

**SYDNEY WATER
BUILDING PLAN APPROVED
ASSET NOT AFFECTED**

Dolphin No: D12/3-15243

Quick Check Ref No: 8435779

Qalchek PM No: 11030

Property Location

Lot No: 1208

Street Name: Sydney Smith Drive

Suburb: Penrith

Building/Structure Description: new residence

Building Plan No: 497A-13

Proposed building/structure is **APPROVED** to be constructed **OVER/ADJACENT TO** a Sydney Water sewer/asset as:

1. Service Location Report / Work As Constructed plan reveals the building/structure is outside the Zone of Influence. No special precautions required.

APPROVED BY

WSC Company Name: Qalchek Pty Limited

Name of Key Personnel: D Loizou

Signature of Key Personnel: 

Date: 04/06/2013



Application Lodgement Summary

 Sydney
WATER

Reference Number 8435779

Date Requested: Tue May 21 2013

DOLFIN Number D12/3-15243

Agent Reece Prestons, 380 Hoxton Park Rd Prestons
Applicant first style homes, po box po box 171 hoxton park 2171
Property/Asset Lot 1208 Sydney Smith Dr, Penrith 2750 (Landcom) PNum: 5519536
Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application	\$16.71	\$0.00	\$16.71

REFERRAL FOR BUILDING PLAN APPROVALS

Quick Check Agent

The Quick Check Agent has lodged your application with Sydney Water and determined that your proposed building/structure may potentially impact on Sydney Water's infrastructure.

The Quick Check Agent has advised you to contact a Water Servicing Coordinator for approval of your proposed building/structure. The Water Servicing Coordinator acts as your contact in dealing with Sydney Water.

Water Servicing Coordinator

Some of the activities required prior to approving your plan may include;

- Reviewing your proposed building/structure plans and discussing options.
- Advise if a Service Protection Report (also known as a Pegout) is required.
- Advise if structural engineering detail is required.
- Arrange supervision of concrete encasement and piling.
- Specify asset protection requirements and/or alternative options.

Water Servicing Coordinators are located across Sydney, Illawarra and the Blue Mountains. Sydney Water recommends that you contact several Water Servicing Coordinators to ensure you choose the one that is most appropriate for you.

To assist in your selection, Sydney Water recommends you ask each Water Servicing Coordinator the following type of questions:

1. How long will it take to obtain the Building Plan Approval?
2. How much do you charge for a Building Plan Approval?
3. If I require a Service Protection Report (pegout), how much will it cost?
4. Are there any other charges that I may have to pay?

For more information and a list of Water Servicing Coordinators, visit the Building, Developing and Plumbing section of Sydney Water's website at www.sydneywater.com.au. Alternatively you may obtain a list from the Sydney Water call centre on Tel: 13 20 92.



FIRST STYLE HOMES Pty Ltd
 Lic No. 1154120 ACN 087 773 779
 PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 95010111
 FAX: (02) 95010111
 EMAIL: design@fsyh.com.au

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- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A. RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
- ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.
- ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
- ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK. ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.
- FIRST STYLE HOMES SITE SAFETY RULES APPLY.
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DEVELOPMENT CALCULATIONS

LOT: 1208 NO: 00 OF SITE AREA: 290.0m²

Itemised Floor Areas (Unit 1):	Totals:
living ground floor:	96.72m ²
first floor: (excl. void 75.79m ²)	80.94m ²
garage: (excess 0.00m ²)	35.88m ²
alfresco:	9.27m ²
porch:	6.64m ²
balcony:	6.64m ²
total floor area:	236.09m²

FLOOR SPACE RATIO CALCULATION:

gross floor areas:	Totals:
living ground floor: (internal area)	85.94m ²
first floor excl. void: (internal area)	71.84m ²
total gross floor area:	157.78m²
total floor space ratio:	0.54:1

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	96.72m ²
garage:	35.88m ²
porch/alfresco:	15.91m ²
driveway/paved area:	16.85m ²
site coverage Area:	148.51m²
landscape area:	141.49m ² (48.7%)
pervious areas (soft)	122.05m ² (42.0%)
impervious areas (hard)	165.37m ² (57%)
front yard landscape area	27.37m ² (93.4%)
front yard hard paved area	1.92m ² (6.5%)
private open space of:	83.85m ²
principal private open space:	24.0m ²
total car space incl. carstand:	2 carspace

