
- GLAZING: ALL ALUMINIUM WINDOWS TO BE SINGLE CLEAR GLAZED WITH U VALUE OF 6.57 & SHGC OF 0.74	
- TIMBER WINDOWS TO MASTER SUITE AND REAR FAMILY / DINING STACKER DOORS TO BE SINGLE, CLEAR GLAZED, TIMBER FRAMED WITH A U VALUE OF 5.55 AND SHGC OF 0.73	
<b>ENERGY</b>	
- HOT WATER SYSTEM: GAS INSTANTANEOUS HWS WITH A PERFORMANCE OF 5 STARS OR BETTER.	
- SINGLE PHASE AC UNIT TO 1 LIVING AREA EER 3.0-3.5.	
- KITCHEN: INDIVIDUAL FAN, DUCTED (RANGEHOOD). OPERATION CONTROL, MANUAL SWITCH.	
- BATHROOM #1: INDIVIDUAL FAN, NOT DUCTED. OPERATION CONTROL, MANUAL SWITCH.	
- LAUNDRY: NATURAL VENTILATION.	
- WINDOW AND/OR SKYLIGHT TO KITCHEN FOR NATURAL LIGHTING.	
- WINDOW AND/OR SKYLIGHT TO BATHROOMS (2/TOILET) (1) FOR NATURAL LIGHTING.	
- GAS COOKTOP AND ELECTRIC OVEN TO BE INSTALLED IN THE KITCHEN.	
- WELL VENTILATED FRIDGE SPACE	



ELEVATION A

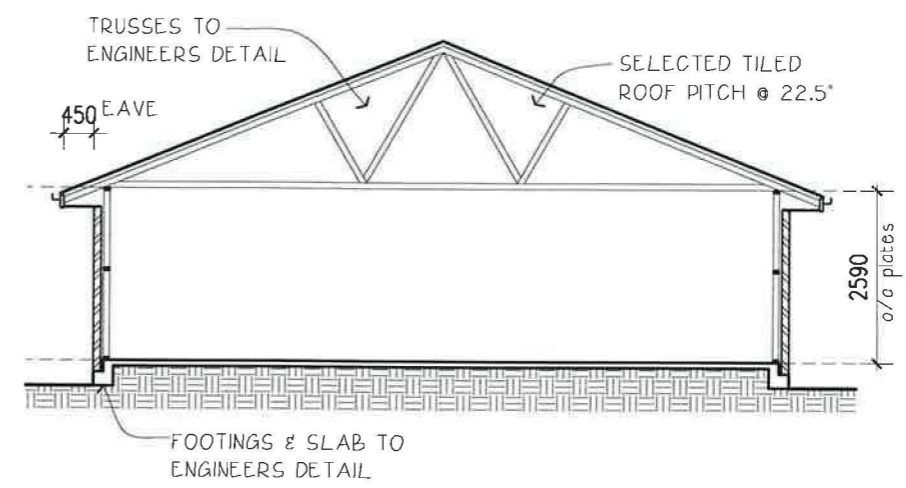
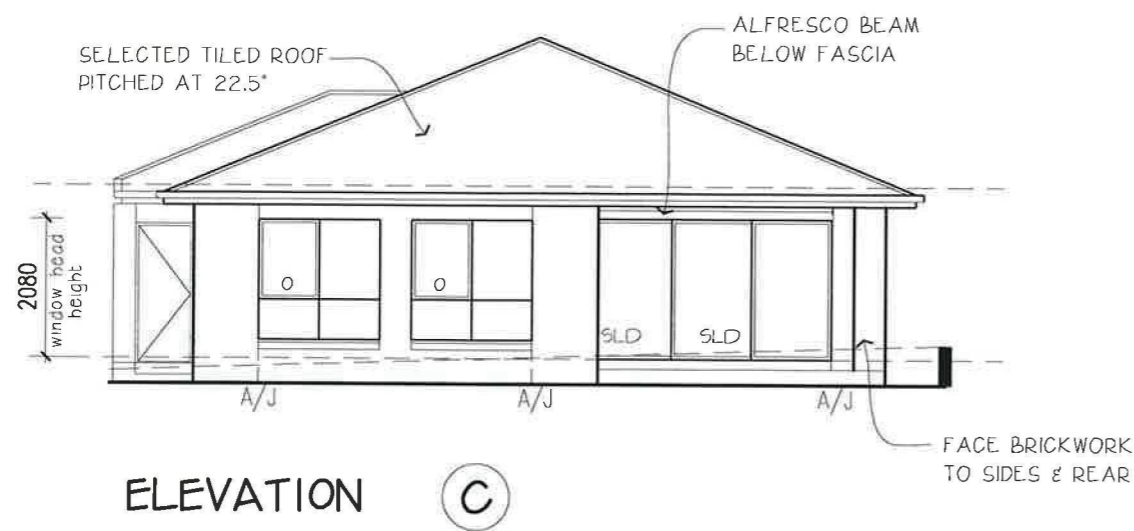


