

BUILDING ENERGY EFFICIENCY CERTIFICATE

Mr & Mrs Treharne (J002506)
ISSUED TO

Lot 2133 Illoura Way
ADDRESS

Site Lot 2133

JORDAN SPRINGS

NSW

2747

1005415441
CERTIFICATION NUMBER

13/06/2013
DATE

28
CLIMATE ZONE

BERS Professional - v4.2.110811 (BERS
Professional)
SOFTWARE

54.0 MJ/m² pa
SIMULATED ENERGY CONSUMPTION - HEATING

35.0 MJ/m² pa
SIMULATED ENERGY CONSUMPTION - COOLING

89.0 MJ/m² pa
TOTAL SIMULATED ENERGY CONSUMPTION

152.0 m²
FLOOR AREA - CONDITIONED

13.0 m²
FLOOR AREA - UNCONDITIONED

165.0 m²
FLOOR AREA - TOTAL

Fadi Sweis
ASSESSOR NAME

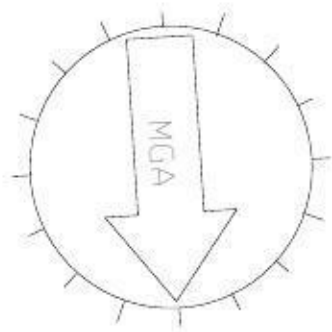
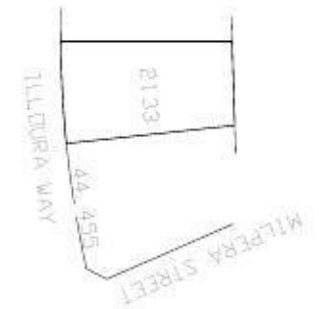
20390
ASSESSOR NUMBER

Energy Ratings Australia Pty Ltd
COMPANY



ASSESSOR SIGNATURE

Issued by a BUILDING THERMAL PERFORMANCE ASSESSOR
accredited by the Association of Building Sustainability Assessors to
provide NatHERS house energy ratings.



NORTH

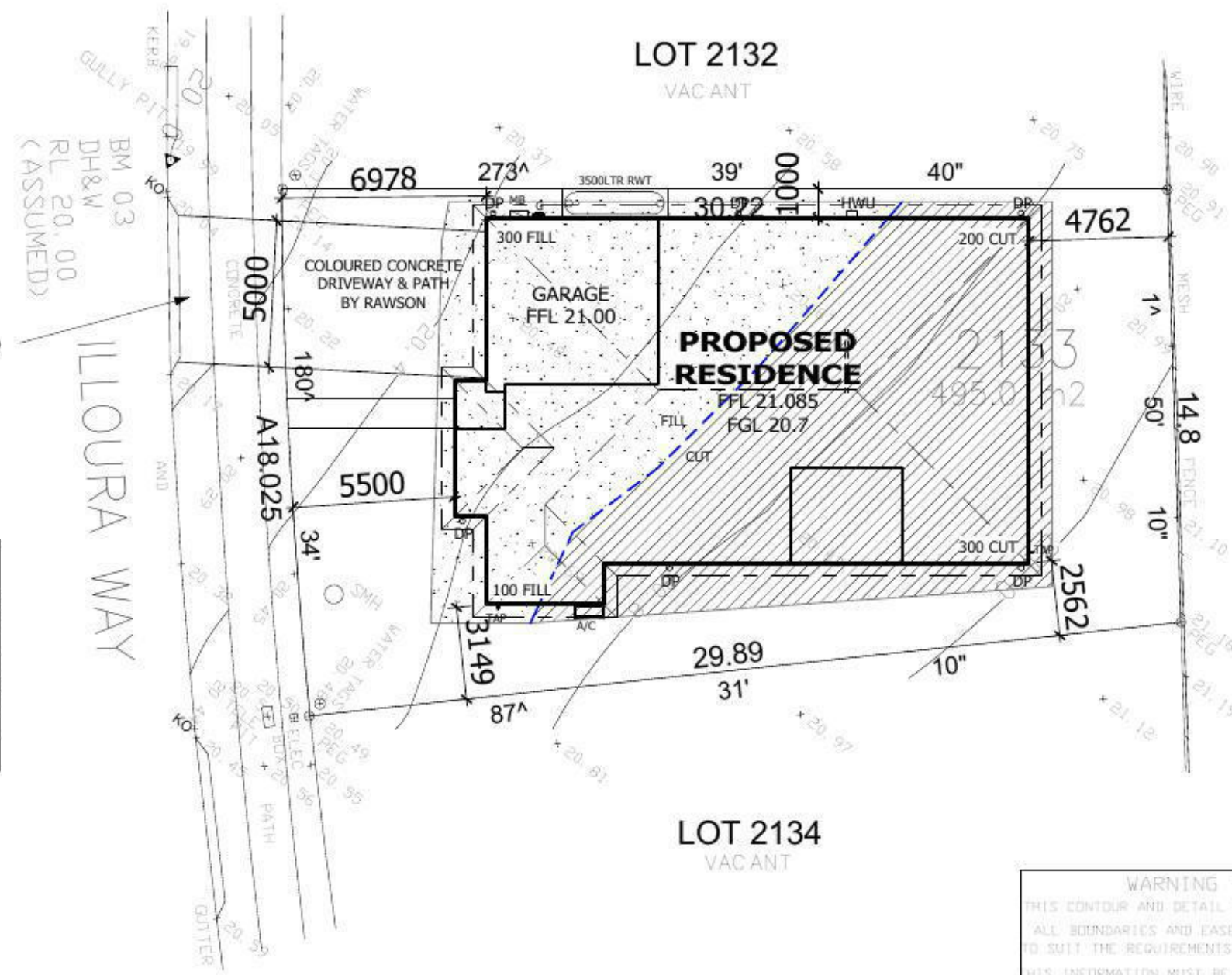
NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

LEGEND

- WATER METER
- TELEPHONE PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (ESTABLISHED)
- BORE HOLE

SITE CALCULATIONS	
TOTAL LIVING AREA	180.17 m ²
SITE AREA	495.00 m ²
BUILDING FOOTPRINT	228.47 m ²
DRIVEWAY & PATH	40.38 m ²
LANDSCAPE AREA	226.15 m ²
FLOOR SPACE RATIO	0.36 :1
TOTAL BUILT UPON AREA	54.31 %

PLAIN CONCRETE LAYBACK AND PATHWAY VERGE



ABSA Class 1 Building Single-Dwelling Certification

Association of Building Sustainability Assessors

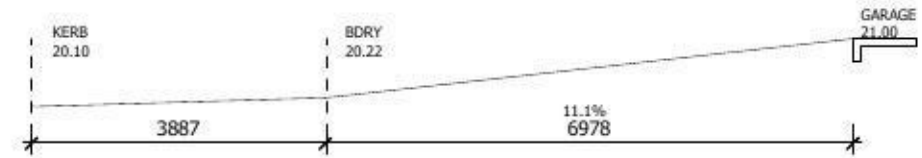
Certification Number	1005415441
Certification Date	13/06/2013
Assessor Name	Fadi Sweis
Assessor Number	20350
Assessor Signature	

Simulated Energy: HEATING: 54.0 MJ/m² pa
Simulated Energy: COOLING: 35.0 MJ/m² pa
Rated with Downlights: Yes

NATHERS Rating 89.0 MJ/m² pa

5.5

LEGEND:
KOB DENOTES KERB OUTLET
WC, EC, TC DENOTES SERVICE CONDUIT
SVI DENOTES STOP VALVE
HYD DENOTES HYDRANT



DRIVEWAY GRADIENT

WARNING - UNREGISTERED PLAN

THIS CONTOUR AND DETAIL SURVEY IS BASED UPON AN UNREGISTERED PLAN. ALL BOUNDARIES AND EASEMENTS ARE UNREGISTERED AND MAY BE AMENDED TO SUIT THE REQUIREMENTS OF COUNCIL OR THE LAND TITLES OFFICE. THIS INFORMATION MUST BE VERIFIED UPON REGISTRATION. NO FURTHER INVESTIGATION HAS BEEN UNDERTAKEN TO DISCLOSE EASEMENTS ETC OMITTED FROM THE UNREGISTERED PLAN. DONOVAN ASSOCIATES CAN ACCEPT NO LIABILITY FOR ANY LOSS OR DAMAGE HOWSOEVER ARISING, TO ANY PERSON OR CORPORATION, DUE TO OMISSIONS, ERRORS OR VARIATIONS ON THE UNREGISTERED PLAN. COPIES OF THIS CONTOUR PLAN MUST NOT BE REPRODUCED WITHOUT THIS NOTICE.