COUNCIL ZONE: R1

PROMOTION:
 LIVING/STYLE COLLECTION

CLIENT:
 FIRST STYLE HOMES

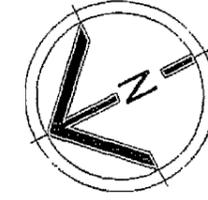
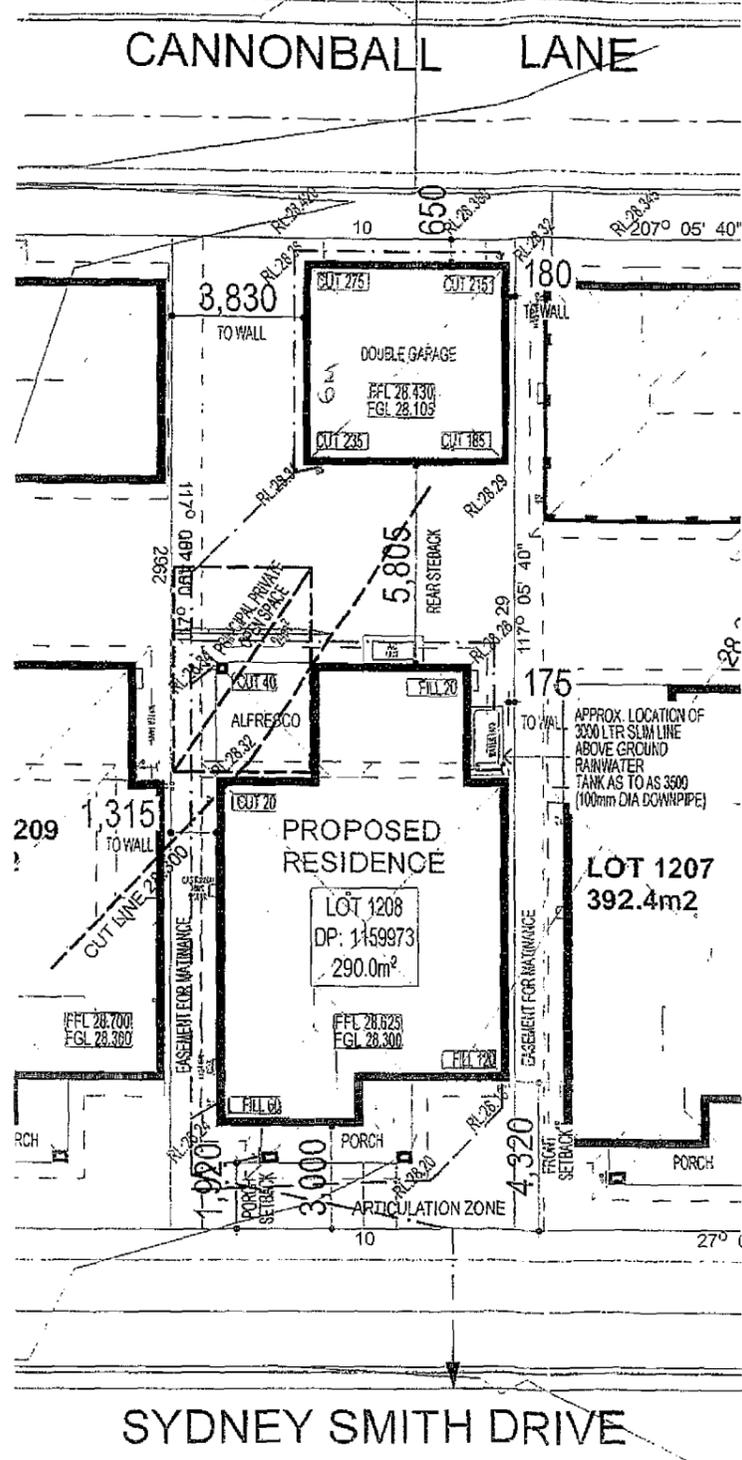
LOCATION:
 LOT 1208
 SYDNEY SMITH DRIVE
 PENRITH, 2750

DP: Lot 1208 in unregistered plan of subdivision by Council of Penrith Ref 72-10-1.2 being part of lot 11 DP 1159973

model:	chester 25	facade:	AUGUSTINE	date:	8/05/2013	scale:	SK 1
Sheet:	drawn:	checked:					

1 of 09
 scale: 1:200
497A-13

NOTE:
 FINAL GARAGE LEVELS SUBJECT TO FINAL KERB LEVELS.



BASIX House

= 66.13m² of roof area to discharge to water tank.
 = 103.5m² stormwater and overflow to discharge to existing street channel.
 o/a = 169.63m² of roof area.

LEGEND:

- = SURFACE INLETS AS REQUIRED
- = SURFACE INLETS LINE
- = STORMWATER LINE

EARTHWORKS

HOUSE:	FFL: R.L. 28.625
(LIVING)	FGL: R.L. 28.300
GARAGE:	FFL: R.L. 28.430
	FGL: R.L. 28.105

NOTE:
 REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

GENERAL DRAINAGE NOTES

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
 2. Stormwater pipes to be 90mm DIA. (Min) at 1 deg. Grade (Min)
 3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
 4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D.
 5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.
- note:
 ±l. levels indicative to a building tolerance of +/- 90mm
- NOTE:
 EAVES O/H TO ENCR OACH AS ALLOWED BY B.C.A.C13.7.1.7 & FIGURE 3.7.1.9

3 - PHASE POWER

NOTE
 AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER) 3-PHASE POWER

NOTE:
 PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
 ALL COMPONENTS SUCH AS: APPLIANCES; PLUMBING FITTINGS & FIXTURES; DOORS; CABINETS; HANDLES; PC ITEMS; ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS

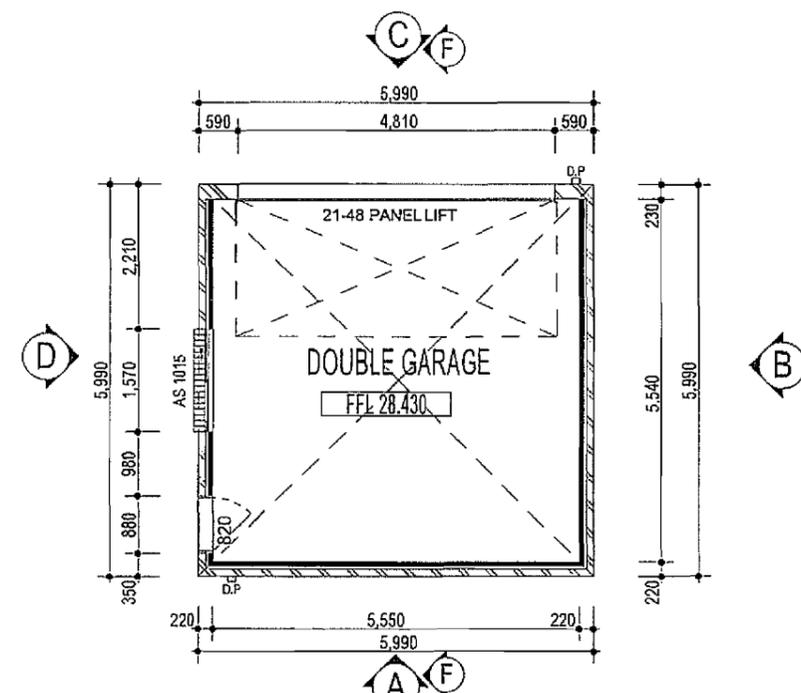
NOTE:
 ACOUSTIC SEALS REQUIRED ON ALL BEDROOM WINDOWS AND DOORS FACING SYDNEY SMITH DRIVE. IN ACCORDANCE WITH ACOUSTIC LOGIC'S ACOUSTIC REPORT, REF No.20120708.1/1508A/RO/HP