ELEVATION B

Reviewed by JORDAN SPRINGS LANDSCAPE SECTION  
 10 AUG 2013  
 SIGNATURE

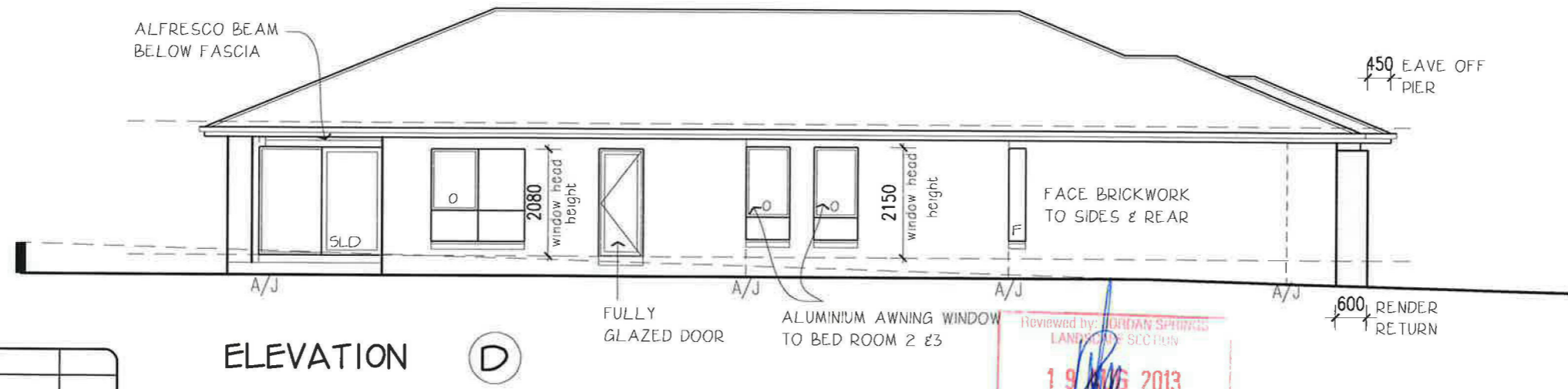
DATE	REVISION	DRAWN
1.8.13	REV A CONTRACT PLANS	JS

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	DRAWN	JS					For	EDGEWATER HOMES	
	CHECKED	(CHKBY)	JOB No.	200222	At	LOT 2042 KILLUNA WAY JORDAN SPRINGS			
SCALE	1:100	Date:	01/08/2013						



ELEVATION (C)

TYPICAL\_SECTION



ELEVATION (D)