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<p>NOTES:</p> <p>PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS</p> <p>* ALL DIMENSIONS ARE IN MILLIMETRES * DO NOT SCALE - USE WRITTEN DIMENSIONS</p>	<p>RAWSON HOMES</p> <p>UNIT 34/11-21 UNDERWOOD ROAD HOMEBUSH NSW 2140 TELEPHONE 02 9764 6442 FAX 02 9764 6992 Builder's licence No. 33493C</p>	<p>CLIENT: MR & MRS TREHARNE</p> <p>SITE ADDRESS: LOT 2133 ILLOURA WAY JORDAN SPRINGS</p>	<p>HOUSE TYPE MODEL: CABARITA 24 CLASSIC FACADE: TYPE: DOUBLE GARAGE SPECIFICATION: LUXE+ GOLD</p>	<p>DRAWN BY: RN</p>	<p>DATE DRAWN: 13.11.12</p>	<p>CHECKED BY: HD/GL</p>	<p>APPROVED FOR CONSTRUCTION:</p>
				<p>COUNCIL AREA: PENRITH</p>	<p>SCALE: As indicated</p>	<p>JOB No: J002506</p>	<p>DRWG No: 02</p>

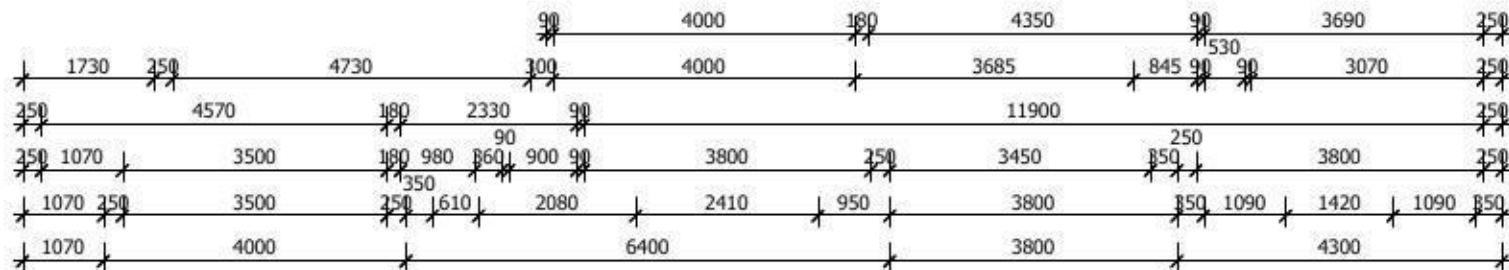
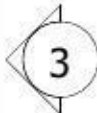
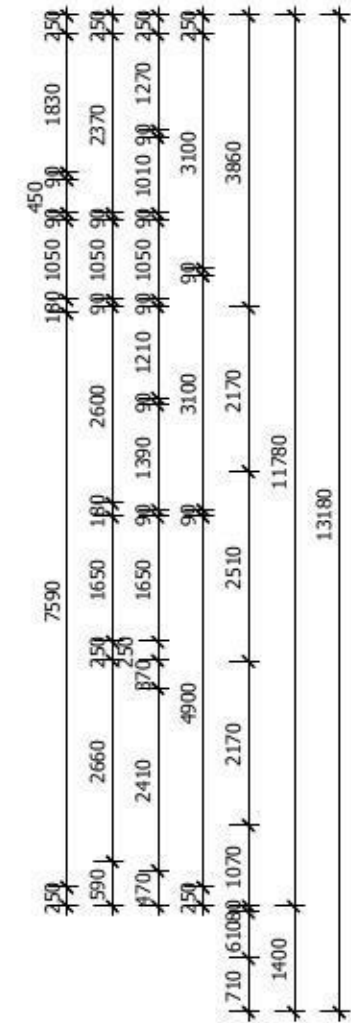
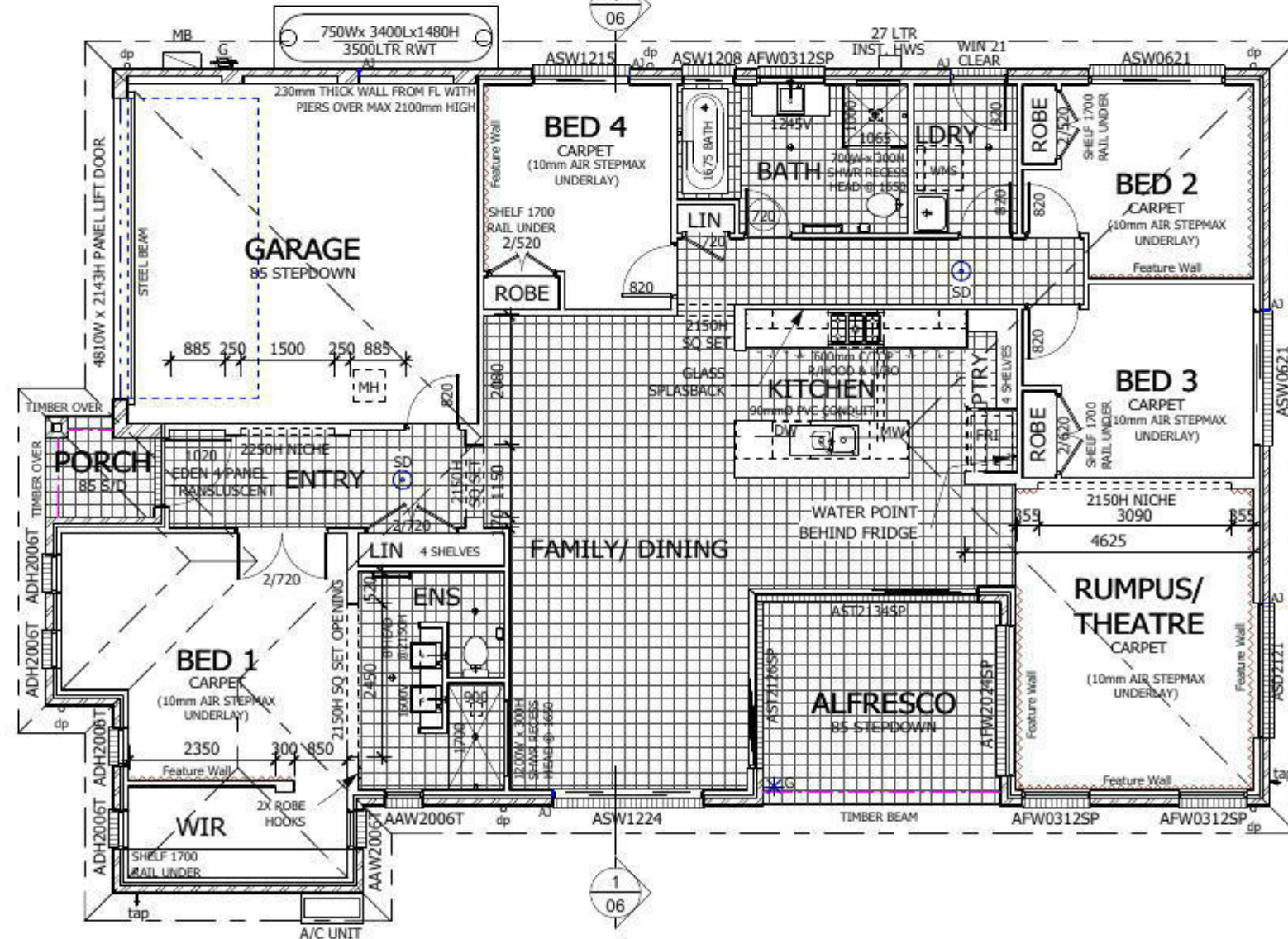
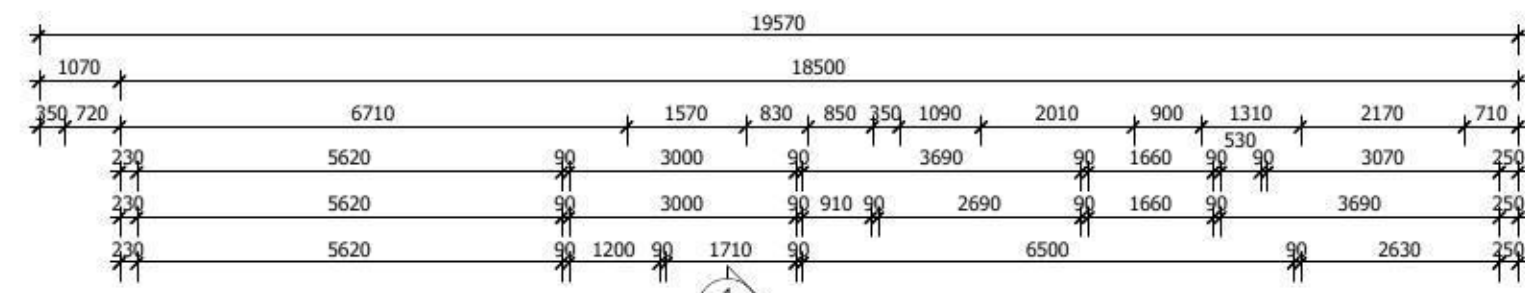
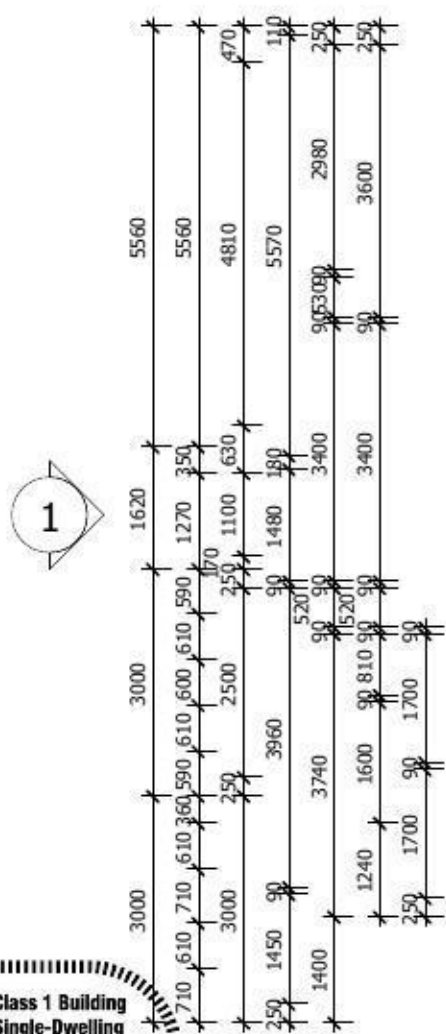
NOTES:

- WC DOORS TO BE FITTED WITH LIFT-OFF HINGES
- HEIGHT OF SQ SETS 2150mm HIGH UNLESS SHOWN OTHERWISE

A/C ZONES:

- ZONE 1: LIVING AREAS
- ZONE 2: BED 2, 3 & 4
- ZONE 3: BED 1

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ABSA Class 1 Building Single-Dwelling Certification

Certification Number: 1005415441
 Certification Date: 13/06/2013
 Assessor Name: Fadi Swais
 Assessor Number: 20390

Simulated Energy: HEATING: 54.0 MJ/m² pa
 Simulated Energy: COOLING: 35.0 MJ/m² pa
 Rated with Daylights: Yes

NatHERS Rating: 5.5

FLOOR AREAS	
LIVING	180.17 m ²
GARAGE	33.38 m ²
ALFRESCO	12.35 m ²
PORCH	2.57 m ²
TOTAL	228.47 m²

FLOOR LAYOUT

NOTES:
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RAWSON HOMES

UNIT 34/11-21 UNDERWOOD ROAD
 HOMEBUSH NSW 2140
 TELEPHONE 02 9764 6442
 FAX 02 9764 6992
 Builder's licence No. 33493C

CLIENT:
MR & MRS TREHARNE

SITE ADDRESS:
**LOT 2133
 ILLOURA WAY
 JORDAN SPRINGS**

HOUSE TYPE
**CABARITA 24
 CLASSIC
 DOUBLE GARAGE**

DRAWING TITLE:
FLOOR PLAN

DRAWN BY: RN	DATE DRAWN: 13.11.12	CHECKED BY: HD/GL	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 100	
JOB No: J002506	DRWG No: 03	ISSUE: D	

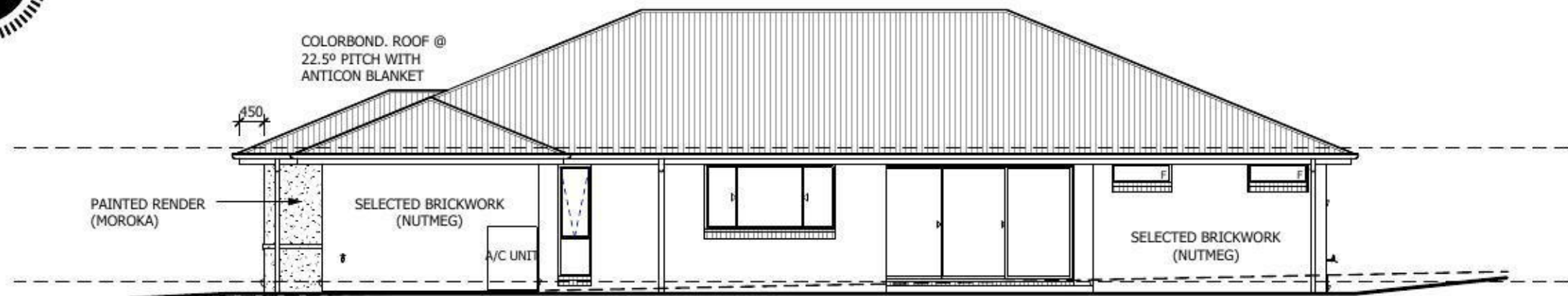
NOTES:

- PROVIDE FIBREGLASS MESH FLYSCREEN TO ALL OPENING WINDOWS & SLIDING DOORS

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ELEVATION 1



ELEVATION 2

ABSA Class 1 Building Single-Dwelling Certification
Association of Building Sustainability Assessors

Certification Number	1005415441
Certification Date	13/06/2013
Assessor Name	Fadi Swais
Assessor Number	20390
Assessor Signature	<i>[Signature]</i>

Simulated Energy: HEATING: 54.0 MJ/m² pa
 Simulated Energy: COOLING: 35.0 MJ/m² pa
 Rated with Downlights: Yes

NatHERS Rating 89.0 MJ/m² pa

5.5 5 STAR HOUSE

NOTES:

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 HOMEBUSH NSW 2140
 TELEPHONE 02 9764 6442
 FAX 02 9764 6992
 Builder's licence No. 33493C



CLIENT:
 MR & MRS TREHARNE

SITE ADDRESS:
 LOT 2133
 ILLOURA WAY
 JORDAN SPRINGS

HOUSE TYPE
 MODEL: CABARITA 24
 FACADE: CLASSIC
 TYPE: DOUBLE GARAGE
 SPECIFICATION: LUXE+ GOLD

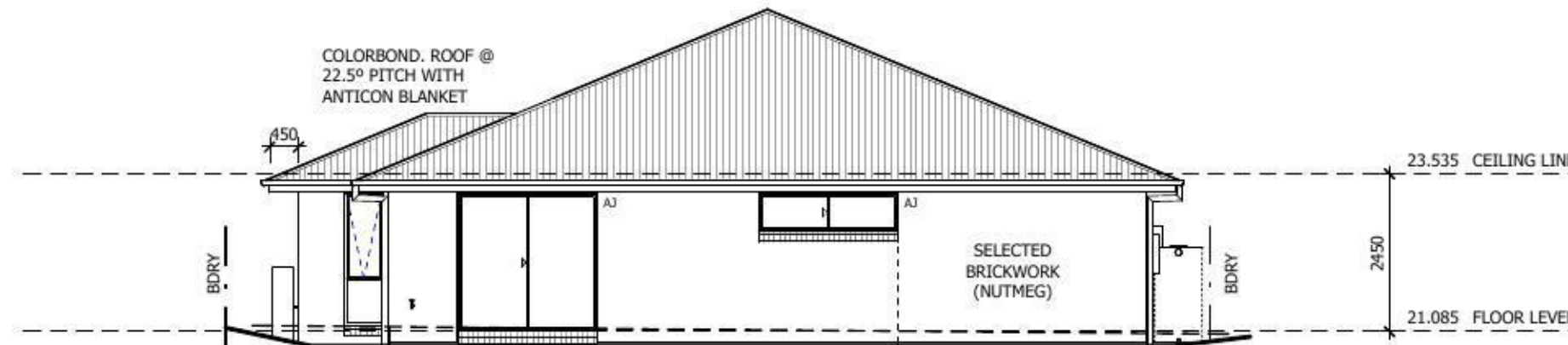
DRAWING TITLE:
ELEVATIONS 1-2

DRAWN BY: RN	DATE DRAWN: 13.11.12	CHECKED BY: HD/GL	APPROVED FOR CONSTRUCTION:
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JOB No: J002506	DRWG No: 04	ISSUE: D	