Accredited Supplier to SYDNEY WATER
BUILDING PLAN APPROVED
ASSET NOT AFFECTED
 Ref No: ~~2012/3-15243~~ Date: ~~4/6/13~~

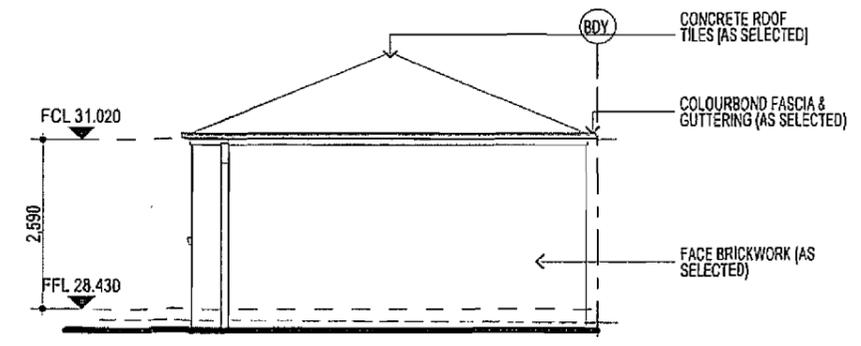
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SITE PLAN & STORMWATER CONCEPT PLAN