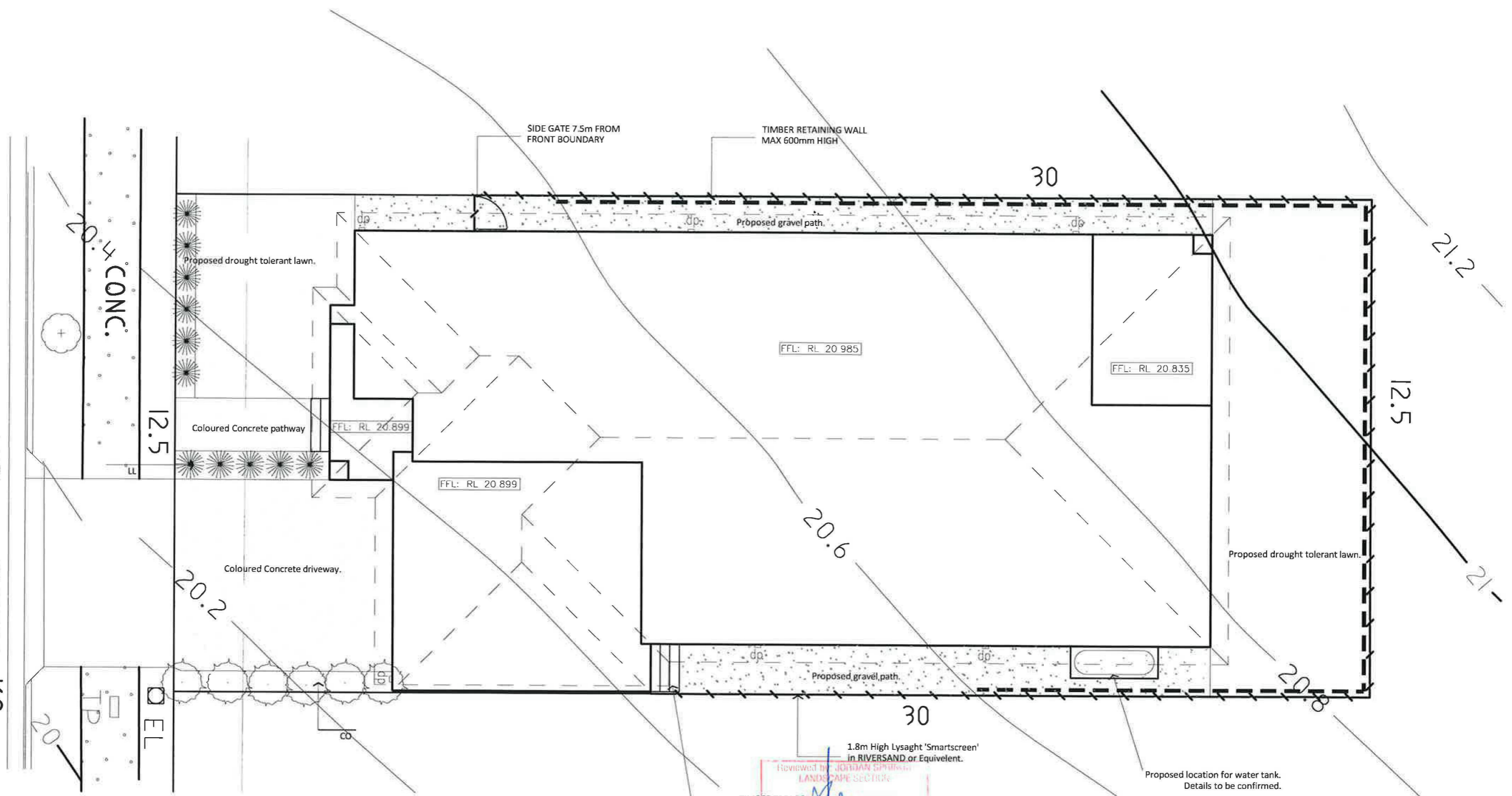
Reviewed by: JORDAN SPRINGS LANDSCAPE SECTION  
 19 AUG 2013  
 SIGNED: [Signature]

1.8.13	REV A CONTRACT PLANS	JS
DATE	REVISION	DRAWN

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	DRAWN	JS					For	EDGEWATER HOMES	
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SCALE	1:100	Date:	01/08/2013						

KILLUNA WAY

AND GUTTER KO



GARDEN EDGING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OF TEXTURED OR COLOURED MASONRY BRICKS, BLOCKS OR COLOURED CONCRETE, NO TIMBER EDGING IS PERMITTED

NOTE: ANY RETAINING WALL VISIBLE FROM THE STREET OR 900mm HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION

**# Please note the following:**

Coloured concrete driveway & path including steps to P.C.C specs, vehicle crossover in plain concrete to P.C.C spec. If required by edgewater.

VEHICLE CROSSOVER IS TO BE PLAIN CONCRETE TO COUNCIL SPECIFICATIONS. 5m WIDE V.C. FOR DOUBLE GARAGE AND 3m WIDE FOR V.C. FOR A SINGLE GARAGE

All existing street trees and verge planting are to be protected during construction.

Letterbox to complement the design of the house and in accordance with the fencing design guidelines.

DATE	REVISION	DRAWN
1.8.13	REV A CONTRACT PLANS	JS

Reviewed by JORDAN SPRINGS LANDSCAPE SECTION  
 19 AUG 2013  
 SIGNED

### PLANT SCHEDULE

Code	Botanical name	Common Name	Height (mm)	Width (mm)	Quantity	Pot Size @ Planting
CO*	Correa alba	White Correa	1000	1200	5	140mm
EU*	Eucalyptus pauciflora 'Little Snowman'	Little Snowman	6500	4000	2	300mm
LL*	Lomandra longifolia 'Tanika'	Tanika Lomandra	700	700	17	140mm

\* Native plant selection

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<b>LANDSCAPING</b>		HAND	RH	SHT	1B
DRAWN	JS				
CHECKED	(CHKBY)	JOB No.	200222		
SCALE	1:100	Date:	01/08/2013		

Luca 4	Kenzo
For	EDGEWATER HOMES
At	LOT 2042 KILLUNA WAY JORDAN SPRINGS

**EDGEWATER HOMES**  
 PO Box 550 Moorebank NSW 1875  
 Ph: 9623 7526 Fax:9673 5560