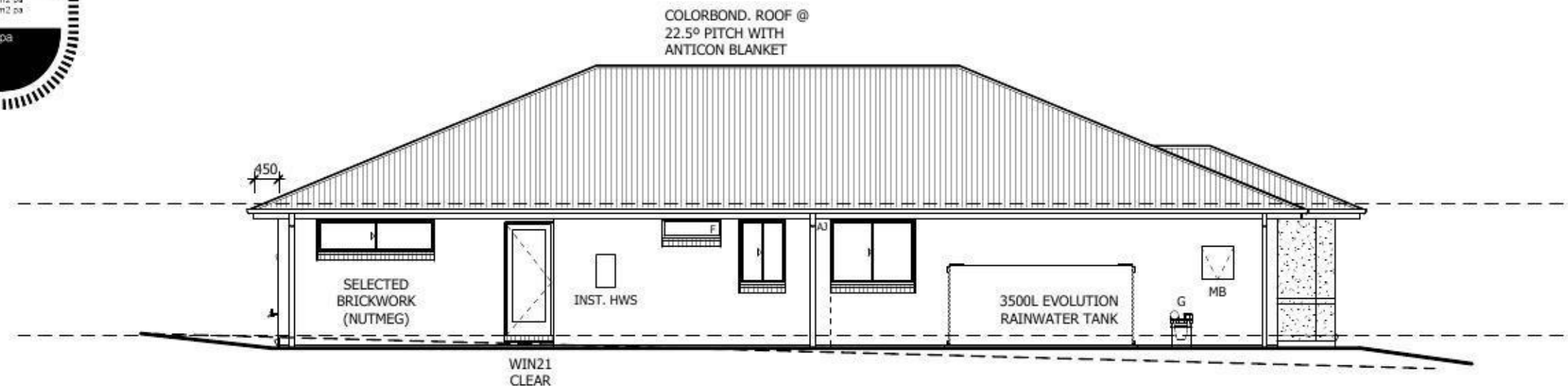
NOTES:

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ELEVATION 3



ELEVATION 4

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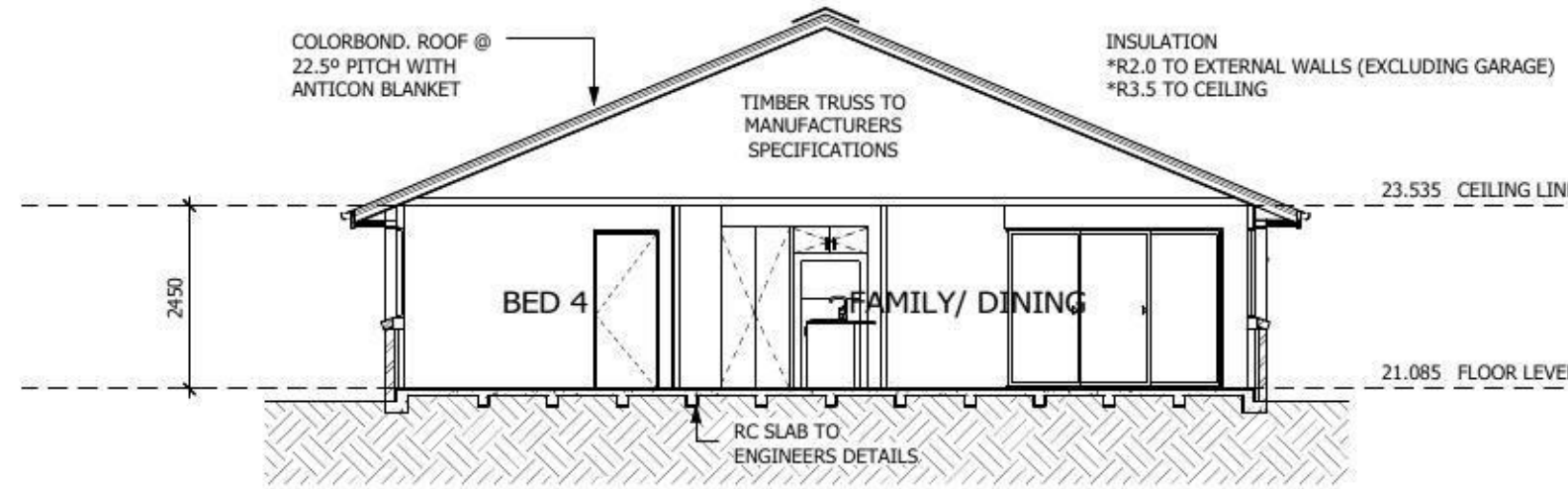
RAWSON HOMES
 UNIT 34/11-21 UNDERWOOD ROAD
 HOMEBUSH NSW 2140
 TELEPHONE 02 9764 6442
 FAX 02 9764 6992
 Builder's licence No. 33493C



CLIENT:
 MR & MRS TREHARNE
 SITE ADDRESS:
 LOT 2133
 ILLOURA WAY
 JORDAN SPRINGS

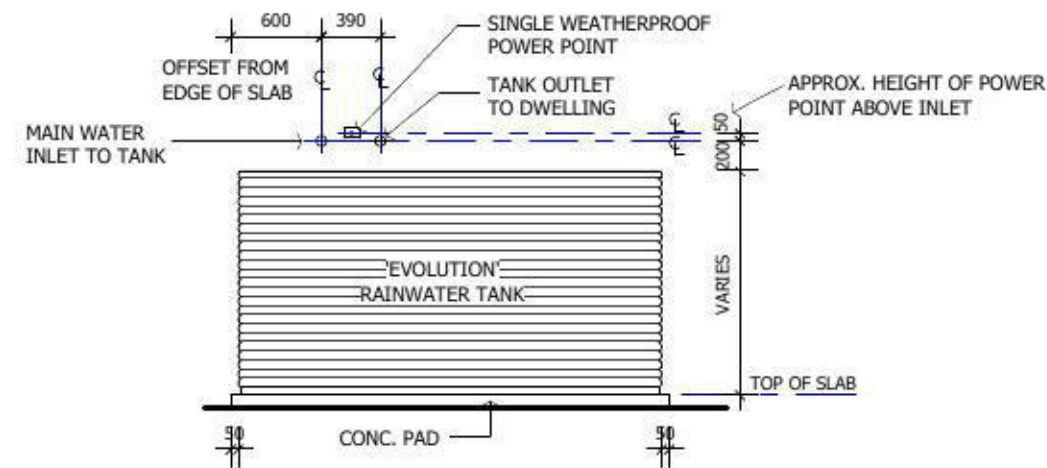
HOUSE TYPE
 MODEL: CABARITA 24
 FACADE: CLASSIC
 TYPE: DOUBLE GARAGE
 SPECIFICATION: LUXE+ GOLD
 DRAWING TITLE:
 ELEVATIONS 3-4

DRAWN BY: RN	DATE DRAWN: 13.11.12	CHECKED BY: HD/GL	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 100	
JOB No: J002506	DRWG No: 05	ISSUE: D	



SECTION - A

SCALE: 1 : 100



RAINWATER TANK DETAIL

SCALE: 1 : 50



NOTES:

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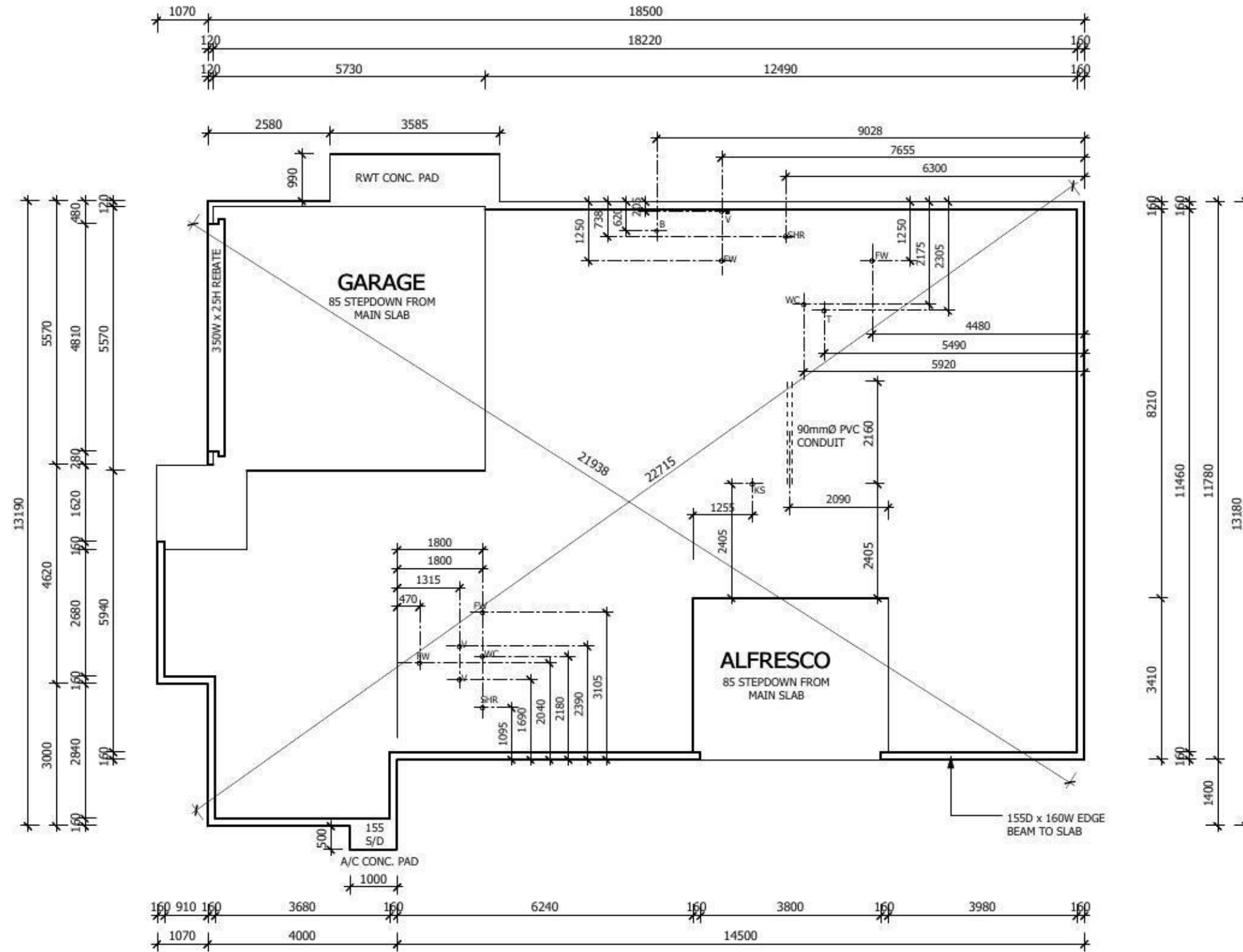
CLIENT:
MR & MRS TREHARNE

SITE ADDRESS:
LOT 2133
ILLOURA WAY
JORDAN SPRINGS

HOUSE TYPE
MODEL: CABARITA 24
FACADE: CLASSIC
TYPE: DOUBLE GARAGE
SPECIFICATION: LUXE+ GOLD

DRAWING TITLE:
SECTION

DRAWN BY: RN	DATE DRAWN: 13.11.12	CHECKED BY: HD/GL	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: As indicated	
JOB No: J002506	DRWG No: 06	ISSUE: D	



CONCRETE SLAB PLAN

NOTES:

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HOMEBUSH NSW 2140
TELEPHONE 02 9764 6442
FAX 02 9764 6992
Builder's licence No. 33493C



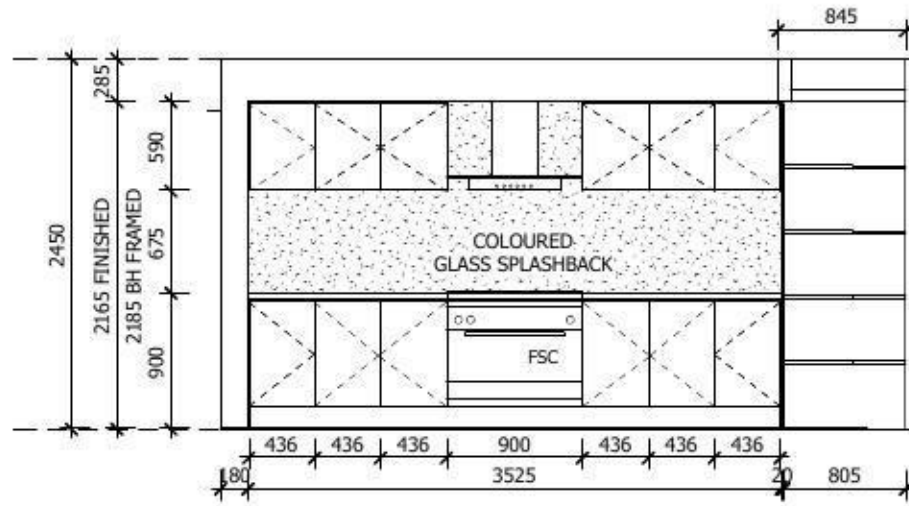
CLIENT:
MR & MRS TREHARNE

SITE ADDRESS:
LOT 2133
ILLOURA WAY
JORDAN SPRINGS

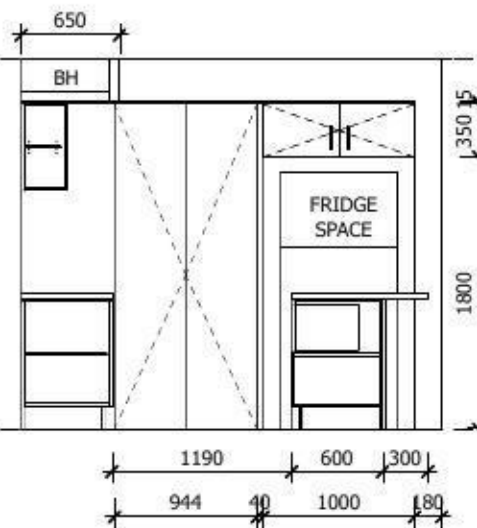
HOUSE TYPE
MODEL: CABARITA 24
FACADE: CLASSIC
TYPE: DOUBLE GARAGE
SPECIFICATION: LUXE+ GOLD

DRAWING TITLE:
SLAB PLAN

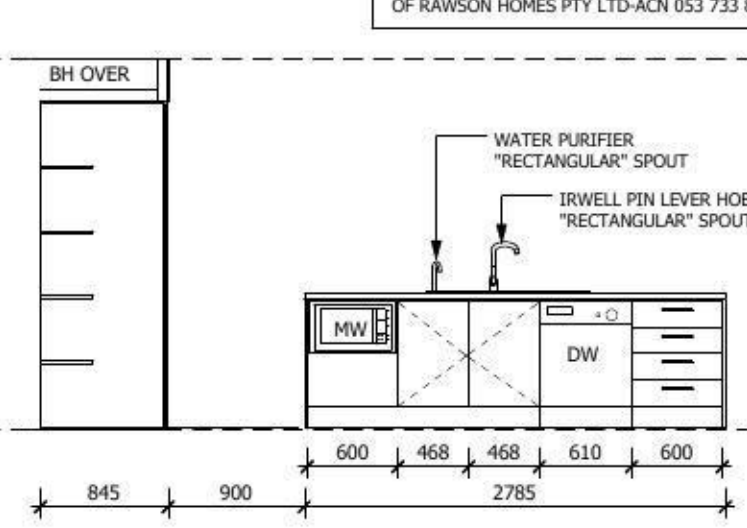
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COUNCIL AREA: PENRITH		SCALE: 1 : 100	
JOB No: J002506	DRWG No: 07	ISSUE: D	