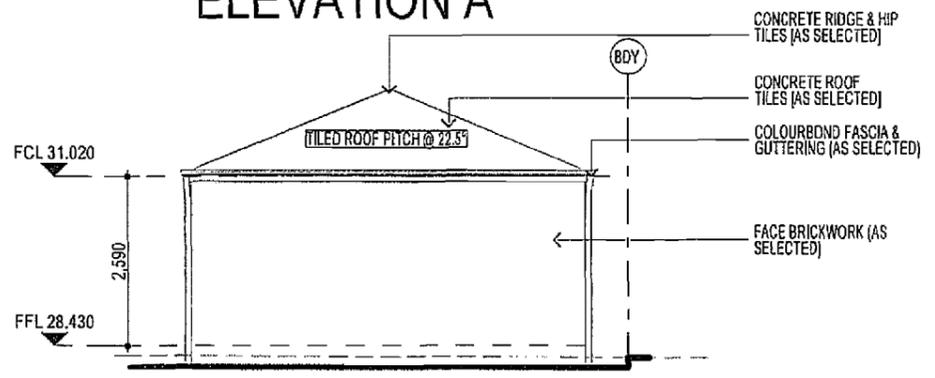
NBN PACK



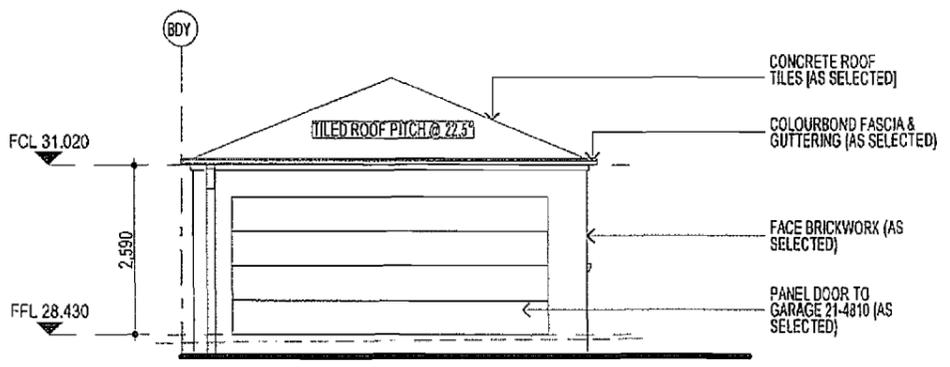
FLOOR PLAN



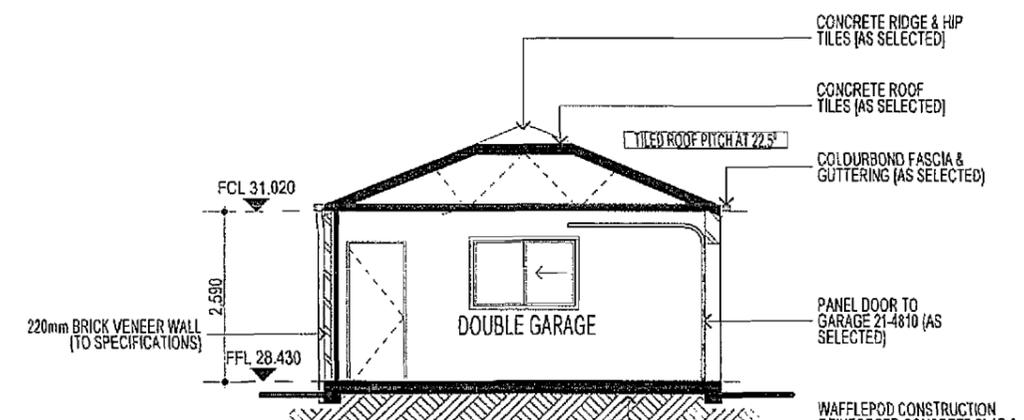
ELEVATION A



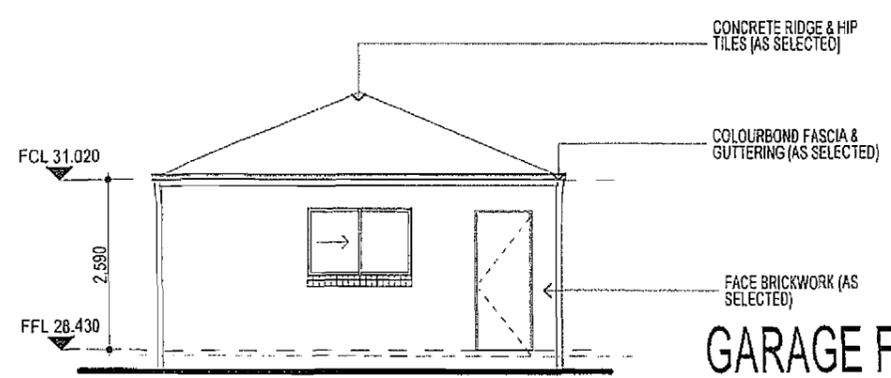
ELEVATION B



ELEVATION C



SECTION F



ELEVATION D

GARAGE FLOOR PLAN ELEVATIONS /SECTION

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NBN PACK

PROMOTION: LIVING/STYLE COLLECTION			
CLIENT: FIRST STYLE HOMES			
LOCATION: LOT 1208 SYDNEY SMITH DRIVE PENRITH, 2750			
DP: Lot 1208 in unregistered plan of subdivision by Craig & Rhodes Ref 72-10-1.2 being part of lot 11 TP 1158973		Council: PENRITH	
model: CHESTER 25	facade: AUGUSTINE	date: 16/05/2013	sheet: SK 1
drawn: N.K	checked: 0.0	scale: 4 of 09	
CLIENT'S SIGNATURE: _____			DATE: _____

497A-13



FIRST STYLE HOMES Pty Ltd
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KEY	
	= JOIST SUPPORT
	= NOTE: FLOOR JOISTS TO MANUFACTURERS - SPECIFICATIONS & DETAILS.
	= A/C VENTS (APPROX ONLY)
	= AIR VENT (APPROX ONLY) LOCATION TO BE NOMINATED ON SITE

NOTE:
 WATER CONSERVATION DEVICES WITH AAA* RATINGS
 • SHOWER HEADS 3 STAR-7.5L/MIN
 • WATER TAP OUTLETS
 • DUAL FLUSH TOILET SUITES, DUAL FLUSH EQUIVALENT
 • AAA RATED DISHWASHER-(BY CLIENT)
 • AAA-FRONT-LOADING WASHING MACHINE-(BY CLIENT)

NOTE:
 ACOUSTIC SEALS REQUIRED ON ALL BEDROOM WINDOWS AND DOORS FACING SYDNEY SMITH DRIVE. IN ACCORDANCE WITH ACOUSTIC LOGIC'S ACOUSTIC REPORT. REF No.20120708.1/1508A/RO/HP

3 - PHASE POWER

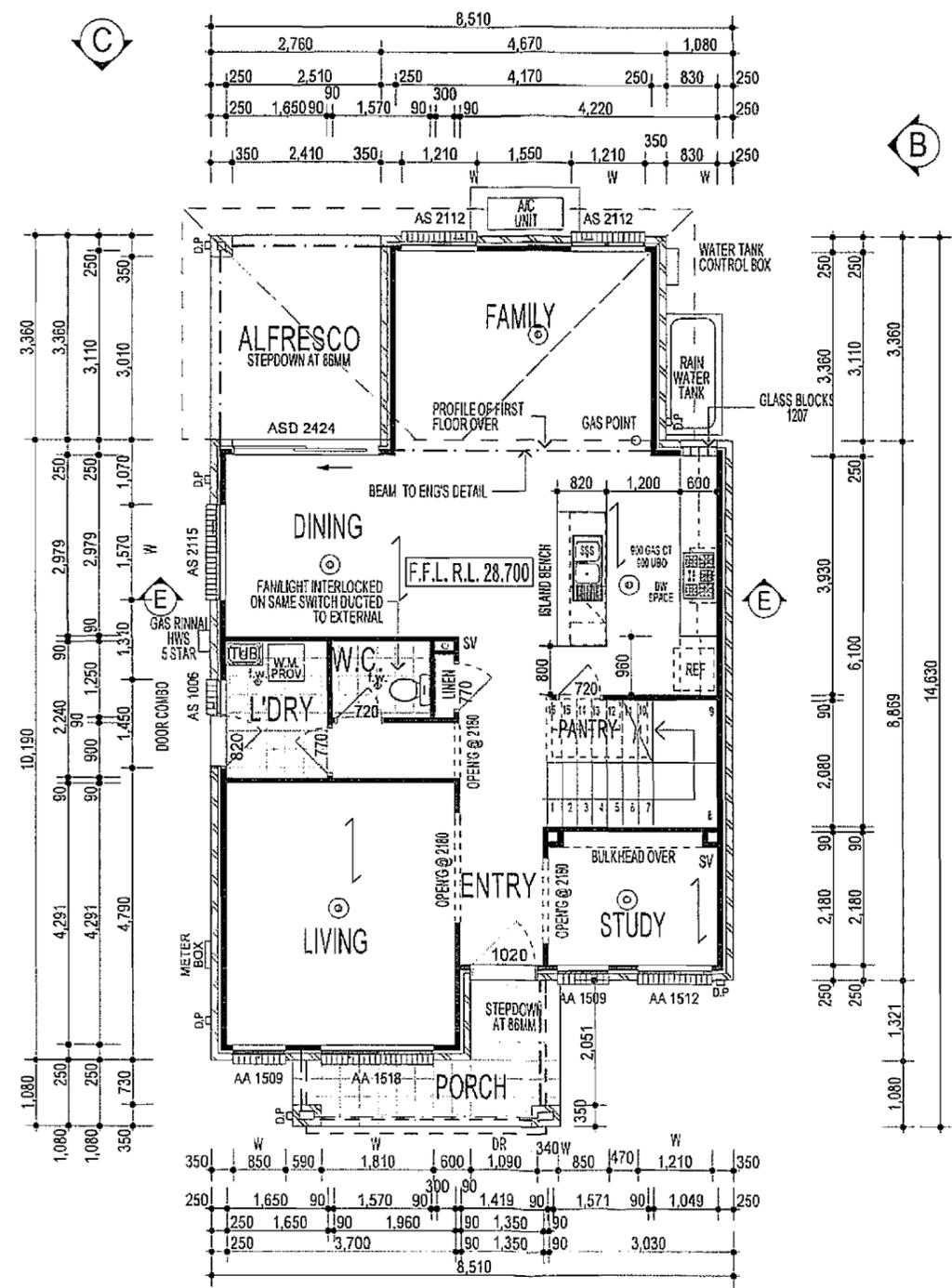
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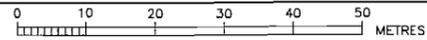
GROUND FLOOR