**Elevation 1
KITCHEN ELEVATIONS**



Elevation 2



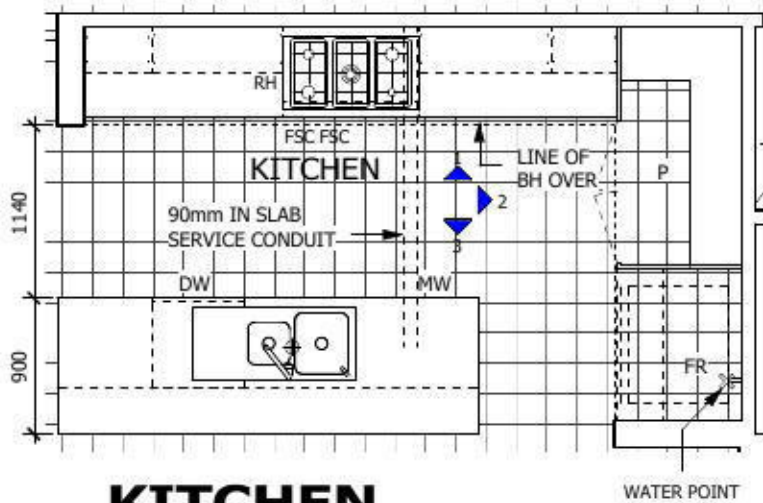
Elevation 3

LAUNDRY / WC

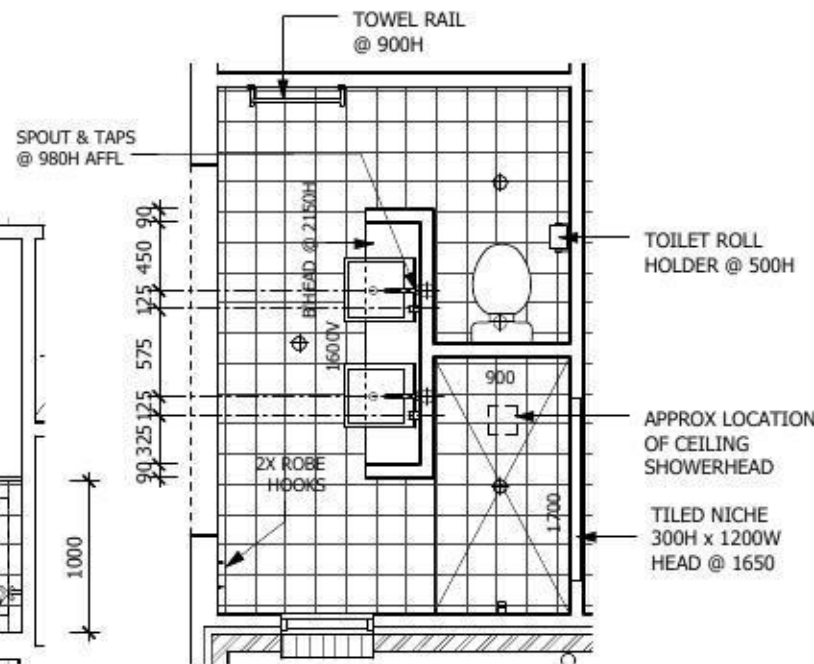
- * PROVIDE SKIRTING TILE TO PERIMETER WALLS OF LAUNDRY
- * TILED SPLASHBACK OVER LAUNDRY TUB & BENCH @ 300MM HIGH

BATHROOM

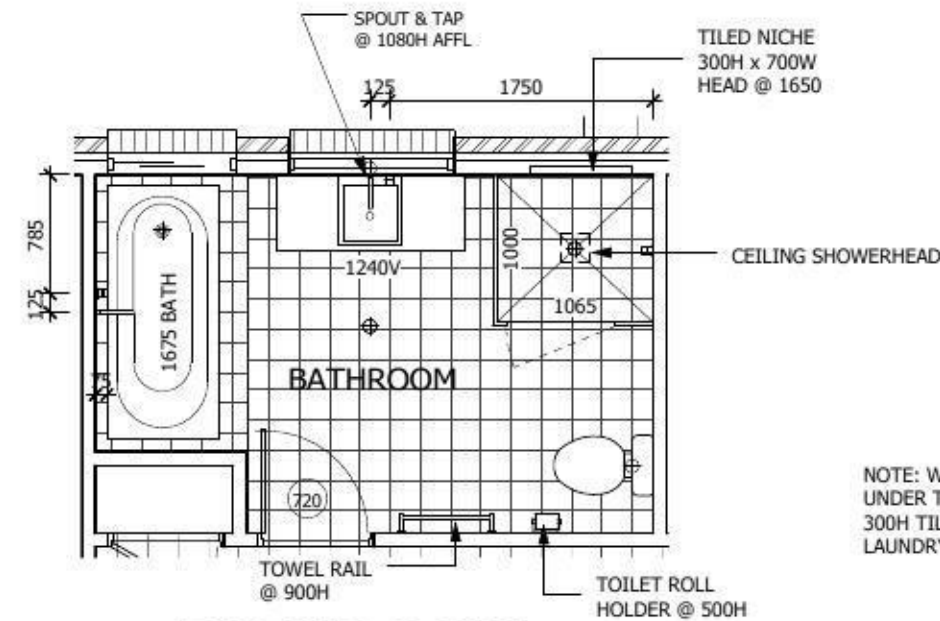
- * PROVIDE 2100 HIGH TILES TO SHOWER RECESS 500 OVER BATH & SKIRTING TILE TO PERIMETER WALL
- * PROVIDE TILE SPLASHBACK ABOVE VANITY
- * GRANGE SEMI FRAMELESS SHOWER SCREEN WITH PIVOT DOOR @ 2100 HIGH.
- * TILED SPLASHBACKS TO THE TOP OF VANITIES WITH FLOATING MIRROR ON 32MM BOARD, 130MM FROM SIDE, TOP & MAX. 1800
- * PROVIDE KICKER TO BATH HOB 140H X 70W
- * FLOATING VANITIES.
- * WALL MOUNTED TAPS & SPOUT TO VANITIES & BATH



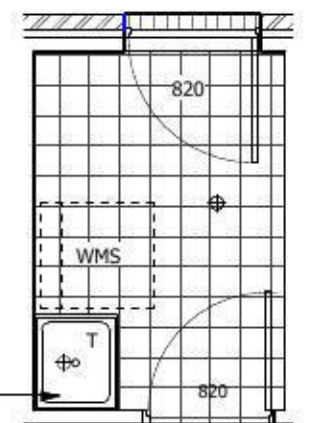
KITCHEN



ENSUITE



BATHROOM



LAUNDRY

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CLIENT:
MR & MRS TREHARNE

SITE ADDRESS:
LOT 2133
ILLOURA WAY
JORDAN SPRINGS

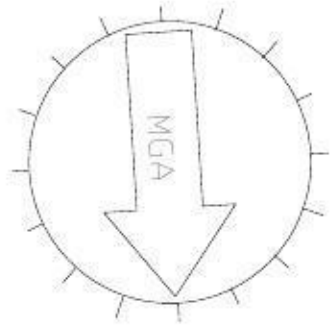
HOUSE TYPE
MODEL: CABARITA 24
CLASSIC
FACADE:
TYPE: DOUBLE GARAGE
SPECIFICATION: LUXE+ GOLD

DRAWING TITLE:
KITCHEN & WET AREAS

DRAWN BY: RN
DATE DRAWN: 13.11.12
CHECKED BY: HD/GL
APPROVED FOR CONSTRUCTION:

COUNCIL AREA: PENRITH
SCALE: 1 : 50

JOB No: J002506
DRWG No: 08
ISSUE: D



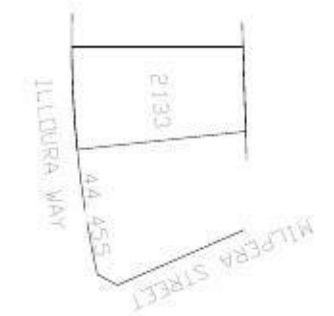
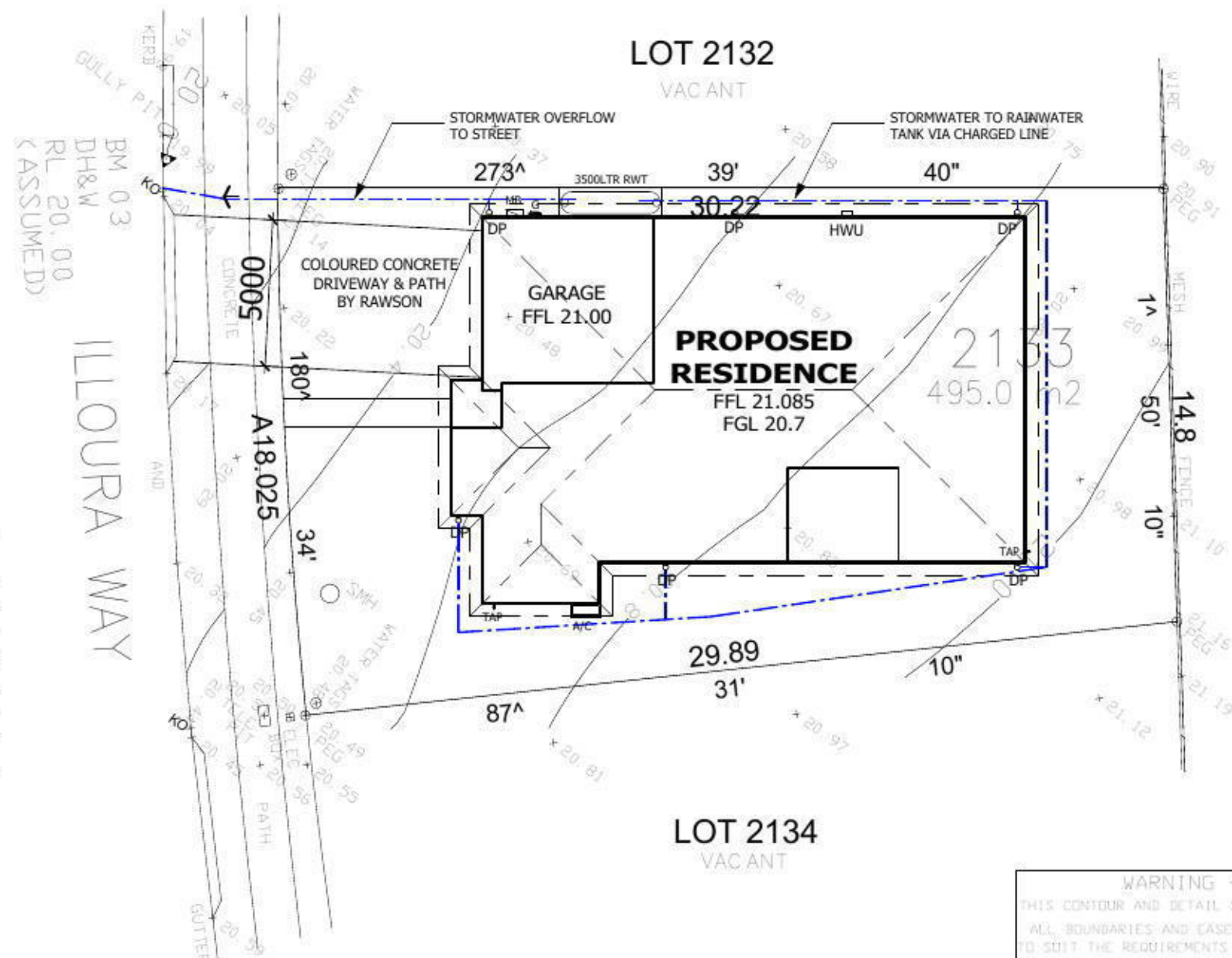
NORTH

NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

LEGEND

- WATER METER
- TELECOM PIT
- MANHOLE / SEWER / STORMWATER
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (DIAGRAM)
- BORE HOLE

SITE CALCULATIONS	
TOTAL LIVING AREA	180.17 m ²
SITE AREA	495.00 m ²
BUILDING FOOTPRINT	228.47 m ²
DRIVEWAY & PATH	40.38 m ²
LANDSCAPE AREA	226.15 m ²
FLOOR SPACE RATIO	0.36 :1
TOTAL BUILT UPON AREA	54.31 %



LEGEND
 KO DENOTES KERB OUTLET
 VC, EC, TC DENOTES SERVICE CONDUIT
 SV DENOTES STOP VALVE
 HYD DENOTES HYDRANT



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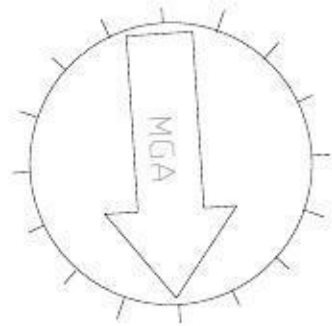
CLIENT:
MR & MRS TREHARNE

SITE ADDRESS:
**LOT 2133
 ILLOURA WAY
 JORDAN SPRINGS**

HOUSE TYPE
 MODEL: **CABARITA 24 CLASSIC**
 FACADE: **DOUBLE GARAGE**
 TYPE: **LUXE+ GOLD**
 SPECIFICATION: **LUXE+ GOLD**

DRAWING TITLE:
STORMWATER PLAN

DRAWN BY: RN	DATE DRAWN: 13.11.12	CHECKED BY: HD/GL	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 200	
JOB No: J002506	DRWG No: 09	ISSUE: D	



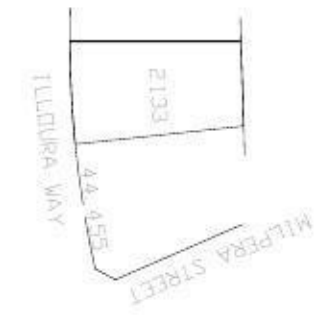
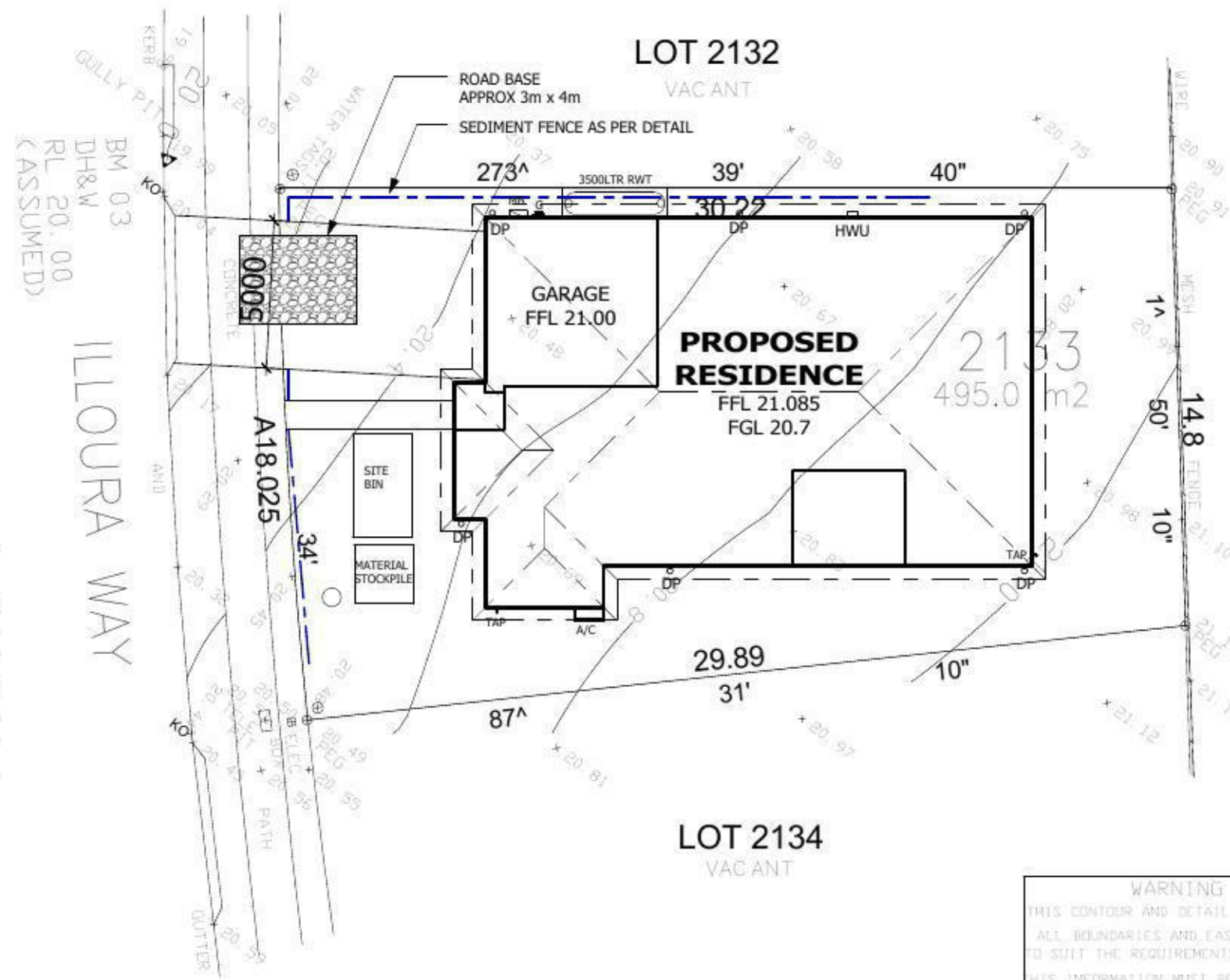
NORTH

NOTE: SEWER NOT AVAILABLE AT THE TIME OF SURVEY

LEGEND

- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- TREE (DIA/HEIGHT)
- FIRE HOLE