PROMOTION: LIVING/STYLE COLLECTION	
CLIENT: FIRST STYLE HOMES	
LOCATION: LOT 1208 SYDNEY SMITH DRIVE PENRITH, 2750	
DP- Lot 1208 in unregistered plan of subdivision by Council: Crain & Rhodes Ref 72-10-1-2 being part of lot 11 DP 1169973 PENRITH	
model: CHESTER 25	release: AUGUSTINE
date: 16/05/2013	revision: SK 1
Sheet: 3 of 09	scale: 1:100, 1:50
CLIENT'S SIGNATURE: _____ DATE: _____ SP. DR.	

497A-13

LAYOUT

(NOT TO SCALE)



DEVELOPER CONTRACT PLAN STAGE 1.2

NOTES :-

- WATER SERVICING COORDINATOR
QALCHEK PTY LTD (CERTIFIED No. 289)
77 UNION RD.
PENRITH 2750
Ph. No. 47 228181
- FOR :
LANDCOM
c/o WORLEY PARSONS
141 WALKER ST., NORTH SYDNEY, NSW 2060
PH.: 8923 8866
- ALL LOTS WERE VACANT AT TIME OF SURVEY.
- ALL STRUCTURES TO BE CONSTRUCTED TO PROPOSED FINISHED SURFACE LEVELS.
ALL LEVELS REFER TO PROPOSED FINISHED SURFACE LEVEL.
SEWER CONSTRUCTOR TO LIAISE WITH ROAD AND/OR CIVIL CONTRACTOR TO VERIFY LEVELS IN OR ADJACENT TO ROADS. PROJECT SUPERVISOR/DESIGNER TO BE INFORMED OF DISCREPANCIES.
- PIPES TO BE CONCRETE ENCASED SHOWN ACCORDINGLY: (REFER SEW-1205-V)

- EACH SECTION OF PIPE SHALL BE CONCRETE ENCASED IN THE FOLLOWING MANNER:
EACH PIPE JOINT REQUIRES A 12mm THICK COMPRESSIBLE MEMBRANE TO BE INSERTED
EACH PIPE JOINT IS REQUIRED TO HAVE 3 R16 DOWEL PINS TOP & BOTTOM.
DOWEL PINS ARE TO BE CENTRALLY PLACED IN CONCRETE WITH A MINIMUM BAR LENGTH OF 600mm
THE DOWEL PIN IS TO BE EITHER GALVANISE OR STAINLESS STEEL.
AT THE ENDS OF EACH SECTION OF ENCASEMENT A 600mm ROCKER PIPE IS TO BE INSTALLED.
- BUILDING OVER/ADJACENT TO SEWER. CONDITIONS WILL APPLY. REFER TO QALCHEK FOR DETAILS.
 - ALL LEVELS ELECTRONICALLY GENERATED. NO LEVEL BOOK AVAILABLE.
 - THE MINIMUM NUMBER OF FIELD COMPACTION TESTS REQUIRED TO SATISFY THE SEWERAGE CODE OF AUSTRALIA ARE:
IF SAND/CEMENT BACKFILL IS USED AT ROAD CROSSINGS. THE NUMBER OF TRENCH FILL COMPACTION TESTS MAY BE REDUCED BY 15%.
 - PIPE EMBEDMENT ZONE: 27 TESTS REQUIRED
TRENCH FILL ZONE (TRAFFICABLE) - 156 TESTS REQUIRED
TRENCH FILL ZONE (NON TRAFFICABLE) - 44 TESTS REQUIRED
TRENCH FILL ZONE (MAN-HOLES): 182 TESTS REQUIRED
TRENCH FILL ZONE (TOTAL): 361 TESTS REQUIRED
 - THE REVIEW OF ENVIRONMENTAL FACTORS IS AN INTEGRAL PART OF THIS DESIGN AND MUST BE READ IN CONJUNCTION WITH THIS PLAN.
 - PRIOR TO ANY EXCAVATION THE CONSTRUCTOR MUST HAVE A CURRENT COPY OF THE UNDERGROUND SERVICES REPORT TO BE READ IN CONJUNCTION WITH THIS PLAN.
 - TEMPORARY LEVEL MARKS ARE FOR CONSTRUCTION PURPOSES ONLY. S.S.M.'S WILL BE PLACED ON THE KERB AND GUTTERS, LEVELLED AND SHOWN AS BENCH MARKS ON THE W.A.E. DRAWINGS.
 - EMBEDMENT FOR PIPES WITH A DEPTH GREATER THAN 6.0m TO CONSIST OF SINGLE SIZE MATERIAL OF EITHER 7mm OR 10mm.
 - ALL EXCAVATION, SHORING EXCAVATION AND STABILITY OF ADJACENT STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTOR
 - FOR ALL M'S EXTERNAL BENDS ONLY TO BE USED IF NECESSARY
 - THE PW AND WW PLANS ARE BASED ON THE FOLLOWING ENGINEERING PLANS SUPPLIED BY WORLEY PARSONS:
0721015(02).DWG (FROM 26.09.11)
X-STAGE1 STORMWATER PLAN.DWG (FROM 04.10.11)
DRAINAGE-LS-PL01.DWG (FROM 04.10.11)
X-LOT LAYOUT.DWG (FROM 04.10.11)
X-ROAD CONTOURS.DWG (FROM 04.10.11)
STORMWATER LAYOUT.DWG (FROM 04.10.11 AND 06.07.12)
FOR ELECTRICAL PLANS: SUPPLIED BY CRAIG AND RHODES 31.01.2012; PLANS DONE BY CONNECT (REF. NUMBER M600C D1-01 AND M600D D1-01)
SURFACE PROFILE: STAGE 1 DESIGN.DWG (FROM 06.07.11)
 - THE PROPOSED WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE SEWER RETICULATION CODE OF AUSTRALIA (WSA 02-2002-2.2 VERSION 3) INCLUDING THE SYDNEY WATER SUPPLEMENT & APPENDICES AND THE TECHNICAL SPECIFICATION FOR LOW INFILTRATION SEWER SYSTEMS
THE CONTRACTOR MUST HAVE A COPY OF THESE DOCUMENTS ON SITE AT ALL TIMES.
 - MAINTENANCE STRUCTURE OPTIONS SHALL BE LIMITED TO CAST IN-SITU MAINTENANCE HOLES, PLASTIC MAINTENANCE SHAFTS AND PLASTIC TERMINAL MAINTENANCE SHAFTS.
 - CONSTRUCTOR RESPONSIBLE TO FOLLOW ANY TESTING PROCEDURES SET OUT IN SECTION L10.1 AND L10.2 OF THE TECHNICAL SPECIFICATION FOR LOW INFILTRATION SEWER SYSTEMS