SITE CALCULATIONS	
TOTAL LIVING AREA	180.17 m ²
SITE AREA	495.00 m ²
BUILDING FOOTPRINT	228.47 m ²
DRIVEWAY & PATH	40.38 m ²
LANDSCAPE AREA	226.15 m ²
FLOOR SPACE RATIO	0.36 :1
TOTAL BUILT UPON AREA	54.31 %



LEGEND
 KO DENOTES KERB OUTLET
 WC, EC, TC DENOTES SERVICE CONDUIT
 SV DENOTES STOP VALVE
 HYD DENOTES HYDRANT



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RAWSON HOMES
 UNIT 34/11-21 UNDERWOOD ROAD
 HOMEBUSH NSW 2140
 TELEPHONE 02 9764 6442
 FAX 02 9764 6992
 Builder's licence No. 33493C

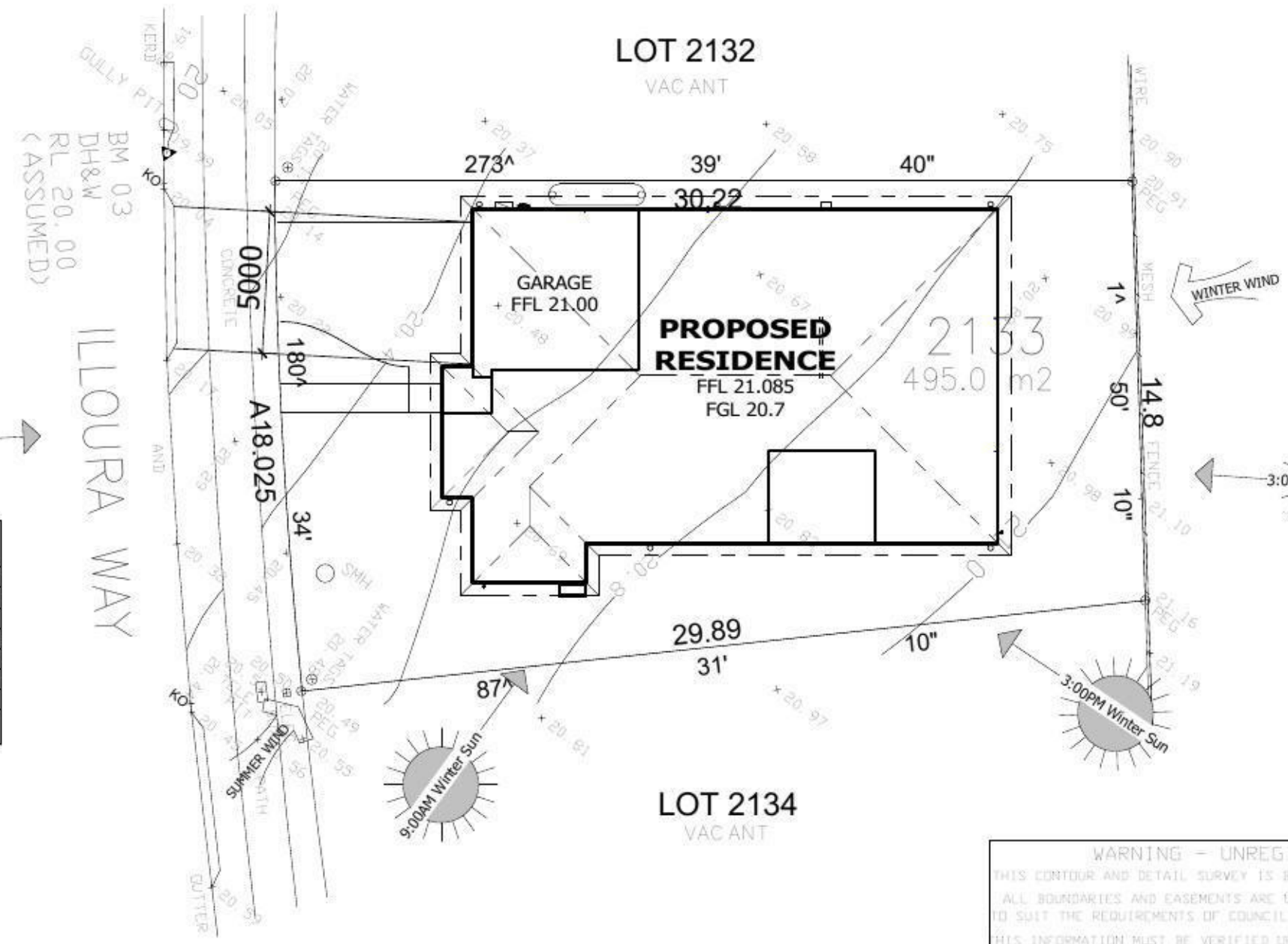
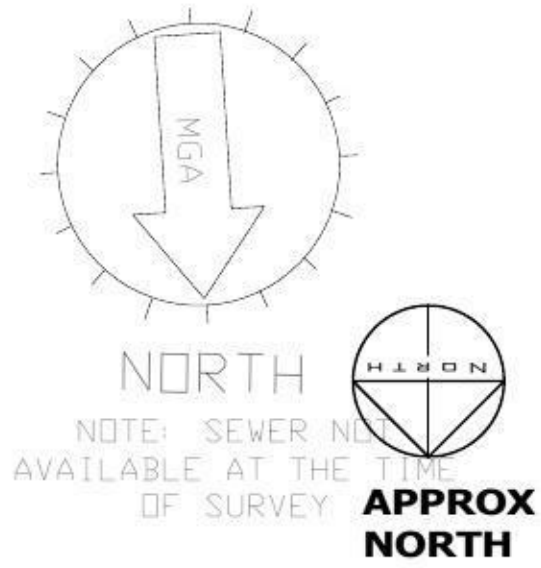
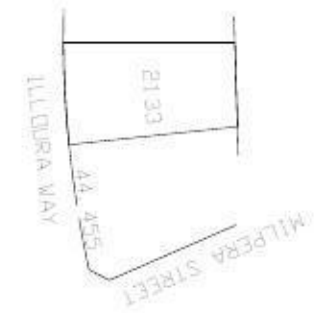
CLIENT:
MR & MRS TREHARNE
 SITE ADDRESS:
**LOT 2133
 ILLOURA WAY
 JORDAN SPRINGS**

HOUSE TYPE
 MODEL: **CABARITA 24 CLASSIC**
 FACADE:
 TYPE: **DOUBLE GARAGE**
 SPECIFICATION: **LUXE+ GOLD**
 DRAWING TITLE:
SEDIMENT CONTROL PLN

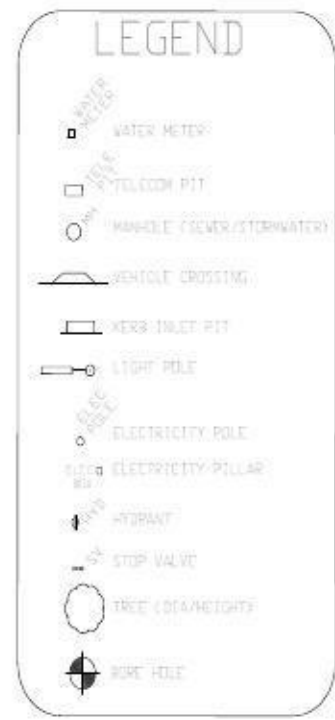
DRAWN BY: RN	DATE DRAWN: 13.11.12	CHECKED BY: HD/GL	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 200	
JOB No: J002506	DRWG No: 10	ISSUE: D	

LOCATION PLAN

UBD REF: 144, G13



SITE CALCULATIONS	
TOTAL LIVING AREA	180.17 m²
SITE AREA	495.00 m²
BUILDING FOOTPRINT	228.47 m²
DRIVEWAY & PATH	40.38 m²
LANDSCAPE AREA	226.15 m²
FLOOR SPACE RATIO	0.36 :1
TOTAL BUILT UPON AREA	54.31 %



LEGEND
 KO: DENOTES KERB OUTLET
 VC, EC, TC: DENOTES SERVICE CONDUIT
 SV: DENOTES STOP VALVE
 HYD: DENOTES HYDRANT



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HOUSE TYPE
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 FACADE: **DOUBLE GARAGE**
 TYPE: **LUXE+ GOLD**
 DRAWING TITLE:
SITE ANALYSIS

DRAWN BY: RN	DATE DRAWN: 13.11.12	CHECKED BY: HD/GL	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: PENRITH		SCALE: 1 : 200	
JOB No: J002506	DRWG No: 11	ISSUE: D	