IMPORTANT NOTES FOR PCS'S:

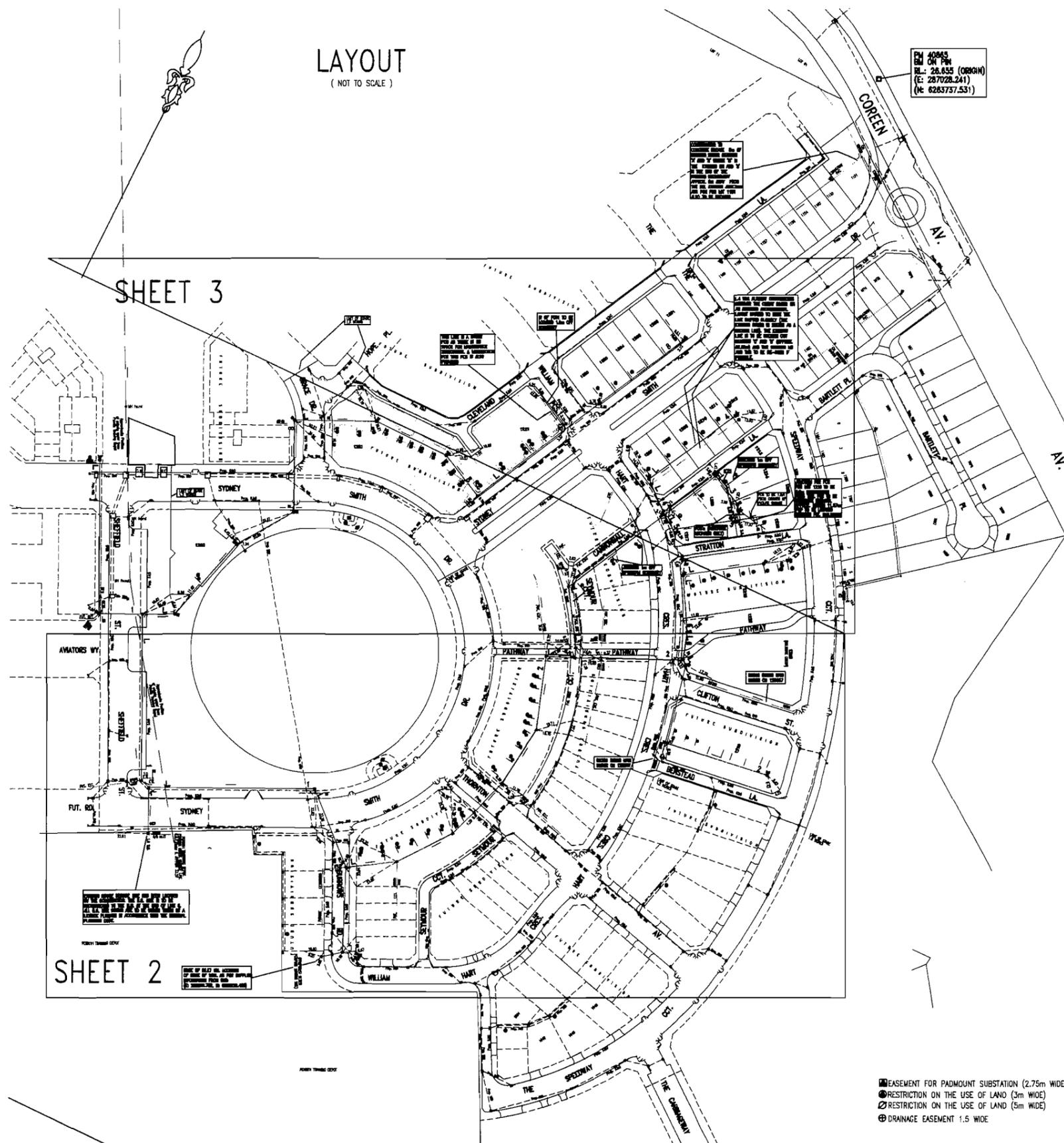
- ALL JUNCTIONS FOR THE PCS'S TO BE LOCATED 0.7m MIN OFF DOWNSTREAM PROPERTY BOUNDARY (OR DOWNSTREAM INTERNAL BOUNDARY) OR DOWNSTREAM EASEMENT BOUNDARY OR 1.0m OFF THE EDGE OF THE DOWNSTREAM STRUCTURE. ONLY IN LOT 1221 SOME JUNCTIONS (MARKED WITH) ARE TO BE LOCATED OFF THE UPSTREAM BOUNDARY. IF JUNCTION FOR PCS IS LOCATED OUTSIDE THE PROPERTY BOUNDARY FOR THE LOT THEN THE JUNCTION IS TO BE POSITIONED IN SUCH A WAY THAT THE IO IS LOCATED A MINIMUM OF 0.7m OFF THE SIDE BOUNDARY AND 1m OFF THE FRONT BOUNDARY
- DENOTES STANDARD PCS CONNECTION (REFER LIS FIG.5 STANDARD CONNECTION, JUNCTION 90° TO MAIN)
- DENOTES SLOPED PCS CONNECTION (REFER LIS FIG.5 SLOPED CONNECTION, JUNCTION 90° TO MAIN)
- DENOTES DEEP PCS CONNECTION (REFER LIS FIG.6, JUNCTION 90° TO MAIN)
- DENOTES PCS TO BE DN225 (IN CONJUNCTION WITH SYMBOLS ABOVE)
- DENOTES PCS TO BE CONCRETE ENCASED (IN CONJUNCTION WITH SYMBOLS ABOVE)
- DENOTES INTERNAL BOUNDARY NEEDS TO BE MARKED SO THAT PCS CAN BE CONSTRUCTED AT CORRECT LOCATION (IN CONJUNCTION WITH SYMBOLS ABOVE)
- THE TOTAL LENGTH OF THE DN225 PCS'S EXCLUDING RISERS IS APPROXIMATELY 3m. PCS'S TO HAVE MINIMUM STIFFNESS RATING OF SN8.
THE TOTAL LENGTH OF THE DN100 PCS'S EXCLUDING RISERS IS APPROXIMATELY 124.00m (INCL. PCS.1)m. PCS'S TO HAVE MINIMUM STIFFNESS RATING OF SN8. JOINTING TO BE SOLVENT WELDED.
- IT IS THE RESPONSIBILITY OF THE CONSTRUCTOR TO PROVIDE THE CHANGES FOR THE PCS'S, THE LENGTH OF THE PCS'S, THE TYPE OF CONNECTION USED, THE LENGTH TO THE IO AND THE INVERT LEVEL AT THE PCP (IF APPLICABLE) TO THE WSC FOR WAE PURPOSES
- DENOTES STANDARD PCS CONNECTION (REFER LIS FIG.9 AS PER LATEST U SPECIFICATION, JUNCTION 90° TO MAIN)

NUMBER	AMENDMENT	INITIAL	DATE
A	FIRST ISSUE (FOR CLIENT ONLY)	F.J.	17.10.11
B	ISSUE FOR COMMENT	F.J.	09.01.12
C	ISSUE SWC ENDORSEMENT	F.J.	18.02.12
D	L8 ADDED, LINER FOR STRUC. MH'S CHANGED (REFER SHEET 7)	F.J.	07.05.12
E	AMENDED DESIGN AS PER MARKUP FROM LANDCOM BASED ON THE LATEST PROP. ARCHITECTURAL LAYOUT	F.J.	11.07.12
F	L5 DELETED, OTHER LINES RENAMED L2-L4 AMENDED WITH REGARDS TO GRADES AND INVERT LEVELS.	F.J.	02.08.12
G	L7 REMOVED - L3 EXTENDED	T.J.	20.08.12
H	LOT 1216 SERVICING HIGHLIGHTED	F.J.	25.09.12
I	FUTURE BOUNDARIES OF LOTS 1341-1343 CHANGED. JUNCTION LOCATIONS PARTLY AMENDED AND 1 JUNCTION ADDED	F.J.	18.11.12
J	FIRST 13m OF L1 AMENDED TO LINE L1 UP CORRECTLY WITH MH. ADDITIONAL MH TO DTC-2200 ADDED	F.J.	05.02.13

NUMBER	AMENDMENT	INITIAL	DATE
K	L4 AMENDED AND CONCRETE ENCASEMENT ADDED FOR 5m OF SEWER MAIN IN LOT 1151 BUILT UNDER STAGE 1.1 CN128187WW	F.J.	14.05.13

NO AMENDMENTS ARE TO BE MADE TO THIS PLAN WITHOUT REFERENCE TO SYDNEY WATER. THIS PLAN IS NOT NECESSARILY UP TO DATE OR CORRECT AND SYDNEY WATER ACCEPTS NO RESPONSIBILITY.

Sydney WATER
SYDNEY WATER CORPORATION
Case No.126168WW
PENRITH SEWERAGE
DRAINS TO
SPS 1142
PENRITH STP



SHEET 3

SHEET 2

- EASEMENT FOR PADMOUNT SUBSTATION (2.75m WIDE)
- RESTRICTION ON THE USE OF LAND (3m WIDE)
- RESTRICTION ON THE USE OF LAND (5m WIDE)
- DRAINAGE EASEMENT 1.5 WIDE

PLAN TO BE READ IN CONJUNCTION WITH CURRENT SYDNEY WATER STANDARDS SYDNEY WATER CORPORATION

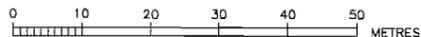
PRIOR TO COMMENCEMENT OF EXCAVATION FOR PROPOSED AND EXISTING SERVICES CONTACT:-
DIAL BEFORE YOU DIG Ph. 1300...
ELECTRICITY Ph. ...
GAS Ph. ...
TELECOMMUNICATIONS Ph. ...
SWC Ph. 132 092
GIVING AT LEAST 48 HOURS NOTICE.

UTILITIES			WORK AS CONSTRUCTED CERTIFICATION		
TYPE	DATE	REF.	TYPE	DATE	REF.
PROP STORMWATER: SWD	21.07.11	DESIGN	DEVELOPER		
SWD	19.07.11	ENG.PLAN	WATER SERVICE CO-ORDINATOR		
PM 40865 (ORIGIN)	01.03.11	SURVEY	CONSTRUCTOR		
			COMPLETED		W.A.C PREPARED
			DESIGNER		
			I CERTIFY THAT THE WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE WORK AS CONSTRUCTED DRAWINGS.		

PIPE SCHEDULE		AUSTRALIAN HEIGHT DATUM	
PIPE DN	LENGTH	SCALE	SECTION
300 P.P.F.	283.87	1:500	1:500
225 U.P.V.C.	391.61	1:125	1:125
150 U.P.V.C.	1708.38	NATURAL	NATURAL
225 U.P.V.C.	3		
100 U.P.V.C.	124		
TOTAL:	1511.76		

PLAN DRAWN DATE: 14.05.2013 VERSION: K SHEET 1 OF 7 SHEETS

- EASEMENT FOR PADMOUNT SUBSTATION (2.75m WIDE)
- RESTRICTION ON THE USE OF LAND (3m WIDE)
- RESTRICTION ON THE USE OF LAND (5m WIDE)
- ⊖ DRAINAGE EASEMENT 1.5 WIDE



CONSTRUCTOR TO CONCRETE ENCASE 5m OF EXISTING SEWER BETWEEN 'A' AND 'B' WHERE 'B' IS THE EXISTING MH AND 'A' IS THE END OF THE EXISTING ENCASEMENT APPROX. 5m AWAY FROM THE MH. EXISTING JUNCTION AND PCS FOR LOT 1151 ALSO TO BE ENCASED

L4 WAS ALREADY CONSTRUCTED HOWEVER THE CLIENT BASED ON AN AMENDED ARCHITECTURAL LAYOUT WANTED TO HAVE THE LINE SHIFTED SLIGHTLY (THE EXISTING SEWER IS SHOWN AS A BROKEN LINE). THE EXISTING LINE IS TO BE BROKEN OUT BETWEEN 'C' AND 'D' (APPROX. 52.87m) AND THE EXISTING MS AND TMS TO BE RE-USED IF POSSIBLE.

THIS LINE IS A DN100 PCS AS THERE IS NO SPACE FOR MAINTENANCE STRUCTURES. A LONGSECTION FOR THIS PCS IS ALSO PROVIDED

NO OF PCS1 TO BE LOCATED 1.0m OFF BOUNDARY

JUNCTION FOR PCS FOR LOT 1216 TO BE 0.9m DOWNSTREAM FROM TMS. PCS TO BE CONCRETE ENCASED. APPROX. LENGTH 11.57m. PCP TO BE LOCATED BETWEEN FUT. BUILDINGS

PCS TO BE 1.0m FROM CORNER OF FUTURE GARAGE

PCS 'a' (INDICATIVE LOCATION ONLY)

JUNCTION 1m OFF UPSTREAM BOUNDARY

CONTINUATION FROM SHEET 2

NUMBER	AMENDMENT	INITIAL	DATE	NUMBER	AMENDMENT	INITIAL	DATE
A	FIRST ISSUE (FOR CLIENT ONLY)	F.J.	17.10.11	E	AMENDED DESIGN AS PER MARKUP FROM LANDCOM BASED ON THE LATEST PROP. ARCHITECTURAL LAYOUT	F.J.	11.07.12
B	ISSUE FOR COMMENT	F.J.	09.01.12	F	L5 DELETED, OTHER LINES RENAMED L2-L4 AMENDED WITH REGARDS TO GRADES AND INVERT LEVELS.	F.J.	02.08.12
C	ISSUE SWC ENDORSEMENT	F.J.	16.02.12	G	L7 REMOVED - L3 EXTENDED	T.T.	20.09.12
D	L8 ADDED, LINER FOR STRUC. MH'S CHANGED (REFER SHEET 7)	F.J.	07.05.12	H	LOT 1216 SERVICING HIGHLIGHTED	F.J.	25.09.12
				I	FUTURE BOUNDARIES OF LOTS 1341-1343 CHANGED. JUNCTION LOCATIONS PARTLY AMENDED AND 1 JUNCTION ADDED	F.J.	18.11.12
				J	FIRST 3m OF L1 AMENDED TO LINE L1 UP CORRECTLY WITH IWH. ADDITIONAL MH TO DTC-2200 ADDED	F.J.	05.02.13
				K	L4 AMENDED AND CONCRETE ENCASEMENT ADDED FOR 5m OF SEWER MAIN IN LOT 1151 BUILT UNDER STAGE 1.1 ON126187WW	F.J.	14.05.13

WORK AS CONSTRUCTED CERTIFICATION

Sydney Water SYDNEY WATER CORPORATION

DEVELOPER: W.S.C. _____

CONSTRUCTOR: _____

COMPLETED: _____

W.A.C. PREPARED: _____

DESIGNER: _____

I CERTIFY THAT THE WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE WORK AS CONSTRUCTED DRAWINGS

FOR DETAILS OF SERVICES SEE SHEET 1

Case No. 126168WWW SHT 3 OF 7 SHTS.

